



CITY OF CAMPBELL
Community Development Department

September 15, 2017

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **September 26, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Katrina Riddle on behalf of Burger King/Quikserve for a Site and Architectural Review Permit (PLN2017-51) and Modification to a previously-approved Use Permit (UP76-13) to allow façade modifications and removal of outdoor seating from an existing commercial building (Burger King), on property located at **49 W. Hamilton Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

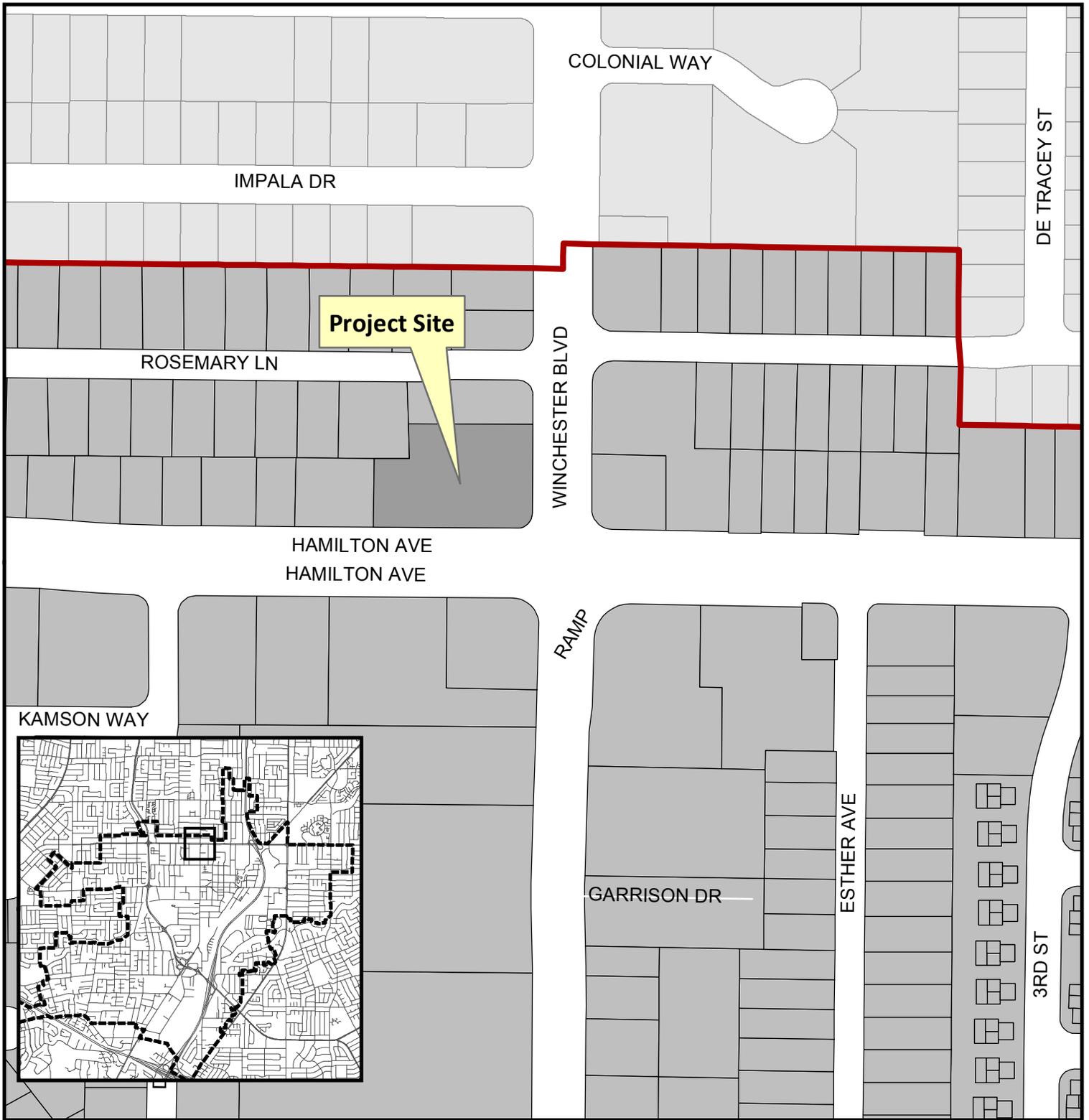
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **49 W. Hamilton Avenue**

