



**CITY OF CAMPBELL**  
**Community Development Department**

July 14, 2017

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **July 25, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Jimmy Chang for a Planned Development Permit (PLN2016-257) to allow for façade improvements, new mechanical entry gates, conversion of garports to carports (and adding new carports), enlargement of existing trash enclosures, conversion of private patio areas to common open space, alterations to existing staircases, installation of new lighting fixtures, and removal of ten protected trees, through an associated Tree Removal Permit (PLN2017-200), in an existing apartment community (d.b.a. The Parc at Pruneyard) located at **225 Union Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

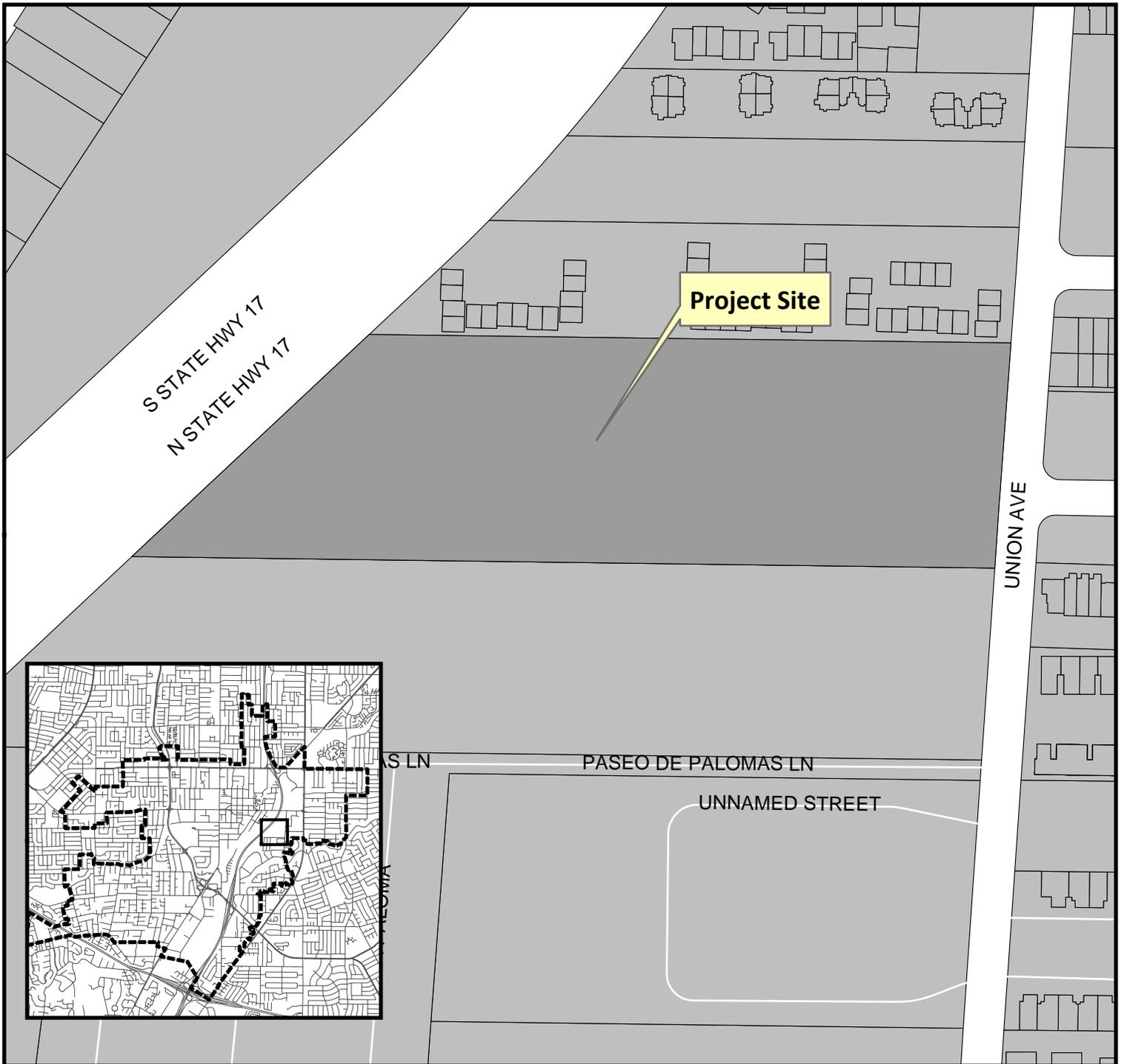
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **225 Union Avenue**

# Project Location Map

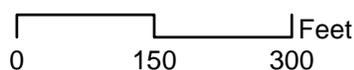


**Project Location:** 225 Union Avenue

**Application Type:** PD Permit and Tree Removal

**Planning File No.:** PLN2016-257 and 2017-200

**Description:** To allow for facade and site improvements, new mechanical entry gates, and removal of ten protected trees.



