



CITY OF CAMPBELL
Community Development Department

September 22, 2017

NOTICE OF MASTER SIGN PLAN

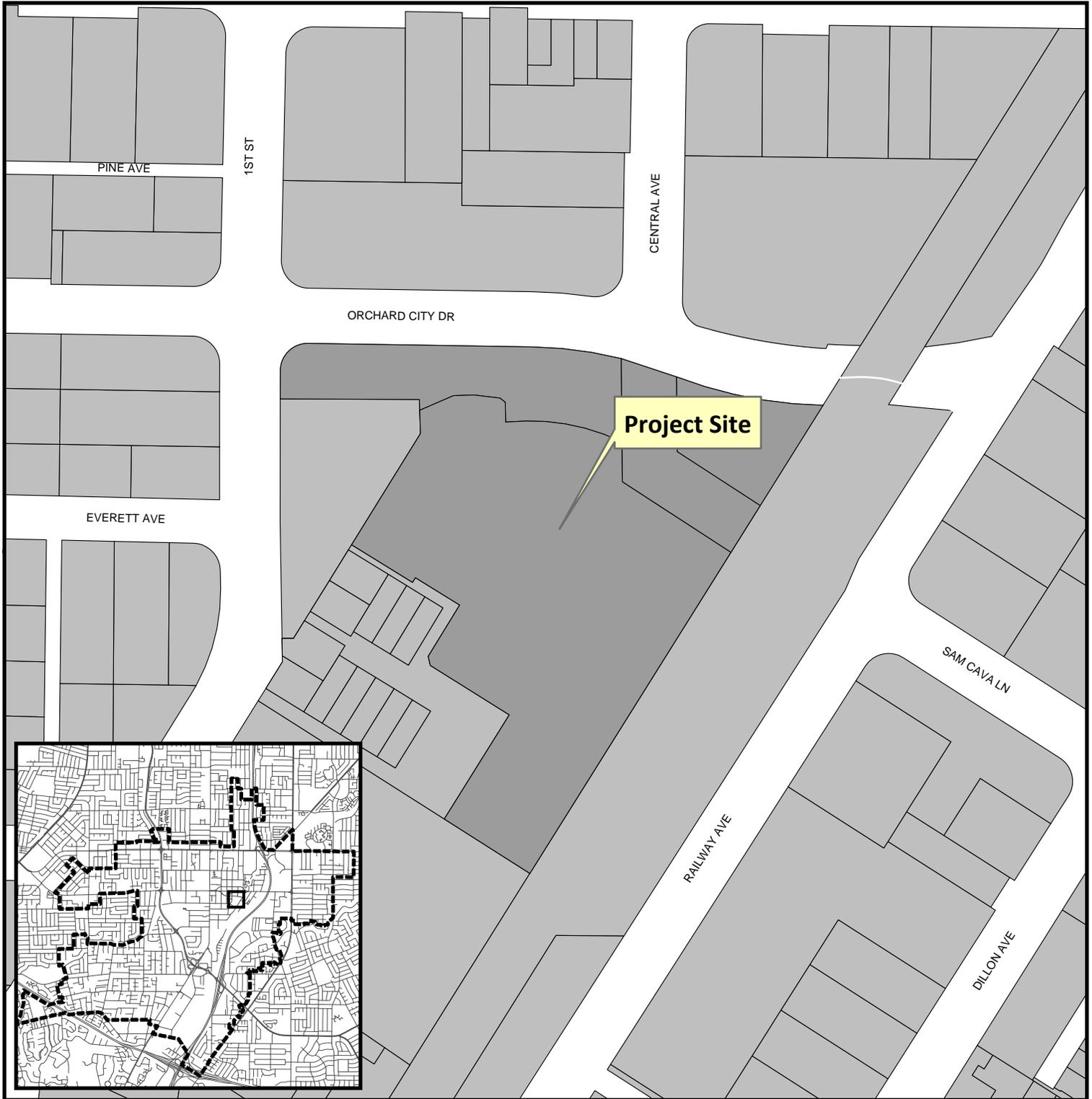
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for a Master Sign Plan Permit for the following project proposal:

File No.: PLN2017-187
Applicant: Richard Luchini
Project Address: 300 Orchard City Drive
Property Owner: Jonel Porta on behalf of Four Corner Properties
Zoning District: P-D (Planned Development)
General Plan: Central Commercial
Project Description: Master Sign Plan for an existing office/commercial complex (d.b.a. The Cannery) to establish a comprehensive signage program.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on September 23, 2017 and ends on October 3, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **October 3, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Stephen Rose, Associate Planner, in the Community Development Department, at (408) 866-2142 or by email stephenr@cityofcampbell.com.

Project Location Map

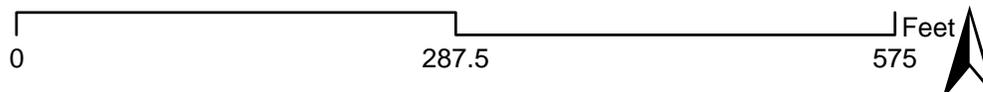


Project Location: 300 and 307 Orchard City Drive

Application Type: Master Sign Plan

Planning File No.: PLN2017-187

Brief Description.: To establish a new Master Sign Plan for "The Cannery" (formerly Water Tower Plaza).



Community Development Department
Planning Division



THE CANNERY

AT 300 ORCHARD

300 Orchard City Drive

Master Sign Program
August 2017

Prepared for:



Prepared by:



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Project

The Cannery at Water Tower Plaza Sign Program and Tenant Guidelines
 300 Orchard City Drive Campbell, Ca 95008

Drawing Title

Table of Contents

Sheet Number:

SECTION 1

PURPOSE AND INTENT

The following Master Sign Program has been established for the purpose of assuring a consistent sign program for the mutual benefit of all Tenants and the Project Identification. The visual harmony of all exterior tenant signs shall generally be uniform. The intent is to provide each business a tasteful signage solution to improve the marketability of the entire project as well as individual businesses. Standards have been set to regulate signage details including size, location, materials and methods of attachment, including maintenance and durability, etc. Conformity with these criteria will be enforced by the building ownership and the City of Campbell.

