



CITY OF CAMPBELL
Community Development Department

November 22, 2017

NOTICE OF ADMINISTRATIVE SITE AND ARCHITECTURAL REVIEW PERMIT

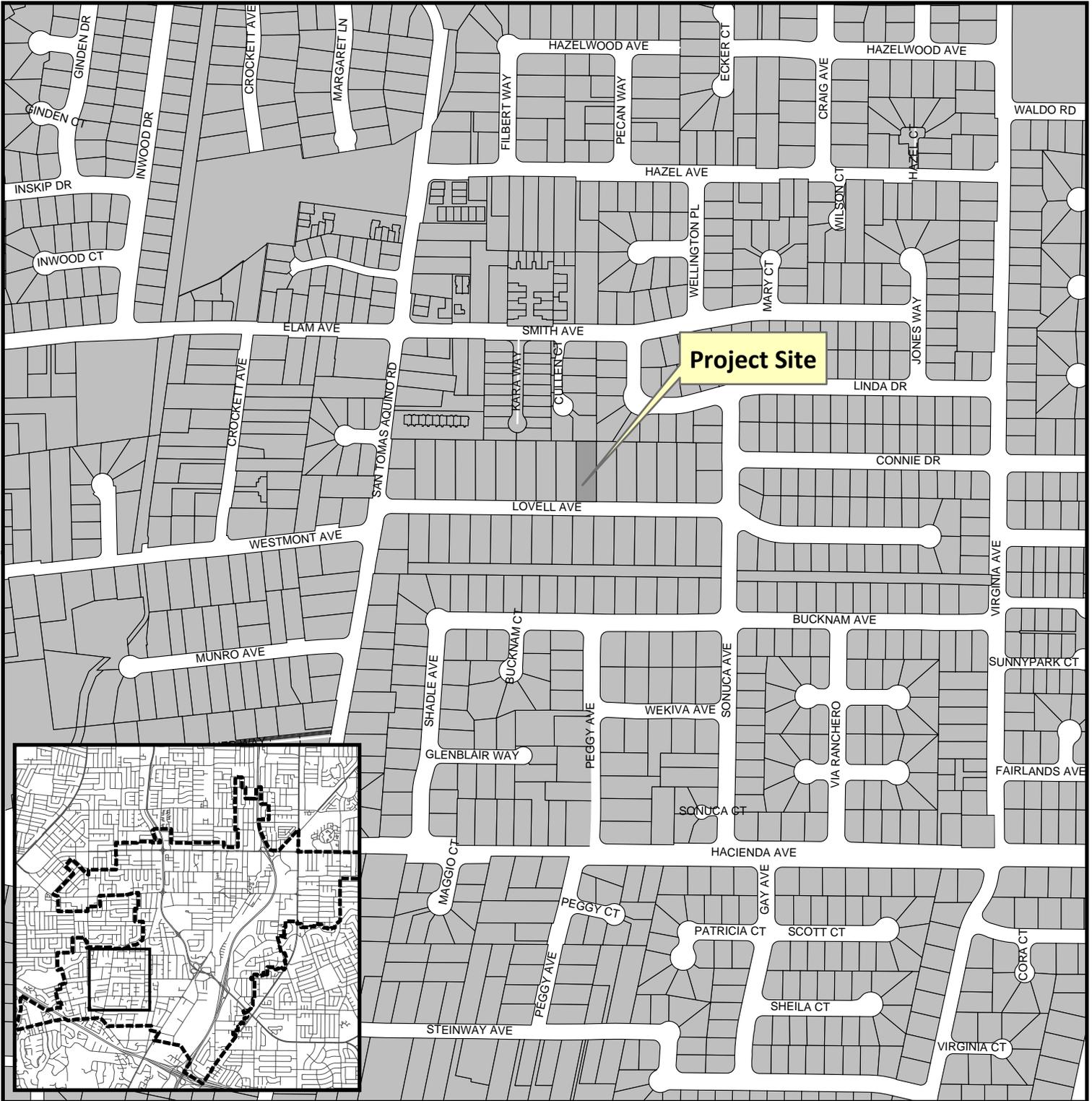
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

File No.: PLN2017-339
Applicant: Marta Andersson
Project Address: 1133 Lovell Avenue
Property Owner: Deepak Nadig & Sunitha Kuman
Zoning District: R-1-6 (Single-Family Residential)
General Plan: Low Density Residential
Project Description: An approximately 475 square-foot one-story front addition and a 640 square foot attached rear garage to an existing one-story single-family residence

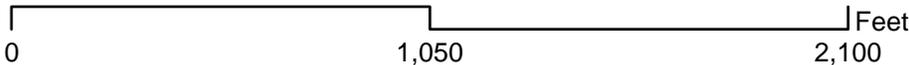
This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on November 24, 2017 and ends on December 4, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **December 4, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Victoria Hernandez, Assistant Planner, in the Community Development Department, at (408) 866-2732 or by email victoriah@cityofcampbell.com.

