



CITY OF CAMPBELL
Community Development Department

August 28, 2017

NOTICE OF ADMINISTRATIVE SITE AND ARCHITECTURAL REVIEW PERMIT

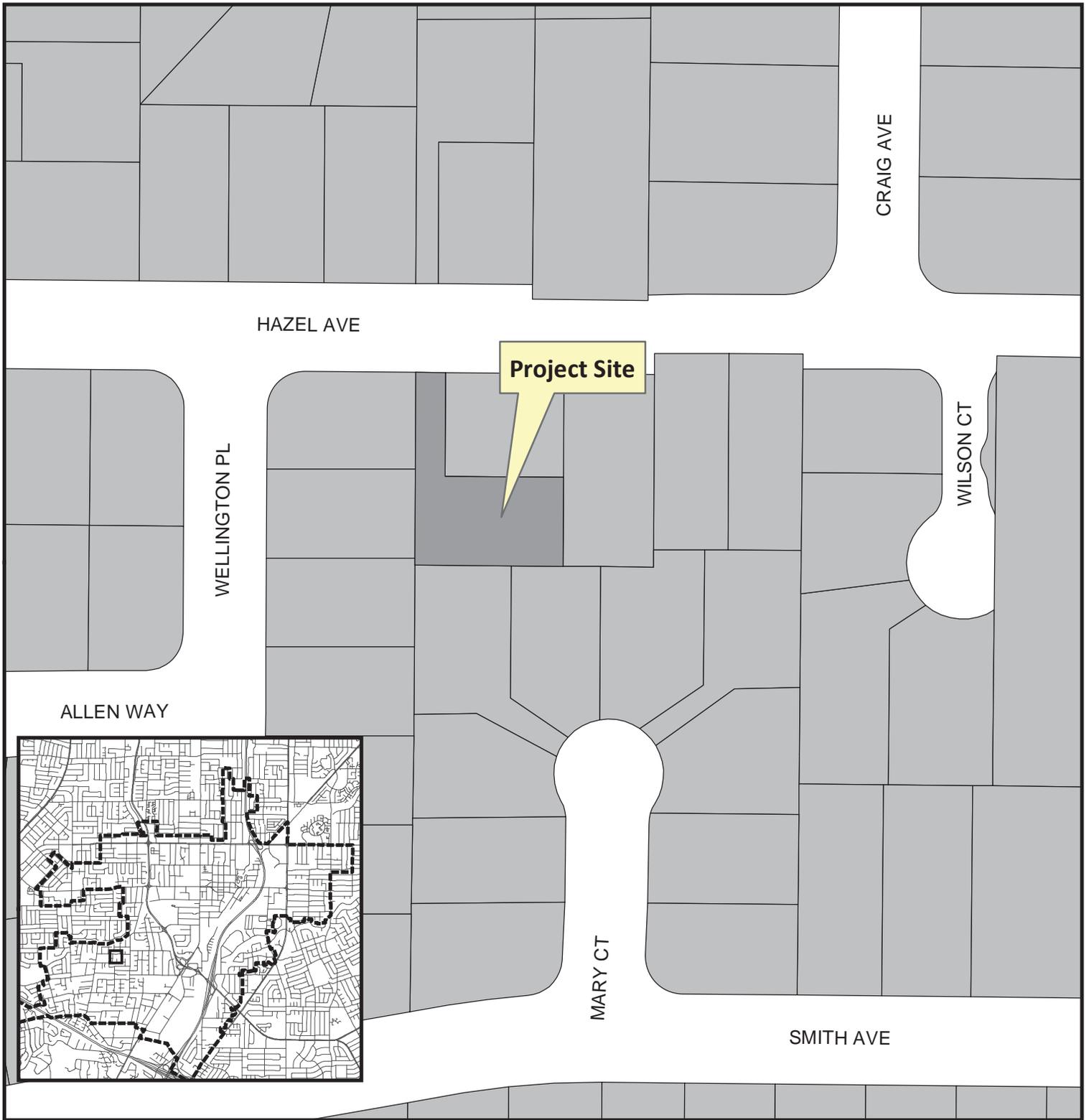
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

File No.: PLN2017-245
Applicant: Steve Dyste & Deb Sterling
Project Address: 1050 Hazel Avenue
Property Owner: Steve Dyste & Deb Sterling
Zoning District: R-1-6 (Single-Family Residential)
General Plan: Low Density Residential
Project Description: An approximately 171 square foot one-story rear addition to an existing one-story single-family residence.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on August 28, 2017 and ends on September 7, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **September 7, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Victoria Hernandez, Assistant Planner, in the Community Development Department, at (408) 866-2732 or by email victoriah@cityofcampbell.com.

Project Location Map

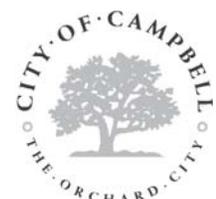
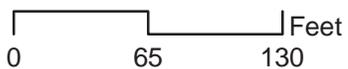


Project Location: 1050 Hazel Avenue

Application Type: Administrative Site and Architectural Review Permit

Planning File No.: PLN2017-245

Description: 171 square foot one-story rear addition to an existing one-story single-family residence



