



CITY OF CAMPBELL
Community Development Department

January 25, 2018

NOTICE OF ADMINISTRATIVE SITE AND ARCHITECTURAL REVIEW

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

Project Address: 1110 Shadle Ave

File No: PLN2017-342

APN: 406-14-038

Applicant: Keith Williams

Property Owner: Robert Wise

Project Description: 215 sq. ft. addition to existing single-story home

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on January 25, 2018 and ends on February 3, 2018. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **February 3, 2018**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Cindy McCormick, Senior Planner, in the Community Development Department, at (408) 871-5103 or by email cindm@cityofcampbell.com.

Project Location Map

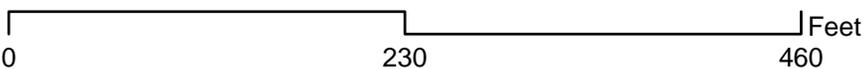


Project Location: 1110 Shadle Ave

Application Type: Administrative Site and Architectural Review Permit

Planning File No.: PLN2017-342

Description: 215 sq. ft. addition to existing single-story single-family residence.



Community Development Department
Planning Division

GENERAL NOTES

DETAILS AND DIMENSIONS ON THESE DRAWINGS SHALL BE VERIFIED AT THE CONSTRUCTION SITE BY CONTRACTOR, AND ANY DISCREPANCIES BETWEEN THE PLAN AND SITE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE DESIGNER OR ENGINEER OF RECORD. SHOULD ANY ERRORS OR INCONSISTENCIES APPEAR OR OCCUR IN THE DRAWING, THE CONTRACTOR BEFORE PROCEEDING WITH WORK, SHALL NOTIFY THE OWNER AND DESIGNER OR ENGINEER OF RECORD FOR PROPER COMMENT, AND IN NO CASE SHALL PROCEED WITH THE WORK IN UNCERTAINTY.

CHANGE OR ALTERATION OF DESIGN OR PLAN SHALL BE MADE WITHOUT THE APPROVED CONSENT OF ENGINEER OF RECORD OR DESIGNER. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR SUCH CHANGES OR ALTERATIONS MADE BY OR AGREED UPON BETWEEN THE OWNER AND CONTRACTOR.

WORK SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL, COUNTY AND FEDERAL AGENCIES HAVING JURISDICTION. SAFETY METHODS AND TECHNIQUES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OBTAINING ALL ITEMS USED IN THIS WORK, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE MEASUREMENTS AND REQUIREMENTS OF THE SPECIFICALLY NAMED CODES AND STANDARDS TO VERIFY THAT THE ITEMS PROCURED FOR USE IN THIS WORK MEET OR EXCEED THE SPECIFIED REQUIREMENTS. OWNER'S SIGNATURE IS REQUIRED FOR ALL MATERIAL CHOICES.

NOTATIONS SHALL TAKE PRECEDENCE OVER THE SCALE ON THE DRAWINGS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON PROJECT.

SECTION AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES, AND TYPICAL NOTES.

THESE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO BRACING, SHORING FOR LOAD DUE TO CONSTRUCTION EQUIPMENT, ETC.