Project Location Map



Project Location: 1133 Lovell Avenue
Application Type: Admin. Site and Arch.
Planning File No.: PLN2017-339



Community Development Department
Planning Division

NADIG- KUMAR RESIDENCE

1133 LOVELL AVE

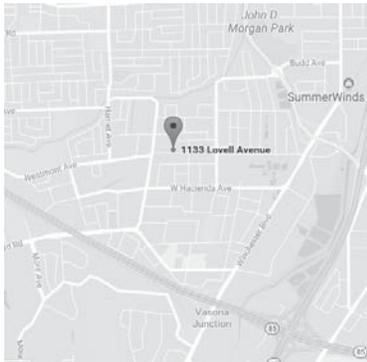
CAMPBELL, 95008

APPLICABLE CODES

ALL WORK SHALL COMPLY TO:

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA MECHANICAL AND PLUMBING CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA GREEN BUILDING CODE
- 2016 FIRE CODE

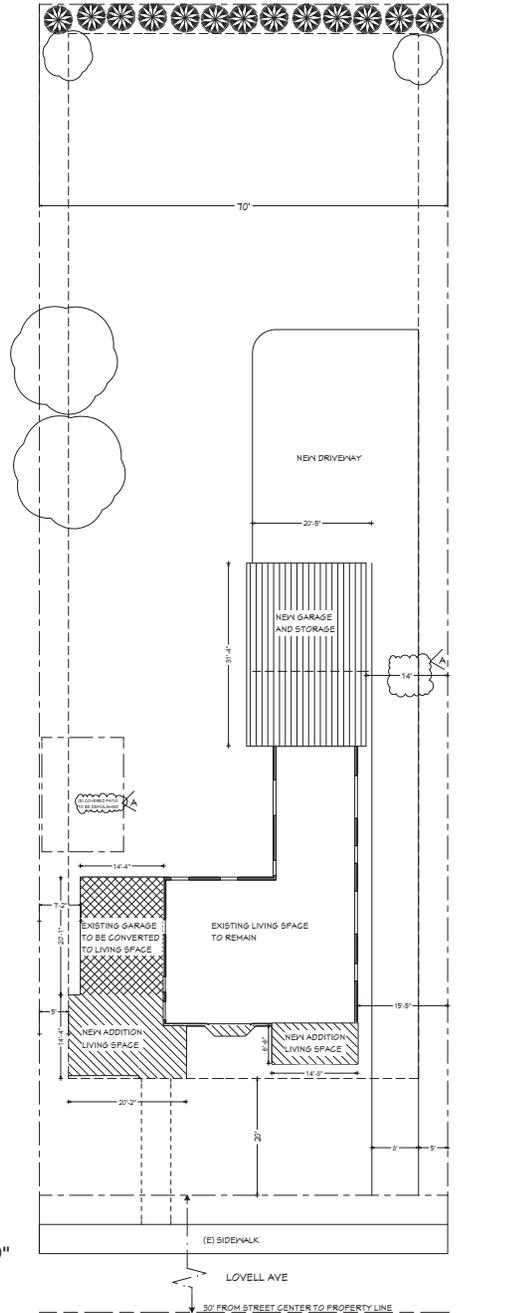
VICINITY MAP



SCOPE OF WORK

- NEW ADDITIONS TO SINGLE FAMILY HOME
- NEW GARAGE AND DRIVEWAY
- GARAGE CONVERSION
- NEW BAY WINDOW
- NEW BATHROOM
- NEW EL PANEL AND LIGHTING

SITE PLAN
SCALE 1/10"=1'-0"



PROJECT DATA

PROJECT ADDRESS:
1133 LOVELL AVE
CAMPBELL, CA 95008
APN #:406-06-035
ZONING: R-1-6, SAN THOMAS AREA
OCCUPANCY: R-3/U
CONSTRUCTION: V-B

