



CITY OF CAMPBELL
Community Development Department

July 28, 2017

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **August 8, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of David Barnes for a Site and Architectural Review Permit (PLN2017-125) to allow the construction of a new, two-story single-family residence on property located at **1045 S. San Tomas Aquino Road**. Staff is recommending that this item be deemed Categorically Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1045 S. San Tomas Aquino Road**

Project Location Map

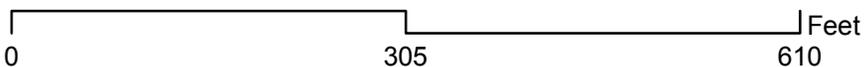


Project Location: 1045 S. San Tomas Aquino Rd.

Application Type: Site and Architectural Review Permit

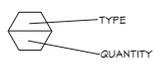
Planning File No.: PLN2017-125

Description: An approximately 3,508 square foot two-story, single-family residence with an 839 square foot detached garage and storage structure.



Community Development Department
Planning Division

NOTE ALL PLANTS ARE DROUGHT TOLERANT



- A CALIF BUCKEYE, TOYON OR POMEGRANITE - 15 GAL.
- B REDBUD, TABEBUIA OR ARBULUS MARINA - 15 GAL.
- C CAPE MYRTLE - 15 GAL.
- D DYMONDIA CREEPING BARBERRY OR CALIF. POFFY
- E CARMEL CREEPER (CEANOTHUS SHRUB) - 5 GAL.
- F PINK HAWTHORNE - 5 GAL.
- G BLUE HIBISCUS - 5 GAL.

OWNER:
MR. DAVID BARNES
18130 SAN YVIEA DRIVE
LOS GATOS, CA
(408) 206-0360

PROJECT ADDRESS:
1405 SAN THOMAS AQUINO RD., CAMPBELL, CA

ARCHITECT / PROJECT CONTACT:
HUBOI ARCHITECTURAL SERVICES
601 MCCRAY ST.
HOLLISTER, CA 95023
CONTACT: DAVID HUBOI, ARCHITECT
Cell: (408) 804-4023; Office: (831) 636-0941
huboi@sbglobal.net

STRUCTURAL ENGINEER:
ALPHA OMEGA INTEGRITY STRUCTURAL ENGINEERS
PETER PARK, P.E., PRINCIPAL
4983 WINDBERGA TERRACE
CAMPBELL, CA 95008
(408) 210-6188

APN: 403-14-16

ZONING: R-1-4 RESIDENTIAL SINGLE FAMILY

ADJACENT LAND USES:
NORTH RESIDENTIAL
SOUTH RESIDENTIAL
EAST RESIDENTIAL
WEST RESIDENTIAL

PROJECT DESCRIPTION:
NEW TWO STORY RESIDENCE AND SINGLE STORY
ACCESSORY BUILDING INCLUDING A TWO-CAR GARAGE
AND STORAGE SPACE.

SQUARE FOOTAGES:

LOT: 12,632 S.F.

FLOOR AREAS:
ENTRY PORCH 146
1ST FLOOR 2,600 S.F.
2ND FLOOR 908 S.F.
GARAGE / STORAGE BLDG. 839 S.F.

TOTAL FLOOR AREA: 4,493 S.F.

