



**CITY OF CAMPBELL**  
**Community Development Department**

July 14, 2017

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **July 25, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Eaton Hall Architecture for a Site and Architectural Review Permit (PLN2016-76) to allow a minor addition, façade restoration, and seismic retrofit of an unreinforced masonry commercial building listed on the Historic Resource Inventory and an associated Modification (PLN2016-99) to a previously approved Conditional Use Permit (PLN2007-183) to modify the interior configuration of an existing restaurant with approved general alcohol sales and late-night operational hours, on property located at **360 E. Campbell Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **360 E. Campbell Avenue**

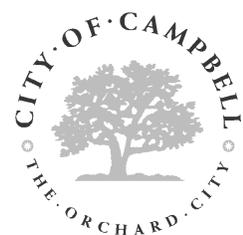
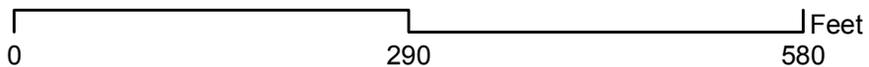
# Project Location Map



**Project Location:** 360 E. Campbell Ave.

**Application Type:** Site and Arch. Review Permit  
Conditional Use Permit Modification

**Planning File No.:** PLN2016-76,99



Community Development Department  
Planning Division

# DOWNTOWN CAMPBELL SEISMIC RETROFIT

360 E CAMPBELL AVE.  
CAMPBELL, CA 95008

APN: 412-07-030

SITE & ARCHITECTURAL REVIEW SUBMITTAL 2/29/2016  
SITE & ARCHITECTURAL REVIEW RESUBMITTAL 09/05/2016  
SITE & ARCHITECTURAL REVIEW RESUBMITTAL 04/12/2017  
SITE & ARCHITECTURAL REVIEW RESUBMITTAL 05/25/2017

## GENERAL INFORMATION

SCOPE OF WORK: SEISMIC RETROFIT OF EXISTING COMMERCIAL BUILDING; MODIFICATION OF FACADE TO MORE HISTORICAL STATE

CURRENT OCCUPANCY: B

JURISDICTION: CITY OF CAMPBELL

TYPE OF CONSTRUCTION: V-B

SPRINKLERS: NO

AREA OF RETROFIT: 2,609 SF

AREA OF FACADE REMODEL: 400 SF

ZONING: C3 CENTRAL BUSINESS DISTRICT

APN: 412-07-030



EATON HALL ARCHITECTURE

1501 The Alameda, Suite 105  
San Jose, CA 95126  
TEL 408.265.5255  
FAX 408.265.6155

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## PREVAILING CODES

CITY OF CAMPBELL MUNICIPAL CODE  
2013 IBC, CPD, OMC, CBC  
2013 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS)  
2013 BUILDING ENERGY EFFICIENCY STANDARDS  
2013 CALIFORNIA CODE FOR BUILDING CONSERVATION

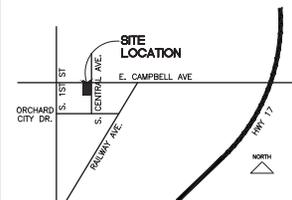
## PROJECT DIRECTORY

OWNER: THE SALVATORE F. and KAREN E. BLANCATO REVOCABLE TRUST  
301 EUREKA CANYON ROAD  
CORRALITOS, CA 95076

PROPERTY  
MGM: KB FACILITIES MANAGEMENT CO.  
301 EUREKA CANYON ROAD  
CORRALITOS, CA 95076-0242  
t: (831) 722-1100  
BILL PIZZA

ARCHITECT: EATON HALL ARCHITECTURE  
1501 THE ALAMEDA, SUITE 105  
SAN JOSE, CA 95126  
JEFFREY E. EATON, AIA  
T: (408) 265-5255  
F: (408) 265-6155  
e: jeffrey@ehastudio.com

## VICINITY MAP



## SHEET INDEX

GENERAL INFORMATION  
SA0.1 GENERAL INFORMATION

ARCHITECTURAL  
SA1.0 PROPOSED SITE PLAN  
SA2.1 EXISTING/PROPOSED FLOOR PLANS  
SA3.1 EXISTING/PROPOSED ELEVATIONS  
SA3.2 PROPOSED ELEVATION/SECTION