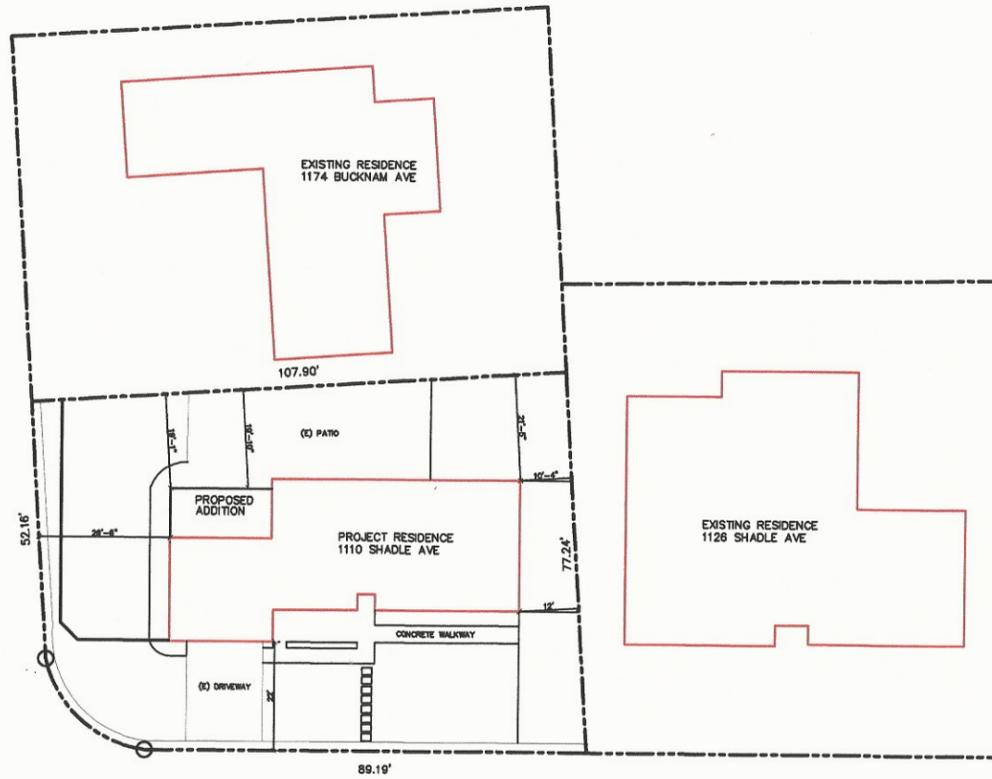
CONTRACTOR IS RESPONSIBLE FOR ALL JOB SITE CONDITION SAFETY OF PROPERTY AND PEOPLE AT ALL TIMES DURING THE COURSE OF THE PROJECT, NOT JUST DURING WORKING HOURS. THE CONTRACTOR SHALL HOLD AND HOLD HARMLESS THE DESIGNER OR OWNER FROM ANY LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY THROUGH THE NEGLIGENCE OF THE OWNER OR DESIGNER.

- CALIFORNIA BUILDING CODE 2016
- CALIFORNIA MECHANICAL CODE 2016
- CALIFORNIA PLUMBING CODE 2016
- CALIFORNIA ELECTRIC CODE 2016
- CALIFORNIA ENERGY CODE 2016
- CALIFORNIA RESIDENTIAL CODE 2016



PROJECT INFORMATION

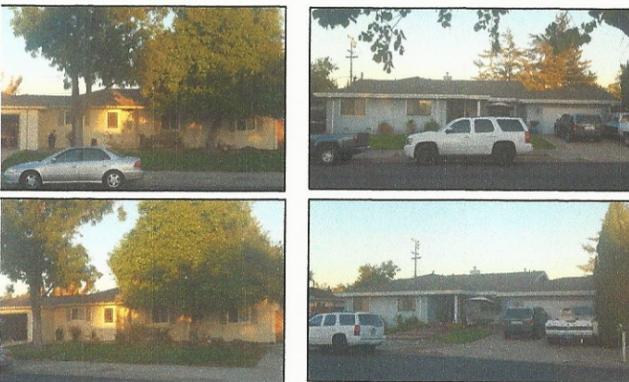
PERMIT NUMBER	406-14-038	
ZONING	R-1-8	
TOTAL AREA	GROSS 13,697	NET 7,873
FRONT SETBACK PAVED AREA	575	27.80%
EXISTING LIVING SPACE	1,313	
ADDITIONAL LIVING SPACE	434	
TOTAL LIVING SPACE	215	
TOTAL LIVING SPACE	1,528	
TOTAL COVERAGE	24.92%	
A.R.	19.40%	



ADJACENT PROPERTIES

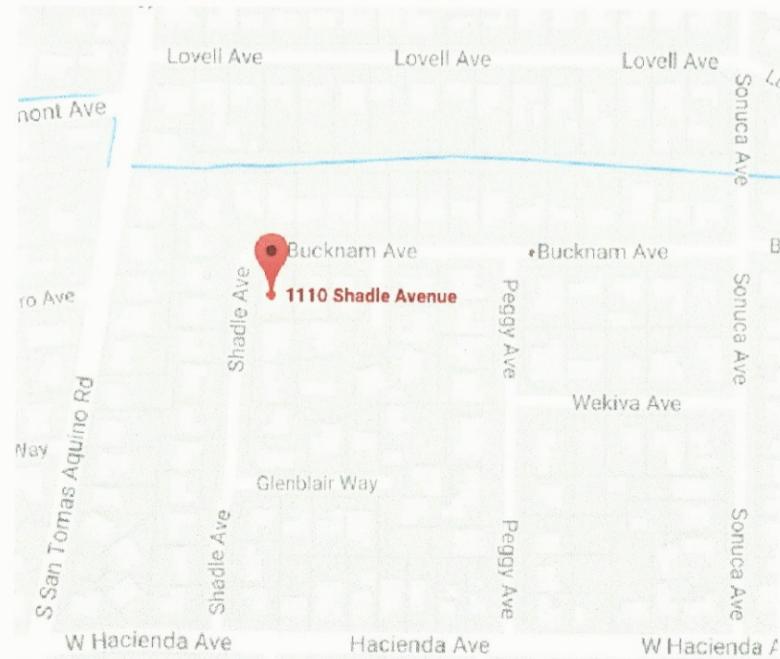
1/16" = 1' - 0"