GENERAL CRITERIA

1. The square footage of individual letters & logo(s) includes the area contained within a rectangular box drawn completely around each letter or logo(s).
2. All signs must meet or exceed all applicable codes (ie: electrical, structural, etc.)
3. Prior to manufacture of any sign within the project, the tenant shall submit to ownership for approval, three (3) sets of detailed drawings. These drawings shall include the building elevation to which the signs are to be attached, sign dimensions, graphics, location, colors, and method of attachment. This approval must be obtained prior to submittal to the City. Note – All submittals must be accompanied by a completed permit application. Note: All Drawings must be provided in 11 x 17 format.
4. All signs shall be reviewed for conformance with this criteria and overall design quality. Ownership approval does not relieve the Tenant nor their subcontractors/vendors or suppliers with the requirements of Cities sign ordinance, the sign criteria, the terms of the lease, codes, standards, or the law.
6. Each tenant shall pay all costs for its signs including manufacture, installation, electricity, maintenance and city permits.
7. Each tenant's shall be fully responsible for and repair any damage or discoloration caused to any surface by the installation or removal of signage. Prior to tenant vacating the premises, Tenant shall remove all storefront and window signage and Tenant shall patch, repair, restore, and repaint the building facade (if necessary) so as to restore facade to its original condition. If Tenant fails to remove its signage and restore the facade by the expiration or termination date of the Lease, Ownership may elect to perform the work and invoice the Tenant for its cost plus an administrative fee.
8. Ownership reserves the right, but is not obligated to hire an independent electrical engineer, at Tenant's sole expense, to periodically inspect the installation of all tenant's signs. Tenants will be required to have any discrepancies and/or code violations corrected at tenant's expense. Any code violations, requests for sign removals, or discrepancies not corrected within fifteen (15) days of notice, may be corrected by the Ownership at tenant's expense.
9. Tenant's sign contractor shall carry workman's compensation and public liability insurance against all damage suffered or done by any and all persons and/or property while engaged in the construction or erection of signs in the amount of no less than \$1,000,000 per occurrence.

PROHIBITED SIGNS

1. Temporary signs, inflatable signs, placard and flags of any type shall be prohibited, except as otherwise previously approved by the Landlord and City prior to displaying. Note: This shall include all signs prohibited by the City of Campbell Municipal code.
2. No animated, flashing, audible, off-premise, or vehicle signs are allowed.

SIGN CONSTRUCTION

1. Sign contractor shall repair any damage caused by his work. Damage to structure that is not repaired by the Sign Contractor shall become the tenant's responsibility to correct.
2. Tenant shall be fully responsible for the operations of his/her sign contractor, and shall indemnify, defend and hold harmless, the landlord and it's agents and all parties from damages or liabilities an account thereof.
3. Surfaces which are intended to be flat shall be without bulges, oil-canning, or other deformities.
4. Any welded seams on sign faces shall be finished smooth.
5. All penetrations of exterior fascia to be sealed watertight, and finished to match adjacent material; subject to Landlord's approval.
6. All signs shall be kept in good condition, be legible, adequately repaired, maintained, and painted by the tenant at all times. All repairs shall be equal in quality and design to the original signs. The standards for maintenance and repair of signs that which will assure the highest visual quality.
7. All exterior signs shall be secured by concealed fasteners, stainless steel, nickel or cadmium plated.
8. If applicable, exterior wall mounted signs shall be mounted 1" from the building for proper drainage.

SIGN DESIGN

1. Signage shall be:
 - A. Non illuminated 3" deep fabricated letters on tenant awning or non-illuminated wall mounted signs, mounted above or adjacent to the tenant primary entrance, unless otherwise specified in these criteria and approved by the Landlord and the City of Campbell Planning Department.
2. Signs shall be designed in a manner that is consistent with the following exhibits included in this sign program. In the event of a conflict between the text and the exhibit, the text shall prevail.
3. Tenant's signage shall consist of the name of the business occupying the space as well as the business logo. Use of the Logo is optional.
4. Notwithstanding the maximum square footages specified for copy area allowances, signs and typography in all cases shall appear balanced and in scale within the context of the sign space and the building as a whole.

SECTION 2

TENANT IDENTIFICATION SIGNAGE

This Master Sign Program specifically limits allowable sign square footage even where CMC municipal code may provide for a greater signage allowance. It is not the intent of this Master Sign Program to allow for a greater sign area or number of signs than is allowed by the Campbell Municipal Code. The following design parameters maintains compliance criteria and allows small and large leaseholders a great degree of flexibility in designing their business identification signage.

Each perimeter (parking lot/street facing) tenant shall install a one (1) set of non illuminated individual fabricated letters with a maximum letter height of 24", minimum letter height of 12", this may include a logo, however, the logo shall not exceed 32" in height, mounted on awning or fascia above or adjacent to the primary entrance. Letter returns to be a maximum of 3" deep. Signs shall not exceed 70% of the width of the leasehold store front and/or canopy width whichever is lesser. Tenants shall be granted a minimum of 20 square-feet of signage, and up to 50 square feet of sign area, with one square-foot of sign area allotted for every linear foot of tenant space frontage consistent with the City's Sign Ordinance. Tenant to provide clear exhibit showing lease lines and/or a linear measurement of their canopy width as applicable to demonstrate compliance with these requirements. See Exhibit A

There will be a painted Project Identification Sign (PI) located on the north elevation of Building G. This feature will be applied to wall so as to appear weathered. See Exhibit B

Note: These signage zones could be used as project identification signs or architectural address signs.