LOT SIZE: 14,280 SQ FT
EXISTING LIVING AREA: 1,164 SQ FT
NEW LIVING AREA
INCLUDING CONVERTED GARAGE: 784 SQ FT
TOTAL NEW LIVING AREA: 1,948 SQ FT

EXISTING NON HABITABLE AREA
TO BE CONVERTED INTO LIVING SPACE: 286 SQ FT
NEW NON HABITABLE AREA: 640 SQ FT
TOTAL NEW NON HABITABLE AREA: 640 SQ FT

TOTAL FLOOR AREA COVERAGE: 2,588 SQ FT

FAR= 19 %

OWNER: DEEPAK NADIG & SUNITHA KUMAR
(408)476 5212

DESIGN: CAL DESIGN STUDIO LLC
(408)998 3200, (408)221 1792

SHEET INDEX

- P1 SITE PLAN, PROJECT DATA
- A0 LANDSCAPING AND DRAINAGE PLAN
- A1 DEMOLITION PLAN
- A2 FLOOR PLAN, ROOF PLAN
- A3 ELEVATIONS, SECTIONS

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION
	A			GARAGE LOCATION, DOWNSPROUTS, INTERIOR REMOVAL, COVERED PATIO, DECK

NADIG-KUMAR RESIDENCE
1133 LOVELL AVE
CAMPBELL, 95008

SITE PLAN
PROJECT DATA



DATE:

11/20/17

SCALE:

1/10"=1'-0"

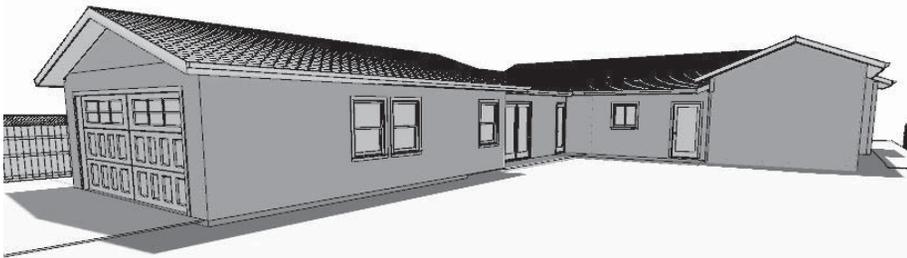
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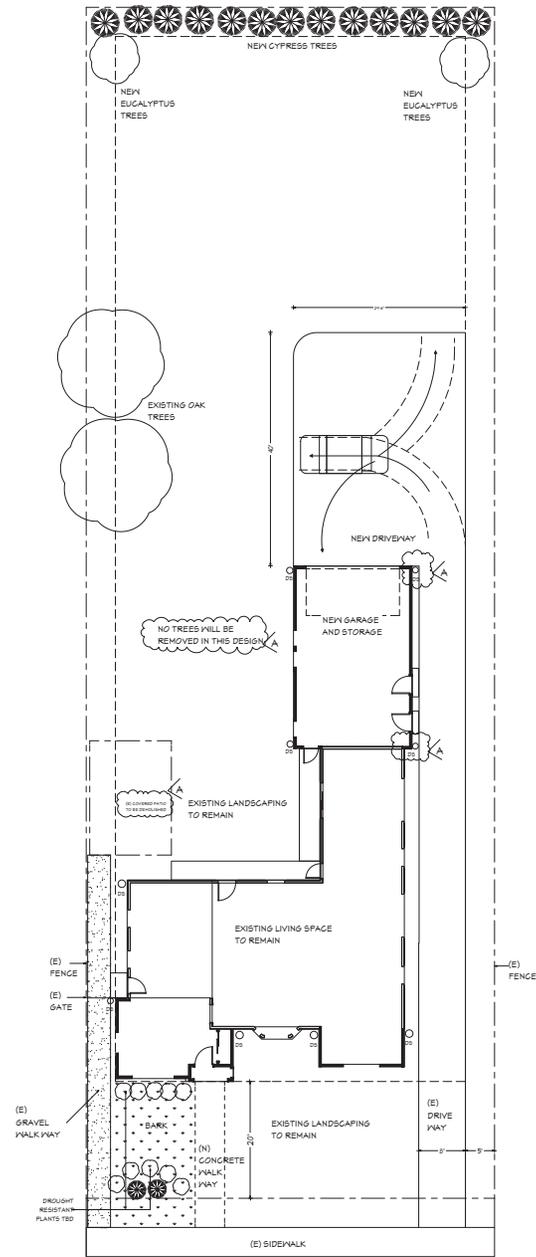
DESIGN
P.O. BOX 478
SARATOGA, CA 95071
E1000 LLC
(408)998 3200