STREETSCAPE



SHADLE AVENUE (PROJECT ADDRESS)

1126 SHADLE AVENUE (NEIGHBOR)



VICINITY MAP

REVISIONS	BY

SAN JOSE, CALIF.
WILLIAMS DESIGN
 DRAFTING AND DESIGN BY:
 SUPPORT@WILLIAMSDESIGN.COM
 FAX (408) 694-3332 CELL (408) 667-2446
 715 N. FIRST ST. Ste. 34

PROJECT INFO
 STREETSCAPE
 VICINITY MAP
 ADJACENT PROPERTIES

ADDITION FOR:
WISE RESIDENCE
 1110 SHADLE ST.
 CAMPBELL, CA

DRAWN	RLE
DATE	9/18/17
CHECKED	
SCALE	AS SHOWN
SHEET #	SP



SITE MAP
 1/8" = 1' - 0"

REVISIONS	BY

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PROJECT INFO
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WISE RESIDENCE
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 CAMPBELL, CA

DRAWN AJZ
 DATE 10/23/17
 CHECKED
 SCALE AS SHOWN
 SHEET #
SP2

NOTE:
 ARROWS INDICATE (E)
 DIRECTION OF SLOPE
 GRADE FOR DRAINAGE

- 1) WATER CLOSET SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.28 GALLONS PER FLUSH. (CALGREEN 4.303.1.1)
- 2) SHOWER HEADS SHALL HAVE A WATER FLOW NOT TO EXCEED 3.0 GALLONS PER MINUTE. (CALGREEN 4.303.1.2)
- 3) THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 80 PSI. (CALGREEN 4.303.1.41)
- 4) SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES (6 FT). (CRC R307.2)
- 5) SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD. (CPC 408.3)
- 6) SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES (6 FT). (CRC R307.2)
- 7) THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION. (CPC 409.4)

ELECTRICAL LEGEND

- Ⓜ MOTION TRIGGERED LIGHT W/ SWITCH
- Ⓝ 110 OUTLET
- Ⓢ INCANDESCENT LIGHT
- Ⓛ LIGHT SWITCH
- Ⓜ FAN 5 AIR CHANGES
- Ⓢ LED RECESSED CAN LIGHTS
- Ⓢ EXTERIOR WALL MOUNTED LIGHT PER HOUR
- Ⓢ ALL SD. TO BE HARD WIRE W/ BATTERY BACKUP AND SOUND AN ALARM AUDIBLE IN ALL BEDROOMS OF THE HOUSE
- Ⓢ CARBON MONOXIDE DETECTOR

ALL SHOWER COMPARTMENTS REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR OF ONE THOUSAND TWENTY-FOUR (1024) SQUARE INCHES (0.66m²) AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A THIRTY (30) INCH (762mm) CIRCLE. THE MINIMUM REQUIRED AREA AND DIMENSION SHALL BE MEASURED AT A HEIGHT EQUAL TO THE TOP OF THE THRESHOLD AND AT A POINT TANGENT TO IT CENTER LINE. THE MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT SEVENTY (70) INCHES (1778mm) ABOVE THE SHOWER DRAIN OUTLET WITH NO PROTRUSIONS OTHER THAN THE FIXTURE VALVES, SHOWER HEAD AND SAFETY GRAB OR RAILS.