Community Development Department
Planning Division

GENERAL NOTES

- DESIGN - 2013 ICC/IRC, 2013 CBC Residential, 2013 CPC-CMC-CEC, 2013 Calif. energy Code (CEC), 2013 California Green Building Standards (CALGreen)
 - Drawings Shall meet ALL Local Ordinances & CBO's Approvals
 - ALL DRAWINGS SHALL BE VERIFIED BY FIELD CONDITIONS BY GC (General Contractor)
 - DO NOT SCALE DRAWINGS AND ALL DETAILS SHALL OVERRIDE ALL ARCH. DRAWINGS
 - ALL LUMBER IS ASSUMED TO BE #2 GRADE UNO (Unless Noted Otherwise)
 - ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PT (Pressure Treated)
 - ALL LUMBER WITHIN 6" OF SOIL SHALL BE PT
 - ALL STRUCTURAL FRAMING MEMBERS SHALL BE 2 x 4's OR GREATER
 - ALL LUMBER FASTENERS, NAILING, OR BOLTING SHALL FOLLOW
 - CBC STANDARDS OR EOR (ENGINEER OF RECORD) DRAWINGS OR SPECIFICATIONS
 - FASTENERS IN CONTACT WITH PT LUMBER SHALL BE HOT-DIPPED GALVANIZED COATED STAINLESS STEEL, INCLUDING nails, bolts, washers, and hardware
 - REQUIRED FIRE BLOCKING SHALL BE A MIN. THICKNESS OF 2 x 4 OR GREATER
 - GC TO SECURE NECESSARY: Temp Power, Permits, Restroom Facilities, and Various Insurances
 - ALL LANDINGS/STAIRWELLS SHALL HAVE A DEPTH OF 36" AND 36" MINIMUM WIDTH
 - BALUSTERS SPACING SHALL NOT PERMIT A 4" SPHERE PASSAGE THRU ANY OPENING
 - 1.25" ROUND HANDRAILS TO BE 34" ABOVE STAIR NOSING AND SUPPORT MIN. OF 50#
 - ALL VENTILATION FOR ATTIC/FOUNDATION AREA SHALL BE CALCULATED AT 1 sq ft PER 150 sq ft AREA & THE ATTIC VENTILATION SHALL BE 30-50% IN THE UPPER 1/3 OF THE ROOF STRUCTURE
 - FOUNDATION REBAR LAPS SHALL BE 40 TIMES THE DIAMETER OR AS OF THE EOR SPECS
 - MINIMUM CONCRETE COMPRESSIVE STRENGTH: 2500 PSI
 - PROVIDE BATHROOM VENTILATION THAT WILL PROVIDE A MIN. OF 6 AIR EXCHANGES PER HOUR
 - ALL CRACKS OR JOINTS SHALL BE SEALED TO AN INDUSTRY ACCEPTED METHOD
 - ALL FIXTURES OR EQUIPMENT SHALL BE LABELED WITH OR A COMBINATION OF: UL, IAPMO, GAS, CAL, ADAAG, ANS, ETL, PIG, NFS
 - SAFETY GLAZING (TEMPERED)
 - DOORS WITH GLASS GLAZING
 - ALL WINDOWS WITHIN 24" HORIZONTALLY OF A DOOR
 - ALL WINDOWS WITHIN 60" HORIZONTALLY OF A LANDING OR WITHIN 60" ABOVE A LANDING
 - ALL WINDOWS LESS THAN 18" ABOVE FF (Finish Floor)
 - LESS THAN 60" ABOVE A SHOWER DRAIN
 - ALL GLAZING FOR SHOWER ENCLOSURES
 - STUCCO STANDARDS
 - STUCCO - MIN. 7/8" THICK, THREE COAT SYSTEM OVER SELF-FURRING LATH
 - LATH - MANUFACTURED WITH MIN. LAP OF 6" HORIZONTALLY & 3" VERTICALLY
 - BUILDING WATERPROOFING TWO LAYERS OF TYPE "D" PAPER (OPTION TYVEK UPGRADE) FLASH & CAULK WINDOWS WITH INDUSTRY APPROVED FLASHING
 - LIGHTING - HIGH EFFICACY REQUIRED WITH VACUANCY SENSOR IN ALL THE FOLLOWING AREAS:
 - EXTERIOR - BATHROOM - GARAGE - KITCHEN - LAUNDRY - UTILITY
 - ROOFING SHALL BE CLASS "C" TYPE OF A MIN. FIRE RATING PROTECTION AND CONFORM TO:
 - LESS THAN A 3:12 PITCH SHALL BE A TORCH-DOWN COOL ROOF SYSTEM
 - 3:12 & GREATER CAN EITHER BE COMB-SHINGLE-SHAKE, PER MANUFACTURE, OVER A MIN. <4:12 MIN. TWO LAYERS OF 30# FELT, 4:12>SOL LAYER 30#, OVER A SOLID SURFACE
 - TILE ROOF SYSTEMS APPLIES TO 3:12 & GREATER, PER MANUFACTURE, LEAD JACKS
 - ELECTRICAL:
 - ALL Single phase 120-V, 15A or 20A Outlets installed in New/Modified: Dwelling Units "room types" Including: Family, Dining, Parlors, Entry Lobbies, Dens, Bedrooms, Libraries, Sunrooms, Recreation, Closets, Hallways, SHALL be listed AFCI protected device per CECS 10.12(A)
 - ALL Single phase 120-V, 15A or 20A Outlets serving New/Modified: Bathrooms, Kitchen & Outdoor areas SHALL be a listed GFCI device per CEC 210.8(A)
 - ALL outdoor new outlets shall be protected w/Bubble Cover & be WP rated
 - ALL Single phase 120-V, 15A or 20A Outlets installed in New/Modified: SHALL be listed "Tamper Resistant" receptacles per CEC 406.12
 - Exit Doors to the Exterior SHALL have an Occupancy switched Listed Exterior fixture
 - All Recessed Light Fixtures shall be IC rated, AT rated w/gasket/caulked sealed to prevent the flow of heated/cooled air from escaping to non-conditioned space
 - Finish Grading SHALL maintain a slope away from building at 6" for the first 10' then maintain a positive 2% to public ways. Impervious surfaces may be sloped @ 2% minimum (R401.3)
 - GC TO SECURE C/O AND ALL UTILITY ACTIVATION (Owner to fund any fee/deposits)
 - GC TO ORDER A U.S.A. SURVEY THREE DAYS PRIOR TO STARTING ANY EXCAVATION @ 800.227.2600 FOR FREE MARKING OF BURIED UTILITIES
- Note:**
- Per CBC Thresholds at all exterior doors shall not exceed 1/4" in height and a maximum height of 12" for all other types of doors
 - A stair with one or two risers and one tread requires min. tread of 13" and a maximum riser height of 7"
 - Maximum distance from top of threshold to top of a landing is 7"
- CALGreen (Section 301.0) / Calif. Civil Code (Article 1101.4) Water Conservation Stds.**
 Any alteration/improvement/additions to sgl. family residential property must upgrade **all existing plumbing fixtures** to the following standards:
Water Closets flow rate > 1.6 GPF to be replaced with a unit that meets 1.28 GPF stds.
Shower Heads flow rate > 2.5 GPM to be replaced with a unit that meets 2.0 GPM stds.
Lavatory flow rate > 1.5 GPM to be replaced with a max. flow rate of 1.0 GPM stds.
Kitchen Sink flow rate > 2.2 GPM to be replaced with a max. flow rate 1.5 GPM stds.
New construction must be equal to or less than @ 60 PSI:
Water Closets flow rate - 1.28 GPF, Shower Heads - 2.0 GPM,
Lavatory flow rate - max 1.0 GPM min .05 GPM, Kitchen Sink - 1.5 GPM.

21. Roof Eaves
 Fascia to be installed around the perimeter of the residence contractor to select standard materials and install fascia cap and/or drip edge as necessary. Top cords will be cut to maintain the existing length of eaves.

CONNECTORS

1. Joint to Sill/Top Plate (see nail)	3-6d
2. Joint to Pressure treated Sill/Top Plate (see nail)	3-16d (2x4's), 4-16d > 2x8
3. Joint to Rim Joist (see face nail)	3-16d (2x4's), 4-16d > 2x8
4. Bridging/2x4 Joist (see face nail)	3-16d (2x4's), 4-16d > 2x8
5. 2x4 Sub-Floor Joist (see through nail)	5d @ 24" O.C. / 7" x 12" or 2" framing screws
6. 1 1/2" Sub-Floor Joist (see through nail)	15d @ 6" O.C. / 12" or 2" framing screws
7. 1 1/2" Sub-Floor Joist (see through nail)	15d @ 6" O.C. / 12" or 2" framing screws
8. Top Plate to Studs	2-16d (2x4's), 2-20d (2x6's)
9. Stud to Stud/End Plate	4-6d (see nail), 2-16d (see nail)
10. Stud to Pressure treated Sill/Top Plate	Hit Dip Gals., 4-6d (see nail), 2-16d (see nail)
11. Double Stud (see nail)	16d @ 16" staggered OC
12. Rim Joist to Top/Bottom Plate (see nail)	6d @ 16" OC
13. Top Plate @ Corner/Joint	2-16d
14. Top Plate to Header (see nail)	16d @ 16" OC staggered
15. Top Plate to Top Plate (see nail) if max top	16d @ 16" OC staggered
16. Header to Top Plate (see nail) if max top	3-8d
17. 2x4 nail Corners	16d @ 16" OC staggered
18. 2x4 nail-up Joint, Beams	16d @ 16" OC staggered