TENANT ENTRY VINYL LETTERING (TYPICAL)

Each tenant shall be permitted to place on their primary entry doors, one (1) set of business ID vinyl (Scotchcal #3680-20 White) lettering, letter style to be Helvetica. Copy/Logo shall not exceed 2 square feet in area , indicating tenant name and hours of business, emergency telephone numbers, etc. See Exhibit C

WALL & FREE STANDING DIRECTIONAL SIGN

There will be two (2) directories. These will assist in navigating the project and directing people to the down town area. See Exhibit D

SECTION 3

PROPERTY OWNER SUBMITTAL

Please allow approximately two (2) weeks for the approval process. Upon approval, a signed permit application and letter shall be provided to Tenant by Landlord. The signed application must be presented to the Campbell Planning Department to obtain the Tenant's sign permit prior to manufacture of any signage.



Project

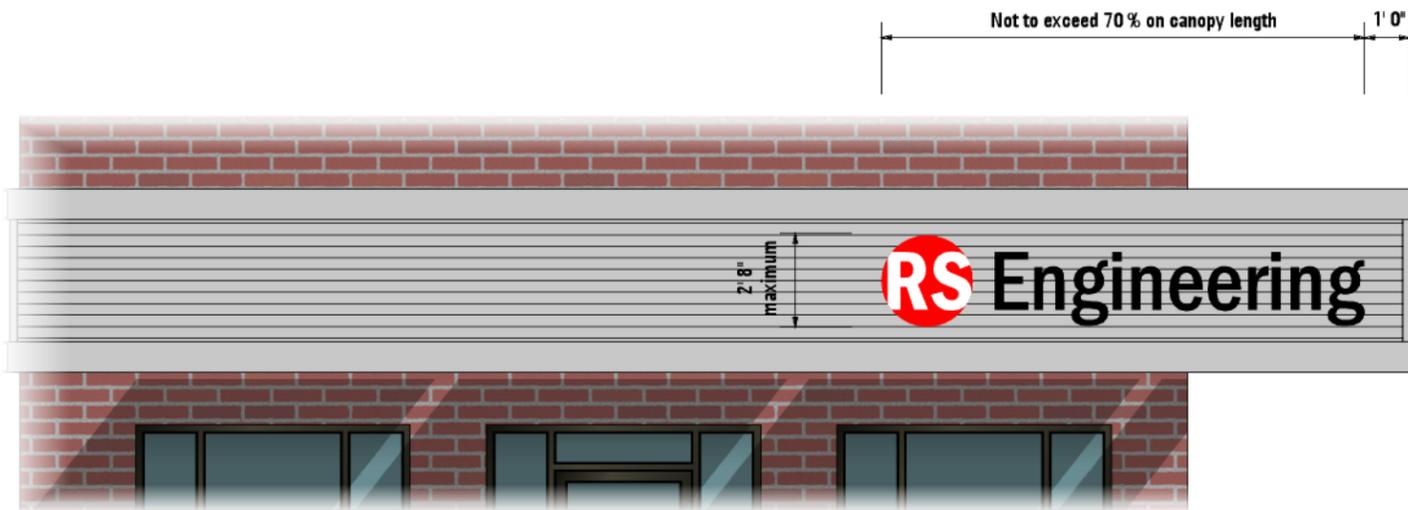
The Cannery at Water Tower Plaza Sign Program and Tenant Guidelines
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Drawing Title

General Guidelines
General Construction

Sheet Number:

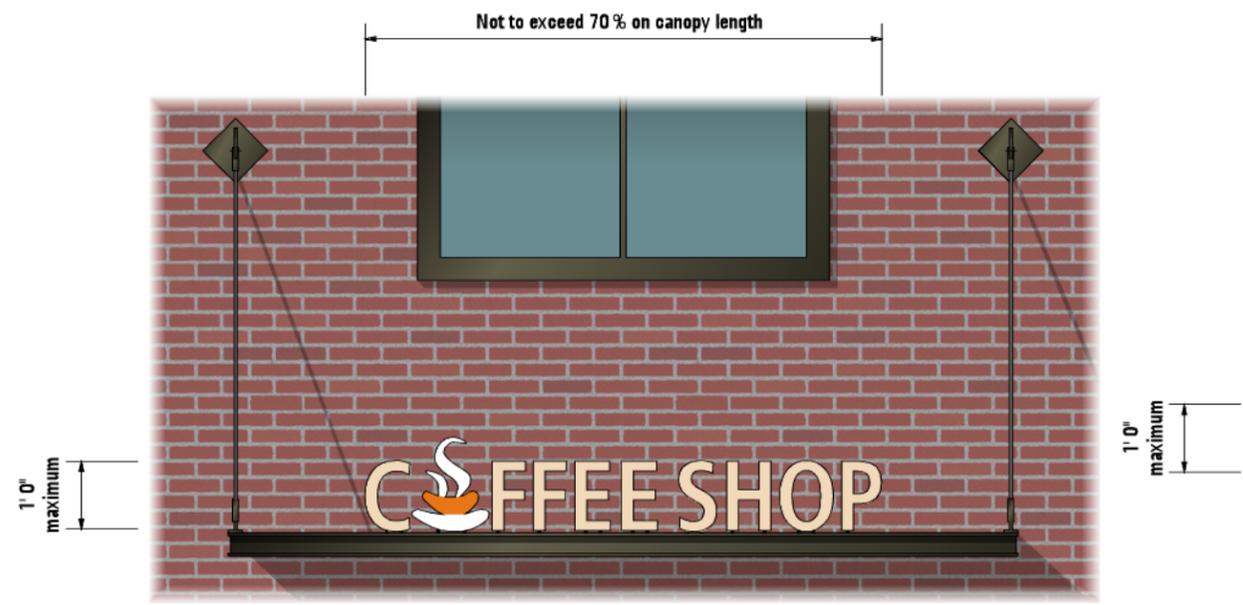
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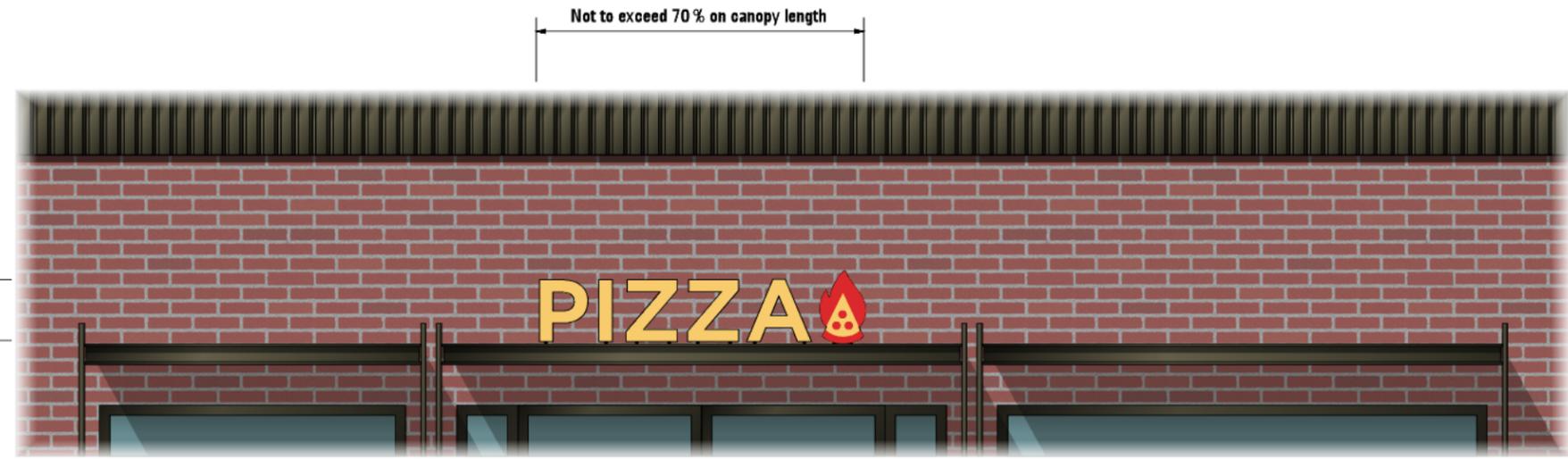
TS SIGN ELEVATION SCALE: 1/4" = 1'-0"
 Non-illuminated aluminum letters mounted to canopy.