Community Development Department  
Planning Division

# THE PARC AT PRUNEYARD

## EXTERIOR IMPROVEMENTS: 225 UNION AVENUE, CAMPBELL, CA 95008



GENERAL SCOPE OF WORK	PROJECT DATA SUMMARY	DRAWING INDEX	PROJECT INFO																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																													
<p><b>BUILDING FACADE IMPROVEMENTS</b></p> <p>NEW FACADE IMPROVEMENTS AT BUILDINGS 1, 2, 3 &amp; 4. THE FACADE RENOVATION WILL BE APPLIED ONLY AT ELEVATIONS FACING THE MAIN DRIVEWAYS AND STREET WILL INCLUDE THE FOLLOWING:</p> <ul style="list-style-type: none"> <li>- REMOVE EXISTING WINDOWS AND REPLACE WITH NEW VINYL WINDOWS AT BUILDINGS 1 &amp; 3 ONLY.</li> <li>- REMOVE EXISTING LAP SIDING AT DESIGNATED ELEVATIONS AND APPLY HARDIE LAP SIDING, HARDIE AND REVEAL PANEL.</li> <li>- BUILD NEW GABLE ROOFS WITH STANDING SEAM METAL ROOF AS NOTED ON THE ELEVATIONS.</li> <li>- INSTALL NEW ROOF EQUIPMENT SCREENS AT BUILDINGS 1 AND 3</li> <li>- INSTALL NEW WOOD TRELLISES AT STREET SIDE ELEVATIONS.</li> </ul> <p><b>BUILDING COURTYARD IMPROVEMENTS AT BUILDINGS 1 AND 3</b></p> <ul style="list-style-type: none"> <li>- REMOVE THE EXISTING STAIRS AT DESIGNATED LOCATIONS.</li> <li>- REMOVE EXISTING MAINTENANCE STORAGE BUILDING AND BUILD A NEW ELEVATOR TOWER WITH BICYCLE STORAGE INCLUDED.</li> <li>- REMOVE EXISTING WALKWAYS AT DESIGNATED LOCATIONS.</li> <li>- REMOVE UPPER WALKWAY TO ACCOMMODATE NEW ELEVATOR.</li> </ul> <p><b>SITE IMPROVEMENTS</b></p> <ul style="list-style-type: none"> <li>- LANDSCAPE IMPROVEMENTS THROUGHOUT THE SITE.</li> <li>- RECONFIGURE PARKING AT DESIGNATED LOCATIONS AND ADD PARKING STALL AS NOTED ON SITE DATA SHEET A0.1. REMOVE AND ADDITION OF CARPORTS INCLUDED IN RECONFIGURATION.</li> <li>- MODIFY AND ENLARGE EXISTING TRASH ENCLOSURES.</li> </ul> <p><b>APPLICABLE CODES</b></p> <ul style="list-style-type: none"> <li>• 2016 CALIFORNIA BUILDING CODE</li> <li>• 2016 CALIFORNIA PLUMBING CODE</li> <li>• 2016 CALIFORNIA ELECTRICAL CODE</li> <li>• 2016 CALIFORNIA FIRE CODE</li> <li>• 2016 CALIFORNIA TITLE 24 ENERGY REGULATIONS</li> <li>• ALL APPLICABLE LOCAL ORDINANCES &amp; MUNICIPAL CODES</li> </ul>	<p>ASSESSORS' PARCEL NUMBER: 412-16-002</p> <p>OCCUPANCY: R-2</p> <p>ZONING: PD</p> <p>TYPE OF CONSTRUCTION: V-B</p> <p>SPRINKLERS: NO</p> <p>STORIES: TWO</p> <p>BUILDINGS: 4 + LEASING OFFICE</p> <p>LOT AREA: 370,427 SF</p> <p>MAXIMUM HEIGHT ALLOWED: 40 FEET OR 3 STORES</p> <p><b>SETBACKS:</b></p> <table border="1"> <tr> <th>LOCATION:</th> <th>REQUIRED:</th> <th>EXISTING:</th> <th>PROPOSED:</th> </tr> <tr> <td>FRONT AND STREET:</td> <td>20 FEET</td> <td>11'-6" FEET</td> <td></td> </tr> <tr> <td>SIDE:</td> <td>5 FEET</td> <td>6 FEET</td> <td>NO CHANGE</td> </tr> <tr> <td>REAR:</td> <td>5 FEET</td> <td>5 FEET</td> <td>NO CHANGE</td> </tr> </table> <p><b>UNIT COUNT:</b></p> <table border="1"> <tr> <td>1 BEDROOM UNITS (704 SF):</td> <td>212</td> </tr> <tr> <td>2 BEDROOM UNITS (965 SF):</td> <td>40</td> </tr> <tr> <td><b>TOTAL:</b></td> <td><b>252 (UNCHANGED)</b></td> </tr> </table> <p><b>SITE DATA:</b></p> <table border="1"> <tr> <th>TYPE:</th> <th>EXISTING</th> <th>PROPOSED</th> </tr> <tr> <td>LOT COVERAGE:</td> <td>37%</td> <td>38%</td> </tr> <tr> <td>FAR:</td> <td>54</td> <td>54</td> </tr> <tr> <td>DENSITY CALCULATION:</td> <td colspan="2">25 DWELLING UNITS/ACRE (NO CHANGE)</td> </tr> </table>	LOCATION:	REQUIRED:	EXISTING:	PROPOSED:	FRONT AND STREET:	20 FEET	11'-6" FEET		SIDE:	5 FEET	6 FEET	NO CHANGE	REAR:	5 FEET	5 FEET	NO CHANGE	1 BEDROOM UNITS (704 SF):	212	2 BEDROOM UNITS (965 SF):	40	<b>TOTAL:</b>	<b>252 (UNCHANGED)</b>	TYPE:	EXISTING	PROPOSED	LOT COVERAGE:	37%	38%	FAR:	54	54	DENSITY CALCULATION:	25 DWELLING UNITS/ACRE (NO CHANGE)		<p><b>PARKING COUNT:</b></p> <p><b>REQUIRED:</b></p> <table border="1"> <tr> <td>1 BEDROOM (5 ADDED FOR GUEST STALL):</td> <td>212 X 2.5 = 530</td> </tr> <tr> <td>2 BEDROOM (5 ADDED FOR GUEST STALL):</td> <td>40 X 3 = 120</td> </tr> <tr> <td><b>TOTAL:</b></td> <td><b>650 (504 COVERED)</b></td> </tr> </table> <p><b>PROVIDED PARKING COUNT BREAKDOWN:</b></p> <table border="1"> <tr> <th>PROVIDED</th> <th>EXISTING</th> <th>REMOVED</th> <th>ADDED</th> <th>PROPOSED</th> </tr> <tr> <td>COVERED:</td> <td>221</td> <td>6</td> <td>7</td> <td>222</td> </tr> <tr> <td>UNCOVERED:</td> <td>170</td> <td>6</td> <td>16</td> <td>180</td> </tr> <tr> <td>COMPACT:</td> <td>12</td> <td></td> <td></td> <td></td> </tr> <tr> <td>LEASING:</td> <td>4</td> <td>4 (RELOCATED)</td> <td></td> <td>4</td> </tr> <tr> <td>ADA:</td> <td>1</td> <td>1 (RELOCATED)</td> <td></td> <td>1</td> </tr> <tr> <td><b>TOTAL:</b></td> <td><b>408</b></td> <td></td> <td></td> <td><b>419</b></td> </tr> </table> <p>PROVIDED BICYCLE PARKING: 68 (17 SPACES IN BIKE STORAGE AT EACH BUILDING)</p> <p><b>CARPORT BREAKDOWN:</b></p> <table border="1"> <tr> <th>CARPORTS:</th> <th>EXISTING</th> <th>REMOVED</th> <th>ADDED</th> <th>PROPOSED</th> </tr> <tr> <td>CARPORTS:</td> <td>7</td> <td>1</td> <td>18 (1 NEW 17 GARAGE CARPORT CONVERSIONS)</td> <td>25</td> </tr> <tr> <td>GARAGE CARPORTS:</td> <td>17</td> <td>17 CONVERTED TO CARPORTS</td> <td>0</td> <td>0</td> </tr> <tr> <td><b>TOTAL:</b></td> <td><b>24</b></td> <td></td> <td></td> <td></td> </tr> </table> <p><b>REFER TO SHEET A0.1 FOR SITE DATA BREAKDOWN</b></p>	1 BEDROOM (5 ADDED FOR GUEST STALL):	212 X 2.5 = 530	2 BEDROOM (5 ADDED FOR GUEST STALL):	40 X 3 = 120	<b>TOTAL:</b>	<b>650 (504 COVERED)</b>	PROVIDED	EXISTING	REMOVED	ADDED	PROPOSED	COVERED:	221	6	7	222	UNCOVERED:	170	6	16	180	COMPACT:	12				LEASING:	4	4 (RELOCATED)		4	ADA:	1	1 (RELOCATED)		1	<b>TOTAL:</b>	<b>408</b>			<b>419</b>	CARPORTS:	EXISTING	REMOVED	ADDED	PROPOSED	CARPORTS:	7	1	18 (1 NEW 17 GARAGE CARPORT CONVERSIONS)	25	GARAGE CARPORTS:	17	17 CONVERTED TO CARPORTS	0	0	<b>TOTAL:</b>	<b>24</b>				<p><b>ARCHITECTURAL:</b></p> <ul style="list-style-type: none"> <li>A.0.0 TYPICAL SHEET</li> <li>A.0.1 SITE DATA</li> <li>A.1.1 SITE PLAN</li> <li>A.2.1 BUILDING 1 EXISTING PLAN</li> <li>A.2.2 BUILDING 2 EXISTING PLAN</li> <li>A.2.3 BUILDING 1 PROPOSED PLAN</li> <li>A.2.4 BUILDING 2 PROPOSED PLAN</li> <li>A.2.5 BUILDING 3 PROPOSED PLAN</li> <li>A.2.6 BUILDING 4 PROPOSED PLAN</li> <li>A.3.0 ROOF PLAN</li> <li>A.4.0 EXISTING EXTERIOR ELEVATIONS</li> <li>A.4.1 EXISTING EXTERIOR ELEVATIONS</li> <li>A.4.2 PROPOSED EXTERIOR ELEVATIONS</li> <li>A.4.3 PROPOSED EXTERIOR ELEVATIONS</li> <li>A.4.4 PROPOSED EXTERIOR ELEVATIONS</li> <li>A.4.5 INTERIOR COURTYARD ELEVATIONS</li> <li>A.4.5a INTERIOR COURTYARD ELEVATIONS</li> <li>A.4.6 INTERIOR COURTYARD ELEVATIONS</li> <li>A.4.7 ELEVATOR &amp; STORAGE PLANS</li> <li>A.4.8 ELEVATOR &amp; STORAGE PLANS</li> <li>A.4.9 ELEVATOR ELEVATIONS</li> <li>A.4.10 ELEVATOR ELEVATIONS</li> <li>A.5.0 TRASH ENCLOSURE DETAILS</li> </ul> <p><b>LANDSCAPE:</b></p> <ul style="list-style-type: none"> <li>L.1.1 LANDSCAPE PLAN</li> <li>L.1.2 LANDSCAPE PLAN</li> <li>L.1.3 LANDSCAPE PLAN</li> <li>L.2.1 MWLEO PLAN</li> <li>L.2.2 MWLEO PLAN</li> <li>L.2.3 MWLEO PLAN</li> <li>L.2.4 IRRIGATION DETAILS</li> <li>L.3.0 PLANTING LEGEND NOTES</li> <li>L.3.1 PLANTING PLAN</li> <li>L.3.2 PLANTING PLAN</li> <li>L.3.3 PLANTING PLAN</li> <li>L.3.4 PLANTING DETAILS</li> <li>L.4.1 DETAILS</li> </ul> <p><b>CIVIL:</b></p> <ul style="list-style-type: none"> <li>C.1.0 PRELIMINARY SITE PLAN</li> <li>C.2.0 CONCEPTUAL GRADING AND DRAINAGE PLAN</li> <li>C.3.0 CONCEPTUAL GRADING AND DRAINAGE PLAN</li> <li>C.3.1 CONCEPTUAL GRADING AND DRAINAGE PLAN</li> <li>C.3.2 CONCEPTUAL GRADING AND DRAINAGE PLAN</li> <li>C.3.3 CONCEPTUAL GRADING AND DRAINAGE PLAN</li> </ul>	<p><b>OWNER:</b></p> <p>LAND &amp; HOUSES USA, INC. CONTACT: TIM THITTHAYANONT, P.E. 17485 MONTEREY ROAD, SUITE 308 MORGAN HILL, CA 95037 TEL: 714.655.4586</p> <p><b>ARCHITECT:</b></p> <p>R&amp;R ARCHITECTURE, INC. ANDREW RAYMUNDO, ARCHITECT CONTACT: OMAR HERNANDEZ 915 TERMINAL WAY, SUITE C SAN CARLOS, CA 94070 TEL: 650.802.6665</p> <p><b>PROJECT MANAGEMENT:</b></p> <p>STANTEC ARCHITECTURE CONTACT: JAMES SHIVELY 100 CALIFORNIA STREET SAN FRANCISCO, CA 94111 TEL: 415.281.5908</p> <p><b>LANDSCAPE ARCHITECT:</b></p> <p>KIKUCHI + KANEL DESIGN GROUP CONTACT: NATHAN ROSE 730 MILL STREET HALF MOON BAY, CA 94019 TEL: 650.726.7100</p> <p><b>CIVIL ENGINEER:</b></p> <p>BKF ENGINEERS SURVEYORS PLANNERS CONTACT: JONATHAN TANG 255 SHORELINE DR., SUITE 200 REDWOOD CITY, CA 94065 TEL: 650.482.6306</p>																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																													
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</tr> <tr> <td>81</td> <td>FINISH</td> <td>CONC.</td> <td>CONC.</td> <td>FACE OF CONCRETE</td> <td>LV, RT</td> <td>LAUROY</td> <td>RAG</td> <td>REQUIRED</td> <td></td> <td></td> </tr> <tr> <td>82</td> <td>FINISH</td> <td>CONC.</td> <td>CONC.</td> <td>FACE OF CONCRETE</td> <td>LV, RT</td> <td>LAUROY</td> <td>RAG</td> <td>REQUIRED</td> <td></td> <td></td> </tr> <tr> <td>83</td> <td>FINISH</td> <td>CONC.</td> <td>CONC.</td> <td>FACE OF CONCRETE</td> <td>LV, RT</td> <td>LAUROY</td> <td>RAG</td> <td>REQUIRED</td> <td></td> <td></td> </tr> <tr> <td>84</td> <td>FINISH</td> <td>CONC.</td> <td>CONC.</td> <td>FACE OF CONCRETE</td> <td>LV, RT</td> <td>LAUROY</td> <td>RAG</td> <td>REQUIRED</td> <td></td> <td></td> </tr> <tr> <td>85</td> <td>FINISH</td> <td>CONC.</td> <td>CONC.</td> <td>FACE OF CONCRETE</td> <td>LV, RT</td> <td>LAUROY</td> <td>RAG</td> <td>REQUIRED</td> <td></td> <td></td> </tr> <tr> <td>86</td> <td>FINISH</td> <td>CONC.</td> <td>CONC.</td> <td>FACE OF CONCRETE</td> <td>LV, RT</td> 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<td>CONC.</td> <td>CONC.</td> <td>FACE OF CONCRETE</td> <td>LV, RT</td> <td>LAUROY</td> <td>RAG</td> <td>REQUIRED</td> <td></td> <td></td> </tr> <tr> <td></td></tr></table>	SYMBOLS	COL.	COLUMN	FOC.	FACE OF CONCRETE	LAW.	LAUROY	RAG	RETURN AIR GRILLE	WD	WOOD	1	ANGLE	COLC.	CONC.	FACE OF CONCRETE	LAW.	LAUROY	RAG	RETURN AIR GRILLE	WD	WOOD	2	AND	CONC.	CONC.	FACE OF CONCRETE	LB # 4	LAUROY	RAG	REFRIGERATOR	W.R. GYR RD	W.R. GYRUM BOARD	3	AND	CONC.	CONC.	FACE OF CONCRETE	LN	LAUROY	RAG	REGISTER	WT	WEIGHT	4	CENTER LINE	CONC.	CONC.	FACE OF CONCRETE	LV, RM	LAUROY	RAG	REQUIRED	W.W.F	WELDED WIRE FABRIC	5	DIMETER OR ROUND	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED	YD	YARD	6	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			7	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			8	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			9	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			10	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			11	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			12	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			13	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			14	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			15	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			16	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			17	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			18	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			19	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			20	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			21	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			22	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			23	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			24	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			25	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			26	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			27	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			28	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			29	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			30	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			31	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			32	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			33	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			34	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			35	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			36	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			37	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			38	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			39	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			40	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			41	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			42	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			43	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			44	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			45	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			46	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			47	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			48	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			49	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			50	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			51	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			52	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			53	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			54	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			55	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			56	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			57	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			58	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			59	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			60	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			61	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			62	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			63	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			64	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			65	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			66	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			67	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			68	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			69	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			70	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			71	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			72	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			73	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			74	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			75	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			76	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			77	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			78	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			79	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			80	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			81	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			82	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			83	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			84	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			85	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			86	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			87	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			88	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			89	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			90	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			91	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			92	FINISH	CONC.	CONC.	FACE OF CONCRETE	LV, RT	LAUROY	RAG	REQUIRED			
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**FLOOR AREA RATIO: (MAX =.55)**