Engineer of Record nailing schedules supersedes the above

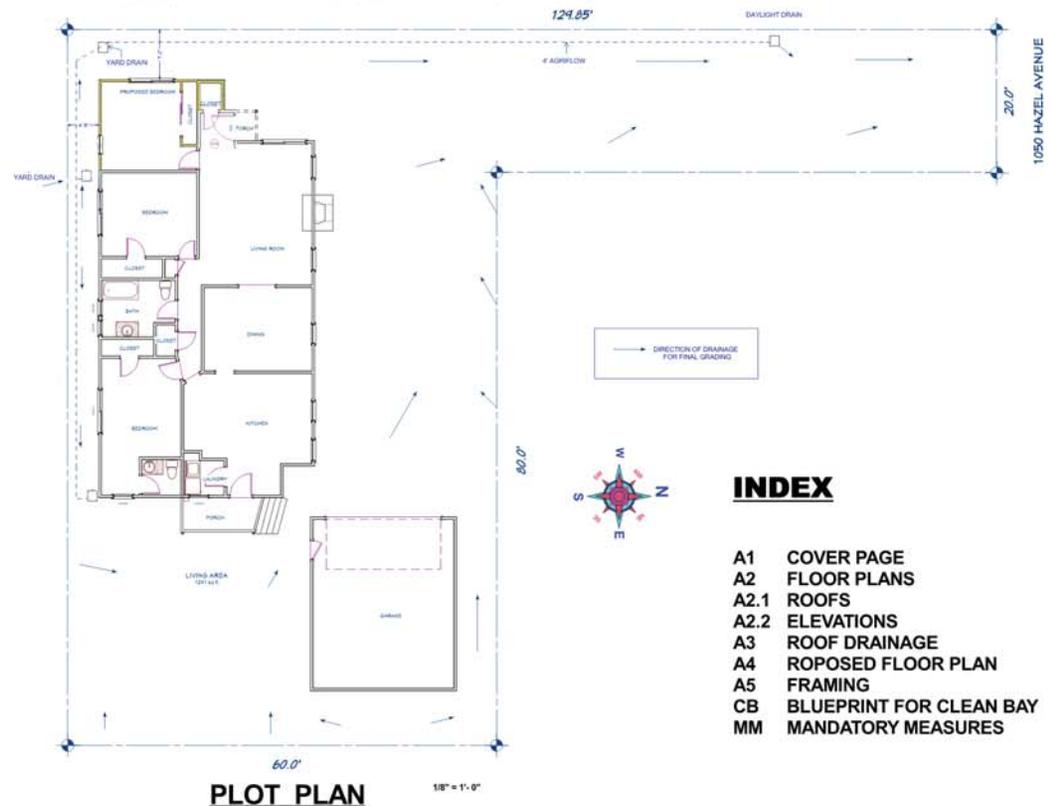
DYSTE RESIDENCE

SITE DATA

APN	406-04-008
LOT	7,380 SF
(E) LIVING	1,373 SF
(E) PORCHES	108 SF
(N) LIVING	171 SF
TOTAL	1,652 SF
(E) GARAGE	402 SF
TOTAL	2,054 SF
F.A.R.	22.38 %
LOT COVER	2,217 SF
COVER %	29.9 %
RESIDENCE	SFR
STORIES	1
CONSTRUCTION	VB
OCCUPANCY	R3/U
SPRINKLERED	NO
ZONING	R-1-6 (San Tomas Area Neighborhood Plan)

SCOPE OF WORK

1. 177 SQ FT BEDROOM ADDITION
 (San Tomas Area Neighborhood Plan)



PLOT PLAN

INDEX

- A1 COVER PAGE
- A2 FLOOR PLANS
- A2.1 ROOFS
- A2.2 ELEVATIONS
- A3 ROOF DRAINAGE
- A4 ROPOSED FLOOR PLAN
- A5 FRAMING
- CB BLUEPRINT FOR CLEAN BAY
- MM MANDATORY MEASURES

REVISIONS	
TYPE	DATE

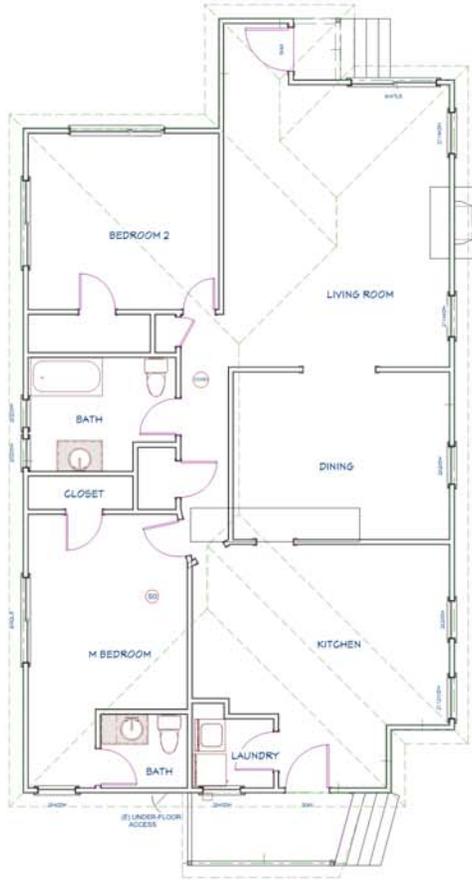
DESIGNER: **PROFESSIONAL SERVICES**
 756 WILLIAMSBURG WAY
 GILROY, CA 95020-6342
 408.888.0563 chuckwearlie@yahoo.com

PROJECT: **DYSTE RESIDENCE**
 1050 HAZEL AVENUE
 CAMPBELL, CA. 95008-4564

PROPOSED PLOT PLAN
 SITE DATA

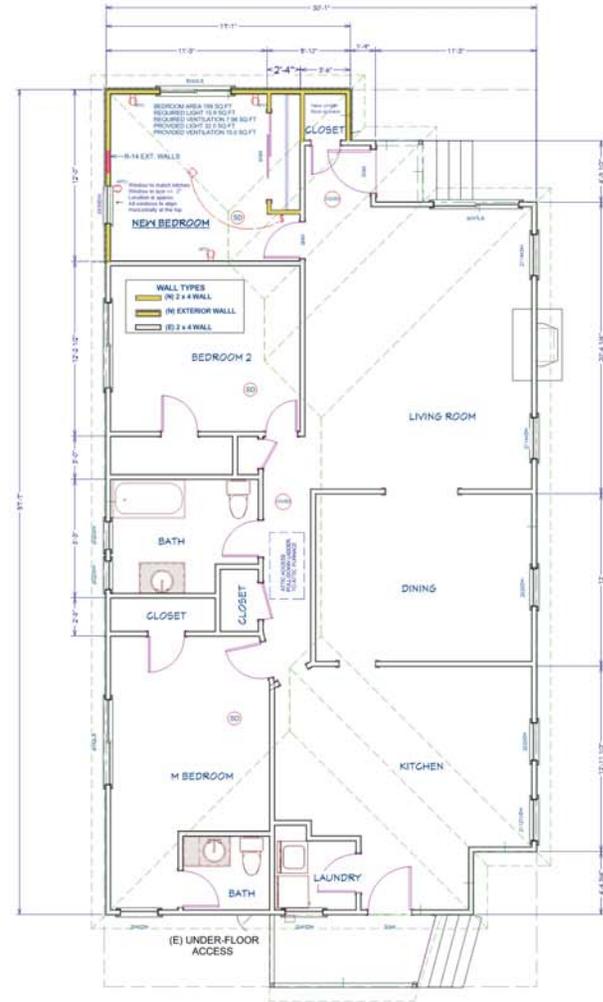
LOT	84
TRACT	3654
APN	406-04-008

DYSTE RESIDENCE



EXISTING FLOOR PLAN

1/4" = 1' - 0"