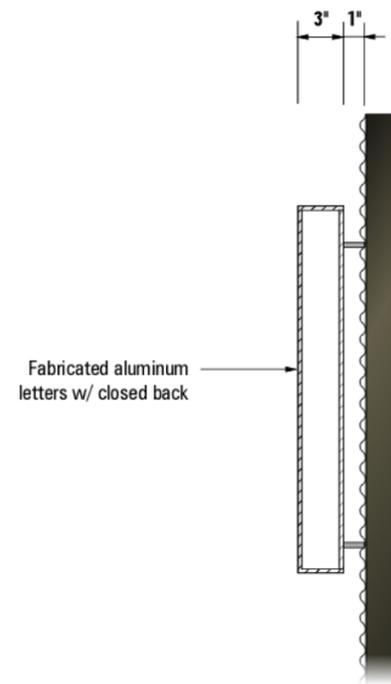
TS SIGN ELEVATION SCALE: 1/4" = 1'-0"
 Non-illuminated aluminum letters w/ closed back mounted to canopy.



TS SIGN ELEVATION SCALE: 3/8" = 1'-0"
 Non-illuminated aluminum letters w/ closed back mounted to canopy.

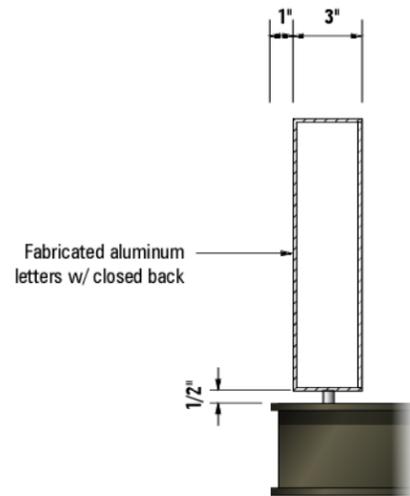


TS SIGN ELEVATION SCALE: 3/8" = 1'-0"
 Non-illuminated aluminum letters w/ closed back mounted to canopy.



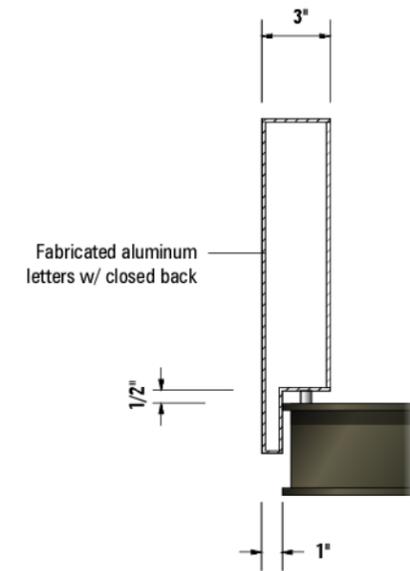
LETTERS SECTION

SCALE: 1" = 1'-0"



LETTERS SECTION

SCALE: 1 1/2" = 1'-0"



LETTERS SECTION

SCALE: 1 1/2" = 1'-0"



