



CITY OF CAMPBELL
Community Development Department

July 28, 2017

NOTICE OF ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Planned Development Permit for the following project proposal:

File No.: PLN2016-274
Applicant: Ora Neinavay
Project Address: 490 Sobrato
Property Owner: Ora Neinavay
Zoning District: Single Family Residential
General Plan: Low Density Residential
Project Description: Admin Site and Architectural Review permit for a single story addition to a home, resulting in a total floor area of 2,519 sq. ft.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on July 31, 2017 and ends on August 9, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **August 9, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'.

Questions or comments regarding this application may be addressed to Cindy McCormick, Senior Planner, in the Community Development Department, at (408) 871-5103 or by email cindy@cityofcampbell.com.

Project Location Map

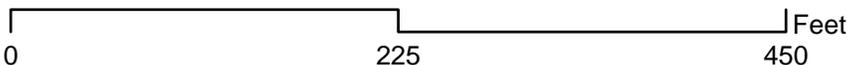


Project Location: 490 Sobrato

Application Type: Administrative Site and Architectural Review Permit

Planning File No.: PLN2016-274

Description: Addition to single-family residence



Community Development Department
Planning Division

-630.0 SF ADDITION.
-CONVERTING GARAGE TO A LIVING SPACE.
-NEW 383.0 SF GARAGE.