Project Location Map

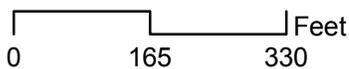


Project Location: 49 W. Hamilton Avenue

Application Type: Site and Architectural Review Permit and Mod. of Use Permit

Planning File No.: PLN2017-51

Description: façade improvements and removal of outdoor seating from an existing Burger King restaurant



Community Development Department
Planning Division

NO.	DATE	CHECKED BY	REVISION

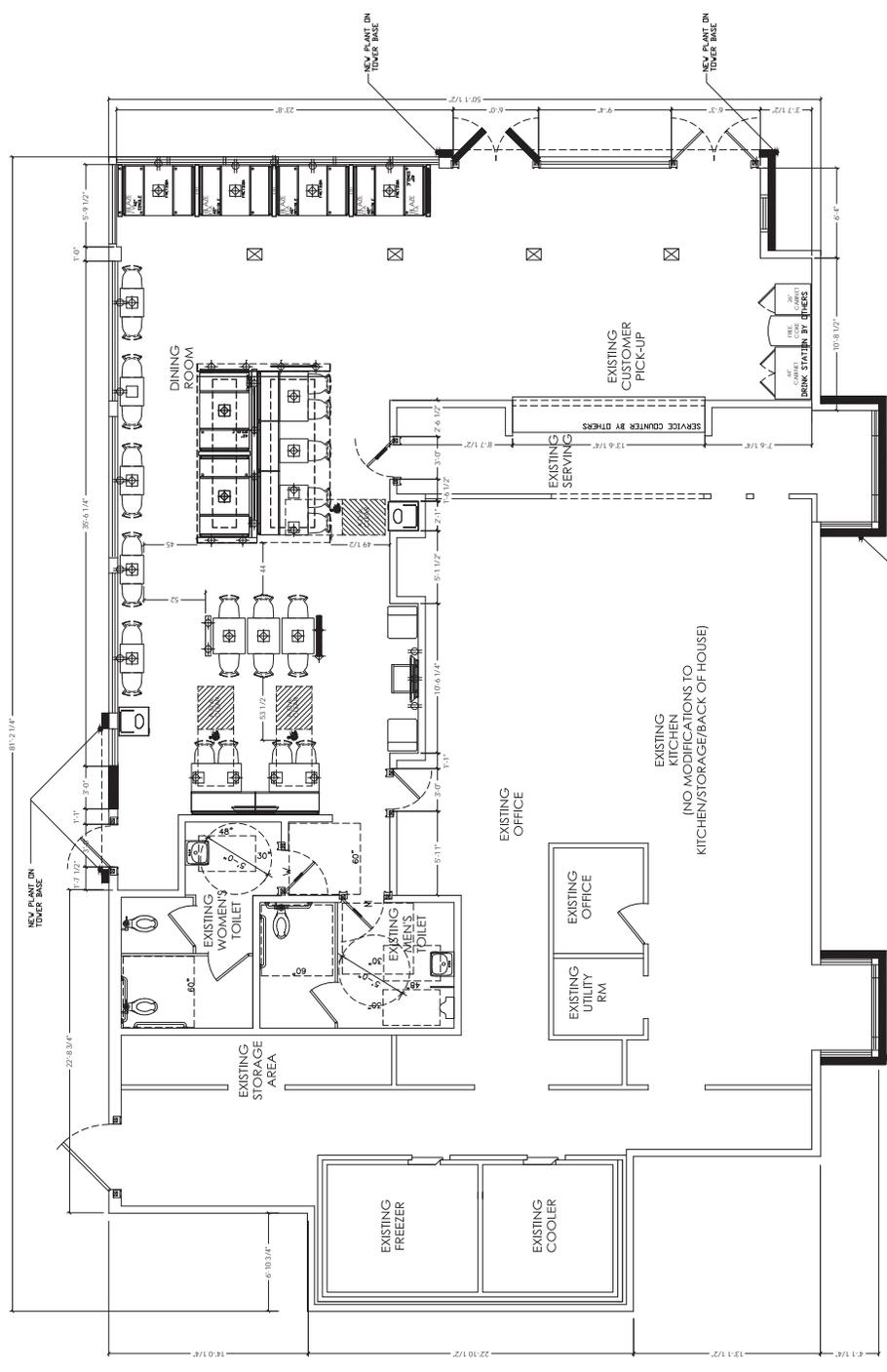
MJ
 PO BOX 1854
 HAMILTON, NJ 08211
 (714) 885-1000
 KATRINA RIDOLE
 KATRINA@MJDESIGN.COM
 LANCE BROWN
 ARCHITECT