PROPOSED FLOOR PLAN

1/4" = 1' - 0"

REVISIONS	
TYPE	DATE

Charles Wilson

DESIGNER: PROFESSIONAL SERVICES
756 WILLIAMSBURG WAY
GILROY, CA 95020-6342
408.842.2664

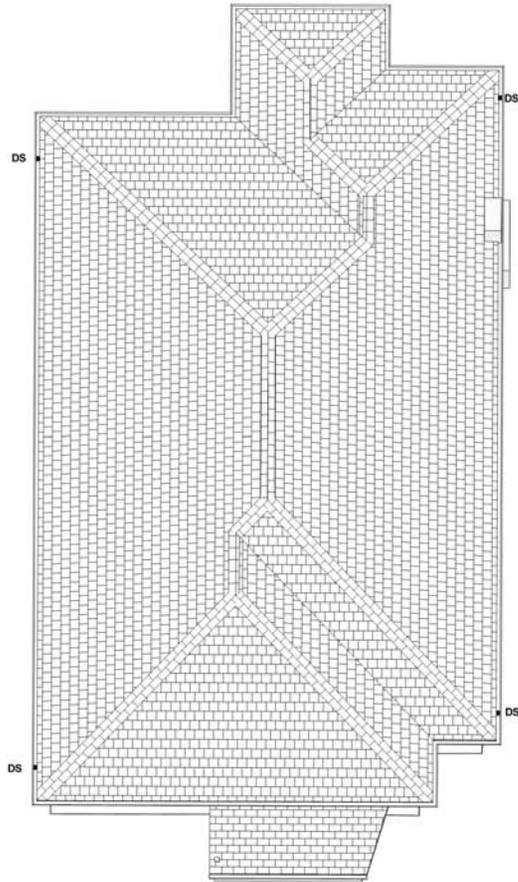
PROJECT: **DYSTE RESIDENCE**

FLOOR PLANS

DATE:	451-02-109
TRACIT:	4360
LETT:	84

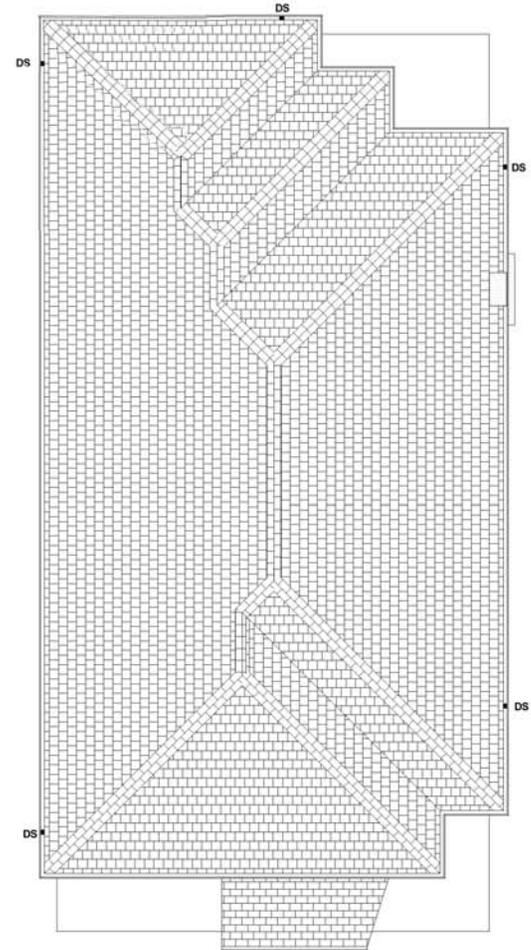
PAGE **A2**

DYSTE RESIDENCE



EXISTING ROOF PLAN

1/4" = 1' - 0"



PROPOSED ROOF PLAN

1/4" = 1' - 0"

REVISIONS	
TYPE	DATE

Checked by: _____

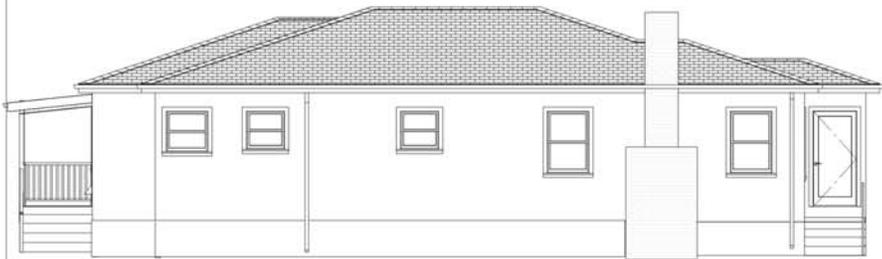
DESIGNER: **PROFESSIONAL SERVICES**
 756 WILLIAMSBURG WAY
 GILROY, CA 95020-6342
 408.842.2664

PROJECT: **DYSTE RESIDENCE**

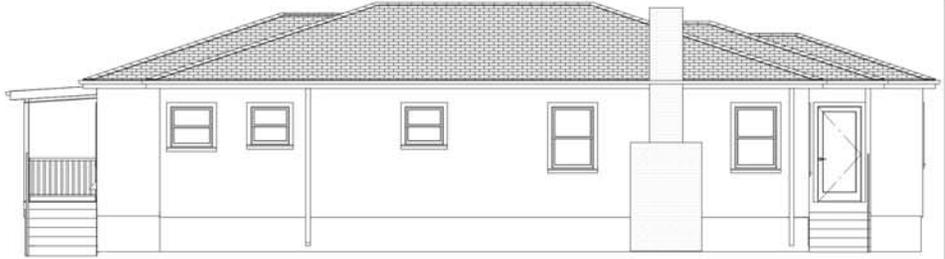
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TRACET:	4360
LEET:	84

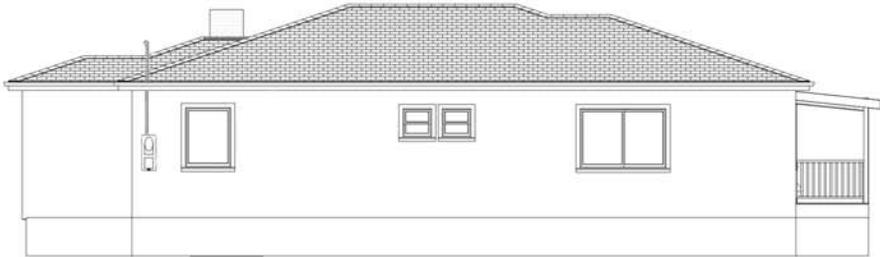
DYSTE RESIDENCE



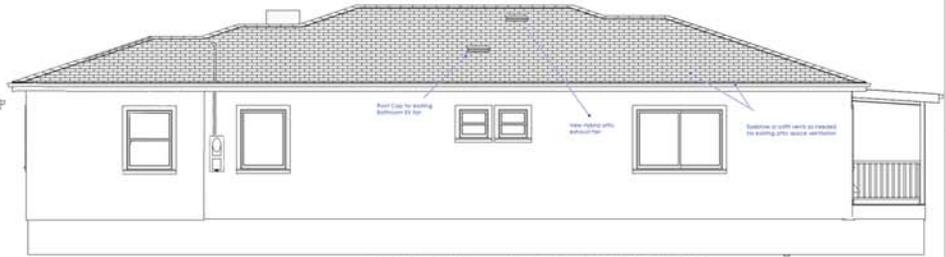
EXISTING FRONT ELEVATION



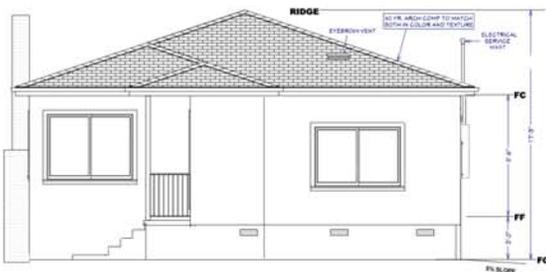
PROPOSED FRONT ELEVATION



EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION



EXISTING RIGHT ELEVATION



PROPOSED RIGHT ELEVATION

ALL ELEVATIONS ARE 1/4" = 1' - 0"