ALSO PROVIDE BUILDING PAPER 6" HIGH ON FACE OF STUDS OF SHOWER ENCLOSURE AND FINISH SHOWER WALL, (TUB-SHOWER) WITH TILE OR EQUAL MATERIAL, TO A HEIGHT OF 70" MINIMUM ABOVE THE DRAIN. FIBERGLASS UNITS WITH WALLS 70" HIGH ARE EXEMPT FROM THE BUILDING PAPER ON THE STUD FACE

ELECTRICAL NOTES #2

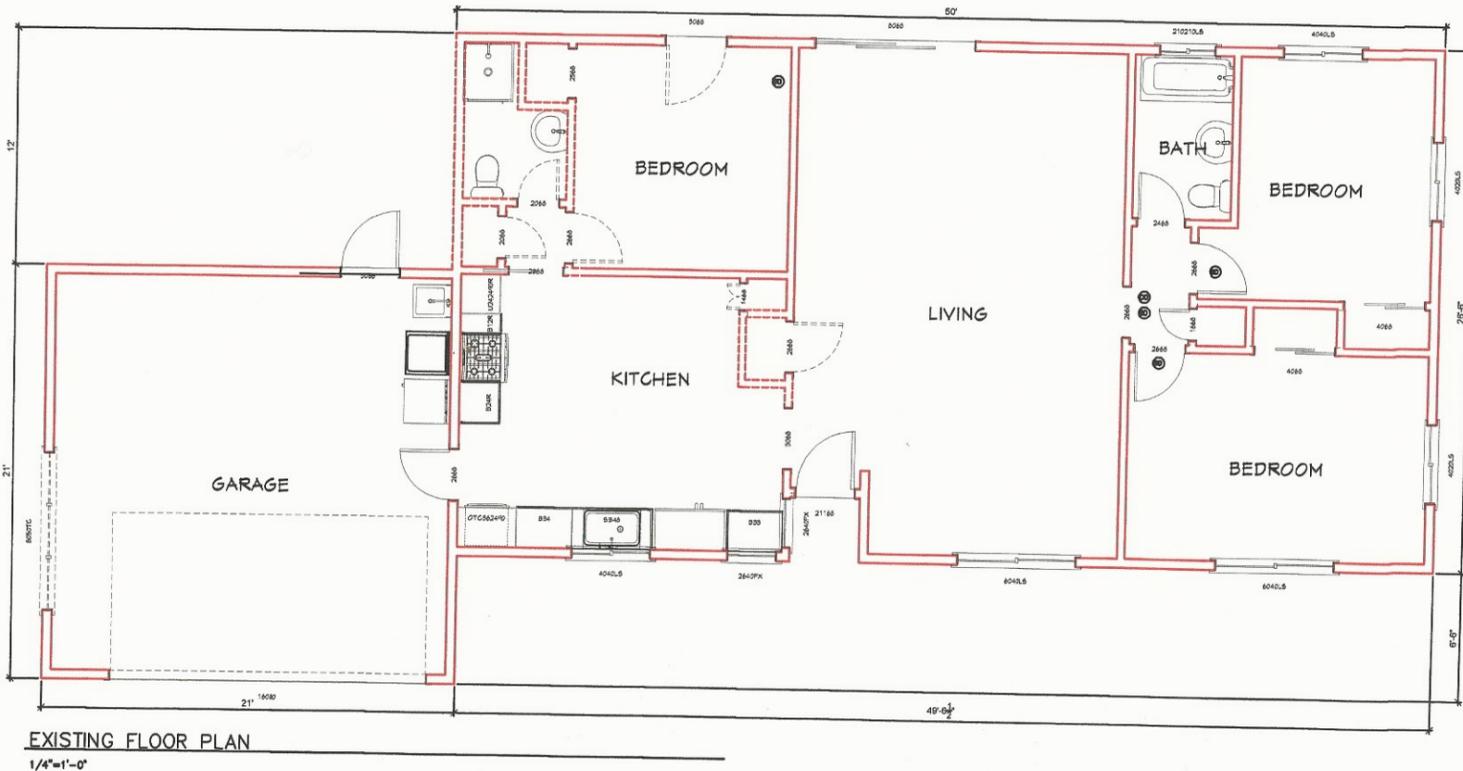
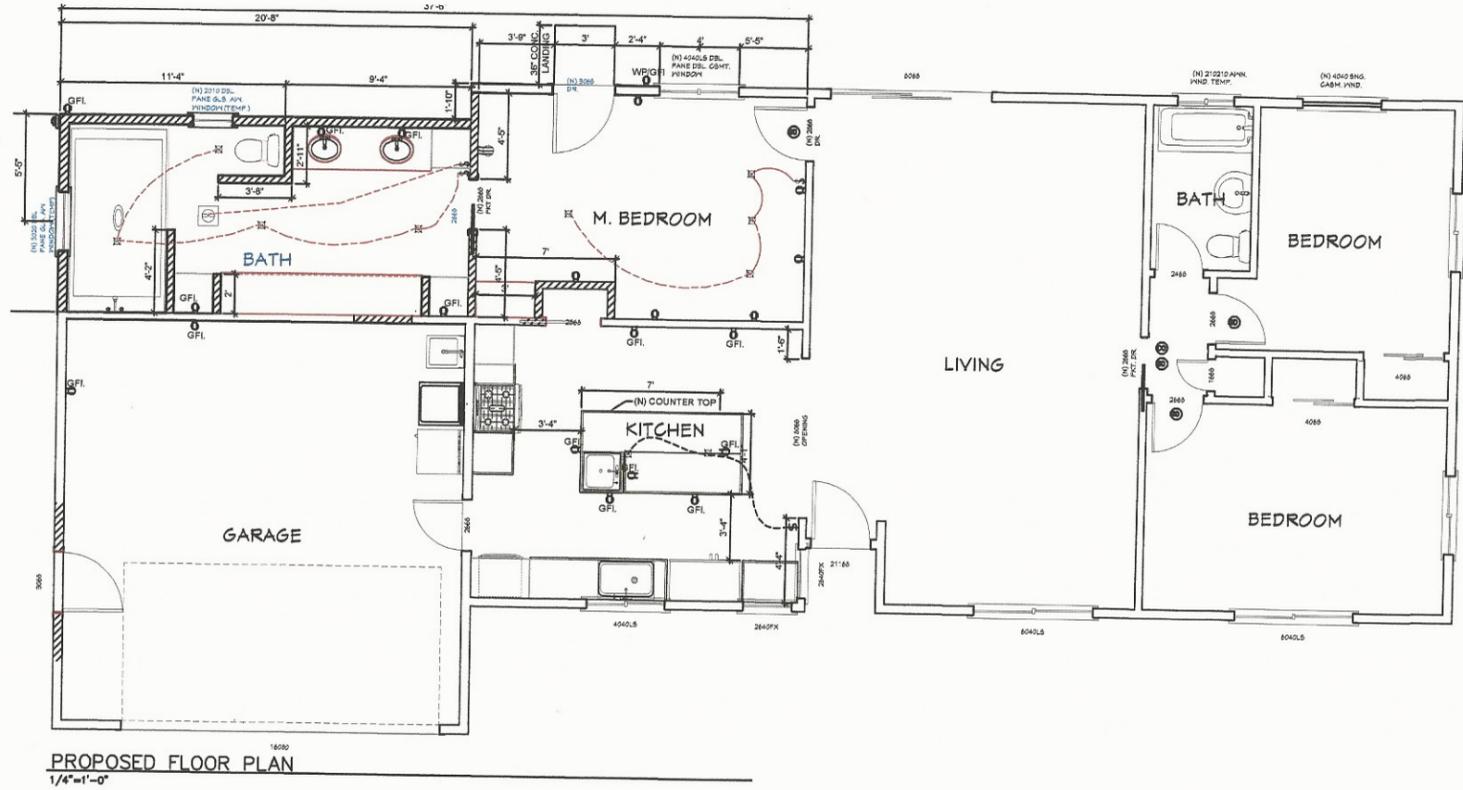
ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE, 15-AND 20-AMPERE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, BEDROOMS, DINING ROOMS, LIVING ROOMS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED PER CEC 210.12B.