STRUCTURAL  
STRUCTURAL DRAWINGS PROVIDED FOR REFERENCE ONLY

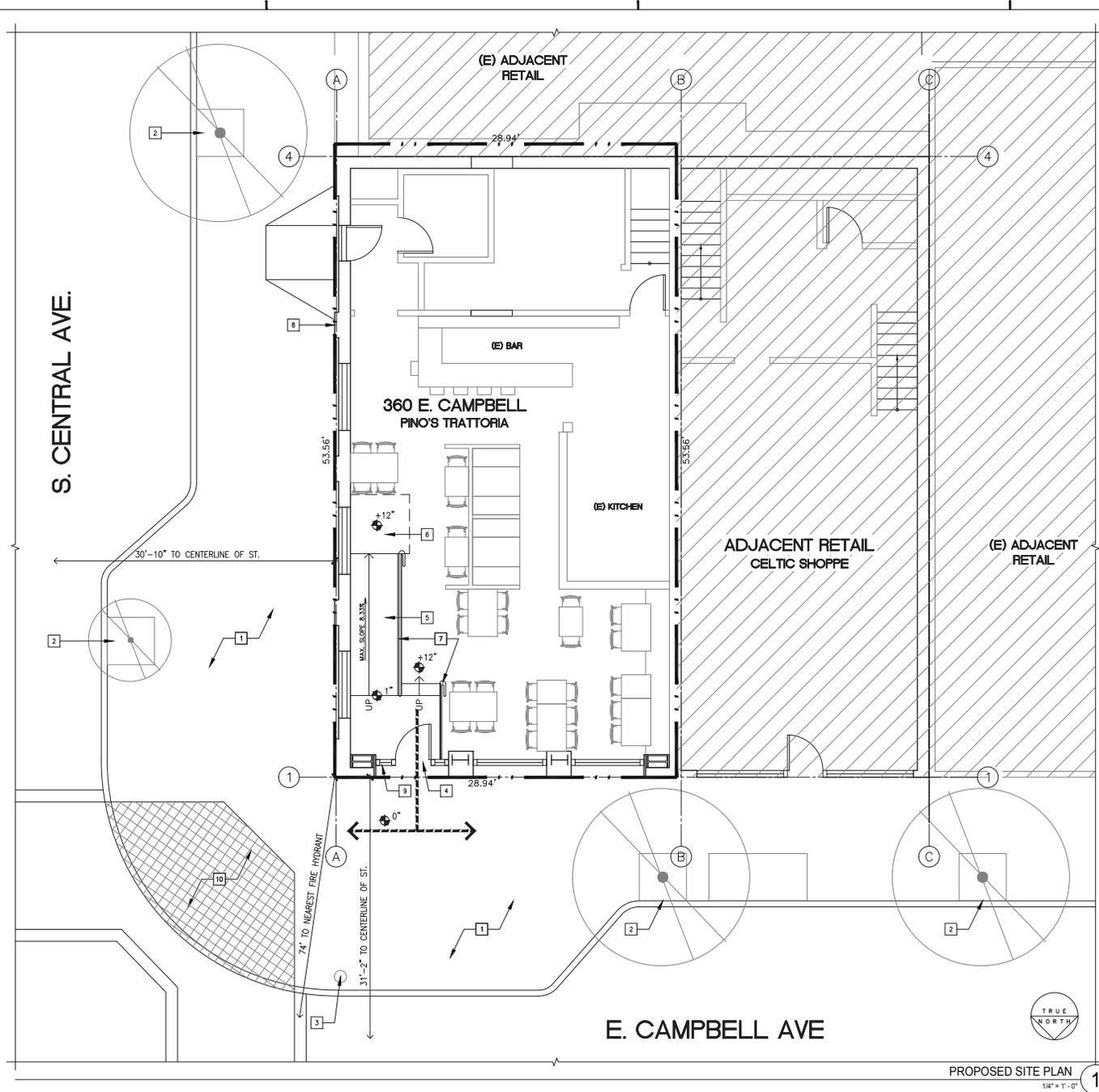
DOWNTOWN CAMPBELL - SEISMIC RETROFIT  
SITE & ARCHITECTURAL REVIEW  
360 E CAMPBELL AVE.  
CAMPBELL, CA 95008

Rev. No.	Description	Date
1	PLANNING COMMENT RESPONSE 9/5/16	
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3	PLANNING COMMENT RESPONSE 11/17/16	
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Project Number: 3.621  
Date: 2/29/2016  
Drawn by: PM