EXISTING LEFT ELEVATION



PROPOSED LEFT ELEVATION

REVISIONS	
TYPE	DATE

DESIGNER: **PROFESSIONAL SERVICES**
756 WILLIAMSBURG WAY
GILROY, CA 95020-6342
408.842.2664
CHUCK WEAR chuckwear@icpoo.com

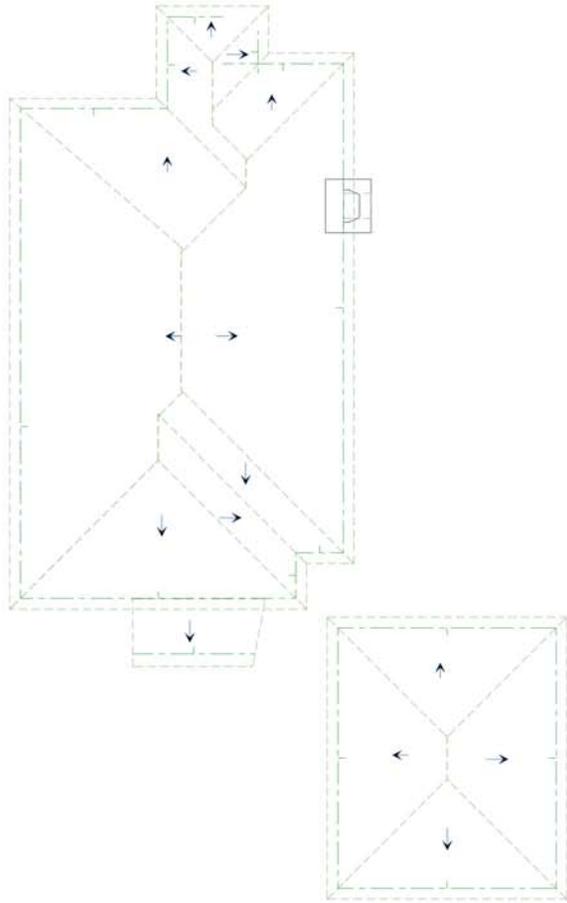
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ELEVATIONS

DATE: 451-02-109
TRACCT: 4360
SHEET NO.: 84

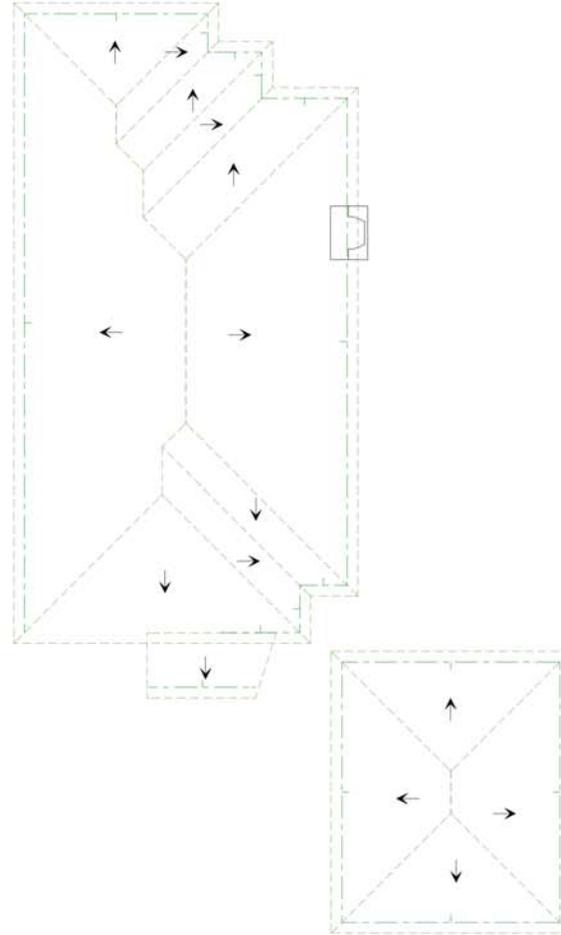
PAGE **A2.2**

DYSTE RESIDENCE



EXISTING ROOF PLAN

3/8" = 1'-0"



PROPOSED ROOF PLAN

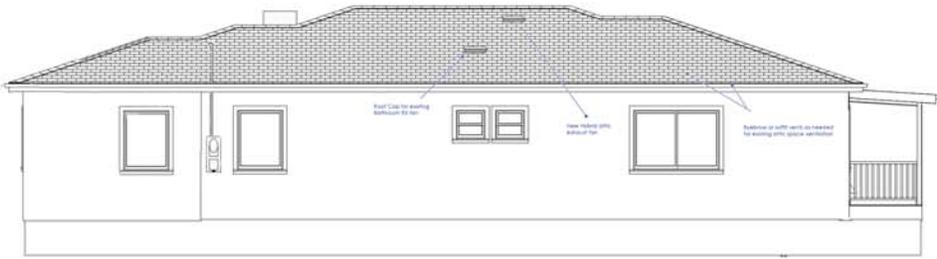
3/8" = 1'-0"



REVISIONS	
TYPE	DATE

PROJECT: DYSTE RESIDENCE 1050 HAZEL AVENUE CAMPBELL, CA. 95008-4564	DESIGNER: PROFESSIONAL SERVICES 756 WILLIAMSBURG WAY GILROY, CA. 95020-6342 408.842.2664
SHEET NUMBER: ROOF PLANS	DATE: 4-06-04-008
PAGE: A3	TRACT: 3654 LOT: 84