PROPOSED FLOOR PLAN
BURGER KING #2012
 49 W. HAMILTON
 CAMPBELL, CA

A-2

SUBMITTAL DATE: 1-9-17
 SCALE: 1/4" = 1'-0"



SCOPE OF WORK - INTERIOR:
 -BIDDING DINING ROOM INTERIOR FINISHES
 -BIDDING RESTROOM FINISHES AND PREP FOR NEW
 -INSTALL NEW DINING ROOM FINISHES
 -INSTALL NEW SEATING IN DINING ROOM

WALL LEGEND:
 NEW WALL
 EXISTING WALL

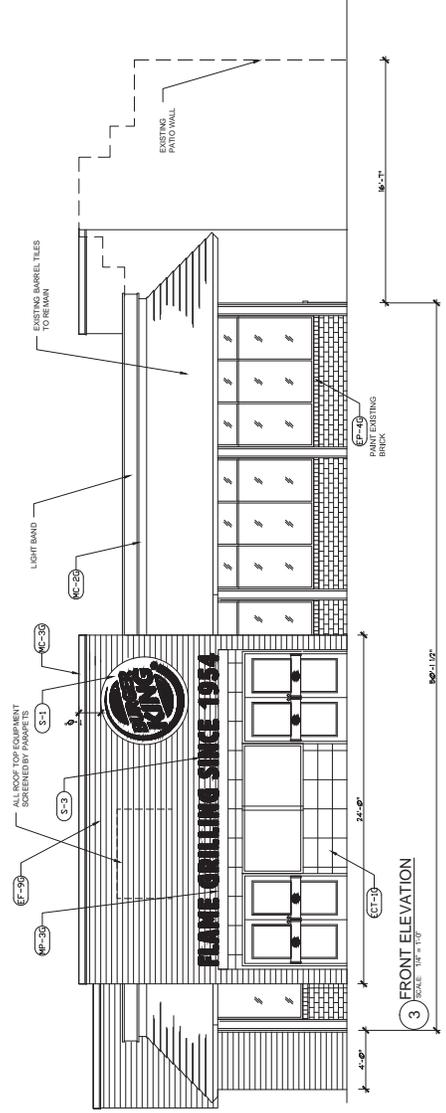


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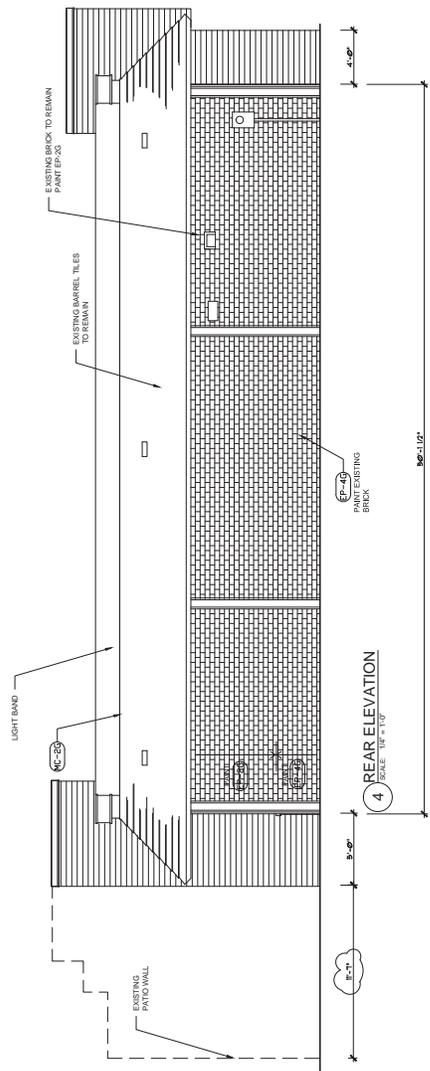
MJ SOLUTIONS
 PO BOX 1884
 HUNTSVILLE, AL 35891
 (205) 938-1100
 KATRINA@MJCSOLUTIONS.COM
 KATRINA@MJCSOLUTIONS.COM
 LANCE.BROWN@MJCSOLUTIONS.COM
 ARCHITECT



PROPOSED EXTERIOR ELEVATIONS
BURGER KING #2012
49 W. HAMILTON
CAMPBELL, CA
 SUBMITAL DATE: 1-25-17 SCALE: 1/4" = 1'-0"
A-4



3 FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



4 REAR ELEVATION
 SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