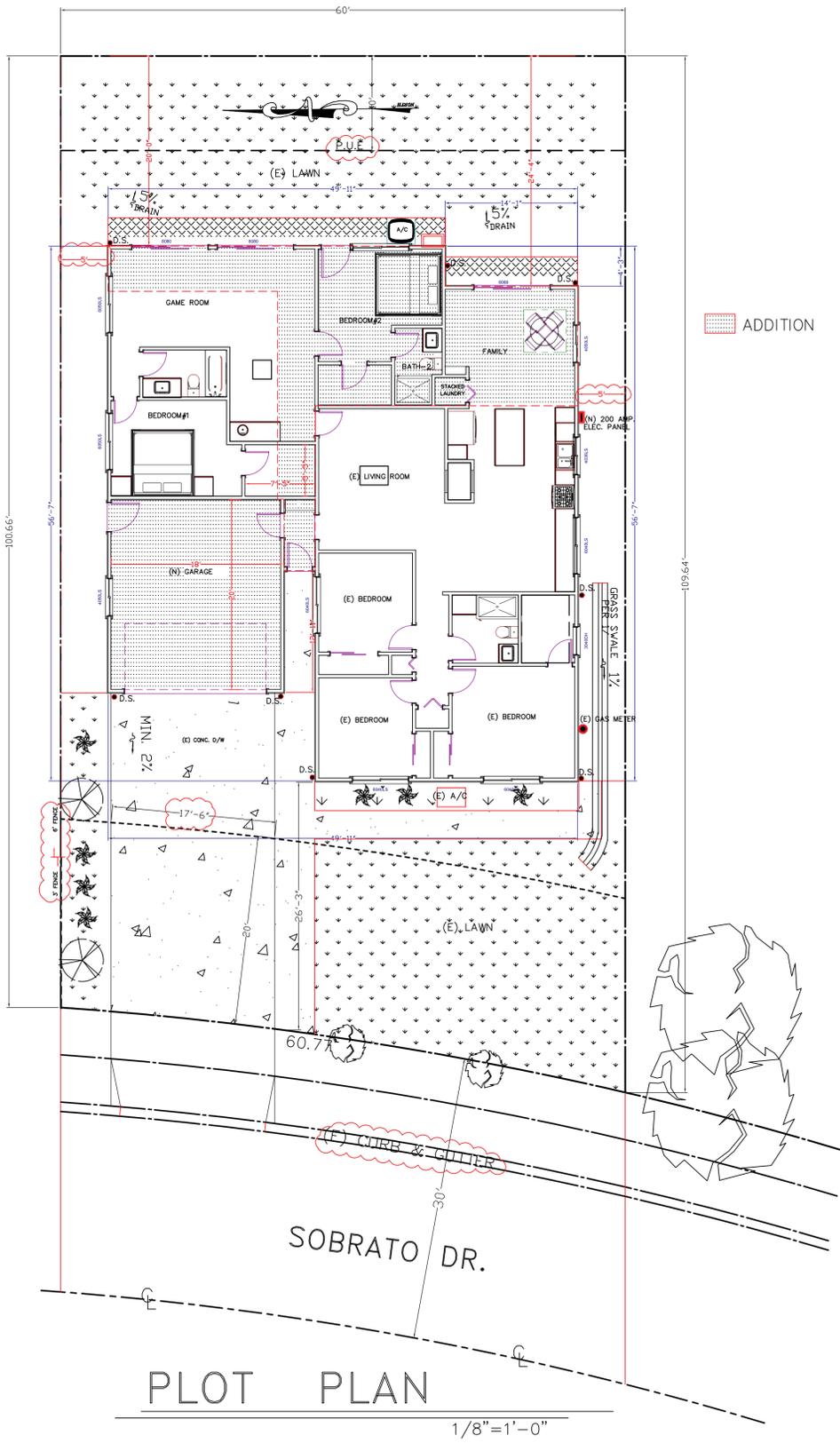
OWNER:
ORA NEINAVAY
(408)750-4665

ADDRESS:
490 SOBRATO DR.
CAMPBELL CA

THIS PROJECT SHALL COMPLY WITH THE 2016 CBC, CMC, CPC, 2016 CEC, 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA FIRE CODE, 2016 CALIFORNIA RESIDENTIAL CODE, 2016 CALIFORNIA GREEN BUILDING STANDARD, AND LOCAL ORDINANCE.



VICINITY MAP



PLOT PLAN

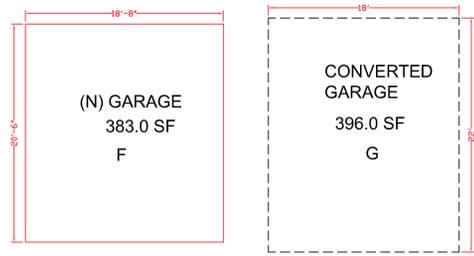
1/8" = 1'-0"

APN # 404-25-071
 LOT SIZE:
 GROSS: 6305+30.60.77=8128.1 SF
 NET: 6305.0 SF
 ZONING R-1-6 (SAN TOMAS AREA NEIGHBORHOOD)
 TYPE OF CONSTRUCTION VB

OCCUPANCY GROUP R3/U
 FIRE SPRINKLER SYSTEM NO
 SETBACKS Front - 20 ft. / Side - 5 ft. / Rear - 20 ft.
 ALLOWED
 (E) LIVING AREA 1110.0 SF
 (E) CONVERTED GARAGE 396.0
 (N) ADDITION 630.0 SF
 TOTAL LIVING AREA 2136.0 SF
 (N) GARAGE 383.0 SF
 COVERAGE (2136+383=2519)/6305=0.399
 FIRE SPRINKLER SYSTEM: NO

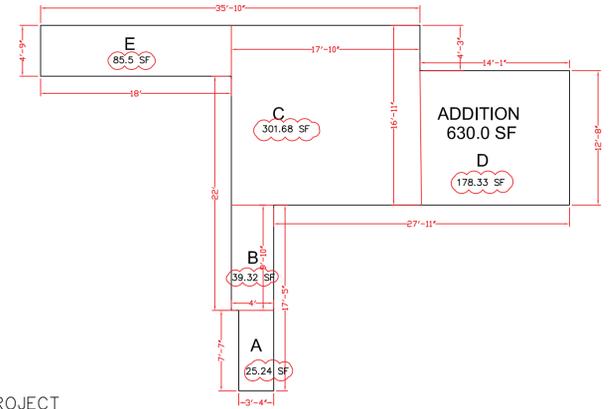
SCOPE OF WORK:
 -CONVERTING EXISTING GARAGE TO LIVING SPACE.
 -630 SF ADDITION AT BREEZEWAY & BACK.
 -NEW 383.0 SF GARAGE.

DEVELOPMENT DATA:	SQUARE FEET		PERCENT OF SITE	
	EXISTING	PROPOSED	EXISTING	PROPOSED
LOT COVERAGE (Net)	1110+396=1506	1506+383+630=2519	23.8%	39.95 %
LOT COVERAGE(Gross)	1506	2519	18.5%	31.0 %
LANDSCAPE COVERAGE	3700.0	2500	58.7%	39.6 %
FRONT YARD PAVING COVERAGE	20'X17.5'=350.0 SF	20'X17.5'=350.0 SF	28.8 %	28.8 %
FLOOR AREA	1110.0	1110+630+396=2136	17.6%	33.8 %



DESIGN CONSULTANT

ARCHITECTURAL DESIGN:
 LAZARI DESIGN
 6154 ROYAL ACORN PL.
 SAN JOSE CA 95120
 PHONE (408) 781-8374
 FAX (408) 323-9522
 EMAIL: ELAZARI@COMCAST.NET
 STRUCTURAL DESIGN:
 MFA ENGINEERS & ASSOCIATES
 370 GRAND PARK CIRCLE
 SAN JOSE CA 95136
 Tel: (408) 509-3461
 Fax: (408) 781-8374
 aliabiani@sbcglobal.net