DYSTE RESIDENCE



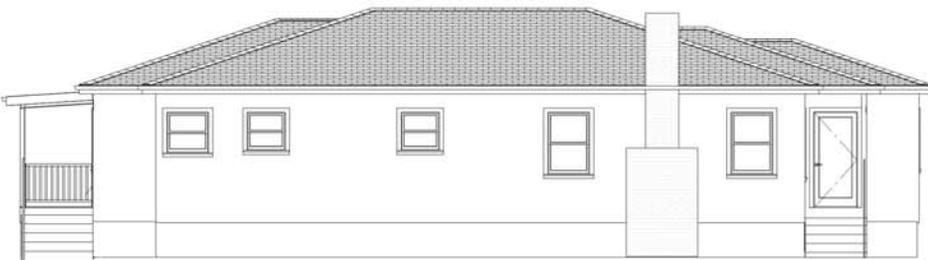
SOUTH ELEVATION



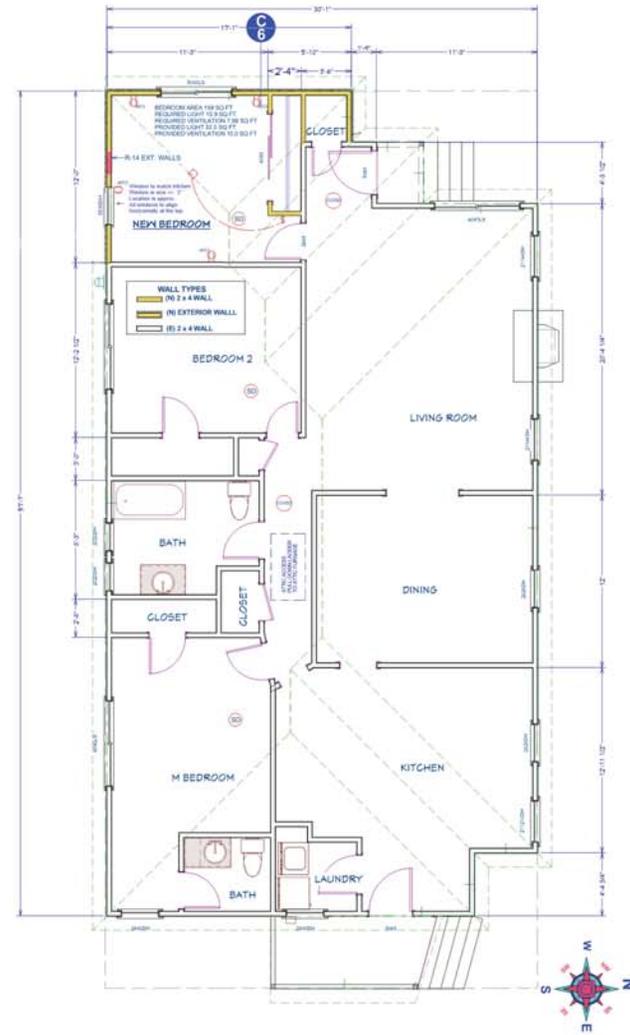
EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



PROPOSED FLOOR PLAN

REVISIONS	
TYPE	DATE

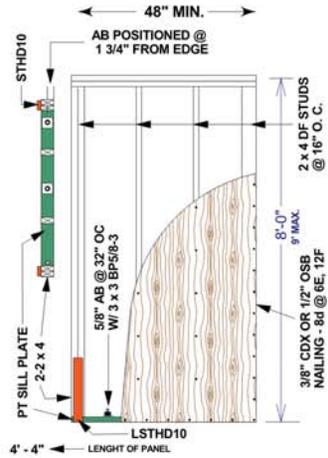
DESIGNER: PROFESSIONAL SERVICES
756 WILLIAMSBURG WAY
GILROY, CA 95020-6342
408.842.2664

PROJECT: DYSTE RESIDENCE
1050 HAZEL AVENUE
CAMPBELL, CA. 95008-4564

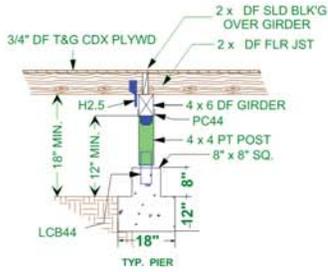
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DATE: 406-04-008
TRACET: 3654
LIFT: 84

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A4

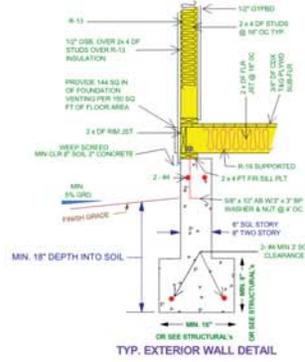
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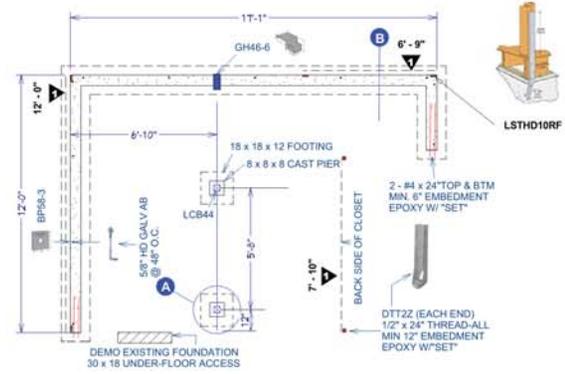
BRACE WALL PANEL



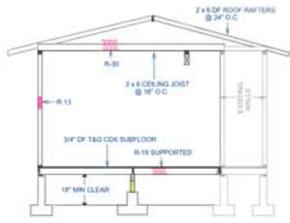
"A" PIER DETAIL



"B" FOUNDATION WALL



FOUNDATION PLAN

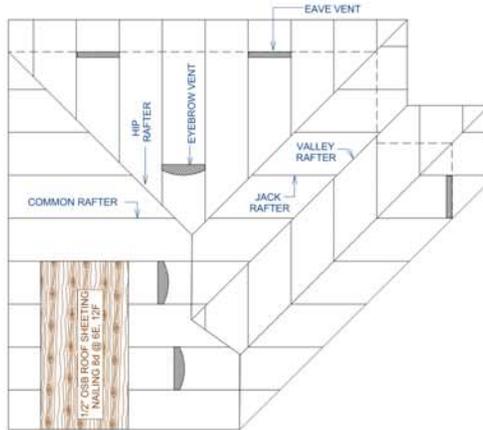


SECTION 1/4" = 1' - 0"

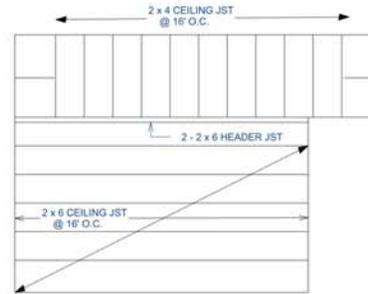
ATTIC VENTILATION

ATTIC AREA 287 SQ FT
 REQUIRED VENTING 287/150 = 1.91 SQ FT
 1.91 x 144 = 275 SQ IN
 PROVIDED LOWER 1/3 OF ROOF
 3 EAVE VENTS - 2.75 x 22 = 151 SQ IN
 PROVIDED UPPER 2/3 OF ROOF
 3 EYEBROW VENTS 3 x 22 = 198 SQ IN

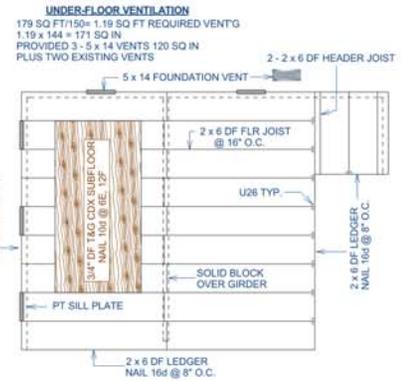
HIP AND VALLEY RAFTERS = 2 x 6 DF #1
 COMMON AND JACK RAFTERS = 2 x 4 DF @ 24" OC
 ROOF SHEETING 1/2" OSB NAILED 8d @ 6E, 12F



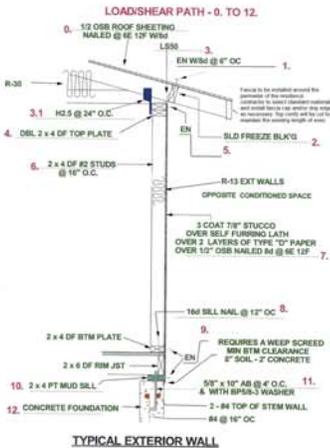
ROOF FRAMING PLAN



CEILING JOIST PLAN 3/8" = 1' - 0"



FLOOR JOIST PLAN 3/8" = 1' - 0"



TYPICAL EXTERIOR WALL

REVISIONS	
TYPE	DATE

DESIGNER: **PROFESSIONAL SERVICES**
 756 WILLIAMSBURG WAY
 GILROY, CA 95020-6342
 408.842.2664

DYSTE RESIDENCE

PROJECT:

FOUNDATION
 FRAMING

DATE:	451-02-109
TRACIT:	4360
LOT:	84

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A5

FRESH CONCRETE AND MORTAR APPLICATION
BEST MANAGEMENT PRACTICES FOR:

- Masons and backlayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers

GENERAL BUSINESS PRACTICES

- Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wood bloom cement powder away from gutters, storm drains, rainfall, and runoff.
- Wash out concrete mixtures only in designated washout areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.

