



CITY OF CAMPBELL
Community Development Department

December 1, 2017

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **December 12, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Daniel Warren for a Site and Architectural Review Permit (PLN2017-221) to allow the construction of a new, two-story single-family residence on property located at **1330 Westmont Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1330 Westmont Avenue**

Project Location Map

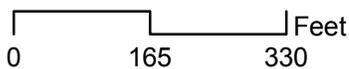


Project Location: 1330 Westmont Avenue

Application Type: Site and Architectural Review Permit

Planning File No.: PLN2017-221

Description: New two-story single family residence with attached garage



Community Development Department
Planning Division



TAGARE RESIDENCE

2-STORY

1330 WESTMONT AVENUE
CAMPBELL, CALIFORNIA

WARREN DESIGN |
 5716 E. CAMPBELL AVE., CAMPBELL, CA 95008 P. 650.469.2700 C. 200.534.7271

These drawings are the property of Warren Design Inc. and are not to be reproduced, copied, or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Warren Design Inc.

TAGARE RESIDENCE
1330 WESTMONT AVENUE
CAMPBELL CALIFORNIA

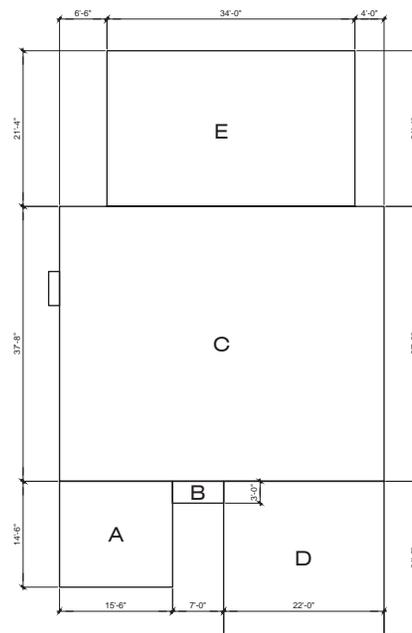
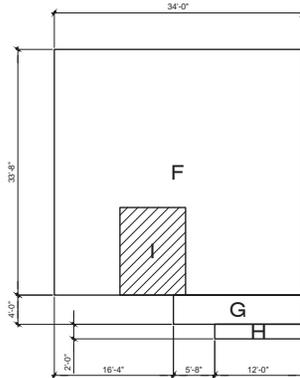
GENERAL NOTES