SHEET INDEX

- A1 SITE PLAN & PROJECT INFORMATION
- A1-1 BUILDING & FIRE CONDITIONS
- A1-2 BLUEPRINT FOR A CLEAN BAY EXISTING & DEMO. FLOOR PLANS.
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- A4 ELEVATIONS
- A5 SECTIONS
- A6 STREETSCAPE PLAN
- A7 T-24
- A8 RESIDENTIAL MANDATORY MEASURES
- A9 GREEN CHECKLIST-1
- A10 GREEN CHECKLIST-2
- G.N. STRUCTURAL NOTES
- S1 FOUNDATION & 1ST FLOOR FRAMING PLAN
- S2 ROOF FRAMING PLAN
- SD1 STRUCTURAL DETAILS
- WSW2 SIMPSON STRONG WALL DETAILS
- WSW4 SIMPSON STRONG WALL DETAILS

GENERAL NOTES
 1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE DESIGNER OR ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY.
 2. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE ENGINEER.
 3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
 4. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER OR THE OWNER BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.

DEFINITION OF "SCOPE OF WORK" PER 18.32.010:

PER A1:
 EXISTING FLOOR AREA = 1110.0 SF
 EXISTING GARAGE TO BE REMOVED = 396.0 SF
 TOTAL = 1506.0 SF
 REMOVED ROOF FRAMING = 396/1506 = 26.3% < 75% AS DEFINED IN 18.32.010
 PER A2:
 EXISTING EXTERIOR WALLS = 2X(27.92+39.75)+2X(18+22) = 215.3 FEET
 EXISTING EXTERIOR WALLS WHICH WILL BE REMOVED = 2X(18+22)+11.58 = 92 FEET
 EXISTING EXTERIOR WALLS WHICH WILL BE REMOVED = 92/215.3 = 42.7% < 75% AS DEFINED IN 18.32.010
 EXISTING INTERIOR WALL TO BE REMOVED = 0.0 FOOT

AT LEAST THREE OF FOUR ITEMS SPECIFIED IN 18.32.010 ARE NOT SATISFIED, THEREFORE BUILDING IS NOT CONSIDERED AS A "NEW DWELLING USING PORTION OF THE ORIGINAL STRUCTURE".

LAZARI DESIGN

6154 ROYAL ACORN PLACE
 SAN JOSE CA 95120

Tel: (408) 781-8374
 elazari@comcast.net

OWNER

MR. PHONE:

PROJECT LOCATION:
ORA NEINAVAY
490 SOBRATO DR.
CAMPBELL CA

REVISIONS	DATE

SCALE: AS SHOWN
 DRAWN: E. LAZARI

SHEET TITLE:
SITE PLAN

SHEET NO. **A1**

DATE: **MAY 2017**

CITY OF CAMPBELL

BUILDING INSPECTION DIVISION – COMMENTS TO THE DEVELOPMENT REVIEW COMMITTEE

DRC: June 1, 2017

ADDRESS: 490 Sobrato Dr. Project Application: **PLN2016-00274**

RECOMMENDATION:

Note: No building code issue has been reviewed at Development Review Committee; it will be reviewed in the Building Permit process. Please be aware that building codes are changing constantly; plans submitted for building permit shall comply with the code in effect at that time. Submit permit application together with required documents to the Building Inspection Division to obtain a building permit. No construction can be commenced without an appropriate building permit.

It is recommended that this item be forwarded to the Planning Commission for review, with the following conditions.

TO THE SATISFACTION OF THE BUILDING DIVISION MANAGER/BUILDING OFFICIAL:

- PERMITS REQUIRED: A building permit application shall be required for the proposed complete remodeling and addition to the existing structure. The building permit shall include Electrical/Plumbing/Mechanical fees when such work is part of the permit.
- PROJECT DESCRIPTION: This project is proposed as a "remodel and addition to an existing dwelling". The scope of work proposed under this project closely reflects the construction of a new single-family dwelling. The Building Inspection Division will not consider this project as new construction, but fees will be calculated based on the comparative similarities to new construction. This project will be reviewed under the provisions of Chapter 18.32 of the City Campbell Municipal Code to determine how this project will be defined at time of submittal for building permit.
- PLAN PREPARATION: Portions of this project require plans prepared under the direction and oversight of a California licensed Engineer or Architect. Plans submitted for building permits shall be "wet stamped" and signed by the qualifying professional person.
- CONSTRUCTION PLANS: The conditions of Approval shall be stated in full on the cover sheet of construction plans submitted for building permit.
- SIZE OF PLANS: The minimum size of construction plans submitted for building permits shall be 24 in. X 36 in.