(ALL SQUARE FOOTAGE ARE APPROXIMATE)

**EXISTING FLOOR AREA:**

BLDG 1 (79 UNITS):	58,939 S.F.
1ST FL. (39 UNITS):	29,888 S.F.
2ND FL. (40 UNITS):	29,051 S.F.
BLDG 2 (47 UNITS):	38,451 S.F.
1ST FL. (23 UNITS):	19,393 S.F.
2ND FL. (24 UNITS):	19,058 S.F.
BLDG 3 (79 UNITS):	58,939 S.F.
1ST FL. (39 UNITS):	29,888 S.F.
2ND FL. (40 UNITS):	29,051 S.F.
BLDG 4 (47 UNITS):	38,451 S.F.
1ST FL. (23 UNITS):	19,393 S.F.
2ND FL. (24 UNITS):	19,058 S.F.
RECYCLE BLDG:	6,175 S.F.
1ST FL.:	3,422 S.F.
2ND FL.:	2,753 S.F.
<b>TOTAL: (252 UNITS)</b>	<b>200,955 S.F.</b>

EXISTING F.A.R. = 0.54  
200,955 S.F./370,427 S.F. = 0.54

**PROPOSED FLOOR AREA:**

BLDG 1	REMOVE (E) STORAGE	-376 S.F.
	NEW ENTRY	+24 S.F.
	NEW ELEVATOR	+373 S.F.
	<b>NEW BLDG 1 TOTAL</b>	<b>58,960 S.F.</b>
BLDG 2	REMOVE (E) STORAGE	-376 S.F.
	NEW ELEVATOR	+445 S.F.
	<b>NEW BLDG 2 TOTAL</b>	<b>38,620 S.F.</b>
BLDG 3	REMOVE (E) STORAGE	-376 S.F.
	NEW ENTRY	+227 S.F.
	NEW ELEVATOR	+373 S.F.
	<b>NEW BLDG 3 TOTAL</b>	<b>59,173 S.F.</b>
BLDG 4	REMOVE (E) STORAGE	-376 S.F.
	NEW ELEVATOR	+545 S.F.
	<b>NEW BLDG 4 TOTAL</b>	<b>38,620 S.F.</b>
RECYCLE (NO CHANGE)		6,175 S.F.
BLDG 1		59,960 S.F.
BLDG 2		38,620 S.F.
BLDG 3		59,173 S.F.
BLDG 4		38,620 S.F.
RECYCLE		6,175 S.F.
<b>NEW TOTAL</b>		<b>202,548 S.F.</b>

PROPOSED F.A.R. = .54  
202,548 S.F./370,427 S.F. = .54

**LOT COVERAGE: (MAX = 40% OF SITE)**

(ALL SQUARE FOOTAGE ARE APPROXIMATE)

**EXISTING LOT COVERAGE:**

LANDSCAPE AREAS	67,169 S.F.
PAVED AREAS	164,669 S.F.
POOL (2,820 S.F.)	
JACUZZI (50 S.F.)	
BLDG 1	29,888 S.F.
BLDG 2	19,393 S.F.
BLDG 3	29,888 S.F.
BLDG 4	19,393 S.F.
RECYCLE	3,422 S.F.
<b>SUBTOTAL</b>	<b>102,041 S.F.</b>
BUILDINGS (5)	102,041 S.F.
CARPPTS (54)	36,342 S.F.
TRASH ENCLOSURES (2)	606 S.F.
<b>TOTAL</b>	<b>138,989 S.F.</b>

EXISTING LOT COVERAGE = 37%  
138,989 S.F./370,427 S.F. = .37

**PROPOSED LOT COVERAGE:**

LANDSCAPE AREAS	77,701 S.F.
PAVED AREAS	153,144 S.F.
BLDG 1	29,888 S.F.
BLDG 2	19,393 S.F.
BLDG 3	29,888 S.F.
BLDG 4	19,393 S.F.
RECYCLE	3,422 S.F.
<b>SUBTOTAL</b>	<b>29,897 S.F.</b>
BLDG 1	19,393 S.F.
BLDG 2	19,393 S.F.
BLDG 3	19,393 S.F.
BLDG 4	19,393 S.F.
RECYCLE	3,422 S.F.
<b>NEW BLDG 1 TOTAL</b>	<b>29,897 S.F.</b>
BLDG 2	19,393 S.F.
BLDG 3	19,393 S.F.
BLDG 4	19,393 S.F.
RECYCLE	3,422 S.F.
<b>NEW BLDG 2 TOTAL</b>	<b>19,374 S.F.</b>
BLDG 3	19,393 S.F.
BLDG 4	19,393 S.F.
RECYCLE	3,422 S.F.
<b>NEW BLDG 3 TOTAL</b>	<b>30,110 S.F.</b>
BLDG 4	19,393 S.F.
RECYCLE	3,422 S.F.
<b>NEW BLDG 4 TOTAL</b>	<b>19,374 S.F.</b>