1. CONTRACTOR SHALL COMPLY WITH ALL CALIFORNIA RESIDENTIAL CODE (CRC) 2013, CALIFORNIA BUILDING CODE (CBC) 2013, CALIFORNIA MECHANICAL CODE (CMC) 2013, CALIFORNIA PLUMBING CODE (CPC) 2013, CALIFORNIA FIRE CODE (CFC) 2013, CALIFORNIA ELECTRICAL CODE (CEC) 2013, CALIFORNIA GREEN BUILDING CODE (CGBC) 2013, ENERGY EFFICIENCY STANDARDS TITLE 24
2. INSULATION AT ALL EXTERIOR WALLS, WALLS BETWEEN HOUSE AND GARAGE, WOOD FLOOR, FLOOR ABOVE GARAGE, AND CEILING SHALL BE PER T-24 CALC'S.
3. WALLS: R-11 AND R-13 INSULATION
CRAWL SPACE: R-19 INSULATION
ROOF ATTIC SPACE: R-38 INSULATION
STAPLE CERTIFICATE ADJACENT TO OVERHEAD DOOR ON INTERIOR OF GARAGE
4. VENTILATION REQUIRED: ATTIC MINIMUM OF 1300 OF ATTIC SPACE. PROVIDE A MINIMUM OF 50% AT ROOF WITH DORMER VENTS WITH THE BALANCE OF THE REQUIRED VENTING AT EAVES.
5. SITE DRAINAGE: NO DRAINAGE ACROSS OR ONTO ADJACENT PROPERTIES OR ON SITE WATER RETENTION. PROVIDE A MINIMUM 2% SLOPE ON PERVIOUS SURFACES AND 2% SLOPE ON IMPERVIOUS SURFACES WITHIN 10' OF STRUCTURE.
6. FOUNDATION: SOIL UNDER SLAB AND FOOTINGS TO BE 95% COMPACTED. ALL BEARING FOOTINGS SHALL EXTEND A MINIMUM OF 12" INTO UNDISTURBED SOIL, UNLESS OTHERWISE NOTED. FOUNDATIONS AND HOUSE SLAB SHALL BE 2000 PSI AT 28 DAYS. FLAT WORK SHALL BE 2000 PSI AT 28 DAYS. FINISH FLOOR SLAB SHALL BE A MINIMUM OF 4" ABOVE GRADE.
PROVIDE COPIES OF ANY COMPACTION OR SOILS ANALYSIS REPORTS TO THE BUILDING DEPARTMENT PRIOR TO THE FOUNDATION INSPECTION.
7. SILL PLATES WILL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
8. ALL EXTERIOR AND INTERIOR BEARING WALLS SHALL BE 2x4 D.F. WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED ON PLANS.
9. PROVIDE SOLID BLOCKING AT ALL FURRED CEILINGS AND SOFFITS AT WALLS.
10. AT ALL NON-BEARING WALLS PARALLEL TO ROOF TRUSSES THAT ARE UNBRACED FOR MORE THAN 6'-0" PROVIDE A 2x4 DIAGONAL BRACE FROM THE TOP PLATE TO THE TOP CHORD WITH A MINIMUM OF 2-16# EACH END.
11. BOTTOM CHORD OF TRUSSES TO BE BRACED AT 12" O.C. (MINIMUM).
12. ALL EXTERIOR DOOR AND WINDOW HEADERS SHALL BE 6x12 WITH DOUBLE TOP PLATE OVER, UNLESS OTHERWISE NOTED.
13. POWER DRIVEN FASTENERS: C20 #12x20, PNO #2x2 AS MANUFACTURED BY "HULTI", SPACING: 16" O.C. AT ALL BEARING WALLS, 36" O.C. AT ALL NON-BEARING WALLS.
14. EXTERIOR STUCCO - LA HABRA, THREE-COAT STUCCO SYSTEM. FINAL COAT TO HAVE INTERNAL COLOR.
15. STUCCO FINISHES AT EDGES SHALL INCLUDE THE FOLLOWING: DRIP SCREED, SUPERIOR #1 CASING HEAD, MILCOR #6 EXTERIOR CORNER, MILCOR #1 EXP. JOINT, INTERIOR CORNER, MILCOR #20 EXP. JOINT.
16. ALL WINDOWS SHALL BE DUAL GLAZED WITH VINYL FRAME. SEE ELEVATIONS FOR GRIDS.
17. ALL EXTERIOR SLIDING GLASS DOORS AND WINDOWS WITH SILLS WITHIN 18" OF THE FLOOR AND WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF AN EXTERIOR DOOR IN A CLOSED POSITION SHALL BE TEMPERED, H.S.-HORIZONTAL SLIDER, S.H.-SINGLE HING, OBS-OBSCURE, FXD.-FIXED, TEMP-TEMPERED, HLF. RND.-HALF ROUND.
18. SILL PLATES FOR NON-BEARING WALLS MUST BE ANCHORED TO SLAB WITH HARDENED CEMENT NAILS.
19. EXTERIOR SILL PLATES SHALL BE CALKED AT JOINTS WITH CONCRETE SLAB. CALK ALL OPENINGS IN EXTERIOR ENVELOPE, ALL JOINTS BETWEEN DISSIMILAR MATERIALS, AND AT JUNCTIONS OF MAJOR COMPONENTS.
20. PROVIDE ONE COAT HEAVY-BODIED ACRYLIC STAIN ON BARGE RAFTERS, FASCIA BOARDS, EXPOSED EAVES, AND WOOD TRIM.
21. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD. ANY CONFLICTS OR DISCREPANCIES ARE TO BE BROUGHT TO THE DESIGNER'S ATTENTION PRIOR TO CONSTRUCTION.
22. BACKFLOW PREVENTER REQUIRED ON ALL HOSE BIBBS.

FLOOR AREA DIAGRAM

FLOOR AREA LIMIT CALCULATION:	
AREA	S.F.
A	224.75
B	21.0
C	1675.0
D	662.0
E	725.25
1st FLOOR SUBTOTAL FLOOR AREA	
F	1144.5
G	70.5
H	24.0
I	1105.0
2nd FLOOR SUBTOTAL FLOOR AREA	
TOTAL FLOOR AREA	
4240.00	

LOT COVERAGE CALCULATION:	
AREA	S.F.
1ST FLOOR AREA	3109.00
TOTAL COVERAGE	3109.00



Upper Floor
scale: 1/8" = 1'-0"

Entry Floor
scale: 1/8" = 1'-0"

SHEET INDEX

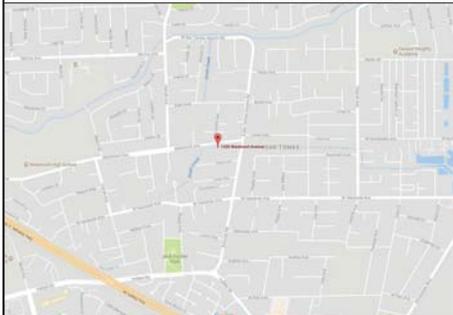
- | | |
|-----|--|
| T-1 | PROJECT DATA/GENERAL NOTES/SHEET INDEX/ FLOOR AREA CALCULATION |
| A-1 | SITE PLAN |
| L-1 | EXISTING/PROPOSED STREETSCAPE |
| L-1 | CONCEPTUAL LANDSCAPE PLAN |
| A-2 | PROPOSED FLOOR PLAN |
| A-3 | EXTERIOR ELEVATIONS |
| A-4 | EXTERIOR ELEVATIONS |
| A-5 | ROOF PLAN |
| A-6 | SECTIONS |