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- SITE PLAN: Application for building permit shall include a competent site plan that identifies property and proposed structures with dimensions and elevations as appropriate. Site plan shall also include site drainage details.
- SEISMIC REQUIREMENTS: Additions and Alterations to (e) residential structures shall comply with Section 3404 of the 2016 California Building Code (CBC).
- TITLE 24 ENERGY COMPLIANCE: California Title 24 Energy Compliance forms shall be blue-lined on the construction plans. 8 1/2 X 11 calculations shall be submitted as well.
- SPECIAL INSPECTIONS: When a special inspection is required by C.B.C. Chapter 17, the architect or engineer of record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the building permits, in accordance with C.B.C Chapter 1, Section 106. Please obtain City of Campbell, Special Inspection forms from the Building Inspection Division Counter.
- The City of Campbell, standard Santa Clara Valley Non-point Source Pollution Control Program specification sheet shall be part of plan submittal. The specification sheet (size 24" X 36") is available at the Building Division service counter.
- APPROVALS REQUIRED: The project requires the following agency approval prior to issuance of the building permit:
 - West Valley Sanitation District (378-2407)
 - Santa Clara County Fire Department (378-4010)
 - School District:
 - Campbell Union School District (378-3405)
 - Campbell Union High School District (371-0960)
 - Moreland School District (379-1370)
 - Cambrian School District (377-2103)

- West Valley Sanitation District (378-2407)
- Santa Clara County Fire Department (378-4010)
- School District:
 - Campbell Union School District (378-3405)
 - Campbell Union High School District (371-0960)
 - Moreland School District (379-1370)
 - Cambrian School District (377-2103)

Note: To Determine your district, contact the offices identified above. Obtain the School District payment form from the City Building Division, after the Division has approved the building permit application.

- Bay Area Air Quality Management District (Demolitions Only)
- San Jose Water Company (279-7900)

- P.G.& E.: Applicant is advised to contact Pacific Gas and Electric Company as early as possible in the approval process. Service installations, changes and/or relocations may require substantial scheduling time and can cause significant delays in the approval process. Applicant should also consult with P.G. and E. concerning utility easements, distribution pole locations and required conductor clearances.

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- INTENT TO OCCUPY DURING CONSTRUCTION: Owners shall declare their intent to occupy the dwelling during construction. The Building Inspection Division may require the premises to be vacated during portions of construction because of substandard and unsafe living conditions created by construction.
- BUILD IT GREEN: Applicant shall complete and submit a "Build it Green" inventory of the proposed new single family project prior to issuance of building permit.
- STORM WATER REQUIREMENTS: Storm water run-off from impervious surface created by this permitted project shall be directed to vegetated areas on the project parcel. Storm water shall not drain onto neighboring parcels.
- This project shall comply with the mandatory requirements for Residential Structures, Chapter 4 of the California Green Building Code 2013 ed.
- This Structure, if classified as a new Single Family Dwelling under Chapter 18.32 of the Campbell Municipal Code, shall be equipped with residential fire sprinklers compliant with Section R313 of the California Residential Code 2016 ed.

LAZARI DESIGN

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Tel:(408) 781-8374
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OWNER

MR. PHONE:

PROJECT LOCATION:
ORA NEINAVAY
490 SOBRATO DR.
CAMPBELL CA

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FIRE DEPARTMENT
SANTA CLARA COUNTY

14700 Winchester Blvd., Los Gatos, CA 95032-1818
(408) 378-4010 • (408) 378-9342 (fax) • www.sccfd.org



PLAN REVIEW No. 17 1631
BLDG PERMIT No.

DEVELOPMENTAL REVIEW COMMENTS

Plans and Scope of Review:

This project shall comply with the following: The California Fire (CFC), Building (CBC) and Electrical (CEC) Code, 2016 edition, as adopted by the City of Campbell Municipal Code (CBLMC) and California Code of Regulations (CCR).

The scope of this project includes the following:

Addition of 1,409 sqft. and interior modification to an existing 1,110 sqft. one story single family residence with attached garage.

Plans Status:

Plans are NOT APPROVED. To prevent plan review and inspection delays, the below noted Developmental Review Conditions shall be addressed as "notes" on all pending and future plan submittals and any referenced diagrams to be reproduced onto the future plan submittal.

Plan Review Comments:

1. Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work the applicant shall make application to, and receive from, the Building Department all applicable construction permits.

2. Per city of Campbell Municipal Code (CBLMC) 18.32.010 - Definition of "Scope of Work"

The building is consider as a new building, therefore, fire sprinkler is required for the proposed project.

3. Fire Sprinklers Required: An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Exception: A one-time addition to an existing building that does not total more than 1,000 square feet of building area. NOTE: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CRC Sec. 313.2 as adopted and amended by CBLMC.