PROPOSED LOT COVERAGE = 38%  
139,582 S.F./370,427 S.F. = .38

**DENSITY CALCULATION: (ALLOWABLE: 21-27 DWELLING UNITS/ACRE)**

**EXISTING UNIT COUNT:**

BLDG 1 = 79 UNITS	1 BED X 1 BATH (709 S.F.) = 75
	2 BED X 1 BATH (966 S.F.) = 4
BLDG 2 = 47 UNITS	1 BED X 1 BATH (709 S.F.) = 31
	2 BED X 1 BATH (966 S.F.) = 16
BLDG 3 = 79 UNITS	1 BED X 1 BATH (709 S.F.) = 75
	2 BED X 1 BATH (966 S.F.) = 4
BLDG 4 = 47 UNITS	1 BED X 1 BATH (709 S.F.) = 31
	2 BED X 1 BATH (966 S.F.) = 16
<b>TOTAL = 143 UNITS</b>	

EXISTING DENSITY = 28.8 DWELLING UNITS/ACRE  
252 UNITS/ 8.73 ACRE = 28.8

**PROPOSED UNIT COUNT: (NO CHANGE)**

BLDG 1 = 79 UNITS	1 BED X 1 BATH (709 S.F.) = 75
	2 BED X 2 BATH (966 S.F.) = 4
BLDG 2 = 47 UNITS	1 BED X 1 BATH (709 S.F.) = 31
	2 BED X 2 BATH (966 S.F.) = 16
BLDG 3 = 79 UNITS	1 BED X 1 BATH (709 S.F.) = 75
	2 BED X 2 BATH (966 S.F.) = 4
BLDG 4 = 47 UNITS	1 BED X 1 BATH (709 S.F.) = 31
	2 BED X 2 BATH (966 S.F.) = 16
<b>TOTAL = 143 UNITS</b>	

PROPOSED DENSITY = 28.8 DWELLING UNITS/ACRE  
252 UNITS/ 8.73 ACRE = 28.8

**PARKING COUNT AND RECONFIGURATION:**

**PARKING COUNT BREAKDOWN:**

PROVIDED	EXISTING	REMOVED	ADDED	PROPOSED
COVERED:	221	6	7	222
UNCOVERED:	170	6	16	180
COMPACT:	12			12
LEASING:	4	4 (RELOCATED)		4
ADA:	1	1 (RELOCATED)		1
<b>TOTAL:</b>	<b>408</b>			<b>419</b>

**CARPOT COUNT BREAKDOWN:**

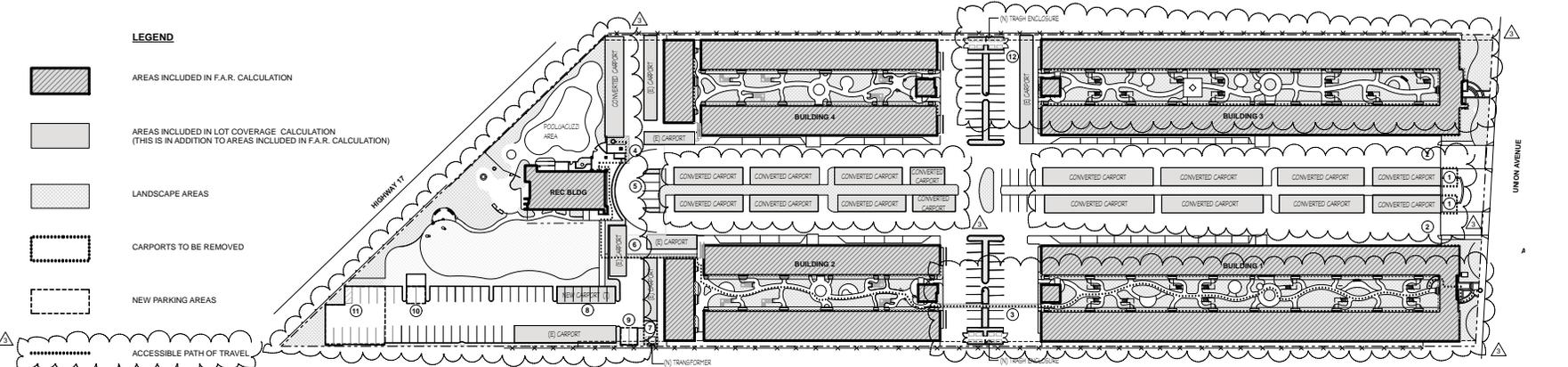
	EXISTING	REMOVED	ADDED	PROPOSED
CARPPTS:	7	0	18 (1 NEW, 17 GARAGE CARPOT CONVERSIONS)	25
GARAGE CARPPTS:	17	17 *CONVERTED TO CARPPTS	0	0
<b>TOTAL</b>	<b>24</b>			

\* GARPOT TO CARPOT CONVERSION OCCURRED UNDER PREVIOUS OWNERSHIP

**PARKING KEYNOTE:**

- ① REDUCE EXISTING COVERED PARKING BY (1) STALL
- ② REMOVE (1) UNCOVERED PARALLEL STALL
- ③ REMOVE (2) UNCOVERED STALLS TO ACCOMMODATE NEW ACCESSIBLE PARKING
- ④ NEW VAN ACCESSIBLE STALL
- ⑤ (4) RELOCATED UNCOVERED LEASING OFFICE STALLS
- ⑥ REMOVE (1) COVERED STALL TO ACCOMMODATE NEW ACCESSIBLE PARKING
- ⑦ REDUCE CARPOT BY (2) STALLS (1) OTHER STALL TO BE MODIFIED TO BE UNCOVERED TO ACCOMMODATE NEW TRANSFORMER
- ⑧ NEW (7) STALL CARPOT
- ⑨ (2) NEW UNCOVERED STALLS
- ⑩ (2) NEW UNCOVERED STALLS
- ⑪ (1) NEW UNCOVERED STALLS
- ⑫ REMOVE (2) STALLS TO ACCOMMODATE MODIFIED EXISTING TRASH ENCLOSURE

**SITE REFERENCE FOR SITE DATA BREAKDOWN: NTS**



EXTERIOR IMPROVEMENTS:

**PARC AT PRUNEYARD**

225 UNION AVENUE  
CAMPBELL, CA 95008

REVISIONS	
△	11.25.16
△	RESPONSE TO CITY COMMENTS 03.03.17

**SITE DATA**

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1551	KBJ/PT
N	SHEET NO.

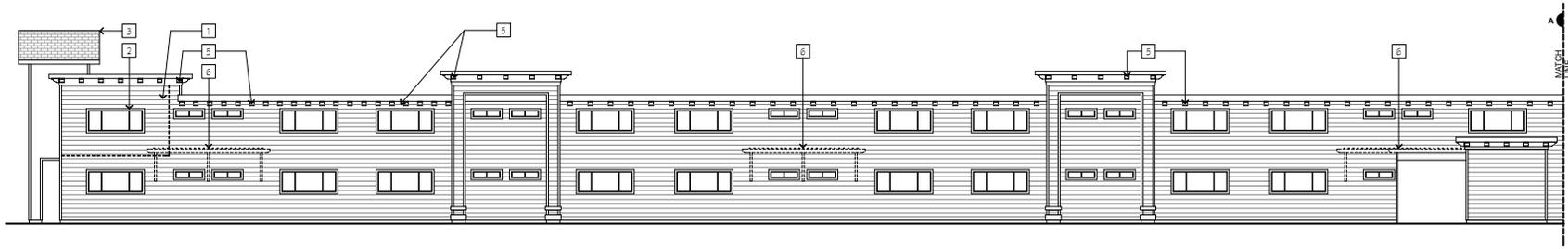


**ELEVATION KEYNOTES**

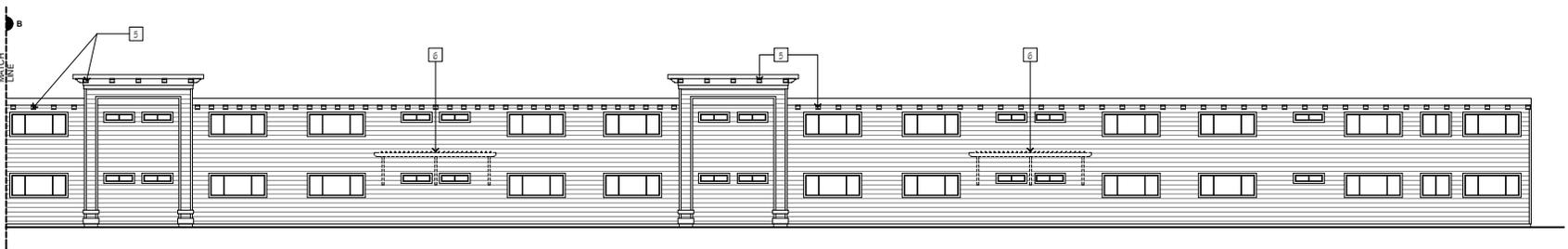
- 1 EXISTING GING TO BE REMOVED
- 2 EXISTING WINDOW TO BE REMOVED
- 3 EXISTING GABLE ROOF TO BE REMOVED
- 4 EXISTING ENTRY TO BE REMOVED
- 5 EXISTING CORBELS TO BE REMOVED
- 6 EXISTING TRELLIS TO BE REMOVED
- 7 EXISTING MAINTENANCE BUILDING TO BE REMOVED
- 8 EXISTING UTILITY SCREEN TO BE REPLACED
- 9 EXISTING SHINGLE ROOF TO BE REPLACED