PROJECT DATA

PROJECT ADDRESS:	1330 WESTMONT AVE.
ZONING:	R-19
ASSESSOR PARCEL NUMBER:	430-14-010
CONSTRUCTION TYPE:	V/B
OCCUPANCY TYPE:	R-3U
NET LOT SIZE:	9,437 S.F.
GROSS LOT SIZE:	11,190 S.F.
DEMO EXISTING RESIDENCE:	900 S.F.
DEMO EXISTING GARAGE:	986 S.F.
PROPOSED ENTRY LEVEL:	3,109.0 S.F.
PROPOSED UPPER LEVEL:	1,130.0 S.F.
TOTAL FAR:	4,240.0 S.F.
GARAGE:	462 S.F.
TOTAL LOT COVERAGE:	3,109.5 S.F.
FRONT SETBACK AREA:	1,169 S.F.
FRONT YARD PAVING:	440 S.F. / 37.6%
REAR YARD:	3,630 S.F.
REAR YARD PAVING:	520 S.F. / 25.3%

SCOPE OF WORK:
DEMO EXISTING RESIDENCE AND DETACHED GARAGE. CONSTRUCT NEW 2-STORY RESIDENCE WITH ATTACHED 2-CAR GARAGE. PROVIDE NEW STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL AS NECESSARY AND SHOWN ON PLANS.

VICINITY MAP



DEFERRED APPROVALS

- DEFERRED APPROVALS ARE SUBJECT TO CITY'S APPROVAL.
- FIRE SPRINKLER SYSTEM TO BE SUBMITTED AND APPROVED UNDER A SEPERATE PERMIT.
 - HERS VERIFICATION REQUIRED FOR HVAC COOLING, HVAC DISTRIBUTION, AND HVAC FAN SYSTEMS. PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

SPECIAL INSPECTIONS

- ALL WORK REQUIRING INSPECTIONS MUST BE DONE BY CERTIFIED INSPECTION AGENCY.
- RETROFIT HOLDOWN ANCHORS MAY BE RESPECTED BY THE ENGINEER OF RECORD. THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLDOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTIONS.

FIRE DEPARTMENT NOTES

- THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 0.5".
- SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. SMOKE ALARMS SHALL BE INTERCONNECTED, RECEIVED THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP.
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING OR SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN SLEEPING UNITS THAT HAVE AN ATTACHED GARAGE. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE WELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.

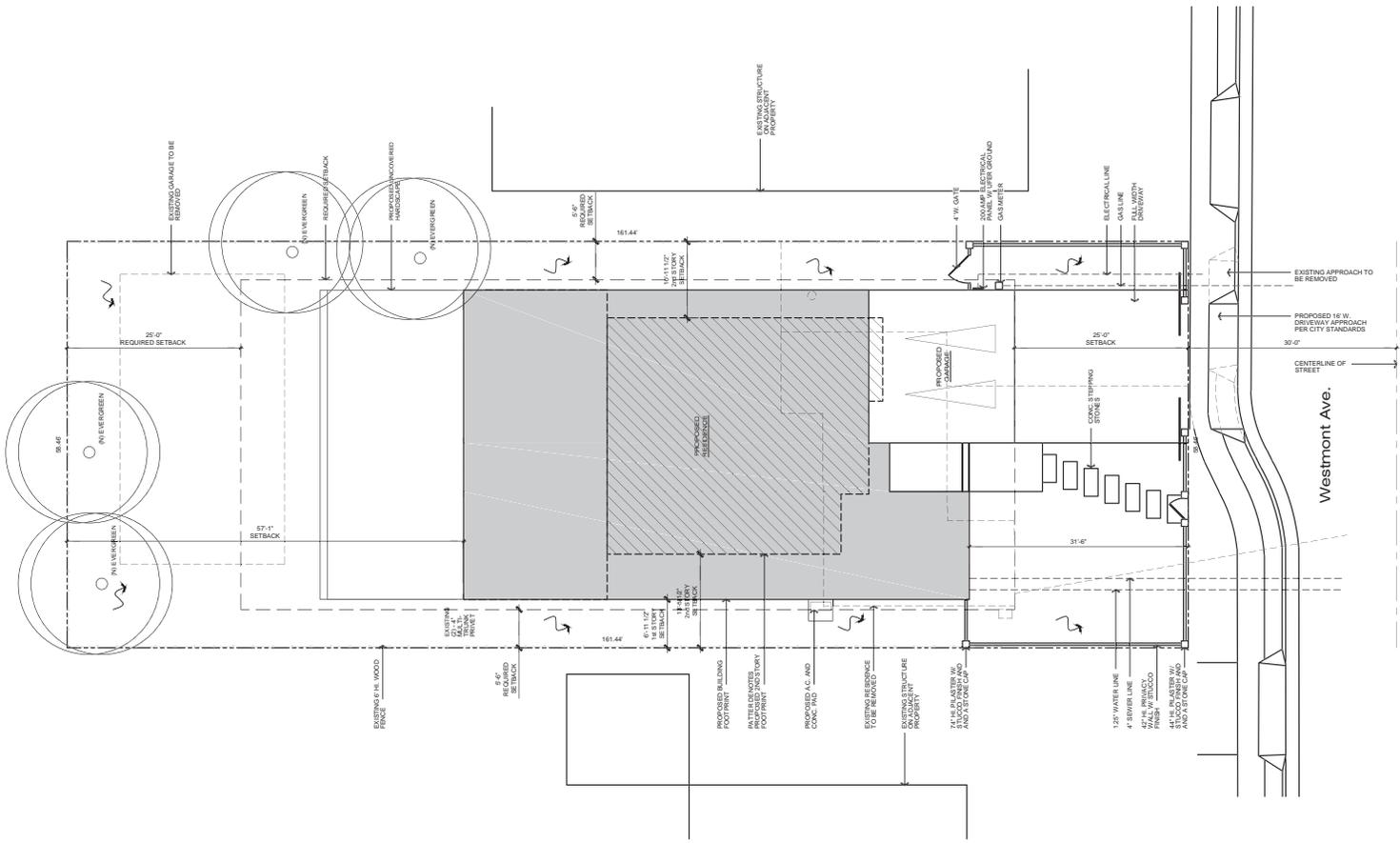
Date:	6/15/17
Drawn By:	DDW
Revisions:	
	▲
	▲
	▲
	▲
	▲
	▲