Sheet Title:  
GENERAL  
INFORMATION

SA0.1



**LEGEND**

PROPOSED ACCESSIBLE PATH OF TRAVEL

**KEY NOTES**

- 1 (E) ACCESSIBLE WALK
- 2 (E) TREE WELL
- 3 (E) STREET LIGHT
- 4 (N) BUILDING ENTRY
- 5 (N) RAMP
- 6 (N) LANDING
- 7 (N) RAILING
- 8 INSTALL DIRECTIONAL SIGNAGE INDICATING LOCATION OF ACCESSIBLE ENTRANCE AT EAST CAMPBELL AVE
- 9 INSTALL INTERNATIONAL SYMBOL OF ACCESSIBILITY AT ENTRY
- 10 UPSHAPE EXISTING CURB RAMP AT CORNER OF EAST CAMPBELL AVE AND SOUTH CENTRAL AVE TO ACCESSIBILITY COMPLIANCE

**TABULATIONS**

SITE TABULATIONS:

SITE ACREAGE	1,519 SF	100%
EXISTING BLDG SQ FOOTAGE	1,417 SF	93%
PROPOSED BLDG SQ FOOTAGE	1,448 SF	95%

REQUIRED PARKING:

CAMPBELL ZONING: C3 (CENTRAL BUSINESS DISTRICT); SECTION 21.10.060 RESTAURANT

OCCUPANTS DINING: 649 SF \* (1 OCCUPANT / 15 SF) = 48 OCCUPANTS

PARKING: 1 PARKING : 4 OCCUPANTS = 12 STALLS

TOTAL 12 STALLS REQUIRED

NOTE: PER 21.10.060, ALL C3 PARKING PROVIDED AS PART OF SHARED PARKING FACILITIES (E., PARKING LOT LOCATED AT S. CENTRAL AVE & ORCHARD CITY DR).

**SEAT COUNT**

EXISTING SEATING	
EXISTING DINING SQUARE FOOTAGE	687 SF
MAX SEATING	687/15 = 46 MAX OCCUPANCY
APPROVED SEATING INCREASE TO 50 SEATS	
BAR SEATING	4
INTERIOR DINING	46
TOTAL EXISTING SEATING	50
PROPOSED SEATING	
PROPOSED DINING SQUARE FOOTAGE	712 SF
MAX SEATING	712/15 = 48 MAX OCCUPANCY
BAR SEATING	5
INTERIOR DINING	42
TOTAL PROPOSED SEATING	47



EATON HALL ARCHITECTURE

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3	PLANNING COMMENT RESPONSE 8/25/17	

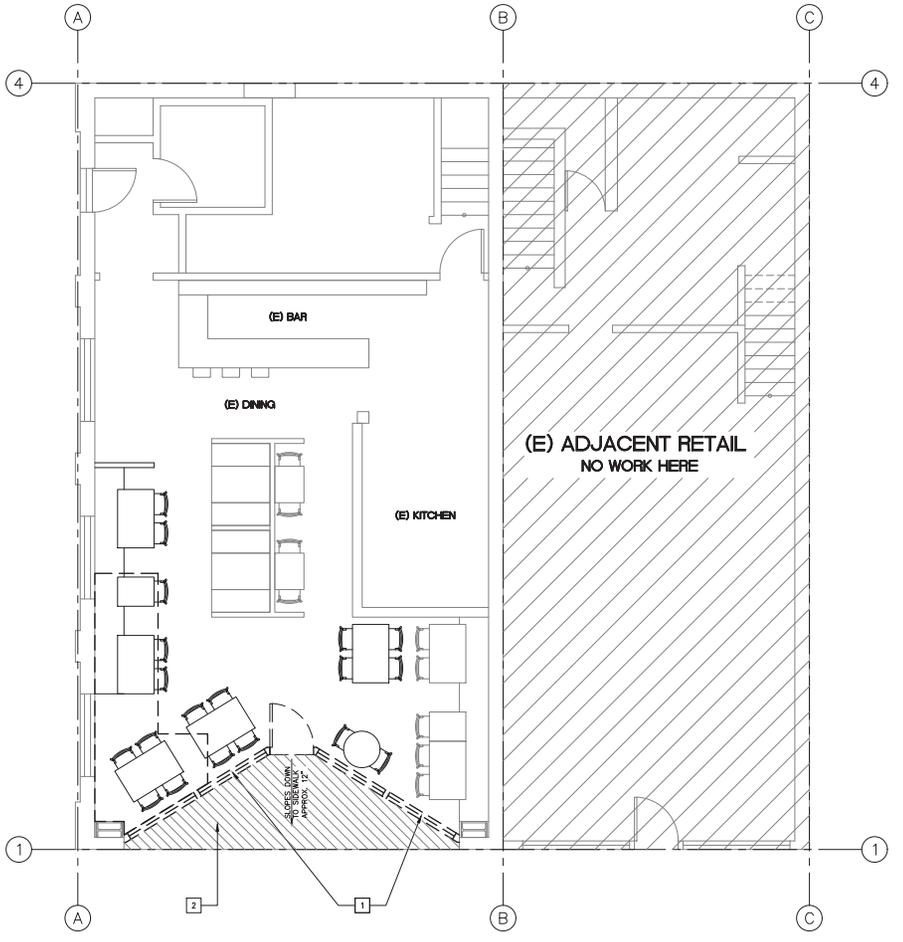
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PROPOSED SITE  
PLAN