FRONT YARD PERSPECTIVE



BACK YARD PERSPECTIVE



LANDSCAPING & DRAINAGE PLAN
SCALE 1/10"=1'-0"

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION
	A	11/20/17	JA	GARAGE LOCATION, DOWNSPOUTS, NO TREE REMOVAL, COVERED PATIO, BEING

NADIG-KUMAR RESIDENCE
1193 LOVELL AVE
CAMPBELL, 95008

LANDSCAPING PLAN
DRAINAGE PLAN



DATE:
11/20/17

SCALE:
1/10"=1'-0"

SHEET:
A0

GENERAL NOTES

1. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM WITH REQUIREMENTS TO THE 2016 CBC, 2016 CGC, 2016 CEC, 2016 CMG.
2. NOTES AND DETAILS ON DRAWING SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
3. DIMENSIONS INDICATED ARE THE DIMENSIONS TO BE USED. DO NOT SCALE THE DRAWINGS.
4. NO CHANGES ARE TO BE MADE TO THE PLANS WITHOUT THE KNOWLEDGE OF THE ENGINEER WHOSE SIGNATURE APPEARS HEREIN.
5. THE DESIGN ADEQUACY AND THE SAFETY OF THE ERECTION, BRACING, SHORING AND THE TEMPORARY SUPPORTS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF SHEAR WALLS, ROOFS AND DIAPHRAGMS AND FINISH MATERIAL. HE SHALL PROVIDE ALL NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO APPLICATION OF THE AFOREMENTIONED COMPONENTS.
6. THE GENERAL CONTRACTOR SHALL INSURE THAT THERE IS A FULL TIME SUPERINTENDENT AT THE JOB SITE AT ALL TIMES.
7. PROVIDE SPECIAL INSPECTION FOR ALL TIMES AS REQUESTED BY UICAND LOCAL CODE AUTHORITY.
8. OWNER'S BUILDER/GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS SUCH AS DIMENSIONS, BUILDING SETBACK, ELECTRICAL, MECHANICAL AND PLUMBING CONDITIONS PRIOR TO START ANY WORK.

ENVIRONMENTAL NOTES

- 4.504.1 COVER ALL DUCT OPENINGS AND OTHER RELATED AIR INTAKE AND DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION. TAPE PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS ENTERING THE SYSTEM MAY BE USED.
- 4.504.2.2 ARCHITECTURAL PAINT STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH LOW VOC LIMITS IN TABLE 1 OF THE AIR RESOURCE BOARD ARCHITECTURAL SUGGEST CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3
- 4.502.3 AEROSOL PAINT AND COATINGS SHALL MEET THE PRODUCT WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(3) AND OTHER REQUIREMENTS. INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES IN SECTION 94522(C)(2) AND (D)(2) OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 17, AND IN THE AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT SHALL ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.
- 4.504.4 MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4
- 4.504.5 PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD AND HARDBOARD PLY USED IN THE EXTERIOR OR THE INTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN SECTION 4.504.5
- 4.505.3 CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE.
- 4.506.1 ALL EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. THEY SHALL BE CONTROLLED BY A MANUAL OR AUTOMATIC HUMIDITY CONTROL WITH A HUMIDITY RANGE OF 50% MIN TO 80% MAX. THE HUMIDITY CONTROL IS NOT REQUIRED TO BE INTEGRAL TO THE EXHAUST FAN.
- 4.507.2 DUCT SYSTEMS ARE SEIZED. DESIGNED AND EQUIPMENT IS SELECTED PER SECTION 4.507.2 HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.