Title Sheet

Project No: 1712

Sheet No: T-1

of



Site Plan

scale: 1/8" = 1'-0"

- GENERAL NOTES:
- VERIFY LOCATION OF ALL UTILITIES AT JOB SITE.
 - SLOPE ALL FINISH GRADES A MIN. OF 2% FOR 5'-0" AWAY FROM STRUCTURE FOR DRAINAGE.
 - ALL DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOFS THAT WILL COLLECT AND DISCHARGE ROOF DRAINAGE TO THE GROUND SURFACE AT LEAST 5 FEET FROM FOUNDATION WALLS OR THE INTO AN APPROVED DRAINAGE SYSTEM.
 - THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10'-0" (CBC 1804.3).
 - ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2" (CRC 1808.7.4).
 - EAVE PROJECTIONS SHALL HAVE 1 HOUR FIRE-RESISTANCE RATING ON ALL EAVE PROJECTIONS THAT ARE LESS THAN 3'-0" FROM THE PROPERTY LINE. THIS IS NOT REQUIRED FOR EAVE PROJECTIONS GREATER THAN 3'-0" AS PRESCRIBED UNDER CRC SECTION R302 & TABLES R302.1(2).

WARREN DESIGN |
 571 E. CAMPBELL AVE., CAMPBELL, CA 95008 P. 650.469.2765 C. 200.524.7371

TAGARE RESIDENCE
1330 WESTMONT AVENUE
CAMPBELL CALIFORNIA

Date:	6/15/17
Drawn By:	DCW
Revisions:	
	▲
	▲
	▲
	▲
	▲

Site Plan

Project No: 1712

Sheet No: **A-1**

of

These drawings and the designs contained herein are the property of Warren Design, Inc. and shall remain the property of Warren Design, Inc. No part of these drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Warren Design, Inc.



1320



1330



1340

Westmont Ave.

Existing Streetscape

scale: 1/8"= 1'-0"



1320



1330



1340

Westmont Ave.

Proposed Streetscape

scale: 1/8"= 1'-0"

WARREN DESIGN |
5718 CAMPBELL AVE. CAMPBELL, CA 95008 P. 650.469.2765 C. 209.524.7371

These drawings and the designs they represent are the property of Warren Design and shall remain the property of Warren Design. No part of these drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Warren Design.

TAGARE RESIDENCE
1330 WESTMONT AVENUE
CAMPBELL CALIFORNIA

Date: 6/15/17

Drawn By: DCW

Revisions:

- ▲
- ▲
- ▲
- ▲

Streetscape

Project No: 1712

Sheet No: A-1.1

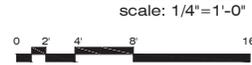
of

GENERAL NOTES:

1. WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIERS AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (U.N.O.)
2. ALL EXTERIOR HEADERS SHALL BE AT 6'-0" U.N.O.
3. ALL EXTERIOR DOORS SHALL BE AT LEAST 1" THICK
4. ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC. SHALL BE SAFETY TEMPERED
5. BEDROOM WINDOWS SHALL HAVE MAX 44" HIGH SILL & MIN. NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT W/ MIN. CLEAR OPENING OF 5.7 FEET
6. SHOWERS TO BE FINISHED WITH MOISTURE RESISTANT MATERIALS OVER A MOISTURE RESISTANT UNDERLAYMENT TO MIN. HEIGHT OF 7/2" ABOVE DRAIN W/ TEMPERED GLASS ENCLOSURES
7. PROVIDE THERMOSTATIC MIXING VALVE OR INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE AT ALL SHOWERS PER C.P.C.
8. WATER CLOSETS (TOILETS) SHALL USE NO MORE THAN 1.28 GALLONS/USH. KITCHEN FAUCET SHALL NOT EXCEED 1.8 GALS/ MIN. LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALS/ MIN. SHOWER HEADS SHALL NOT EXCEED 2.0 GALS/MIN.
9. WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.
10. PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES
11. WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER STRAPS SHALL BE LOCATED A MIN. OF 4" FROM ANY CONTROLS. WATER HEATER TO BE ON PLATFORM 18" MIN. A.F.F.
12. OPENINGS AROUND GAS VENTS, DUCTS & PIPING AT EACH FLOOR SHALL BE FIRE STOPPED
13. AIR DUCTS IN GARAGE THAT PASS THRU LIVING/ GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR THICKER
14. INSTALL PRE-FAB MTL. FIREPLACES PER MFG'S SPECS. PROVIDE I.C.C. APPROVED NUMBERS TO BUILDING DEPT. PRIOR TO INSTALLATION
15. PROVIDE FIRE-STOPS IN OPENINGS AT FLOOR & CEILINGS OF ALL FIREPLACES
16. PROVIDE AC/DC SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA ALL DETECTORS TO BE INTERCONNECTED TYPICAL
17. LANDINGS NO MORE THAN 7.75" LOWER THAN THRESHOLD FOR IN-SWINGING DOORS, & NO MORE THAN 1" FOR OUT-SWINGING & ENTRY DOORS. EXTERIOR LANDINGS TO BE 3'-0" DEEP MIN.
18. ALL GYPSUM BOARD TO 5/8" TYP. U.N.O



Proposed Entry Level Floor Plan



WARREN DESIGN |
579 E. CAMPBELL AVE. CAMPBELL, CA 95008 P. (950) 469-2700 F. (950) 334-1701

TAGARE RESIDENCE
1330 WESTMONT AVENUE
CAMPBELL CALIFORNIA

Date:	6/15/17
Drawn By:	DDW
Revisions:	
▲	
▲	
▲	
▲	
▲	

Proposed Floor Plans

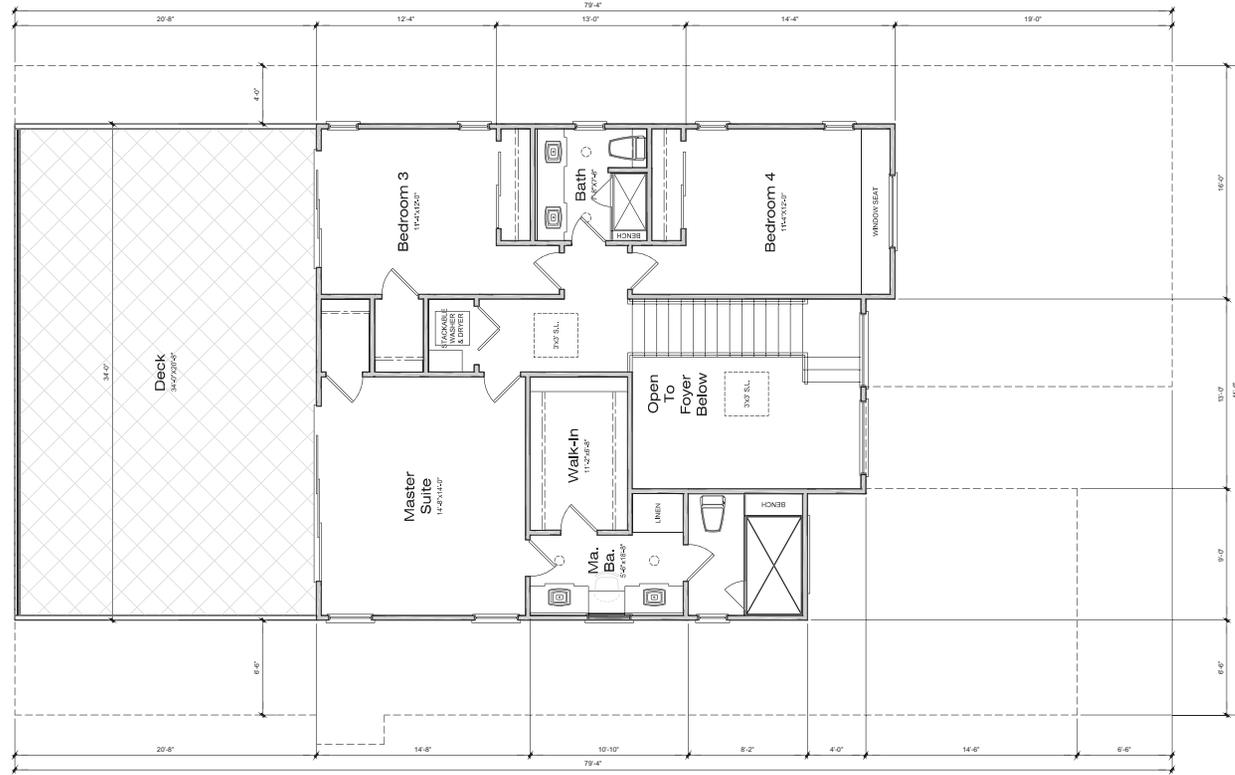
Project No: 1712

Sheet No: A-2

of

GENERAL NOTES:

1. WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIERS AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (U.N.O.)
2. ALL EXTERIOR HEADERS SHALL BE AT 6'-0" U.N.O.
3. ALL EXTERIOR DOORS SHALL BE AT LEAST 1" THICK
4. ALL GLASS DOORS, GLASS WITHIN 2' OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC. SHALL BE SAFETY TEMPERED
5. BEDROOM WINDOWS SHALL HAVE MAX 44" HIGH SILL & MIN. NET CLEAR OPENINGS OF 5.7 FEET
6. SHOWERS TO BE FINISHED WITH MOISTURE RESISTANT MATERIALS OVER A MOISTURE RESISTANT UNDERLAYMENT TO MIN. HEIGHT OF 7/2" ABOVE DRAIN W/ TEMPERED GLASS ENCLOSURES
7. PROVIDE THERMOSTATIC MIXING VALVE OR INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE AT ALL SHOWERS PER C.C.C.
8. WATER CLOSETS (TOILETS) SHALL USE NO MORE THAN 1.28 GALLONS/USH. KITCHEN FAUCET SHALL NOT EXCEED 1.8 GALS/ MIN. LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALS/ MIN. SHOWER HEADS SHALL NOT EXCEED 2.0 GALS/MIN.
9. WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.
10. PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES
11. WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER STRAPS SHALL BE LOCATED A MIN. OF 4" FROM ANY CONTROLS. WATER HEATER TO BE ON PLATFORM 18" MIN. A.F.F.
12. OPENINGS AROUND GAS VENTS, DUCTS & PIPING AT EACH FLOOR SHALL BE FIRE STOPPED
13. AIR DUCTS IN GARAGE THAT PASS THRU LIVING/ GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR THICKER
14. INSTALL PRE-FAB MTL. FIREPLACES PER MFG'S SPECS. PROVIDE I.C.C. APPROVED NUMBERS TO BUILDING DEPT. PRIOR TO INSTALLATION
15. PROVIDE FIRE-STOPPS IN OPENINGS AT FLOOR & CEILINGS OF ALL FIREPLACES
16. PROVIDE AC/DIC SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA ALL DETECTORS TO BE INTERCONNECTED TYPICAL
17. LANDINGS NO MORE THAN 7.75' LOWER THAN THRESHOLD FOR IN-SWINGING DOORS, & NO MORE THAN 11" FOR OUT-SWINGING & ENTRY DOORS. EXTERIOR LANDINGS TO BE 3'-0" DEEP MIN.
18. ALL GYPSUM BOARD TO 5/8" TYP. U.N.O.



Proposed Upper Level Floor Plan



scale: 1/4"=1'-0"



WARREN DESIGN |
579 E CAMPBELL AVE, CAMPBELL, CA 95008 P. (950) 469-2700, C. (203) 334-1701

TAGARE RESIDENCE
1330 WESTMONT AVENUE
CAMPBELL CALIFORNIA

Date:	6/15/17
Drawn By:	DDW
Revisions:	

Proposed Floor Plans

Project No: 1712

Sheet No: A-3

of



NOTE: 8'-0" TYP. HEADER HT. 2'-0" TYP. SILL 2'-0" TYP. SILL

G.I. DRIP SCREED, TYP. AT 4" ABV. GRADE (2" ABV. HANDSCOPE)

DECORATIVE FRONT DOOR - COLOR TO BE BLACK

APPROVED ADDRESS TO CONTRAST W/ BACKGROUND MIN. 4" H. W/ MIN. 1" STROKE

STEEL PANEL GARAGE DOOR - COLOR TO BE WHITE

Front Elevation

scale: 1/4" = 1'-0"



Right Elevation

scale: 1/4" = 1'-0"



WARREN DESIGN | 509 E CAMPBELL AVE. CAMPBELL, CA 95008 P. 650.469.2700 C. 200.534.7271

TAGARE RESIDENCE
1330 WESTMONT AVENUE
CAMPBELL, CALIFORNIA

Date:	6/15/17
Drawn By:	DDW
Revisions:	

Proposed Exterior Elevations

Project No: 1712

Sheet No: A-4

of



Rear Elevation

scale: 1/4" = 1'-0"



Left Elevation

scale: 1/4" = 1'-0"



WARREN DESIGN |
529 E CAMPBELL AVE. CAMPBELL, CA 95008 P. 650.469.2700 C. 200.534.7371

THIS DRAWING IS THE PROPERTY OF WARREN DESIGN AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF WARREN DESIGN.