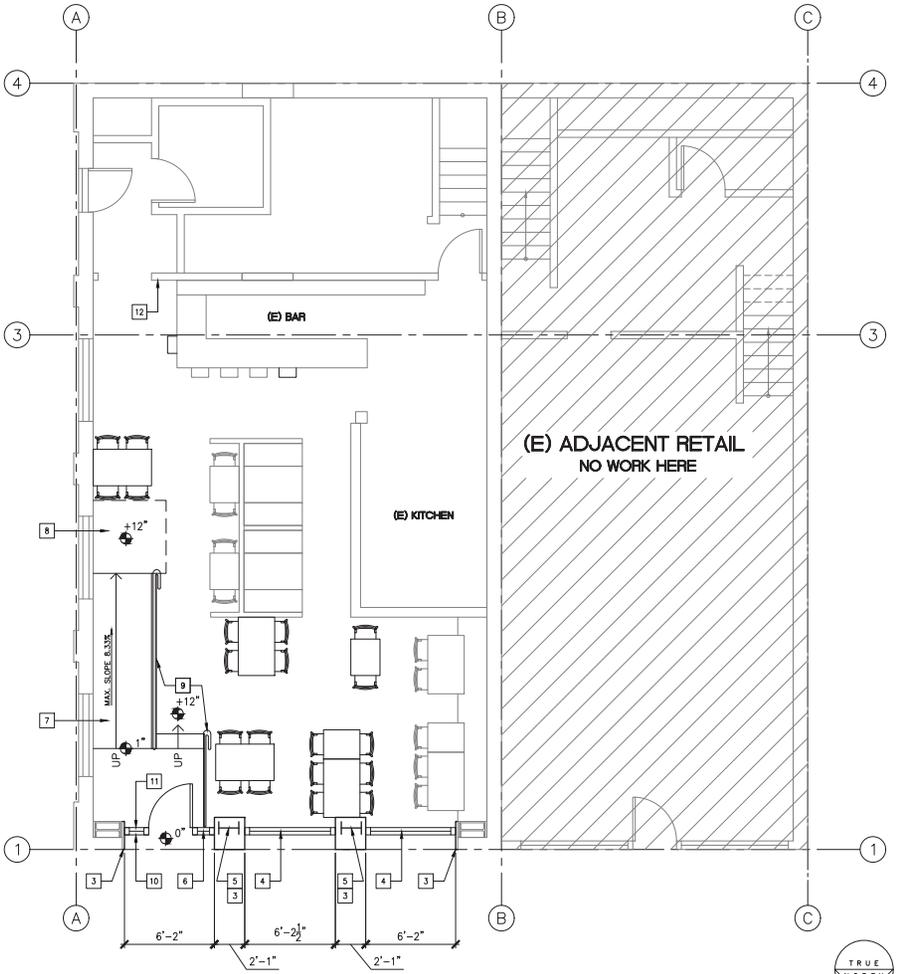
SA1.0

- KEY NOTES**
1. (E) STOREFRONT TO BE DEMOLISHED
  2. (E) RAMP TO BE DEMOLISHED
  3. FINISH TO MATCH (E) BRICK PLASTERS (TYP.)
  4. (N) STOREFRONT (TYP.)
  5. (N) STEEL COLUMNS FOR SEISMIC RETROFIT
  6. (N) STOREFRONT ENTRY
  7. (N) RAMP (MAX SLOPE OF 8.33%)
  8. (N) CLEAR LANDING (60"x60" MIN.)
  9. (N) RAILING
  10. INSTALL INTERNATIONAL SYMBOL OF ACCESSIBILITY
  11. INSTALL TACTILE EXIT SIGNAGE
  12. INSTALL SIGNAGE INDICATING LOCATION OF ACCESSIBLE EXIT ALONG EAST CAMPBELL AVE.