DURING CONSTRUCTION

- Don't mix up more fresh concrete or cement than you will use in a day.
- Set up and operate small mixers on tarps or heavy plastic drop cloths.

LANDSCAPING, GARDENING, AND POOL MAINTENANCE
BEST MANAGEMENT PRACTICES FOR THE:

- Landscapers
- Gardeners
- Swimming pool/patio service and repair workers
- General contractors
- Home builders
- Developers

GENERAL BUSINESS PRACTICES

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects for dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with hay bales or other erosion controls.
- Revegetation is an excellent form of erosion control for any site.

LANDSCAPING/GARDEN MAINTENANCE

- Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash.
- Dispose of unused pesticide as hazardous waste.
- Collect leaves and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
- In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste.
- Do not place yard waste in gutters.
- Do not hose or rake leaves, etc. into the street.

STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE

Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

HEAVY EQUIPMENT OPERATION
BEST MANAGEMENT PRACTICES FOR THE:

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE

- Designate one area of the construction site, well away from streets or storm drain inlets, for site and equipment parking, refueling, and routine vehicle and equipment maintenance.
- Maintain all vehicles and heavy equipment. Inspect frequently for leaks.
- Perform major maintenance, repair jobs, vehicle and equipment washing off site.
- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pan or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible.
- Do not use diesel oil to lubricate equipment or parts.
- Clean up spills immediately when they happen.

STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE

Poorly maintained vehicles and heavy equipment leaking fuel, oil, antifreeze or other fluids on the construction site are common sources of storm water pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by washing for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES
BEST MANAGEMENT PRACTICES FOR THE:

- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

PAINTING CLEANUP

- Never leave brushes or rims paint containers into a street, gutter, storm drain, or stream.
- For water based paints, paint out brushes to the extent possible, and rinse to the nearest sewer.
- For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.
- For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.

WHAT CAN YOU DO?

- Recycle/reuse leftover paints whenever possible.
- Recycle excess water-based paint. Dispose of excess liquid, including shadys, as hazardous waste.
- Recycle leftover oil-based paint. Dispose of excess liquid, including shadys, as hazardous waste.

STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES

All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. It is especially important not to clean brushes in an area where paint residue can flow to a gutter, street, or storm drain.

Blueprint for a Clean Bay

BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM

EARTH MOVING ACTIVITIES
BEST MANAGEMENT PRACTICES FOR THE:

- Bulldozers, backhoe, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

DURING CONSTRUCTION

- Remove existing vegetation only when absolutely necessary.
- Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales.
- Use check dams or ditches to divert runoff around excavations.
- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

GENERAL BUSINESS PRACTICES

- Schedule excavation and grading work for dry weather.
- Perform major equipment repairs away from the job site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
- Do not use diesel oil to lubricate equipment or parts.

ROADWORK AND PAVING
BEST MANAGEMENT PRACTICES FOR THE:

- Road Crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operators of grading equipment paving machines
- Concrete mixers
- Construction inspectors
- General contractors
- Developers

WHAT CAN YOU DO?

- Develop and implement erosion/sediment control plan for embankments.
- Schedule excavation and grading work for dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs in designated areas at your yard, away from the construction site.

WATCH FOR ANY OF THESE CONDITIONS:

- Unusual soil conditions, discoloration, or odor
- Abandoned underground tanks
- Abandoned wells
- Buried barrels, debris, or trash

STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES

- Soil excavation and grading operations loose large amounts of soil that can flow or blow into storm drains if handled improperly. Soil erodes due to a combination of decreased soil stability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff causing a site and slow the flow with check dams or roughened ground surfaces.

DURING CONSTRUCTION

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, etc.
- Use check dams, ditches, or berms to divert runoff around excavations.

GENERAL CONSTRUCTION AND SITE SUPERVISION
BEST MANAGEMENT PRACTICES FOR THE:

- Construction industry
- WHAT CAN YOU DO?**
- Designate one area of the site for rain parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site.
 - Keep materials out of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.
 - Keep pollutants off of exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter.
 - Clean up leaks, drips, and other spills immediately so they do not contaminate soil or grass/water or leave residue on paved surfaces.
 - Never hose down "dirty" pavement or surfaces where materials have spilled. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.
 - Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site.
 - Make sure portable toilets are in good working order. Check frequently for leaks.

MATERIALS/WASTE/HANDLING

- Practice Source Reduction-minimize waste when you order materials. Order only the amount you need to finish the job.
- Use recyclable materials whenever possible.
- Dispose of all waste properly. Many construction materials and wastes, including asbestos, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleaned vegetation can be recycled (see the references list of recyclers at the back of Blueprint for a Clean Bay). Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

STORM DRAIN POLLUTION FROM CONSTRUCTION ACTIVITIES

Construction sites are common sources of storm water pollution. Materials and waste that blow or wash into a storm drain, gutter or joint have a direct impact on local creeks and the Bay. As a contractor, site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION

In the Santa Clara Valley, storm drains flow directly to local creeks and San Francisco Bay, with no treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or baysides. Some common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.

Thirteen valley cities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm drain pollution.

- Local Pollution Control Agencies**
1. Dial 911
 2. Santa Clara Valley Water District Environmental Compliance Division (408) 927-0710
 3. Governor's Office of Emergency Services Warning Center (800) 852-7550 (24 hours)
- Santa Clara Valley Water District**
(408) 927-0710
- San Jose/Santa Clara Water Pollution Control Plant**
(408) 945-5300
- Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga**
- Sunnyvale Water Pollution Control Plant**
(408) 730-7220
- Palo Alto Regional Water Quality Control Plant**
(415) 329-2598
- Serving East Palo Alto, Los Altos, Los Altos Hills, Mountain View, Palo Alto, and Stanford**

ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL

- A. Criminal Penalties.** Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 per day for each day in which the violation occurs. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.
- B. Civil Penalties.** Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell in a sum not to exceed \$1000 per day for each day in which the violation occurs. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.
- C. Civil Liability.** Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.
- D. Remedies Cumulative.** The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available.

PLAN FOR THE IMPROVEMENT OF
BLUEPRINT FOR A CLEAN BAY
ENCROACHMENT PERMIT NO.

DATE: 07/07/03
DRAWN BY:
DESIGNED BY:

SCALE: N.T.S.

CB

**DYSTE RESIDENCE
HAZEL AVE
CAMPBELL, CA**

2013 CALGreen Checklist for Residential Additions and Alterations
BPC-36

This checklist is effective January 1, 2014 and applies to Additions and Alterations of low-rise residential buildings including hotels, motels, lodging houses, dwellings, dormitories, condominiums, shelters, congregate residences, employee housing, factory-built housing and other types of dwellings with sleeping accommodations. Detached "U" occupancy buildings are not subject to the requirements of CALGreen. Existing site and landscaping improvements that are not otherwise disturbed are also not subject to the requirements of CALGreen.