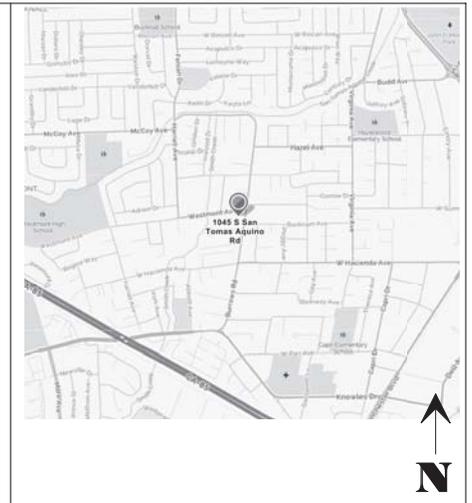
FLOOR AREA RATIO: 36%

LOT COVERAGE:
BUILDING COVERAGE: 3,585 S.F.; 28%
LANDSCAPE COVERAGE: 9,526 S.F.; 44%
PAVING COVERAGE: 3,521 S.F.; 29%

AUTOMATIC FIRE SPRINKLERS:
TO BE PROVIDED AND TO COMPLY WITH 2011 CRC SECTION R313

FIRE DEPARTMENT NOTES:
1. WATER SUPPLY REQUIREMENTS SHALL COMPLY WITH 2016 CFC SEC. 903.35 AND THE HEALTH AND SAFETY CODE 13114.7.
2. ADDRESS IDENTIFICATION SHALL COMPLY WITH CFC SEC. 505.1.
3. CONSTRUCTION SITE FIRE SAFETY SHALL COMPLY WITH PROVISIONS OF THE 2016 CFC CHAPTER 33, STANDARD DETAIL AND SPECIFICATIONS S1-7.

- SHEET 1 PRELIMINARY SITE & LANDSCAPE PLAN W/ ROOF PLANS PROJECT DATA VICINITY MAP
- SHEET 1.1 FLOOR AREA RATIO & LOT COVERAGE BLOCK DIAGRAMS
- SHEET 2 PRELIMINARY EXTERIOR ELEVATIONS RESIDENCE - SOUTH, EAST & WEST
- SHEET 3 PRELIMINARY EXTERIOR ELEVATIONS RESIDENCE - NORTH SECTION A
- SHEET 4 PRELIMINARY EXTERIOR ELEVATIONS GARAGE
- SHEET 5 PRELIMINARY FIRST FLOOR PLAN RESIDENCE
- SHEET 6 PRELIMINARY SECOND FLOOR PLAN RESIDENCE
- SHEET 7 PRELIMINARY FLOOR PLAN GARAGE