**eha**  
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DEMO / EXISTING FIRST FLOOR PLAN  
 1/4" = 1'-0" 2



PROPOSED FIRST FLOOR PLAN  
 1/4" = 1'-0" 1

**DOWNTOWN CAMPBELL - SEISMIC RETROFIT  
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2	PLANNING COMMENT RESPONSE 11/15/15	
3	PLANNING COMMENT RESPONSE 8/25/17	

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 Date: 2/29/2016  
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Sheet Title:  
 EXISTING/  
 PROPOSED FLOOR  
 PLANS



**SA2.1**



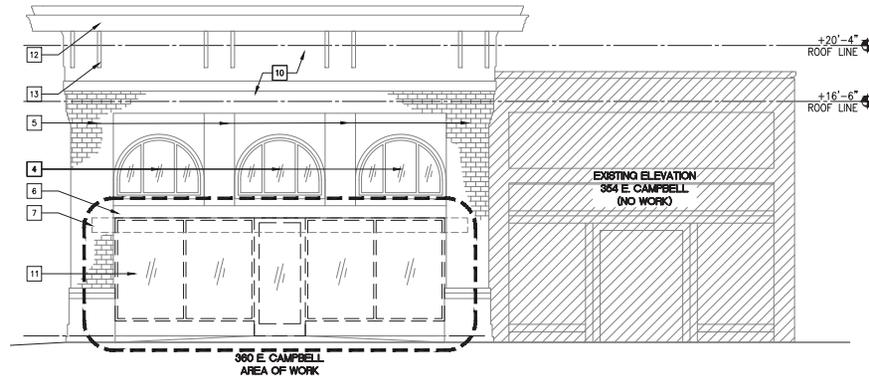
EXISTING NORTH ELEVATION  
NTS 7



VIEW FROM INTERSECTION E. CAMPBELL & S. CENTRAL AVE  
NTS 6



HISTORICAL PHOTO; INTERSECTION E. CAMPBELL & S. CENTRAL AVE  
NTS 5



EXISTING NORTH ELEVATION (E CAMPBELL AVE.)  
1/4" = 1'-0" 1

KEY NOTES

- 1. (N) ENTRY
- 2. (N) ALUM. STOREFRONT (TYP.)
- 3. (N) BRICK PILASTERS, MATCH EXISTING
- 4. (E) HISTORIC ARCHED TRANSOM WINDOWS, WINDOW PANES TO REMAIN
- 5. (E) BRICK PILASTER TO REMAIN
- 6. (E) HORIZONTAL BEAM TO REMAIN
- 7. (E) FINING TO BE RELOCATED
- 8. (N) GLAZING TO MATCH EXISTING HISTORIC WINDOWS
- 9. (N) BRICK MANSICOT TO MATCH EXISTING
- 10. (E) FACADE (NO WORK)
- 11. (E) STOREFRONT TO BE DEMOLISHED
- 12. (E) CORNICE TO REMAIN
- 13. (E) BRACKETS TO REMAIN



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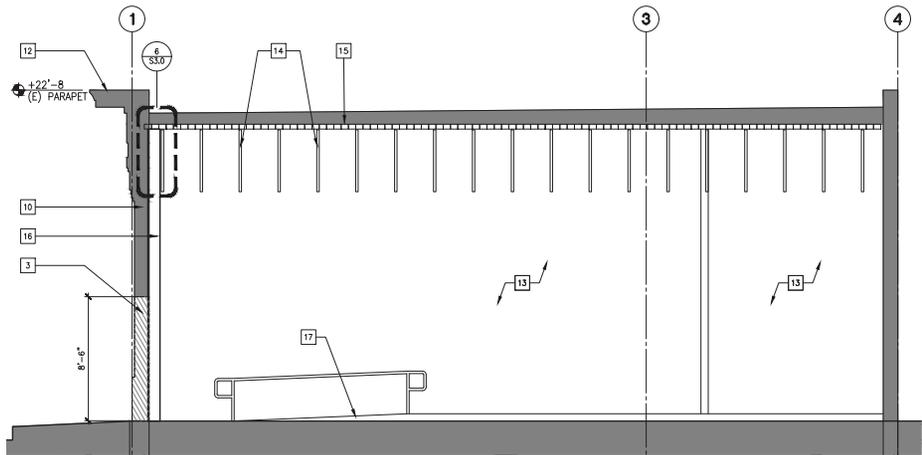
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3	PLANNING COMMENT RESPONSE 9/21/17	
4	PLANNING COMMENT RESPONSE 9/21/17	