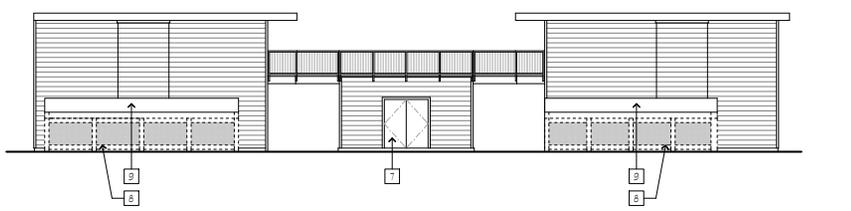
**1 BUILDING 1 EXISTING EAST ELEVATION (BUILDING 3 SIMILAR)**  
SCALE: 1/8" = 1'-0"



**2 BUILDING 1 EXISTING NORTH ELEVATION (BUILDING 3 SIMILAR)**  
SCALE: 1/8" = 1'-0"



**3 BUILDING 1 EXISTING NORTH ELEVATION (BUILDING 3 SIMILAR)**  
SCALE: 1/8" = 1'-0"



**4 BUILDING 1 EXISTING EAST ELEVATION (BUILDING 3 SIMILAR)**  
SCALE: 1/8" = 1'-0"



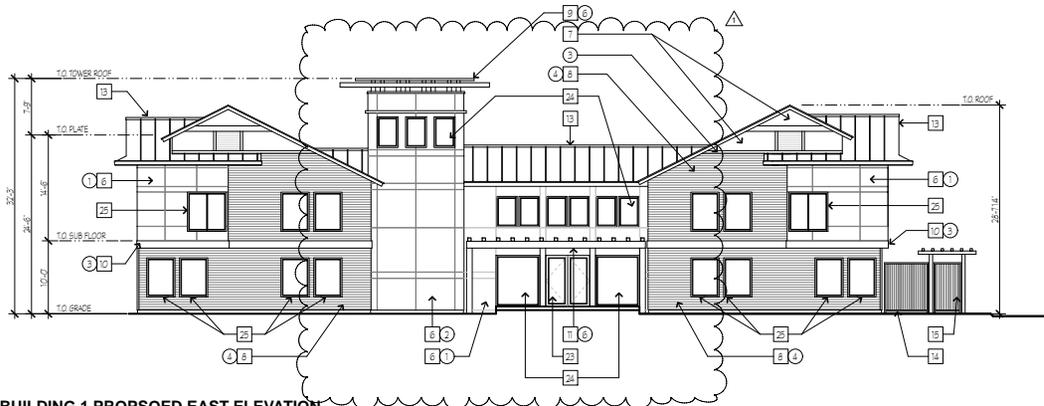
EXTERIOR IMPROVEMENTS:  
**PARC AT PRUNEYARD**  
225 UNION AVENUE  
CAMPBELL, CA 95008

REVISIONS  
RESPONSE TO CITY COMMENTS 03.08.17

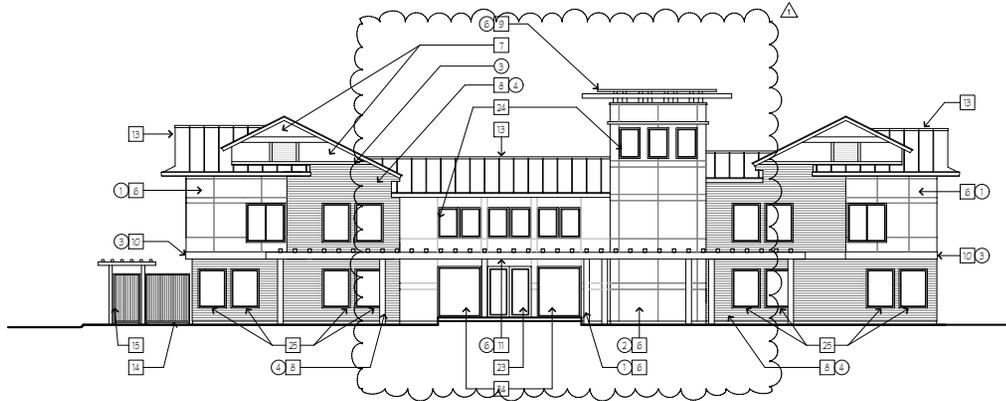
EXISTING EXTERIOR ELEVATIONS

JOB: 1551  
DRAWN: KR/PI

SHEET NO.  
**A4.0**



**1 BUILDING 1 PROPOSED EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 BUILDING 3 PROPOSED EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"

**ELEVATION KEYNOTES**

- 1 EXISTING GUARDRAIL TO REMAIN
- 2 EXISTING ROOF SCREEN
- 3 EXISTING SIDING TO REMAIN
- 4 EXISTING WINDOWS TO REMAIN
- 5 EXISTING SHINGLE ROOF TO REMAIN
- 6 NEW HARDI REVEAL PANEL SYSTEM
- 7 NEW CEMENT PLASTER SMOOTH FINISH
- 8 NEW 4" SMOOTH HARDEE PLANK LAP SIDING
- 9 NEW REDWOOD TRELLIS AT TOWER
- 10 NEW 2X2 PAGA/TRIM WOOD BOARD AT BUMP-OUTS
- 11 NEW REDWOOD TRELLIS AT BUILDING ENTRY
- 12 NEW 1X10 HORIZONTAL TRIM BOARD
- 13 NEW SPANDING BEAM ROOF BY CUSTOM-BUILT METALS MODEL# SL-1750
- 14 NEW METAL FENCE WITH 2X2 SQ. TUBE STEEL AND 1" METAL PICKETS
- 15 NEW MAN GATE
- 16 NEW ROOF SCREEN TO MATCH BUILDINGS 2 AND 4
- 17 NEW ELEVATOR BUILDING WITH HARDEE REVEAL PANEL
- 18 NEW T.P.O. FLAT ROOF
- 19 NEW GABLE ROOF
- 20 NEW REDWOOD FENCE WITH 1X6 BOARDS SPACED 1"
- 21 NEW METAL GUARDRAIL TO MATCH EXISTING
- 22 NEW METAL FRAME STAIR WITH PRECAST CONCRETE STEPS
- 23 NEW STOREFRONT ENTRY DOOR BY KAWNEER
- 24 NEW STOREFRONT WINDOWS BY KAWNEER
- 25 NEW VINYL WINDOWS BY MILGARD MONTECITO SERIES
- 26 NEW REDWOOD TRELLIS AT ELEVATOR TOWER
- 27 NEW METAL FINISH
- 28 NEW CLOCK FEATURE

**COLOR KEYNOTES**

- 1 COTTON TAIL  
BENJAMIN MOORE - 2155-10
- 2 BLUE SPRUCE  
BENJAMIN MOORE - 1637
- 3 GRAY MOUNTAIN  
BENJAMIN MOORE - 1462
- 4 FOREST BROWN  
BENJAMIN MOORE - 2105-10
- 5 NIGHTFALL  
BENJAMIN MOORE - 1596
- 6 TRELLIS STAIN  
CABOT - FIELDSTONE

EXTERIOR IMPROVEMENTS:

**PARC AT PRUNEYARD**

225 UNION AVENUE  
 CAMPBELL, CA 95008

REVISIONS	
1	1.25.16
2	03.31.17
3	RESPONSE TO CITY COMMENTS 03.03.17

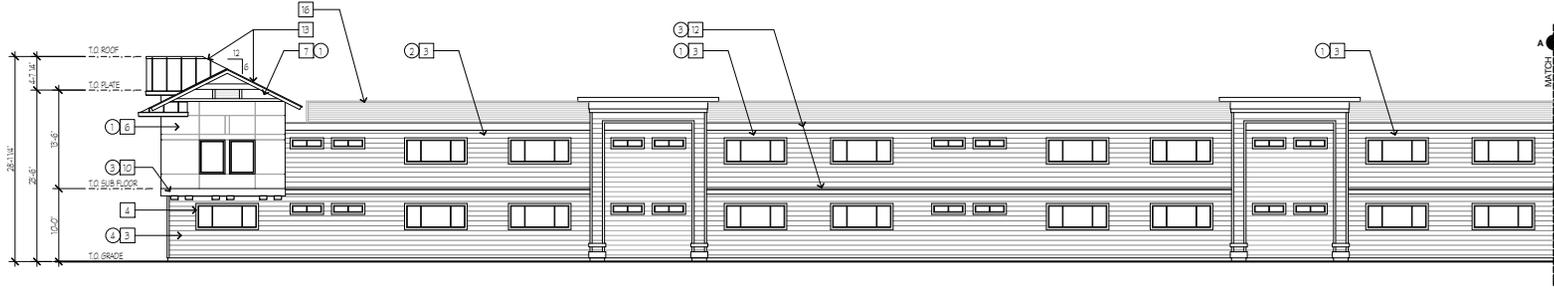
PROPOSED EXTERIOR ELEVATIONS

JOB:	DRAWN:
1551	KR/PI

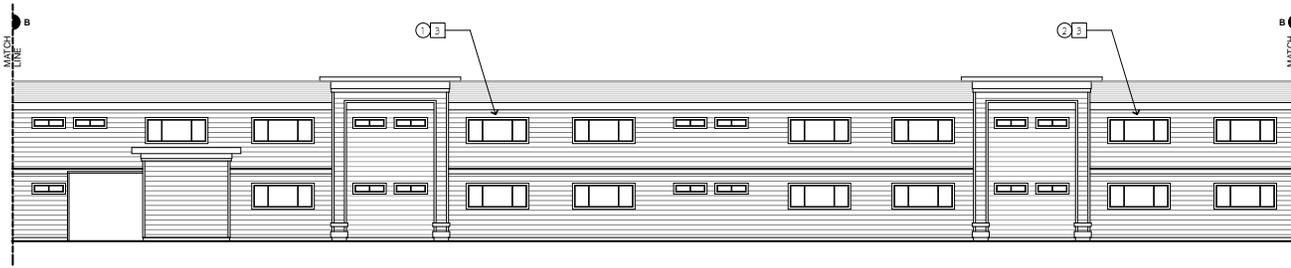
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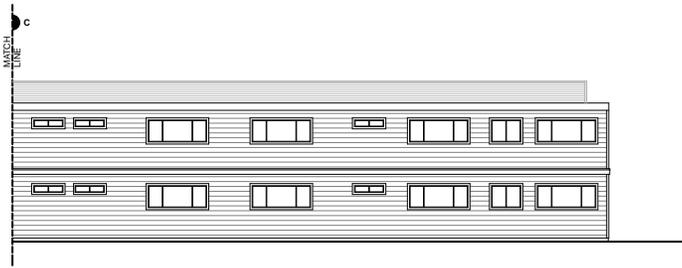
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 REFER TO SHEET A4.2  
 FOR NOTES NOT SHOWN.



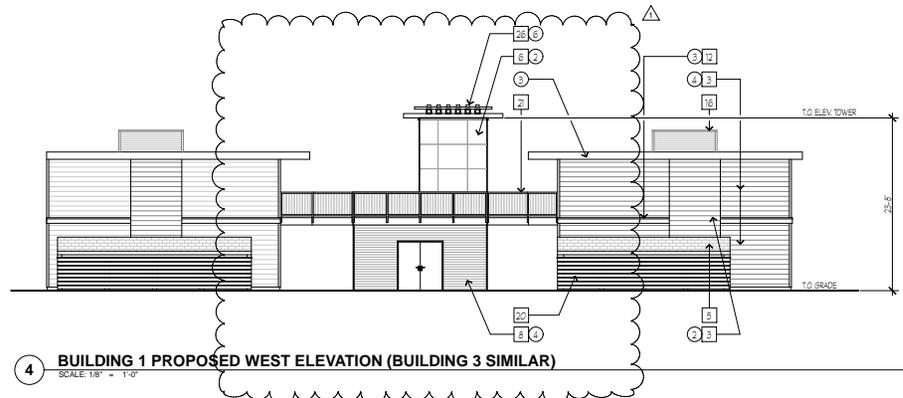
**1 BUILDING 1 PROPOSED NORTH ELEVATION (BUILDING 3 SIMILAR)**  
 SCALE: 1/8" = 1'-0"



**2 BUILDING 1 PROPOSED NORTH ELEVATION (BUILDING 3 SIMILAR)**  
 SCALE: 1/8" = 1'-0"



**3 BUILDING 1 PROPOSED NORTH ELEVATION (BUILDING 3 SIMILAR)**  
 SCALE: 1/8" = 1'-0"



**4 BUILDING 1 PROPOSED WEST ELEVATION (BUILDING 3 SIMILAR)**  
 SCALE: 1/8" = 1'-0"



EXTERIOR IMPROVEMENTS:

**PARC AT PRUNEYARD**

225 UNION AVENUE  
 CAMPBELL, CA 95008

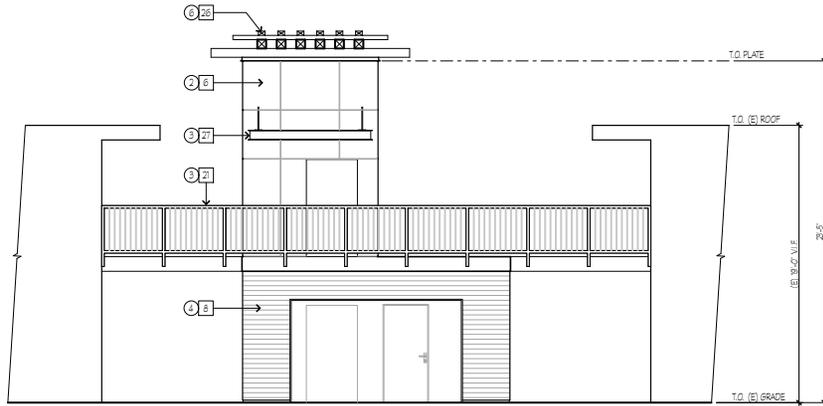
REVISIONS
1.25.16
03.31.17
RESPONSE TO CITY COMMENTS 03.03.17

PROPOSED EXTERIOR ELEVATIONS

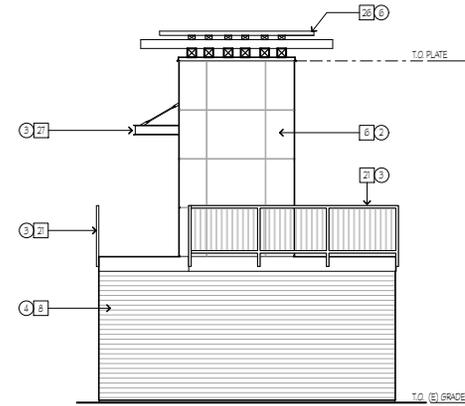
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SHEET NO.  
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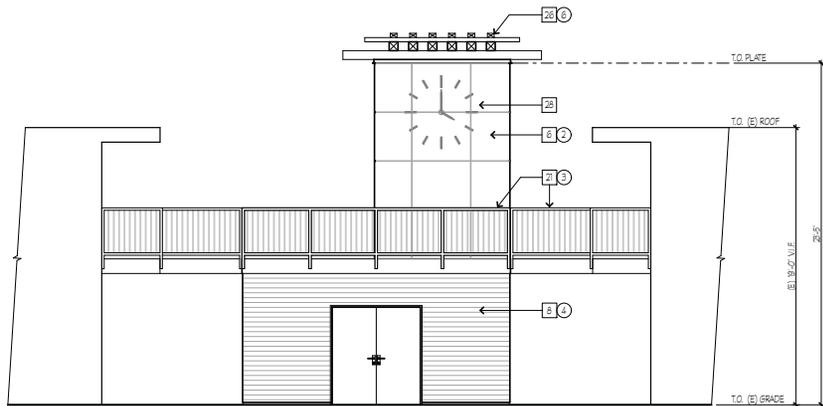
**ELEVATION KEYNOTES**  
 REFER TO SHEET A4.2  
 FOR NOTES NOT SHOWN.