CALLOUT	FINISH	LOCATION	MANUFACTURER	PRODUCT	COLOR
EA-10	WALLS: CERAMIC TILE	AGENT AT BLUE FRONT	GRANITE/TRAVERSE CERAM	TRUSSEL STONE (E205)	RED NATURAL
EA-10	NOT USED				
EA-30	EXTERIOR PAINT	EXTERIOR	SHERWIN WILLIAMS	SW 7033 EBY 36	TANNER TAUPE
EA-40	EXTERIOR PAINT	EXTERIOR	PPG	6-20008	MONTECZY CUTS
EA-40	EXTERIOR FIBER CEMENT	TOWERS	NICHOL FIBER CEMENT PANELS	INFILACE WOOD EFFECT	CEGAR
EA-50	METAL CANOPY	TOWERS	CANOPY SUPPLIER	MP HUMAN SYSTEMS	SILVER
EA-50	METAL CANOPY	ARCHED COOPS	CANOPY SUPPLIER	CUSTOM METAL CANOPY	CLEAR ANODIZED
EA-10	RED LED LIGHT BAND	UNDER BRICK BARREL TILE ROOF			RED
EA-20	METAL CORING	WITHIN OF LIGHT BAND	SEE DETAIL OF LIGHT BAND ABOVE		

NO.	DATE	REVISION	CHECKED BY	DATE



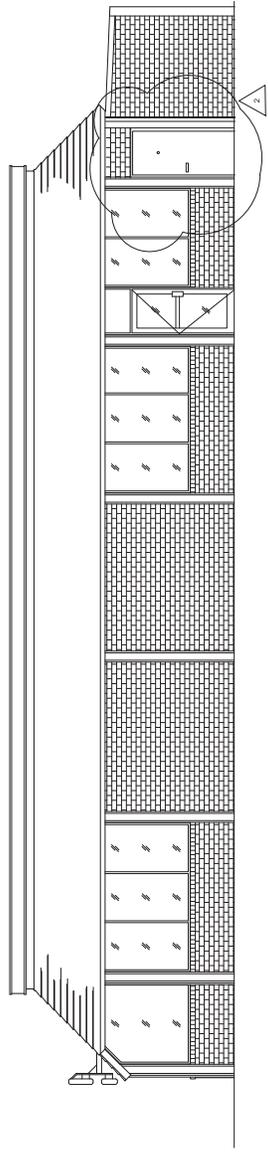
PO BOX 1884
 SAN JOSE, CA 95221
 (415) 855-1105
 KATRINA PIDDLE
 KATRINA@M2ARCH.COM
 LANCE BROWN
 ARCHITECT