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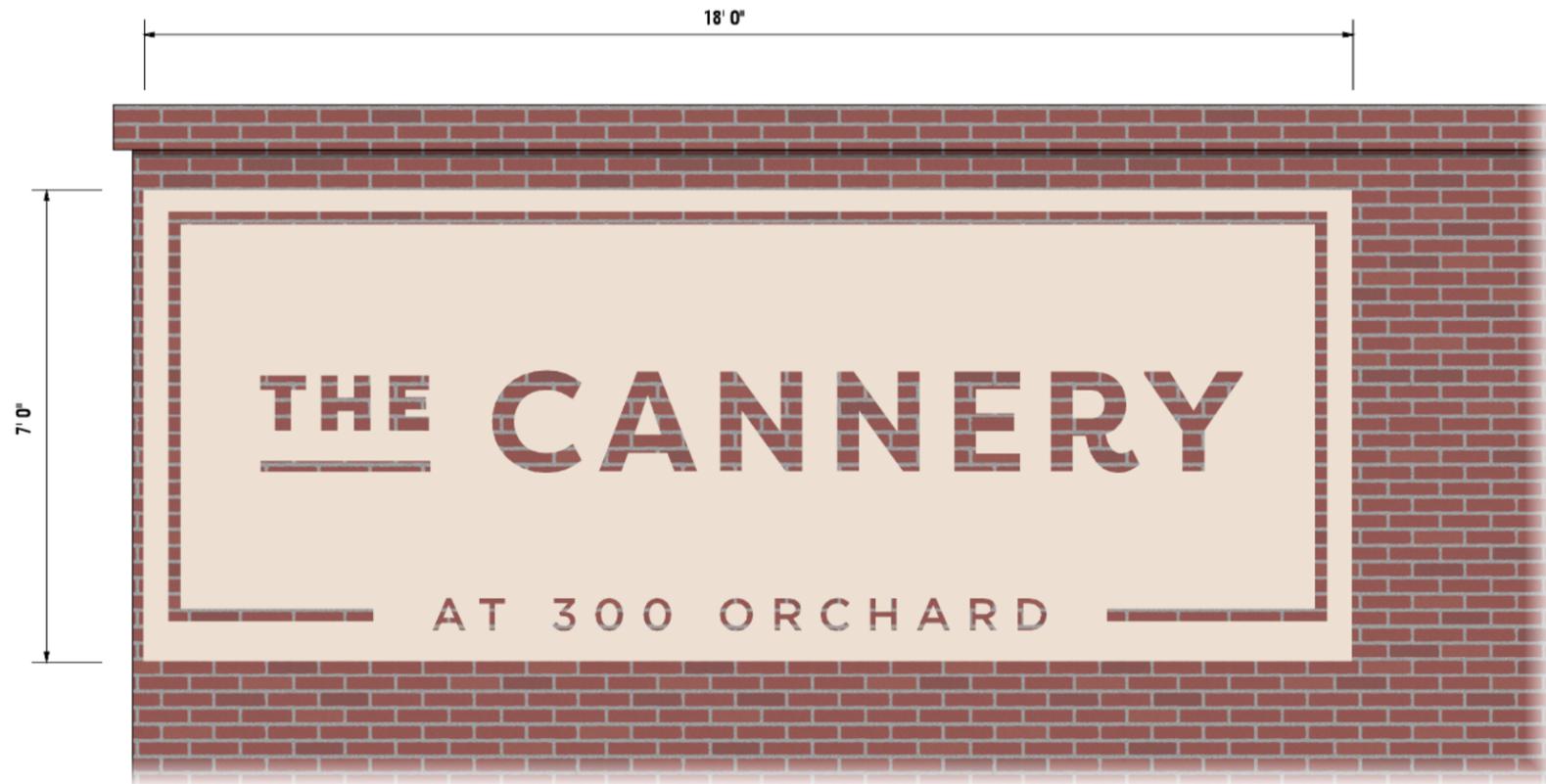
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Drawing Title

Exhibit A - Letter Section

Sheet Number:

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PI

PROJECT IDENTIFICATION SIGN

Painted sign on wall

SCALE: 3/8" = 1'-0"



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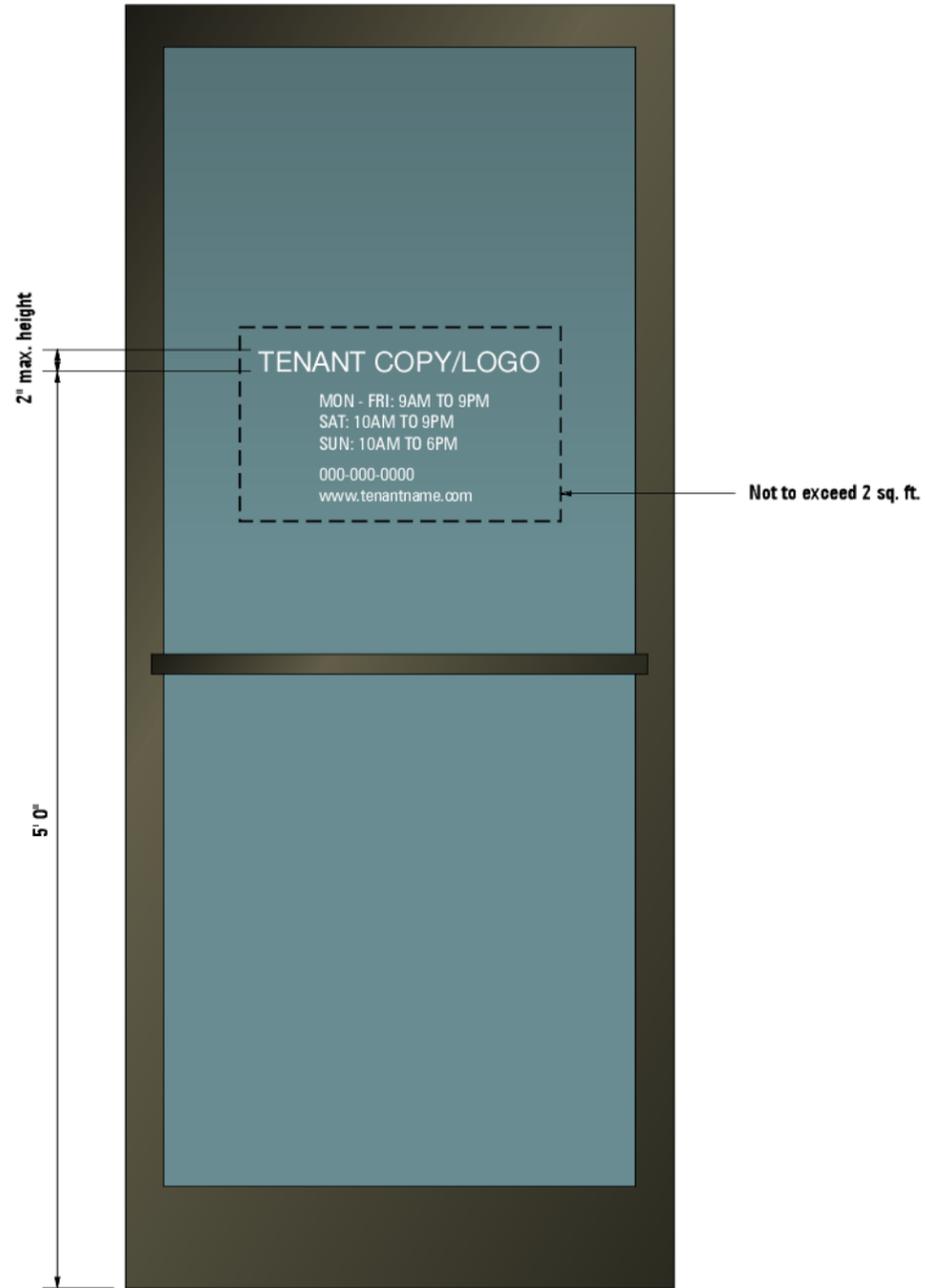
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Drawing Title