CITY	PLANS	SPECS	REV	REEL	AS	OCCUPANCY	CONSTR. TYPE	Applicant/Name	DATE	PAGE
CBL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			Ora Neinavas / Lazari Design	6/20/2017	1 OF 2
SECFLOOR	AREA	LOAD	PROJECT DESCRIPTION	PROJECT TYPE OR SYSTEM						
			Residential Development	Design Review						
NAME OF PROJECT	LOCATION									
SFR	490 Sobrato Dr Campbell									
TABULAR FIRE FLOW	REDUCTION FOR FIRE SPRINKLERS	REQUIRED FIRE FLOW @ 20 PSI	BY							
			Amadkani, Fardean							

Organized as the Santa Clara County Central Fire Protection District
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, and Saratoga



FIRE DEPARTMENT
SANTA CLARA COUNTY

14700 Winchester Blvd., Los Gatos, CA 95032-1818
(408) 378-4010 • (408) 378-9342 (fax) • www.sccfd.org



PLAN REVIEW No. 17 1631
BLDG PERMIT No.

DEVELOPMENTAL REVIEW COMMENTS

4. Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33

5. Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2010 CFC Sec. 903.3.5 and Health and Safety Code 13114.7

6. Address identification. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1

This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the Fire Code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]

CITY	PLANS	SPECS	REV	REEL	AS	OCCUPANCY	CONSTR. TYPE	Applicant/Name	DATE	PAGE
CBL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			Ora Neinavas / Lazari Design	6/20/2017	2 OF 2
SECFLOOR	AREA	LOAD	PROJECT DESCRIPTION	PROJECT TYPE OR SYSTEM						
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SFR	490 Sobrato Dr Campbell									
TABULAR FIRE FLOW	REDUCTION FOR FIRE SPRINKLERS	REQUIRED FIRE FLOW @ 20 PSI	BY							
			Amadkani, Fardean							

Organized as the Santa Clara County Central Fire Protection District
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, and Saratoga