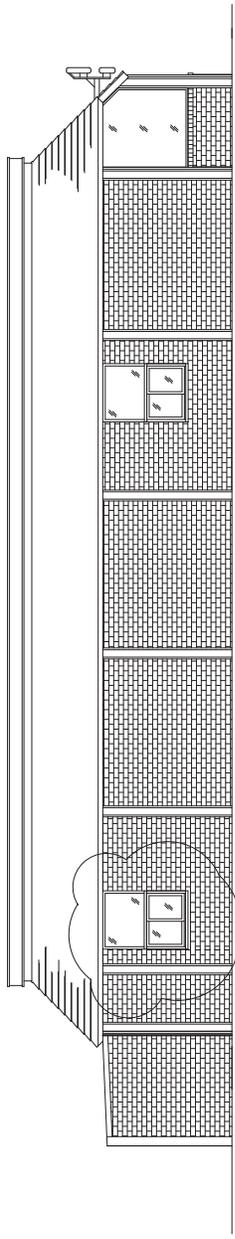
EXISTING ELEVATIONS
 BURGER KING #2012
 49 W. HAMILTON
 CAMPBELL, CA

A-4.1

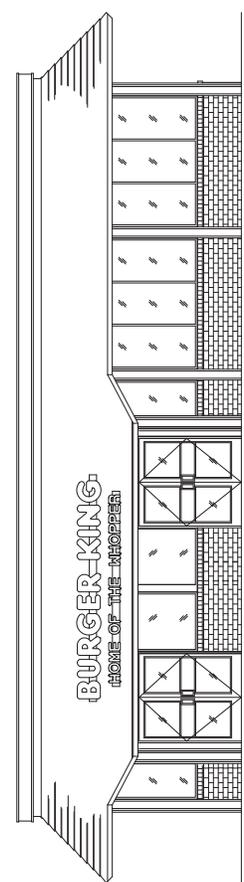
SUBMITAL DATE: 1-25-17 SCALE: 1/8" = 1'-0"



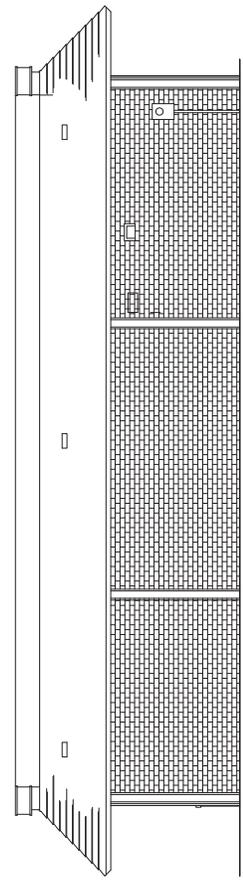
1 SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