TAGARE RESIDENCE
1330 WESTMONT AVENUE
CAMPBELL CALIFORNIA

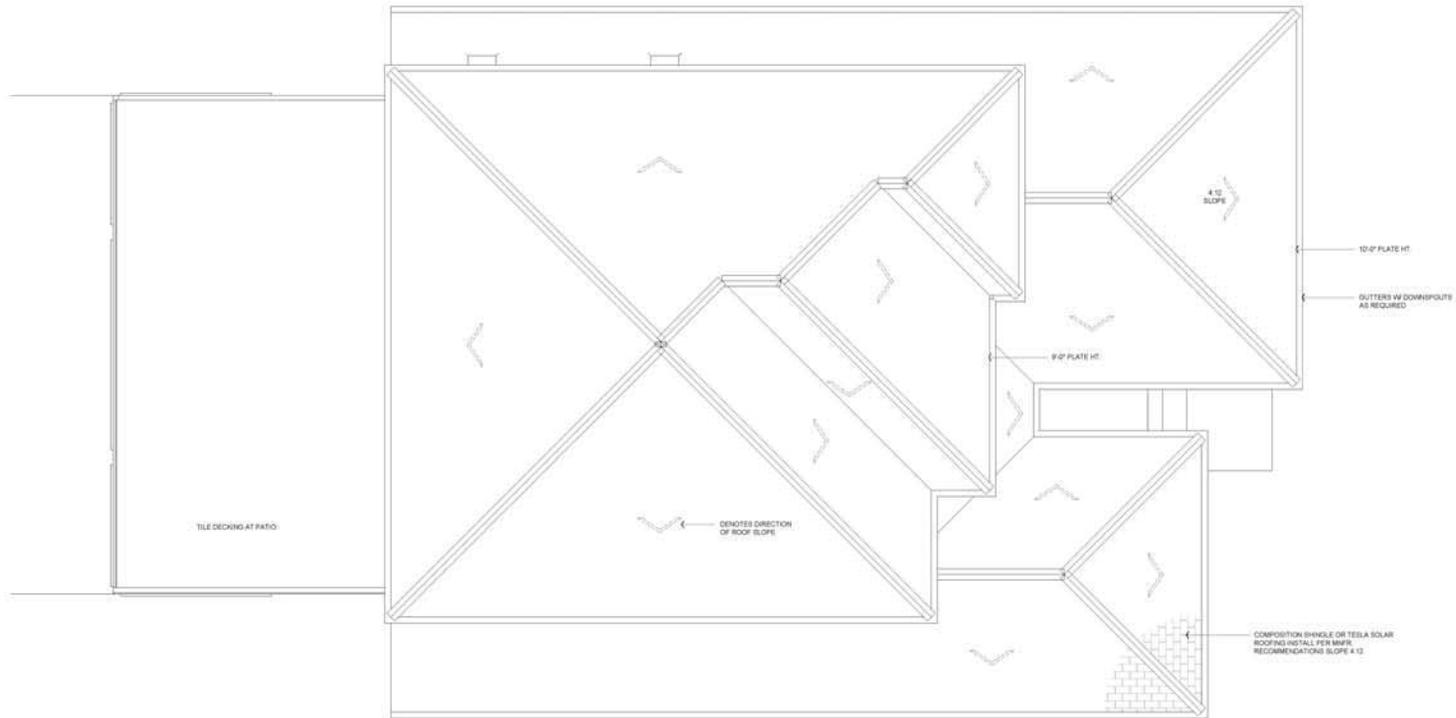
Date:	6/15/17
Drawn By:	DDW
Revisions:	
▲	
▲	
▲	
▲	

Proposed Exterior Elevations

Project No: 1712

Sheet No: A-5

of



Roof Plan

scale: 1/4"=1'-0"

- ROOF PLAN NOTES**
- ROOF SLOPE IS TO BE 4:12 UN-D
 - ARROWS INDICATE DIRECTION OF ROOF SLOPE
 - PLATE HEIGHT IS TO BE 10'-0" ENTRY LEVEL AND 9'-0" AT UPPER LEVEL
 - DOWNSPOUTS ARE TO BE 24" AT GABLES
 - PROVIDE EARSE VENTS FOR ATTIC VENTILATION PER C.R.C. TYPICAL
 - INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED
 - INSTALL "YOGEE" GUTTERS W/ DOWNSPOUTS AS REQUIRED TO MATCH EXISTING
 - PROVIDE CONCRETE SPLASH BLOCKS AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE - TYPICAL