WALL LEGEND

- ▤▤▤▤ INDICATES WALLS TO BE ADDED
- ▤▤▤▤ INDICATES WALLS TO BE REMOVED
- ▤▤▤▤ INDICATES WALLS TO REMAIN

ELECTRICAL NOTES #1

ALL 125-VOLT, 15-AND 20-AMPERE RECEPTACLE SHALL BE LISTED OUTLETS TAMPER RESISTANT RECEPTACLES PER CEC 408.11.



REVISIONS	BY

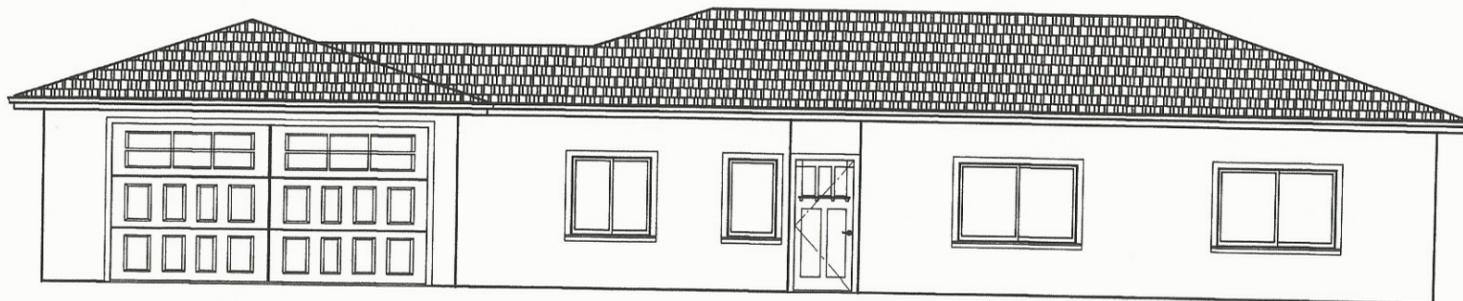
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715 N. FIRST ST. ste. 34