2 DRIVE THRU ELEVATION
 SCALE: 1/8" = 1'-0"



3 FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



4 REAR ELEVATION
 SCALE: 1/8" = 1'-0"

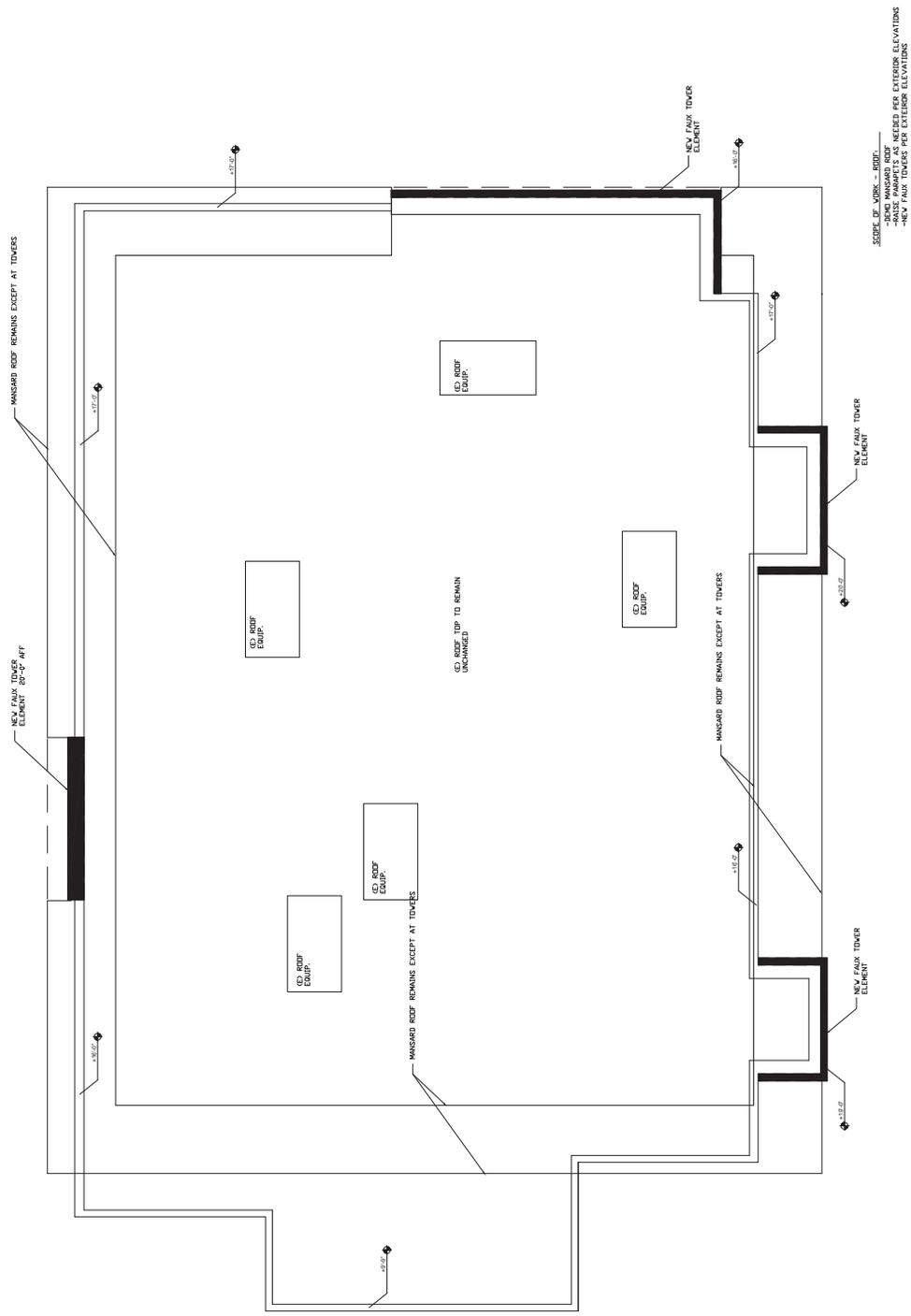
NO.	DATE	REVISION	CHECKED BY	DATE

M2
 ARCHITECT
 PO BOX 1884
 SAN FRANCISCO, CA 94111
 (415) 774-1100
 KATRINA RIDGLE
 ARCHITECT
 KATRINA@M2ARCHITECT.COM
 LANCE BROWN
 ARCHITECT