Exhibit B - Project Identification

Sheet Number:

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DV DOOR ELEVATION SCALE: 1" = 1'-0"

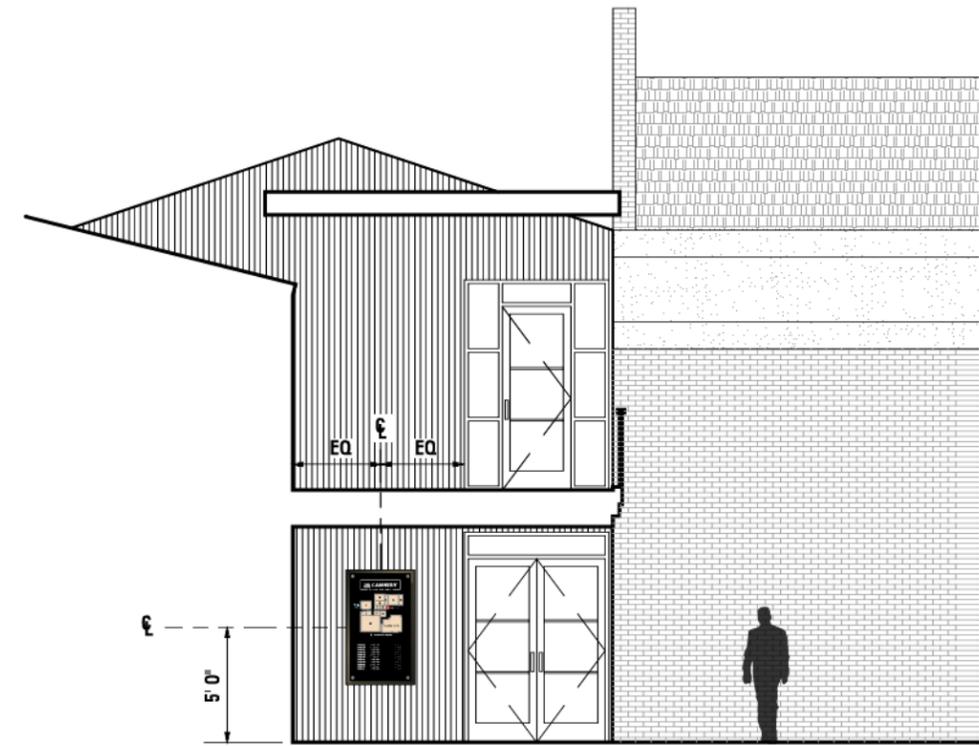
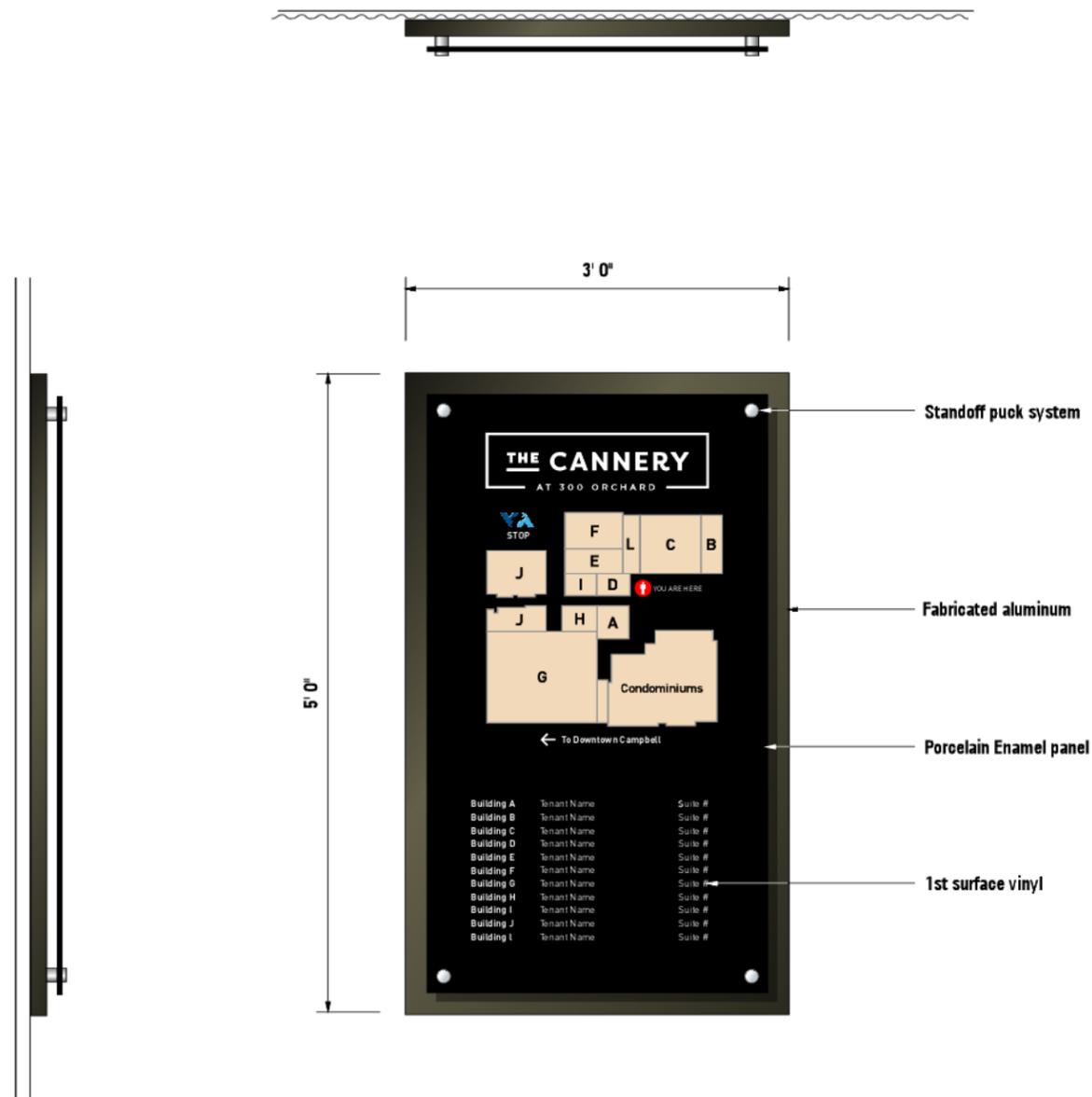