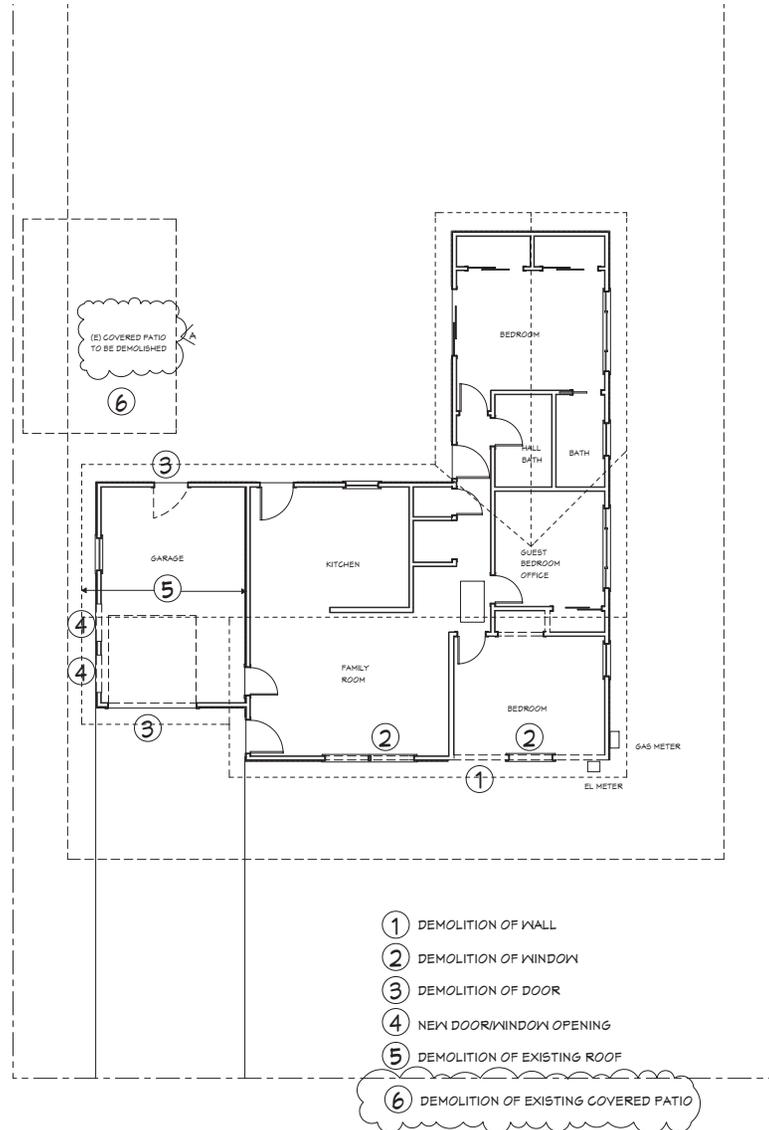
WINDOW AND GLAZING NOTES

WINDOWS

1. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS. BATHROOMS SHALL BE PROVIDED WITH WINDOW GLAZING AREA NOT LESS THAN 3 SQ. FT. ONE HALF OF WHICH MUST BE OPERABLE.
2. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS WITH AN AREA NO LESS THAN 1/20TH OF THE FLOOR AREA OF SUCH ROOMS WITH A MINIMUM OF 5 SQ OR MECHANICAL SYSTEM.

GLAZING

3. ALL GLASS AND GLAZING SHALL COMPLY WITH THE US SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS AND FEDERAL SPECIFICATIONS.
4. ALL WINDOWS AND SLIDING DOORS MUST BEAR A PERMANENT OF TEMPORARY LABEL SUBSTANTIATING COMPLIANCE WITH: "LOW E" WITH SHGC OF 0.40 OR BETTER "U FACTOR" OF 0.25 OR BETTER
5. GLAZING AT DOOR WITHIN 24" OF A DOOR AND OVER TUBS OR SHOWERS SHALL BE TEMPERED GLASS.
6. GLASS ENCLOSURES FOR SHOWER AND TUB SHALL BE TEMPERED GLASS.
7. GLAZING CLOSER TO FINISHED FLOOR THAN 18" SHALL BE TEMPERED GLASS.



DEMOLITION PLAN

SCALE 3/16"=1'-0"

REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER DATE	BY	DESCRIPTION
A	IA	NO REVISIONS
		NO REVISIONS

NADIG-KUMAR RESIDENCE
1193 LOVELL AVE
CAMPBELL, 95008

DEMOLITION FLOOR PLAN

Cal DESIGN
P.O. BOX 478
SARATOGA, CA 95071
(408) 998-1200

DATE:

11/20/17

SCALE:

3/16"=1'-0"

SHEET:

A1