REVISIONS	DATE

SCALE: AS SHOWN

DRAWN: E. LAZARI

SHEET TITLE:
BUILDING & FIRE
CONDITIONS

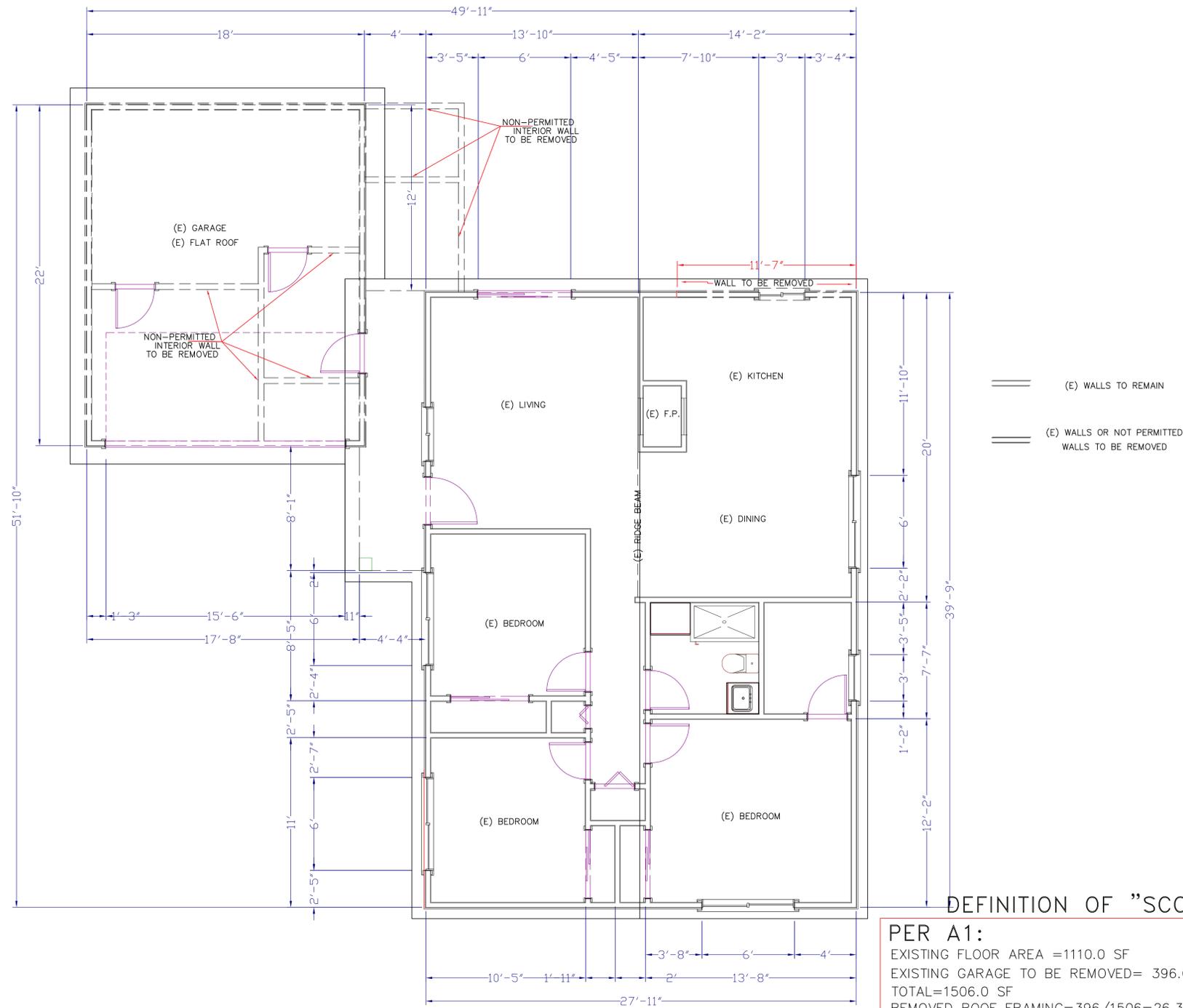
SHEET NO. **A1-1**

DATE: **MAY 2017**

OWNER

MR. PHONE:

PROJECT LOCATION:
ORA NEINAVAY
490 SOBRATO DR.
CAMPBELL CA



DEFINITION OF "SCOPE OF WORK" PER 18.32.010:

PER A1:
 EXISTING FLOOR AREA = 1110.0 SF
 EXISTING GARAGE TO BE REMOVED = 396.0 SF
 TOTAL = 1506.0 SF
 REMOVED ROOF FRAMING = 396/1506 = 26.3% < 75% AS DEFINED IN 18.32.010

PER A2:
 EXISTING EXTERIOR WALLS = 2X(27.92+39.75)+2X(18+22) = 215.3 FEET
 EXISTING EXTERIOR WALLS WHICH WILL BE REMOVED = 2X(18+22)+11.58 = 92 FEET
 EXISTING EXTERIOR WALLS WHICH WILL BE REMOVED = 92/215.3 = 42.7% < 75% AS DEFINED IN 18.32.010

EXISTING INTERIOR WALL TO BE REMOVED = 0.0 FOOT

AT LEAST THREE OF FOUR ITEMS SPECIFIED IN 18.32.010 ARE NOT SATISFIED, THEREFORE, BUILDING IS NOT CONSIDERED AS A "NEW DWELLING USING PORTION OF THE ORIGINAL STRUCTURE".

EXISTING/DEMO FLOOR PLAN

1/4" = 1'-0"

REVISIONS	DATE

SCALE: AS SHOWN
DRAWN: E. LAZARI

SHEET TITLE:
EXISTING FLOOR PLAN

SHEET NO. **A2**

DATE: **MAY 2017**

OWNER

MR. PHONE:

PROJECT LOCATION:
ORA NEINAVAY
490 SOBRATO DR.
CAMPBELL CA



FRONT ELEVATION

SCALE: 3/16"=1'-0"

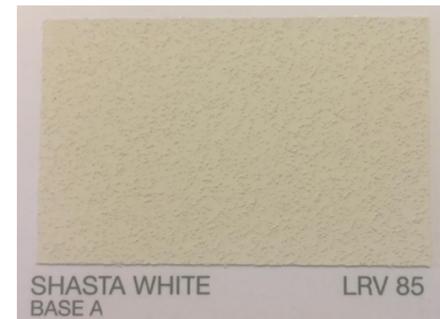


ROOF, COMP. SHINGLE



REAR ELEVATION

SCALE: 3/16"=1'-0"