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Drawing Title
Exhibit C - Tenant Entry Vinyl

Sheet Number:
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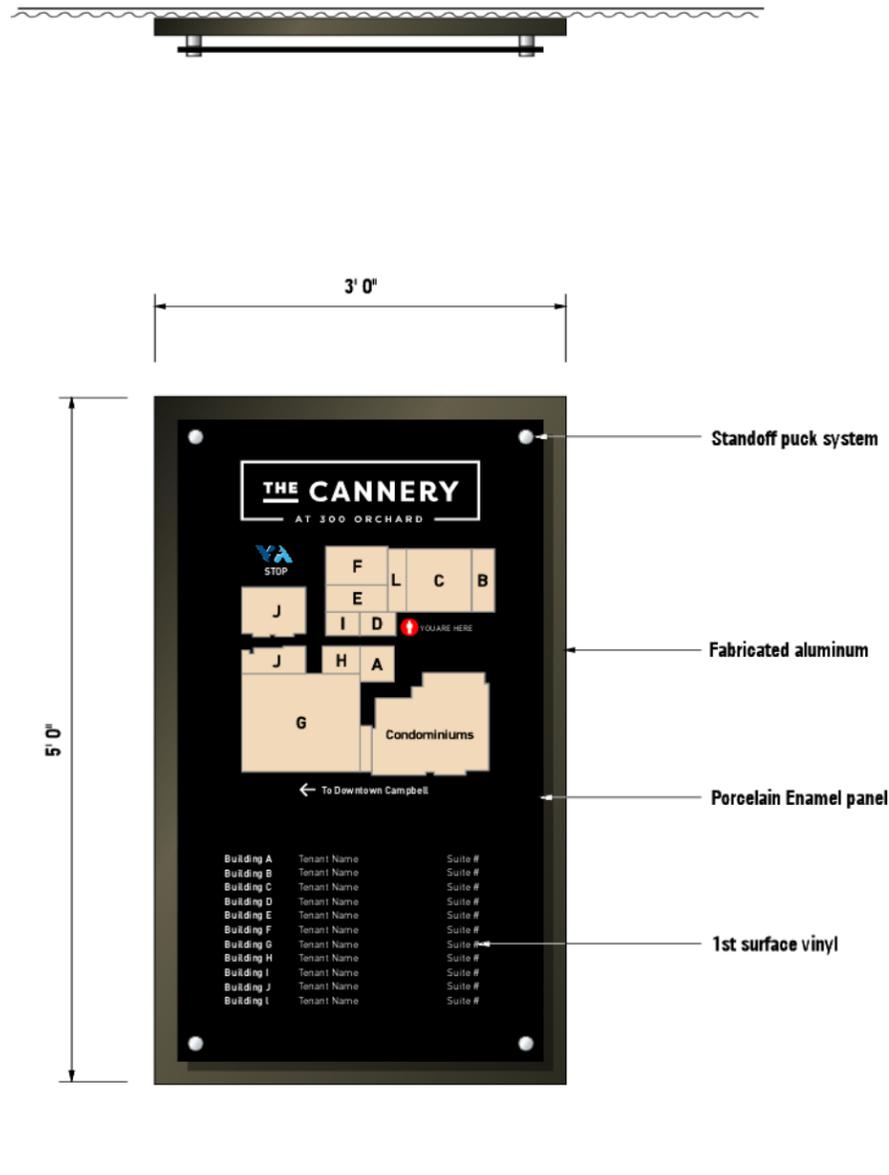


BUILDING L ELEVATION

SCALE: 1/8" = 1'-0"

TD.1 TENANT DIRECTORY

SCALE: 3/4" = 1'-0"