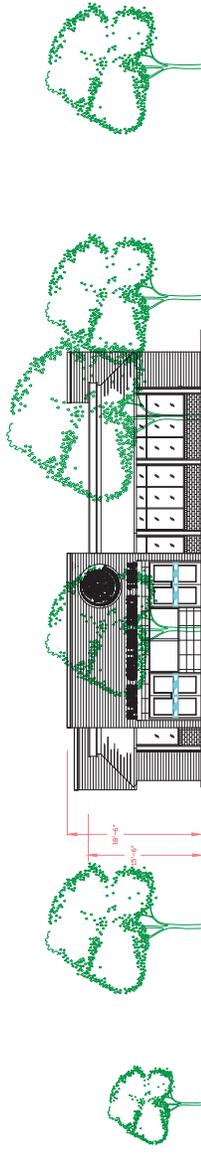
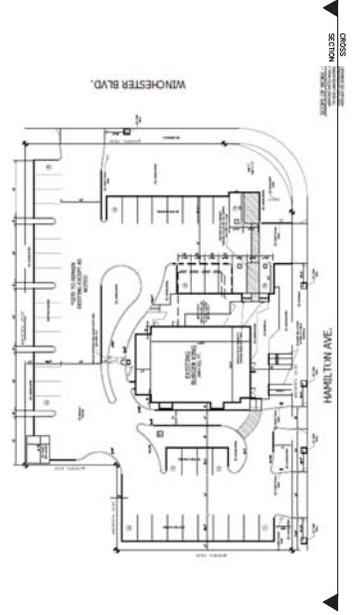
BURGER KING #2012
49 W. HAMILTON
CAMPBELL, CA
 PROPOSED ROOF PLAN
 SUBMITTAL DATE: 1-9-17
 SCALE: 1/4" = 1'-0"

A-5



SCALE OF WORK - 1/4" = 1'-0"
 -EXIST. MANSARD ROOF REMAINS EXCEPT FOR EXTERIOR ELEVATIONS
 -NEW FAUX TOWERS PER EXTERIOR ELEVATIONS
 -NEW FAUX TOWERS PER EXTERIOR ELEVATIONS
 -NEW FAUX TOWERS PER EXTERIOR ELEVATIONS





PROPOSED FRONT ELEVATION



BOUNDARY DESCRIPTION

ALL THAT LAND REFERRED TO HEREIN SITUATED IN THE CITY OF CAMPBELL, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, BEING ALL OF PARCEL "A" SHOWN AND DESCRIBED IN RECORD MAP NO. 100,000, AS RECORDED IN PAGE 471, SANTA CLARA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHWESTERLY CORNER OF SAID PARCEL, THENCE NORTH 89° 59' 59" EAST 116.99 FEET THENCE SOUTH 89° 59' 59" WEST 116.99 FEET TO THE POINT OF BEGINNING, THENCE SOUTH 89° 59' 59" WEST 21.00 FEET, THENCE SOUTH 89° 59' 59" WEST 180.95 FEET, THENCE THROUGH A CURVE TO THE RIGHT, TANGENT TO THE LAST BEARING, THROUGH A CENTRAL ANGLE OF 107° 00' 00" TO A POINT 180.95 FEET, THENCE SOUTH 89° 59' 59" WEST 221.99 FEET TO THE POINT OF BEGINNING, CONTAINING 0.0689 ACRES MORE OR LESS.

BENCH MARK

A BENCH MARK IN THE CURB RETURN IN THE NORTHEAST CORNER OF HAMILTON AVENUE AND WINCHESTER BLVD. ELEVATION = 181.87

LEGEND & NOTES

- ALL DISTANCES AND DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.
- BOUNDARY & PROPERTY CORNER
- CURB
- SEWER DRAIN WITH OPEN DRAIN
- TELEPHONE WELL (14" x 4")
- TOP OF FINISH
- TOP OF CONCRETE
- TOP OF GATE
- FLOW LINE

THE UNDESIGNED HIGHWAY CENTERLINE THAT THE TITLE LINES AND THE LINES OF ACTUAL POSSESSION ARE THE SAME AND THAT THE IMPROVEMENTS EXERCISED UPON THE PROPERTY AS SHOWN HEREON DO NOT ENLARGE ORER GROWER OF TITLE LINES OR OVER ANY EASEMENTS OR ESTABLISHED SET-BACK LINES.