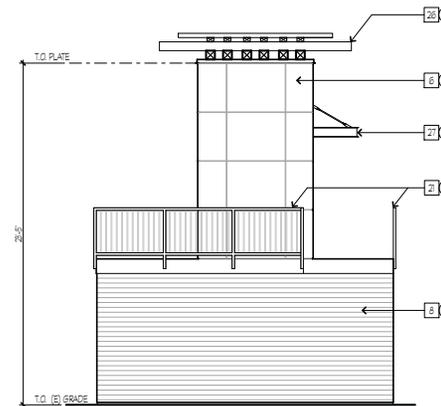
**1 ELEVATOR ELEVATIONS (BUILDINGS 1 & 3)**  
 SCALE: 1/4" = 1'-0"



**2 ELEVATOR ELEVATIONS (BUILDINGS 1 & 3)**  
 SCALE: 1/4" = 1'-0"



**3 ELEVATOR ELEVATIONS (BUILDINGS 1 & 3)**  
 SCALE: 1/4" = 1'-0"



**4 ELEVATOR ELEVATIONS (BUILDINGS 1 & 3)**  
 SCALE: 1/4" = 1'-0"

EXTERIOR IMPROVEMENTS:

**PARC AT PRUNEYARD**

225 UNION AVENUE  
 CAMPBELL, CA 95008

REVISIONS
 1.25.16
 RESPONSE TO CITY COMMENTS 03.03.17

ELEVATOR ELEVATIONS

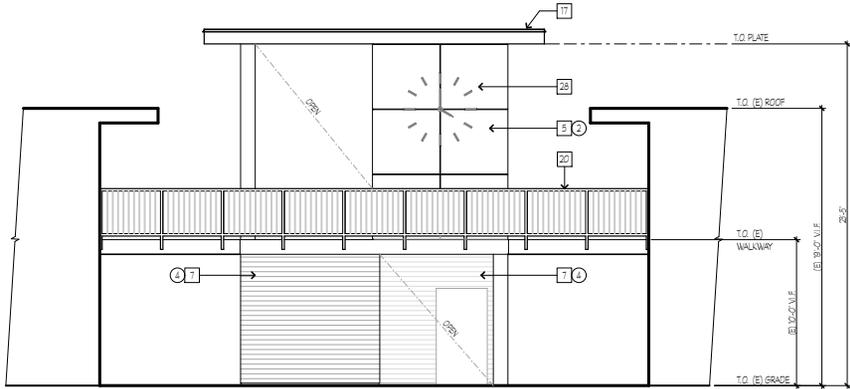
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SHEET NO.

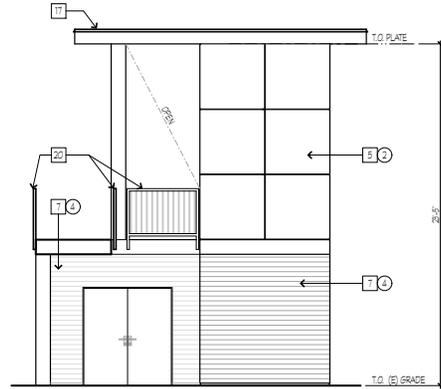
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**ELEVATION KEYNOTES**  
 REFER TO SHEET A4.2  
 FOR NOTES NOT SHOWN.

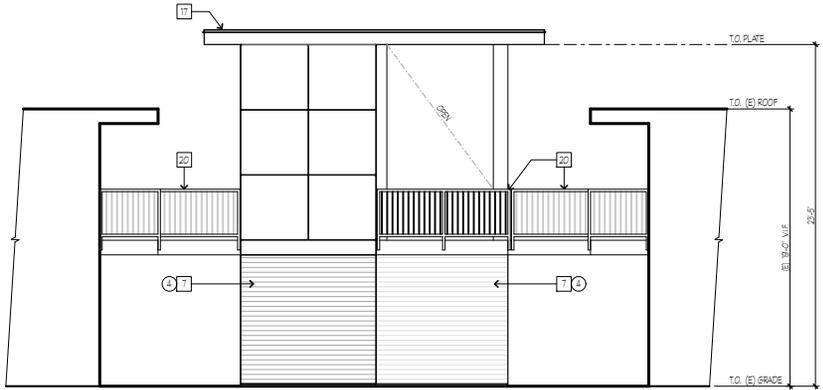
**RS&B ARCHITECTURE**  
 1100 CALIFORNIA STREET, SUITE C  
 SAN CARLOS, CA 94070  
 Ph. 650.802.6845  
 www.rsandb.com



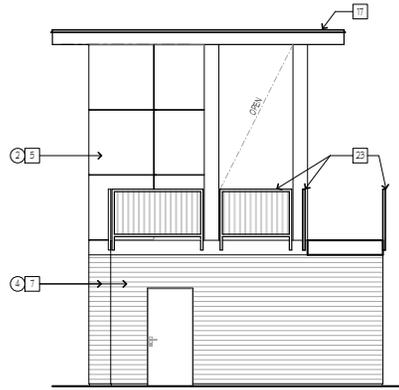
**1 ELEVATOR ELEVATIONS (BUILDINGS 2 & 4)**  
 SCALE: 1/4" = 1'-0"



**2 ELEVATOR ELEVATIONS (BUILDINGS 2 & 4)**  
 SCALE: 1/4" = 1'-0"



**3 ELEVATOR ELEVATIONS (BUILDINGS 2 & 4)**  
 SCALE: 1/4" = 1'-0"



**4 ELEVATOR ELEVATIONS (BUILDINGS 2 & 4)**  
 SCALE: 1/4" = 1'-0"

EXTERIOR IMPROVEMENTS:

**PARC AT PRUNEYARD**

225 UNION AVENUE  
 CAMPBELL, CA 95008

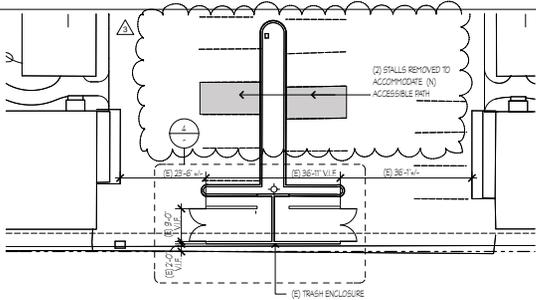
REVISIONS	
△	1.25.16
△	RESPONSE TO CITY COMMENTS 03.03.17

ELEVATOR ELEVATIONS

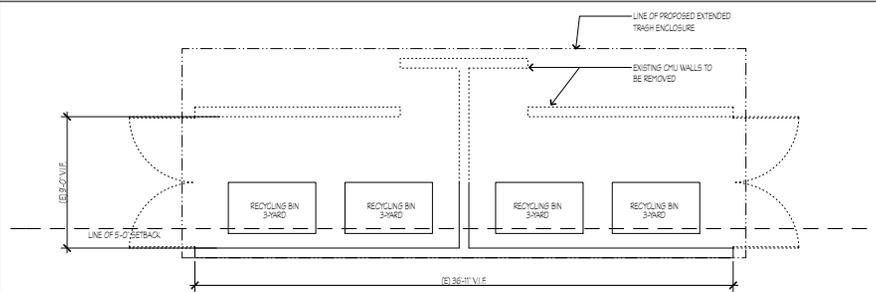
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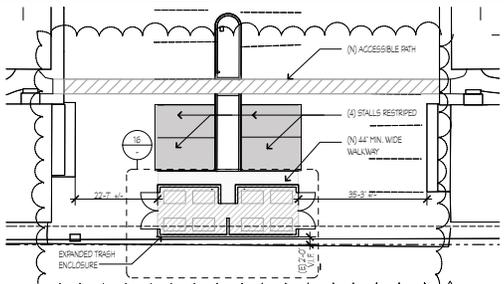
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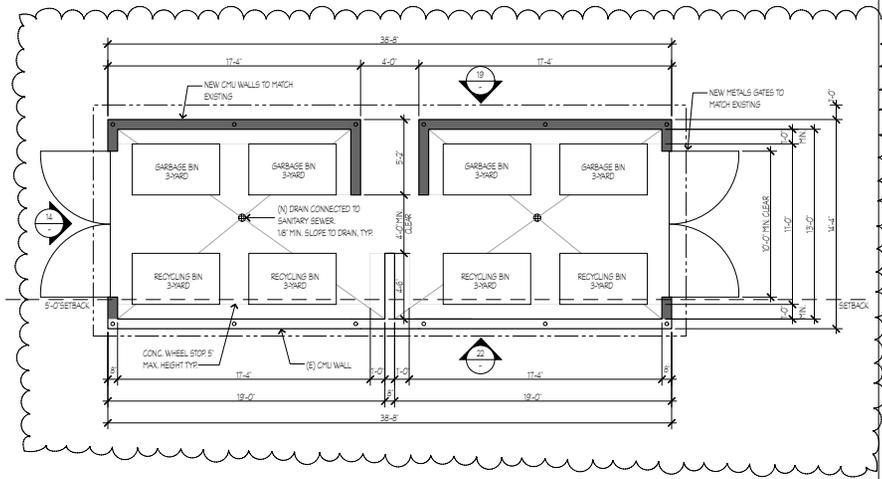
**2 EXISTING SITE PLAN**  
SCALE: 1/16" = 1'-0"



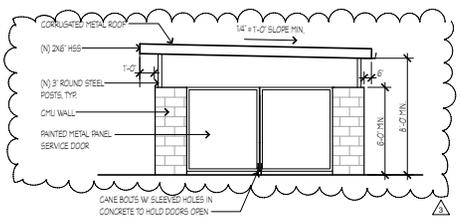
**4 EXISTING TRASH ENCLOSURE PLAN**  
SCALE: 1/4" = 1'-0"