Date:	07/6/17
Drawn By:	DCW
Revisions:	
	▲
	▲
	▲
	▲
	▲

Roof Plan

Project No: 1712

Sheet No: **A-6**

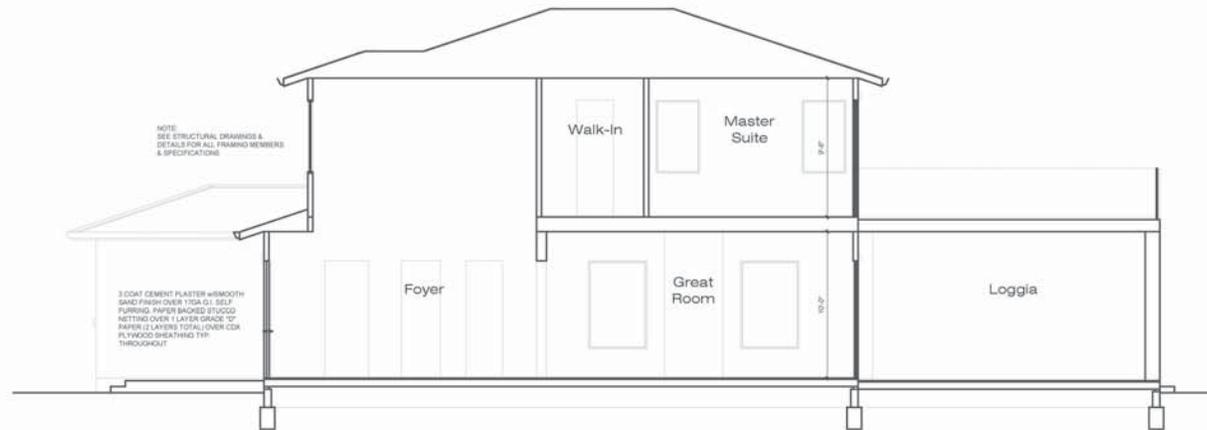
NOTE:
2x4 EXTERIOR WALL: R-11 AND R-13 INSULATION
ROOF ATTIC SPACE: R-30 INSULATION

- NOTE:
1. ALL SHEARWALLS TO BE FRAMED TO BOTTOM OF ROOF SHEATHING - TYP.
 2. FIRE STOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS PER CBC:
 - 2a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FINISHED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 15-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
 - 2b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND OVER CEILING.
 - 2c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
 - 2d. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
 - 2e. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.



Section A-A

scale: 1/4"=1'-0"



Section B-B

scale: 1/4"=1'-0"

WARREN DESIGN |
518 E CAMPBELL AVE. CAMPBELL, CA 95008 P. 408.483.2192 C. 209.534.3371

TAGARE RESIDENCE
1330 WESTMONT AVENUE
CAMPBELL CALIFORNIA

Date: 6/15/17

Drawn By: CCW

Revisions:

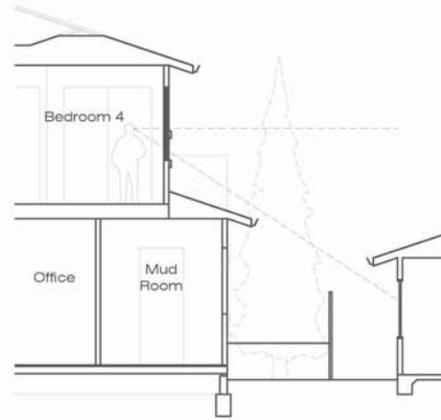
- ▲
- ▲
- ▲
- ▲

Sections

Project No: 1712

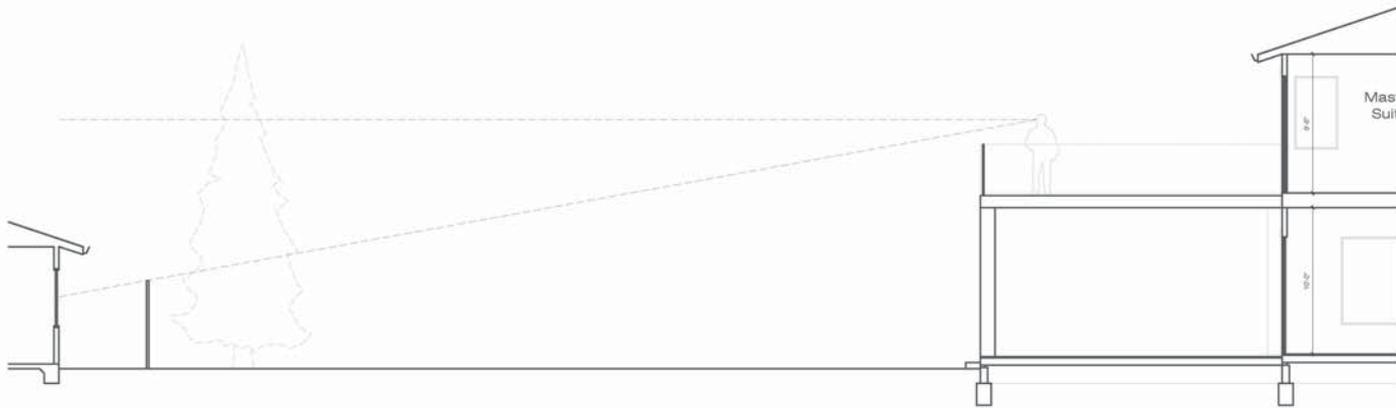
Sheet No: A-7

of



Section A-A

scale: 1/4"=1'-0"



Section B-B

scale: 1/4"=1'-0"

WARREN DESIGN |
518 E CAMPBELL AVE. CAMPBELL, CA 95008 P. 408.483.2100 C. 209.534.3371

These drawings and the design information contained herein are the property of Warren Design and shall remain the property of Warren Design. No part of these drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Warren Design.

TAGARE RESIDENCE
1330 WESTMONT AVENUE
CAMPBELL CALIFORNIA

Date: 6/15/17

Drawn By: CCW

Revisions:

- ▲
- ▲
- ▲
- ▲

Views

Project No:
1712

Sheet No:
A-7.1

of