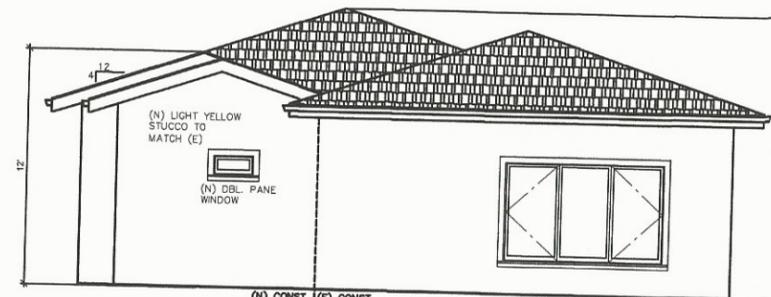
EXISTING & PROPOSED FLOOR PLAN

REMODEL:
WISE RESIDENCE
 1110 SHADLE ST.
 CAMPBELL, CA

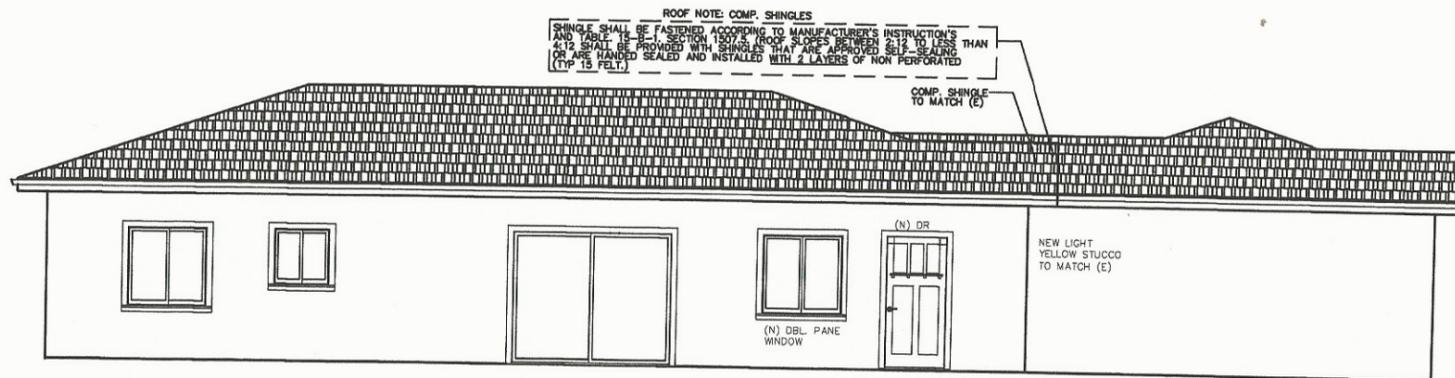
DRAWN RLE
 DATE 9/18/17
 CHECKED
 SCALE AS SHOWN
 SHEET #
1



FRONT ELEVATION
1/4"=1'-0"



PROPOSED LEFT ELEVATION
1/4"=1'-0"



PROPOSED REAR ELEVATION
1/4"=1'-0"

ROOF NOTE: COMP. SHINGLES
SHINGLE SHALL BE FASTENED ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND TABLE 11-1, SECTION 1107.5 (ROOF SLOPES BETWEEN 2:12 TO LESS THAN 4:12 SHALL BE PROVIDED WITH SHINGLES THAT ARE APPROVED SELF-SEALING OR ARE GANGED SEALED AND INSTALLED WITH 2 LAYERS OF NON PERFORATED (TYP. 15 FELT.)

COMP. SHINGLE TO MATCH (E)

NEW LIGHT YELLOW STUCCO TO MATCH (E)

REVISIONS	BY

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ELEVATIONS

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SHEET #
2