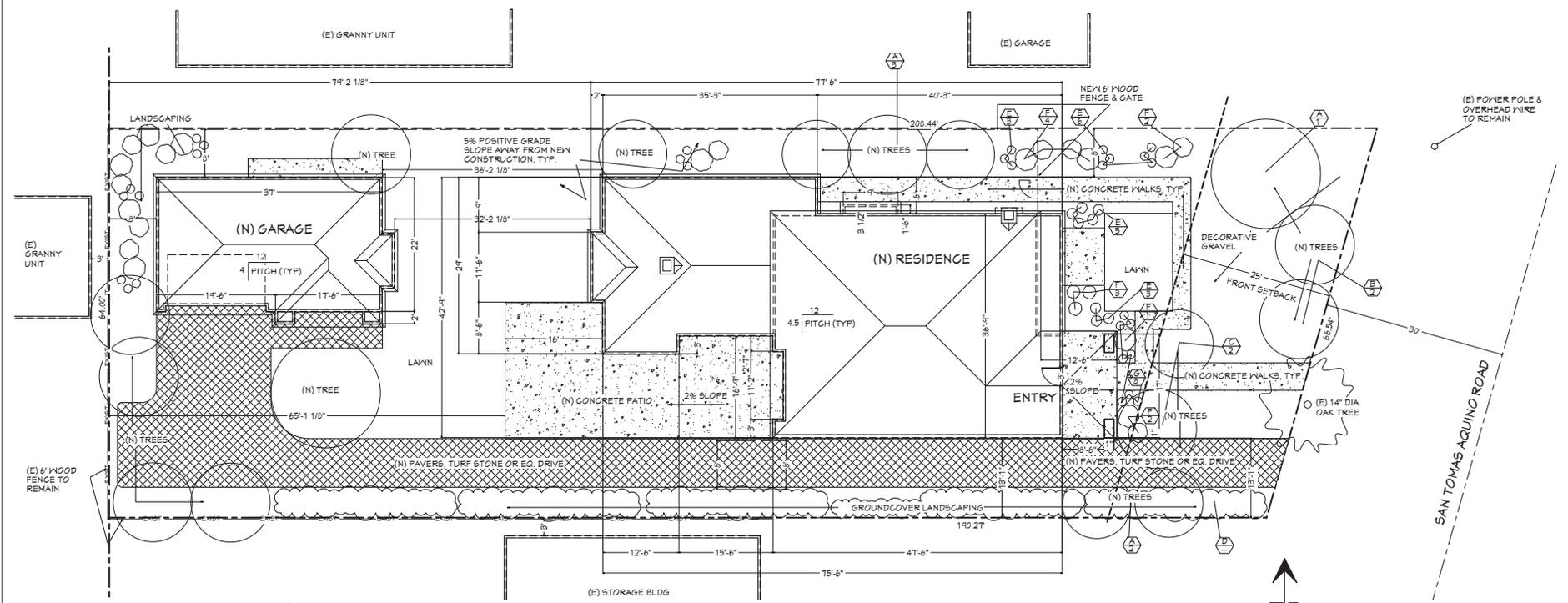


PLANTING LEGEND

PROJECT DATA

INDEX

VICINITY MAP



PRELIMINARY SITE & LANDSCAPE PLAN W/ ROOF PLANS

SCALE: 1/8" = 1'-0"

REVISIONS	BY

NEW RESIDENCE
FOR DAVID BARNES
1045 S. San Tomas Aquino Rd., Campbell, CA 95008

HUBOI
ARCHITECTURAL SERVICES
Architecture • Interiors • Commercial • Residential

601 MCCRAY ST., SUITE 202 HOLLISTER, CA 95023
(831) 536-0949 FAX (831) 536-8443

DATE 6/8/2011
SCALE AS SHOWN
DRAWN RLH
JOB # 14706
SHEET 1
OF SHEETS



EAST ELEVATION (FRONT)

14'-10"



WEST ELEVATION (REAR)



SOUTH ELEVATION

REVISIONS BY

NO.	DESCRIPTION	DATE	BY

NEW RESIDENCE
FOR DAVID BARNES
1045 S. San Tomas Aquino Rd., Campbell, CA 95008

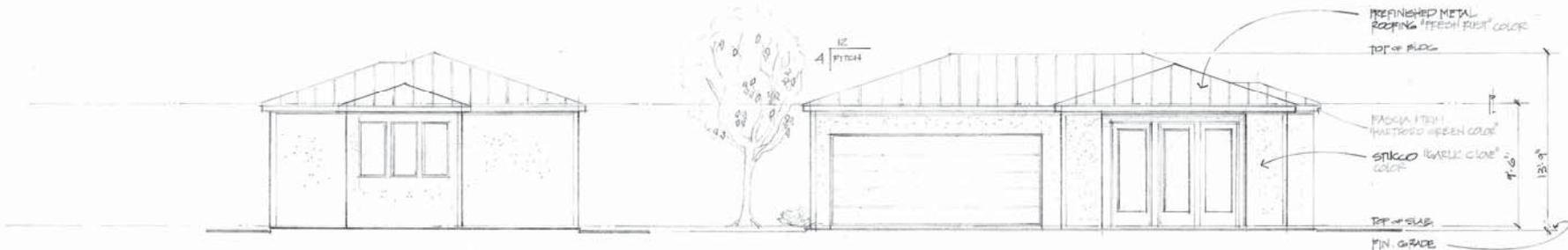
901 BICOBY BL. SAN JOSE, CALIFORNIA 95128
408.254.0800
HUBOI ARCHITECTURAL SERVICES
Architecture • Interiors • Commercial • Residential