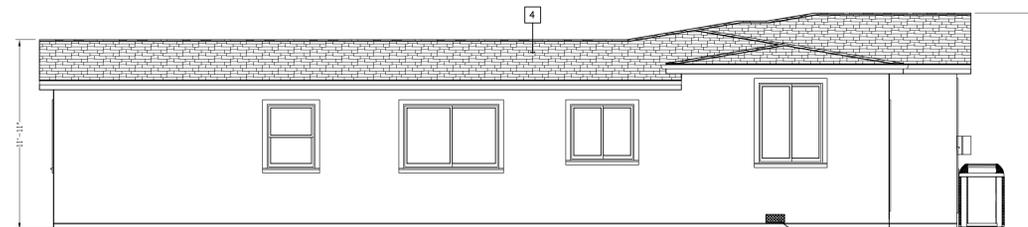
STUCCO COLOR



TRIMS COLOR

EXTERIOR ELEVATION NOTES

1. EXTERIOR WALLS: 7/8" CEMENT PLASTER, 3 COATS o/ 2 LAYERS OF "D" PAPER o/ PLYWOOD SHEATHING. COLOR: SHASTA WHITE, (LRV 85)
2. EXTERIOR TRIMS: FOAM TRIMS. COLOR: STORM CLOUD (LRV 32)
3. WINDOWS/SLIDING DOORS: INTEGRITY (OR SIMILAR), VINYL WINDOWS, DUAL GLAZED ,SASH COLOR = WHITE. U-FACTOR FOR (N) WINDOWS IS: 0.3 SHGC FOR (N) WINDOWS IS: 0.28
4. ROOFING: COMP. SHINGLE. MIN. CLASS-C
5. FASCIA & GUTTER: SELECTION BY OWNER.



RIGHT ELEVATION

SCALE: 3/16"=1'-0"



LEFT ELEVATION

SCALE: 3/16"=1'-0"

REVISIONS	DATE

SCALE: AS SHOWN
DRAWN: E. LAZARI

SHEET TITLE:
ELEVATIONS

SHEET NO. **A4**

DATE: **MAY 2017**

OWNER

MR. PHONE:

PROJECT LOCATION:
ORA NEINAVAY
490 SOBRATO DR.
CAMPBELL CA

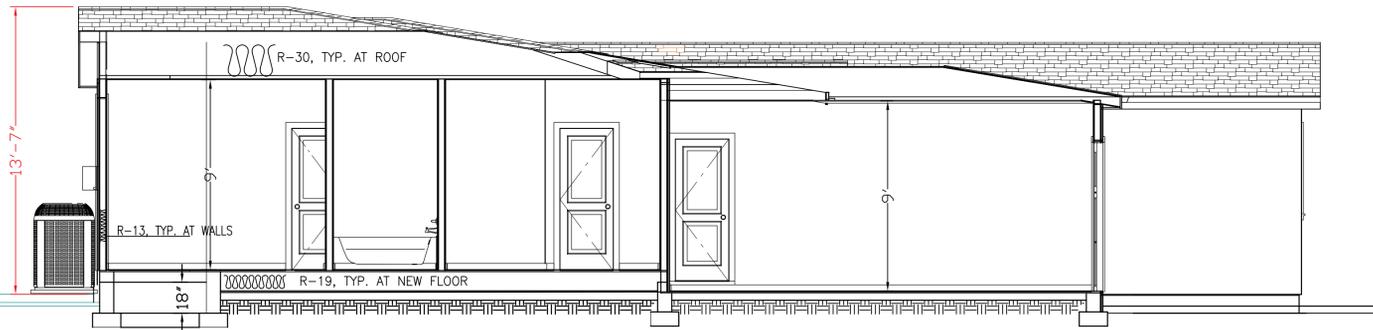
REVISIONS	DATE

SCALE: AS SHOWN
DRAWN: E. LAZARI

SHEET TITLE:
SECTIONS

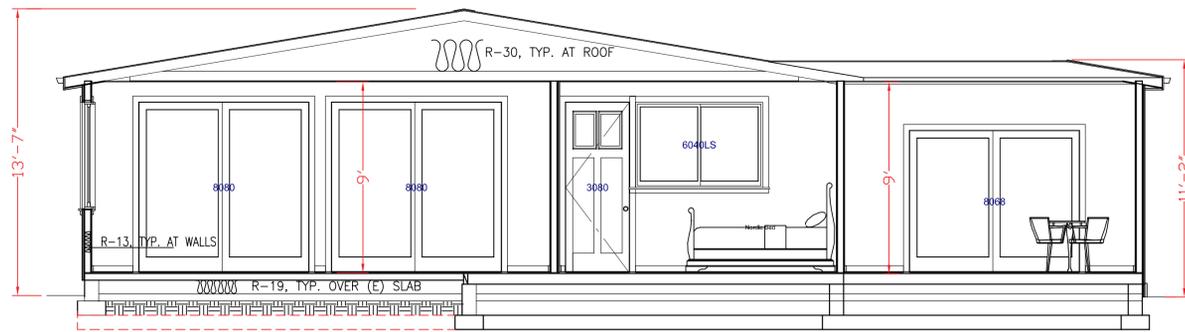
SHEET NO. **A5**

DATE: **MAY 2017**



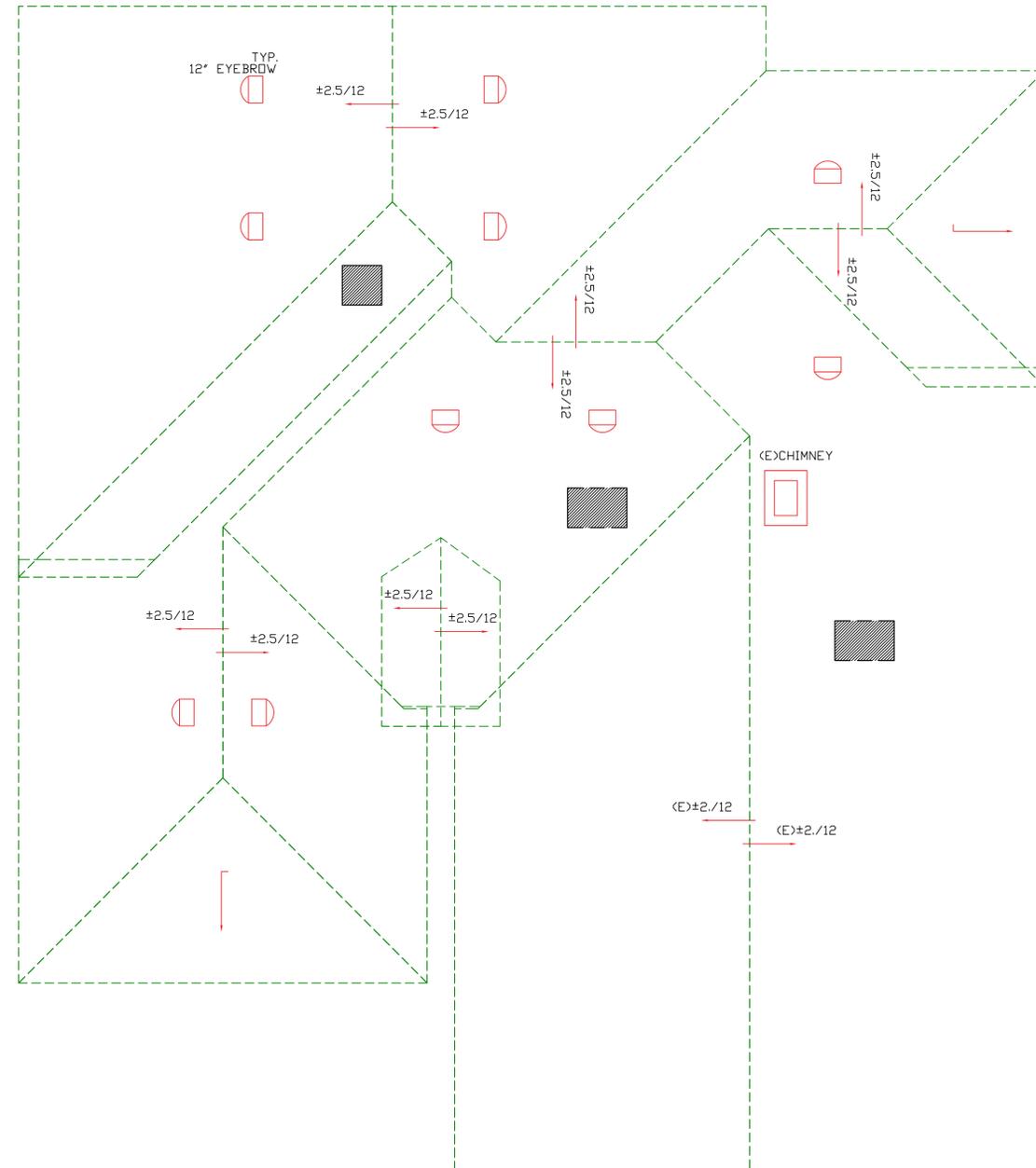
SECTION A-A

SCALE: 1/4"=1'-0"



SECTION B-B

SCALE: 1/4"=1'-0"



PROPOSED ROOF PLAN

1/4"=1'-0"

LAZARI DESIGN

6154 ROYAL ACORN PLACE
SAN JOSE CA 95120

Tel: (408) 781-8374
elazari@comcast.net

OWNER

MR.
PHONE:



NORTH NEIGHBOR

SCALE: 1/8"=1'-0"



PROJECT (490 SOBRATO DR.)

SCALE: 1/8"=1'-0"



SOUTH NEIGHBOR

SCALE: 1/8"=1'-0"

PROJECT LOCATION:
ORA NEINAVAY
490 SOBRATO DR.
CAMPBELL CA

REVISIONS	DATE

SCALE: AS SHOWN
DRAWN: E. LAZARI

SHEET TITLE:
STREETSCAPE PLAN

SHEET NO. **A6**

DATE: **MAY 2017**