APPENDIX A4

Project Name: DYSTE PROJECT
Project Address: HAZEL CAMPBELL
Project Description: BEDROOM ADDITION

INSTRUCTIONS:

- A. For **Owner-Builder permits** – The Owner or the Owner's agent shall:
1. Complete the project information above.
 2. Read this checklist and understand the project requirements.
 3. Consult with PRMD Plan Check staff to determine if any mandatory CALGreen measure(s) is not applicable to the project and mark accordingly in Column 2 of the checklist. Provide an explanation for why each measure to be marked "N/A" is not applicable to the project.
 4. Complete the CALGreen acknowledgement in Section 1 on the last page of the checklist.
 5. Submit the entire form to PRMD along with the building permit application.
- B. For **permits issued to Licensed Contractors** – The Owner and the Contractor shall:
1. Be sure that the project information above is completed.
 2. Read this checklist and understand the project requirements.
 3. Consult with Plan Check staff to determine if any mandatory CALGreen measure(s) is not applicable to the project and mark accordingly in Column 2 of the checklist. Provide an explanation for why each measure to be marked "N/A" is not applicable to the project.
 4. Complete and sign (both Owner and Contractor or their authorized agents) the CALGreen acknowledgement in Section 1 on the last page of the checklist.
 5. Be sure that the entire CALGreen Checklist is submitted to PRMD with the building permit application.
- C. In **Column 3**, PRMD Building Inspection staff will verify those measures checked in Column 3 of the checklist under the "County Staff" heading.

Column 1 Feature or Measure	Column 2 Project Requirements	Column 3 Compliance Verified
See Chapter 4 of the 2013 California Green Building Code for complete descriptions of features or measures listed here.	Mandatory Prerequisites	Building Inspector
4.1 PLANNING AND DESIGN	All checked items are required for the project. <input type="checkbox"/> or <input type="checkbox"/> N/A	Complete after implementation and prior to final inspection approval <input type="checkbox"/>
4.106.2 A plan is developed and implemented to manage storm water drainage during construction. See Sonoma County Code Chapter 11A (Stormwater Quality) for additional requirements.	<input type="checkbox"/>	<input type="checkbox"/>
4.106.3 Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.	<input type="checkbox"/>	<input type="checkbox"/>
4.2 ENERGY EFFICIENCY	All checked items are required. <input type="checkbox"/> or <input type="checkbox"/> N/A	Complete prior to final inspection <input type="checkbox"/>
4.201.1 Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.	<input type="checkbox"/>	<input type="checkbox"/>
4.3 WATER EFFICIENCY AND CONSERVATION	All checked items are required unless N/A	Complete prior to final inspection <input type="checkbox"/>
4.303.1 Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.4.	<input type="checkbox"/>	<input type="checkbox"/>
4.303.2 Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.	<input type="checkbox"/>	<input type="checkbox"/>
4.304.1 Automatic irrigation systems installed at the time of final inspection shall be weather- or soil moisture-based.	<input type="checkbox"/>	<input type="checkbox"/>
4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY	All checked items are required. <input type="checkbox"/> or <input type="checkbox"/> N/A	Complete prior to final inspection <input type="checkbox"/>
4.406.1 Annular spaces around pipes, electric cables, conduits, or other openings in planes at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.	<input type="checkbox"/>	<input type="checkbox"/>
4.406.2 Construction waste generated at the site is diverted to recycle or salvage in compliance with at least a 50 percent reduction.	<input type="checkbox"/>	<input type="checkbox"/>

¹ Provisions of the 2013 Cal Energy Code (CEC) and the 2013 Building Energy Efficiency Standards (BEES) become effective July 1, 2014. From January 30, 2014, the 2010 CEC and 2008 BEES shall be used for Residential and Non-Residential portions of the code for Energy Efficiency sections of the requirements.

Column 1 Feature or Measure	Column 2 Project Requirements	Column 3 Compliance Verified
See Chapter 4 of the 2013 California Green Building Code for complete descriptions of features or measures listed here.	Mandatory Prerequisites	Building Inspector
4.410.1 An operation and maintenance manual shall be provided to the building occupant or owner.	<input type="checkbox"/>	<input type="checkbox"/>
4.5 ENVIRONMENTAL QUALITY	All checked items are required. <input type="checkbox"/> or <input type="checkbox"/> N/A	Complete prior to final inspection <input type="checkbox"/>
4.503.1 Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed woodstove, meeting the requirements of Sonoma County Code Chapter 20 (Wood-Burning Appliances).	<input type="checkbox"/>	<input type="checkbox"/>
4.504.1 Duct openings and other related air distribution component openings shall be covered during construction.	<input type="checkbox"/>	<input type="checkbox"/>
4.504.2.1 Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.	<input type="checkbox"/>	<input type="checkbox"/>
4.504.2.2 Paints, stains and other coatings shall be compliant with VOC limits.	<input type="checkbox"/>	<input type="checkbox"/>
4.504.2.3 Aerosol paints and other coatings shall be compliant with product specified VOC limits for VOC and other toxic compounds.	<input type="checkbox"/>	<input type="checkbox"/>
4.504.2.4 Documentation shall be provided to verify that compliant VOC and other materials have been used.	<input type="checkbox"/>	<input type="checkbox"/>
4.504.3 Carpet and carpet systems shall be compliant with VOC limits.	<input type="checkbox"/>	<input type="checkbox"/>
4.504.4 Particulate, medium density fiberboard (MDF), and hardwood floor used in interior finish systems shall comply with low formaldehyde emission standards.	<input type="checkbox"/>	<input type="checkbox"/>
4.505.2 Vapor retarder and capillary break is installed at slab on-grade foundations.	<input type="checkbox"/>	<input type="checkbox"/>
4.505.3 Moisture content of building materials used in wall and floor framing is checked before enclosure.	<input type="checkbox"/>	<input type="checkbox"/>

¹ Modified to conform with Chapter 7C of the Sonoma County Code.

Column 1 Feature or Measure	Column 2 Project Requirements	Column 3 Compliance Verified
See Chapter 4 of the 2013 California Green Building Code for complete descriptions of features or measures listed here.	Mandatory Prerequisites	Building Inspector
4.506.1 Humidity controlled exhaust fans which terminate outside the building are provided in every bathroom unless otherwise a component of a whole house ventilation system.	<input type="checkbox"/>	<input type="checkbox"/>
4.507.2 Duct systems are sized and designed and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSIA/CCA Manual 2-2004 or equivalent. 2. Size duct systems according to ANSIA/CCA 1 Manual D-2009 or equivalent. 3. Select heating and cooling equipment according to ANSIA/CCA 3 Manual S-2004 or equivalent.	<input type="checkbox"/>	<input type="checkbox"/>
Items necessary to address innovative concepts or local environmental conditions.		
Item 1:		<input type="checkbox"/>
Item 2:		<input type="checkbox"/>
Item 3:		<input type="checkbox"/>
INSTALLER QUALIFICATIONS		Complete prior to final inspection <input type="checkbox"/>
702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems.	<input type="checkbox"/>	<input type="checkbox"/>
703.1 Verification of compliance with CALGreen may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance. Implementation verification shall be submitted to the Building Department after implementation of all required measures and prior to final inspection approval.	<input type="checkbox"/>	<input type="checkbox"/>

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BPC-36

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Project Address: _____
Project Description: _____

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Sonoma County Permit and Resource Management Department
2550 Ventura Avenue, Santa Rosa, CA 95403-2829 (707) 565-1900 Fax (707) 565-1972

REVISION TABLE	NO.	DATE	DESCRIPTION

2013 CALGreen Check list

DRAWINGS PROVIDED BY:

DATE:

6/22/2016

SCALE:

SHEET:

MM