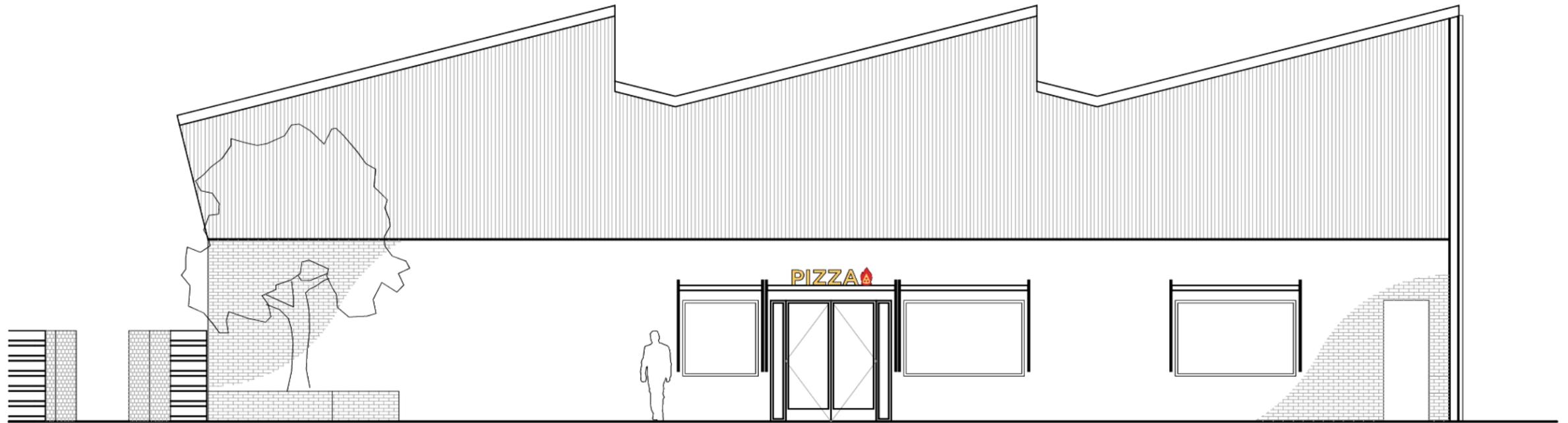
TD.2 TENANT DIRECTORY

SCALE: 3/4" = 1'-0"



PARTIAL BUILDING G ELEVATION

SCALE: 1/8" = 1'-0"



PARTIAL BUILDING F ELEVATION

SCALE: 1/8" = 1'-0"



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Drawing Title

Building Elevation

Sheet Number:

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PARTIAL BUILDING J ELEVATION

SCALE: 1/8" = 1'-0"



PARTIAL BUILDING J ELEVATION

SCALE: 1/8" = 1'-0"



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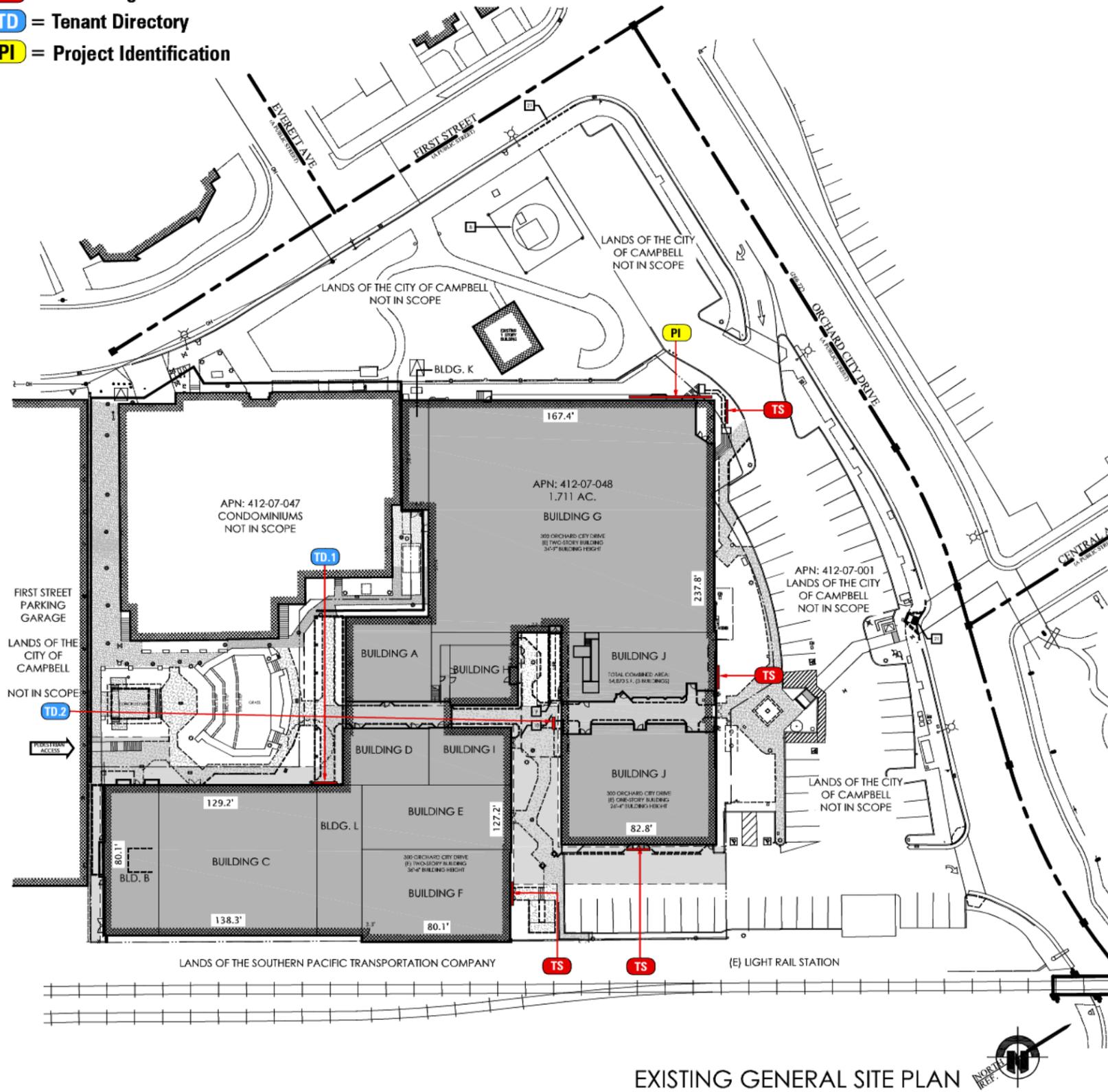
Drawing Title

Building Elevation

Sheet Number:

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- TS** = Tenant Sign
- TD** = Tenant Directory
- PI** = Project Identification



EXISTING GENERAL SITE PLAN