DATE: 3/24/2016
SCALE: AS SHOWN
DRAWN:
JOB#: 14706
SHEET
2
OF SHEETS



EAST ELEVATION

SOUTH ELEVATION



WEST ELEVATION

NORTH ELEVATION

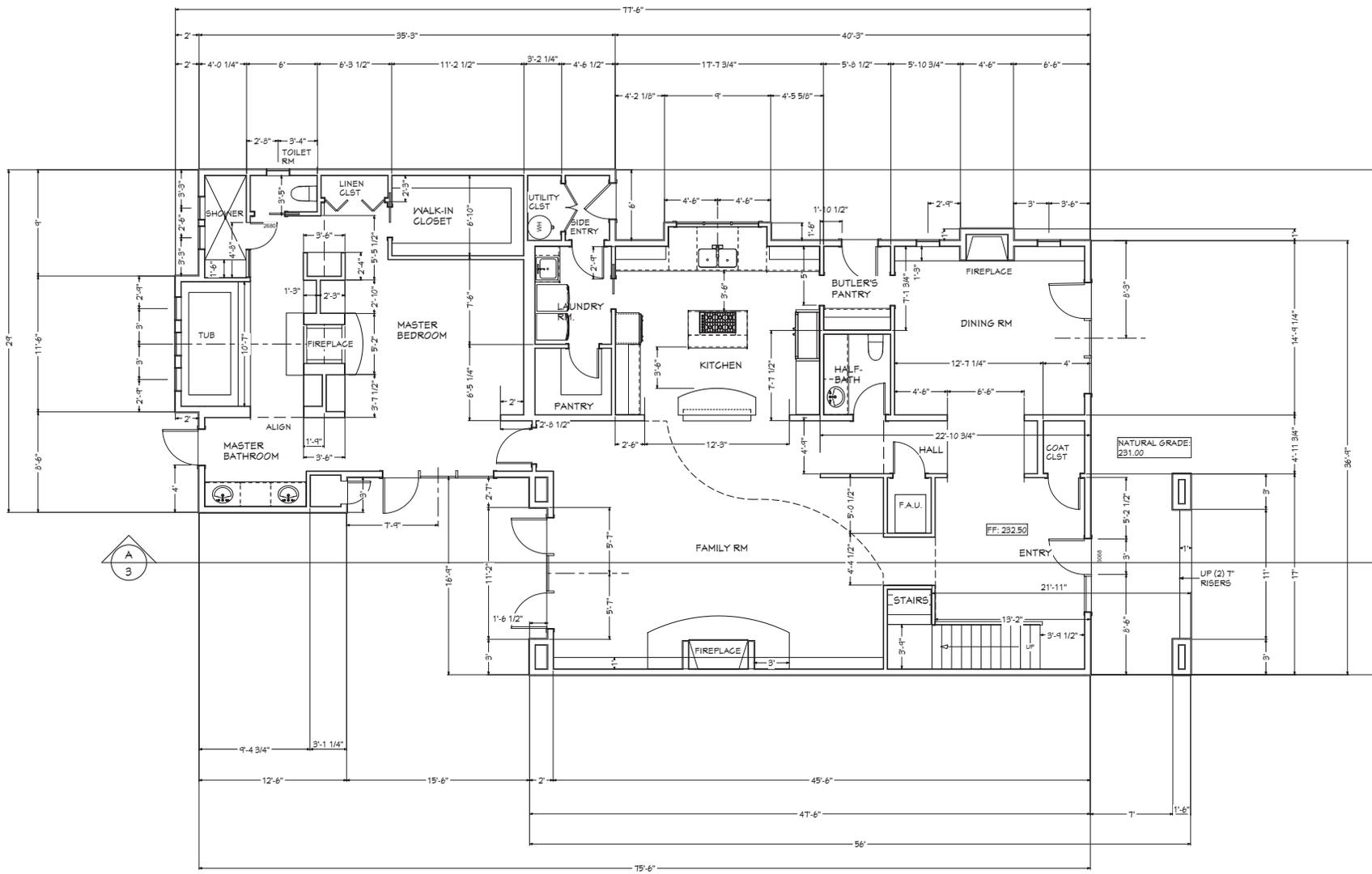
REVISIONS	BY

NEW RESIDENCE
FOR DAVID BARNES
1045 S. San Tomas Aquino Rd., Campbell, CA 95008

HUBOI
ARCHITECTURAL SERVICES
Architecture • Interiors • Commercial • Residential

807 MCCOY BL., SUITE 202 BIRMINGHAM, CA 95222
(916) 536-6949 FAX (916) 536-6942

DATE 11/16/2016
SCALE AS SHOWN
DRAWN
JOB # 14706
SHEET
4
OF SHEETS



PRELIMINARY FIRST FLOOR PLAN - RESIDENCE

SCALE: 1/4" = 1'-0"



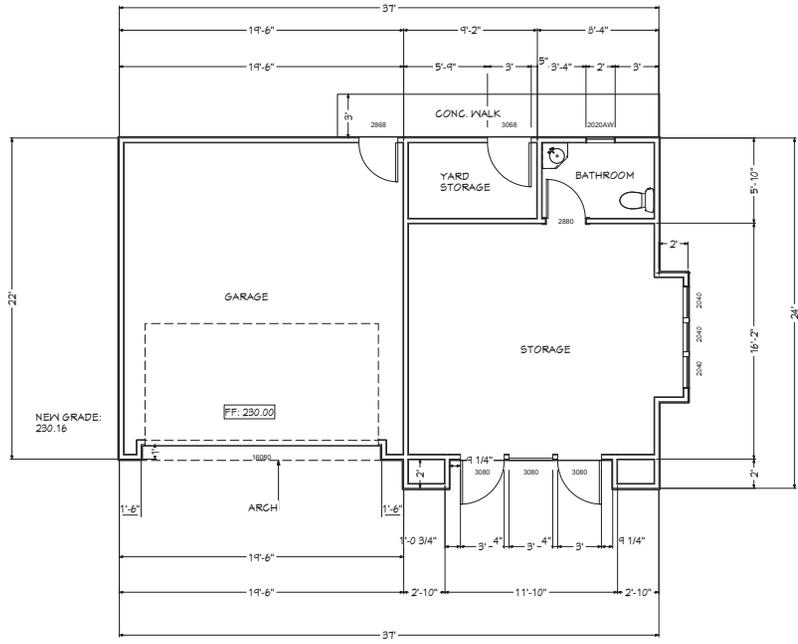
REVISIONS	BY

NEW RESIDENCE
FOR DAVID BARNES
1045 S. San Tomas Aquino Rd., Campbell, CA 95008

601 MCOWAN BL. SUITE 202 DUBLIN, CA 94568
(925) 558-0949 FAX (925) 558-8443

HUBOI
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DATE	6/6/2011
SCALE	AS SHOWN
DRAWN	RLH
JOB #	14706
SHEET	5
OF	SHEETS



PRELIMINARY GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"



REVISIONS	BY

NEW RESIDENCE
FOR DAVID BARNES
1045 S. San Tomas Aquino Rd., Campbell, CA 95008

601 MCOWAN BL., SUITE 202, FOLSOM, CA 95632
(916) 552-0949
FAX (916) 552-8443

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DATE	6/6/2011
SCALE	AS SHOWN
DRAWN	RLH
JOB #	14706
SHEET	7
OF	SHEETS



STREET ELEVATION

1/8" = 1'-0"

REVISIONS	BY

**NEW RESIDENCE
FOR DAVID BARNES**
1945 S. San Tomas Aquino Rd., Campbell, CA 95008

861 MCCOY BL., SUITE 202, FARMERSVILLE, CA 95232
(925) 336-0509 FAX (925) 336-0507
Commercial • Residential

HUBOI
ARCHITECTURAL SERVICES
Architecture • Interiors • Commercial • Residential

DATE	
SCALE	AS SHOWN
DRAWN	
JOB #	14706
SHEET	

OF SHEETS