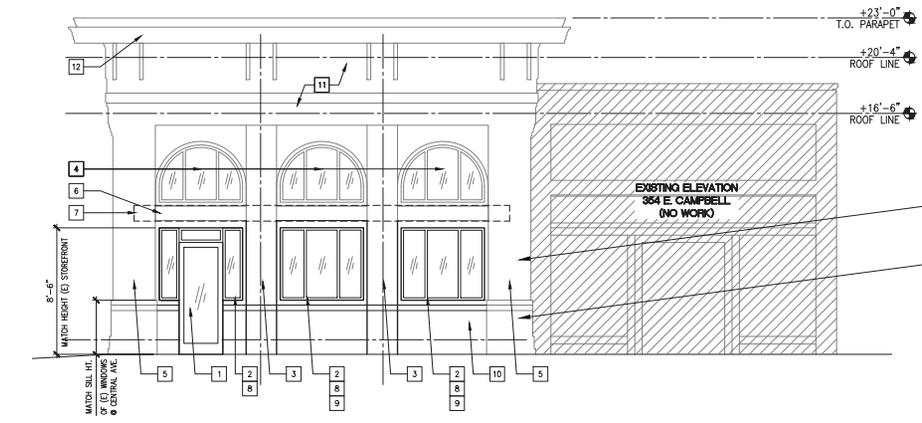
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Sheet Title:  
EXISTING/  
PROPOSED  
ELEVATIONS

SA3.1



PROPOSED TRANSVERSE SECTION 3  
1/4" = 1'-0"

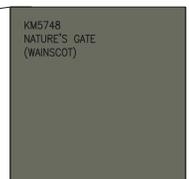
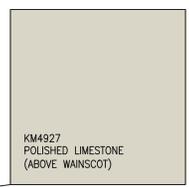


PROPOSED NORTH ELEVATION (E CAMPBELL AVE.) 1  
1/4" = 1'-0"

KEY NOTES

- 1. (N) ENTRY
- 2. (N) ALUM. STOREFRONT (TYP.)
- 3. (N) BRICK PLASTER (TYP.), MATCH EXISTING
- 4. (E) HISTORIC TRANSOM WINDOWS, WINDOW PANES TO REMAIN
- 5. (E) BRICK PLASTER TO REMAIN
- 6. (E) HORIZONTAL BEAM TO REMAIN; RETAIN EXISTING (STUCCO) FINISH; PAINT TO MATCH ADJACENT BRICK
- 7. (E) ANNING TO REMAIN
- 8. (N) GLAZING, ALUMINUM STOREFRONT PAINTED TO MATCH EXISTING HISTORIC WINDOWS
- 9. (N) MULLIONS TO MATCH EXISTING HISTORIC WINDOWS
- 10. (N) BRICK WAINSCOT PAINTED TO MATCH EXISTING
- 11. (E) FACADE (NO WORK)
- 12. (E) CORNICE (NO WORK)
- 13. (E) RESTAURANT INTERIOR (NO WORK)
- 14. (E) TRUSS (SEE STRUCTURAL DRAWINGS)
- 15. (E) ROOF (SEE STRUCTURAL DRAWINGS)
- 16. (N) STRUCTURAL COLUMN WITHIN BRICK PLASTER (SEE STRUCTURAL DRAWINGS)
- 17. (N) ACCESSIBLE RAMP (MAX SLOPE OF 8.33%)

COLORS



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Sheet Title:  
PROPOSED  
ELEVATIONS/  
SECTIONS