William P. Whaley
WILLIAM P. WHALEY, P.E.
P.C.E. 1997

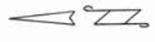
Approved
30 10/1/19

C-2 AS-BUILT SURVEY

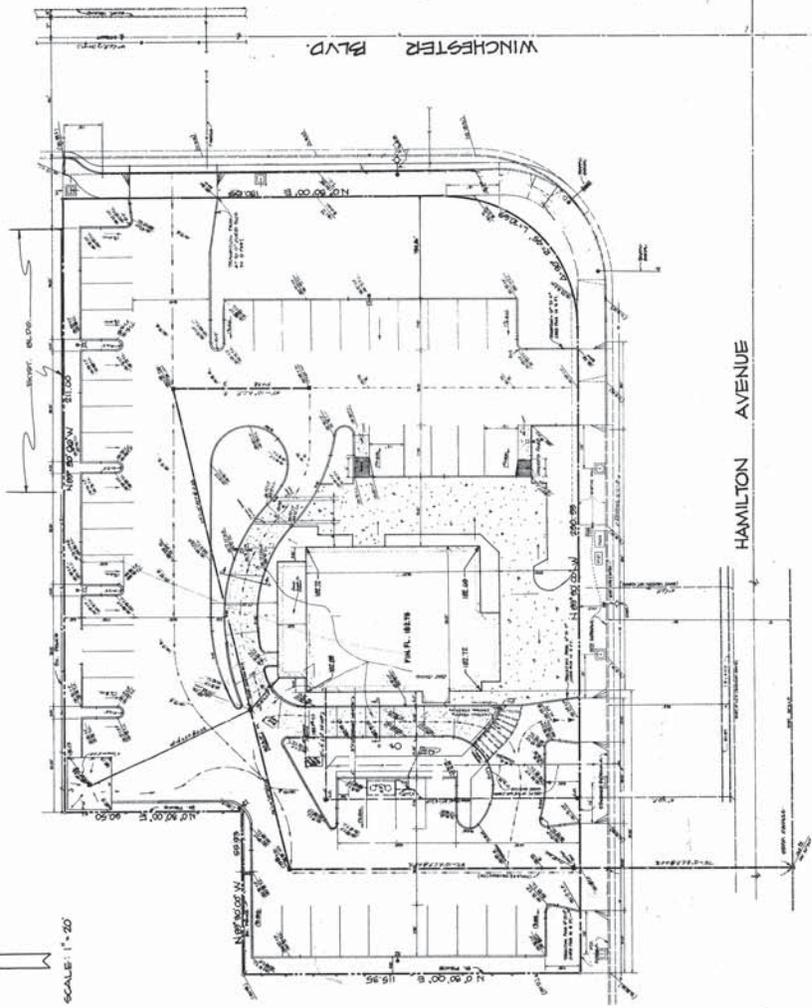
for
BAY AREA FOODS
CAMPBELL, CALIFORNIA #2012

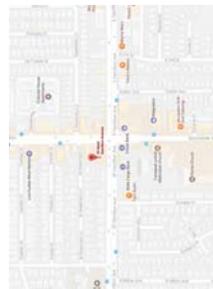
WTW INC. 8150 CORONADO DRIVE
SANTA CLARA, CALIFORNIA
14061 7246-8790

CIVIL ENGINEERS & LAND SURVEYORS



SCALE: 1" = 20'





VACINITY MAP



MJC DESIGN
1400 S. HANCOCK BLVD. #8221
SAN JOSE, CA 95128
(415) 856-1105
WWW.MJCDDESIGN.COM
PROJECT: BURGER KING
49 W. HAMILTON CAMPELL, CA
ARCHITECT: MJC DESIGN

NO.	DATE	REVISION

CHECKED BY: DATE: DRAWN BY: DATE:



WINCHESTER BLVD.

HAMILTON AVE.