SA3.2



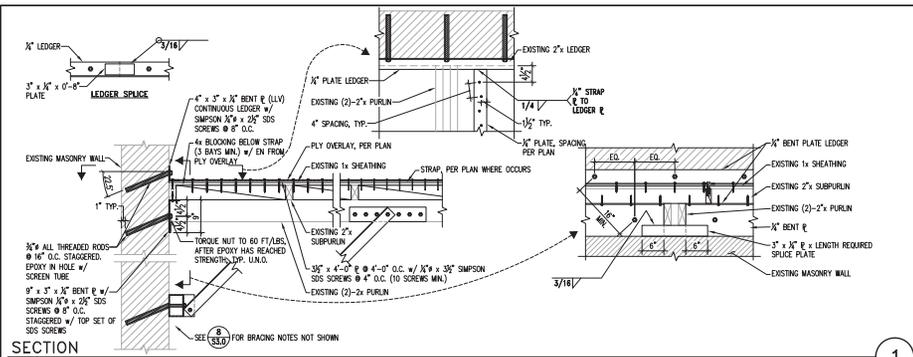


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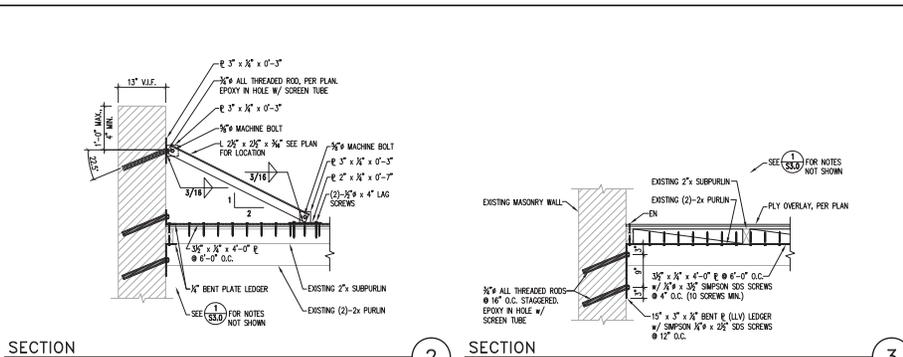
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11/23/2015  
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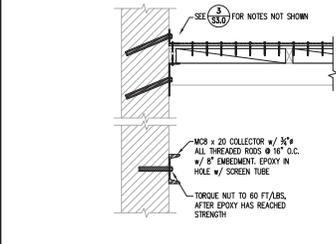
PROJECT: FRAMING DETAILS  
JOB NO.:  
SHEET NO.:  
SHEET DATE: November 23, 2015  
DESIGNED BY: DCCL  
DRAWN BY: VJL/JAL  
CHECKED BY: SPD  
INITIAL DATE:  
14-0094  
**S3.0**  
SHEET 6 OF 6



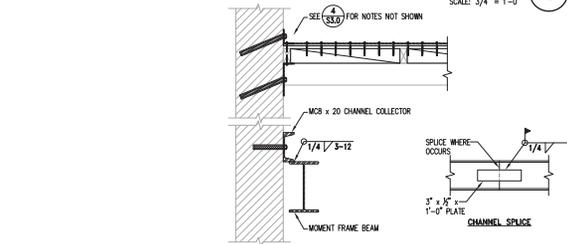
SECTION 1 SCALE: 3/4" = 1'-0"



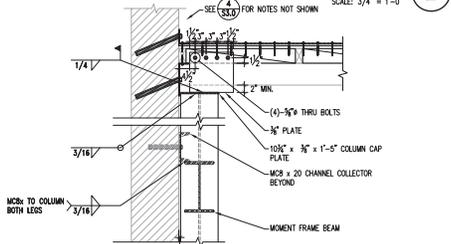
SECTION 2 SCALE: 3/4" = 1'-0"



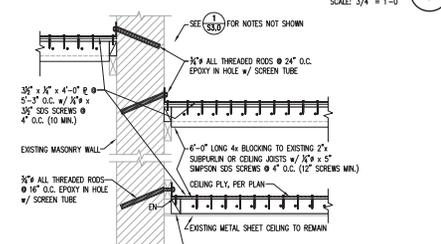
SECTION 3 SCALE: 3/4" = 1'-0"



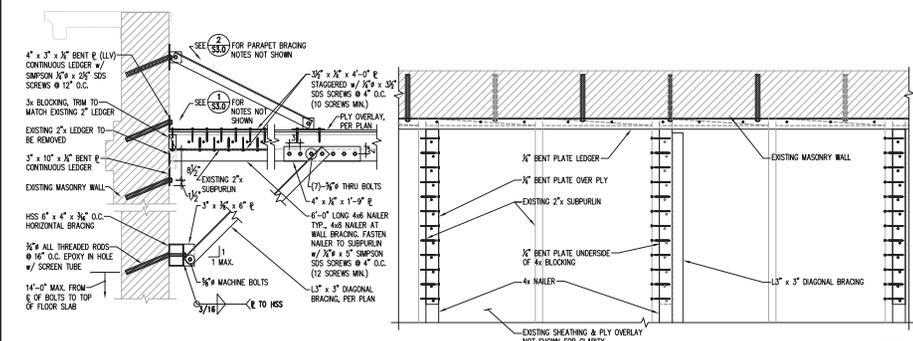
SECTION 4 SCALE: 3/4" = 1'-0"



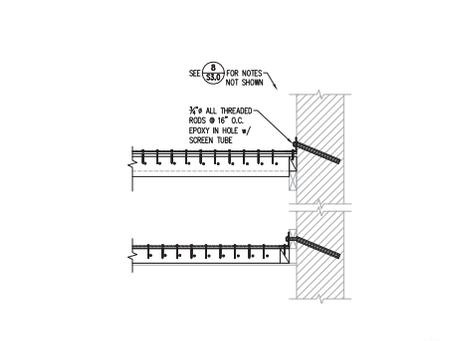
SECTION 5 SCALE: 3/4" = 1'-0"



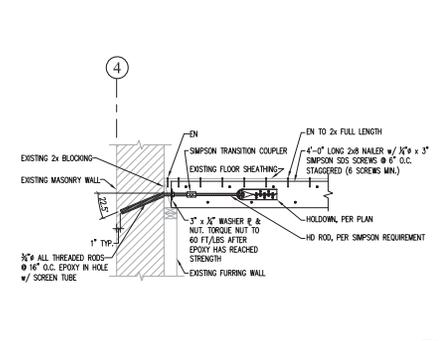
SECTION 6 SCALE: 3/4" = 1'-0"



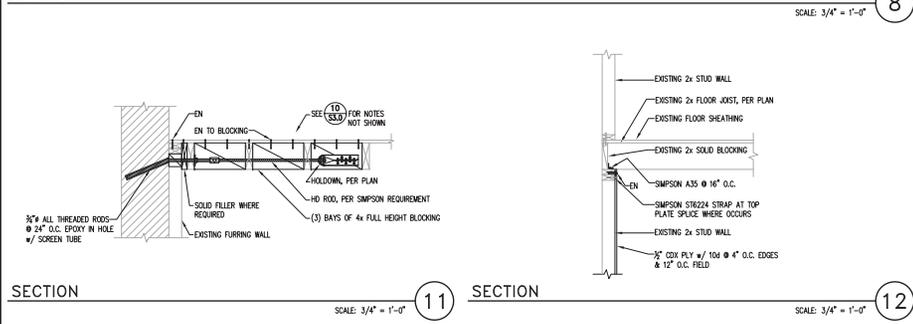
SECTION 7 SCALE: 3/4" = 1'-0"



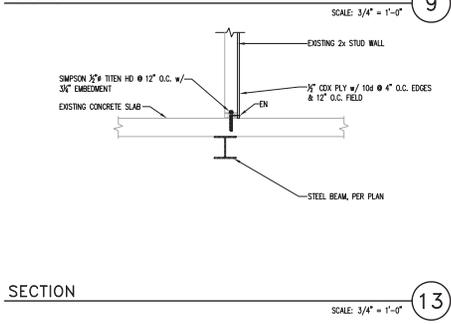
SECTION 8 SCALE: 3/4" = 1'-0"



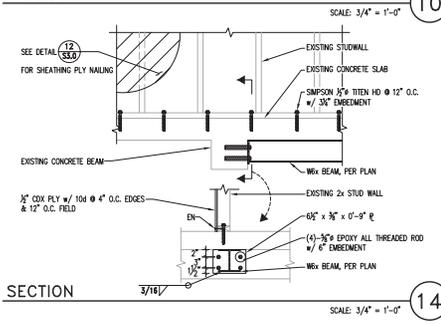
SECTION 9 SCALE: 3/4" = 1'-0"



SECTION 10 SCALE: 3/4" = 1'-0"



SECTION 11 SCALE: 3/4" = 1'-0"



SECTION 12 SCALE: 3/4" = 1'-0"



SECTION 13 SCALE: 3/4" = 1'-0"



SECTION 14 SCALE: 3/4" = 1'-0"