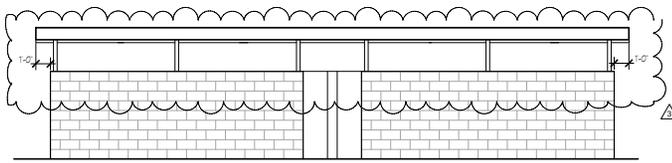
**8 PROPOSED SITE PLAN**  
SCALE: 1/16" = 1'-0"



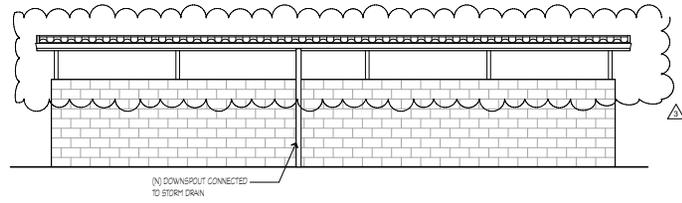
**16 PROPOSED TRASH ENCLOSURE PLAN**  
SCALE: 1/4" = 1'-0"



**14 SERVICE DOOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**19 PEDESTRIAN ENTRY ELEVATION**  
SCALE: 1/8" = 1'-0"



**22 BACK ELEVATION**  
SCALE: 1/4" = 1'-0"

EXTERIOR IMPROVEMENTS:

**PARC AT PRUNEYARD**

225 UNION AVENUE  
CAMPBELL, CA 95008

REVISIONS

1	11.25.16
2	RESPONSE TO CITY COMMENTS 03.03.17

TRASH ENCLOSURE DETAILS

JOB:	DRAWN
1551	KR

SHEET NO.  
**A5.0**

## LANDSCAPE LEGEND

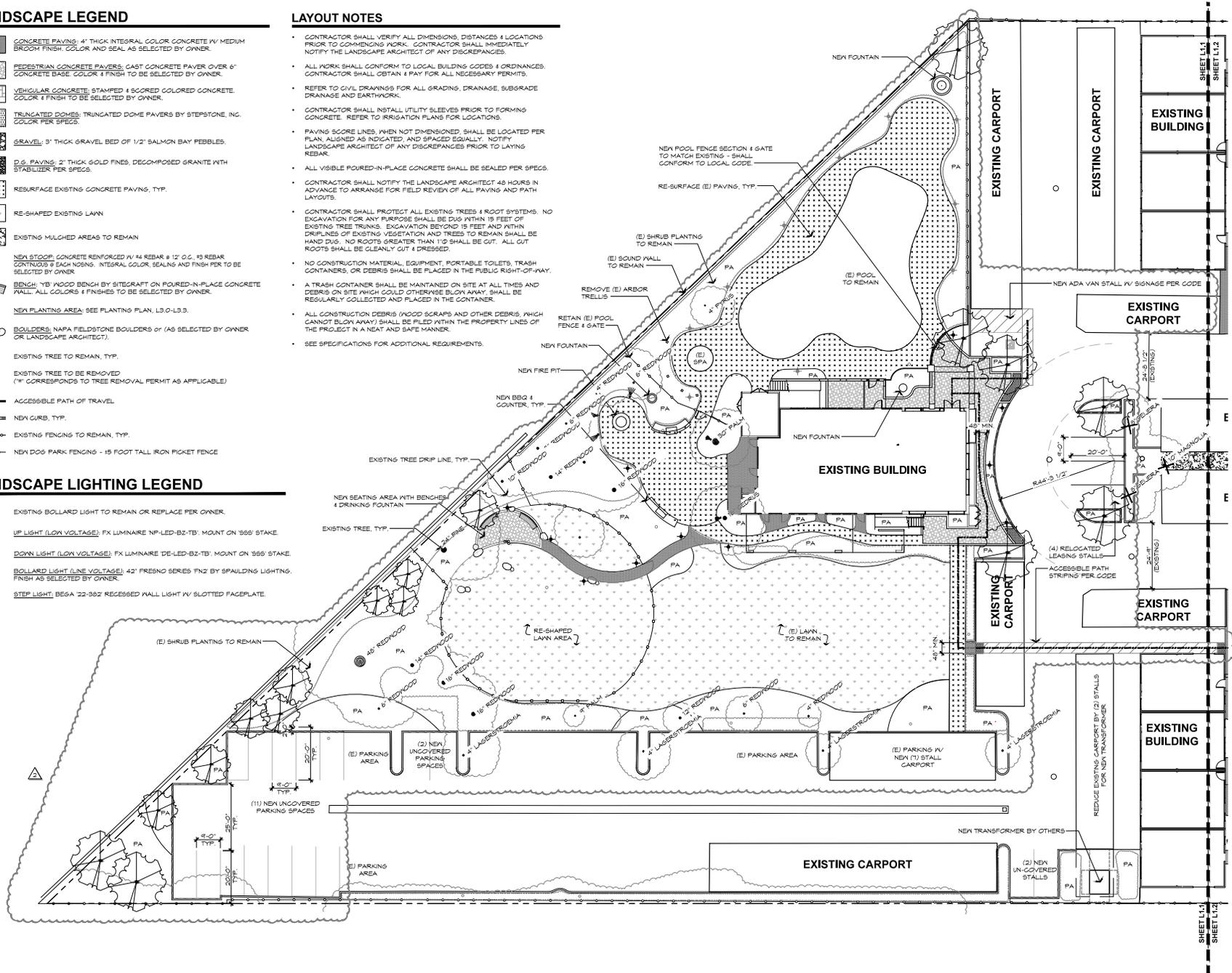
- CONCRETE PAVING: 4" THICK INTEGRAL COLOR CONCRETE W/ MEDIUM BROOK FINISH, COLOR AND SEAL AS SELECTED BY OWNER.
- PEDESTRIAN CONCRETE PAVERS, CAST CONCRETE PAVEMENT OVER 6" CONCRETE BASE, COLOR & FINISH TO BE SELECTED BY OWNER.
- VEHICULAR CONCRETE, STAMPED & SCORED COLORED CONCRETE, COLOR & FINISH TO BE SELECTED BY OWNER.
- TRUNCATED DOMES: TRUNCATED DOME PAVERS BY STEPSHINE, INC. COLOR PER SPECS.
- GRAVEL: 3" THICK GRAVEL BED OF 1/2" SALMON BAY PEBBLES.
- D.G. PAVING: 2" THICK GOLD FINES, DECOMPOSED GRANITE WITH STABILIZER PER SPECS.
- RESURFACE EXISTING CONCRETE PAVING, TYP.
- RE-SHAPED EXISTING LAWN
- EXISTING MULCHED AREAS TO REMAIN
- NEW STOOP: CONCRETE REINFORCED W/ #4 REBAR @ 12" O.C., 18 REBAR CONTIGUOUS @ EACH NOSE, INTEGRAL COLOR, SEALING AND FINISH PER TO BE SELECTED BY OWNER.
- BENCH: 18" WOOD BENCH BY SITEGRAPT ON POURED-IN-PLACE CONCRETE RAIL, ALL COLORS & FINISHES TO BE SELECTED BY OWNER.
- PA NEW PLANTING AREA: SEE PLANTING PLAN, L3.0-L3.3.
- BOULDERS: NAPA FIELDSTONE BOULDERS OR (AS SELECTED BY OWNER OR LANDSCAPE ARCHITECT).
- EXISTING TREE TO REMAIN, TYP.
- EXISTING TREE TO BE REMOVED ("X" CORRESPONDS TO TREE REMOVAL PERMIT AS APPLICABLE)
- ACCESSIBLE PATH OF TRAVEL
- NEW CURB, TYP.
- EXISTING FENCING TO REMAIN, TYP.
- NEW DOG PARK FENCING - 15 FOOT TALL IRON PICKET FENCE

## LANDSCAPE LIGHTING LEGEND

- EXISTING BOLLARD LIGHT TO REMAIN OR REPLACE PER OWNER.
- UP LIGHT (LOW VOLTAGE): FX LUMINAIRE NP-LED-B2-TB, MOUNT ON 3/8" STAKE.
- DOWN LIGHT (LOW VOLTAGE): FX LUMINAIRE DE-LED-B2-TB, MOUNT ON 3/8" STAKE.
- BOLLARD LIGHT (LINE VOLTAGE): 42" FRESNO SERIES FN2 BY SPAULDING LIGHTING, FINISH AS SELECTED BY OWNER.
- STEP LIGHT: BEGA 22-362 RECESSED WALL LIGHT W/ SLOTTED FACEPLATE.

## LAYOUT NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES & LOCATIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- ALL WORK SHALL CONFORM TO LOCAL BUILDING CODES & ORDINANCES. CONTRACTOR SHALL OBTAIN & PAY FOR ALL NECESSARY PERMITS.
- REFER TO CIVIL DRAWINGS FOR ALL GRADING, DRAINAGE, SUBGRADE DRAINAGE AND EARTHWORK.
- CONTRACTOR SHALL INSTALL UTILITY SLEEVES PRIOR TO FORMING CONCRETE. REFER TO IRRIGATION PLANS FOR LOCATIONS.
- PAVING SCORE LINES, WHEN NOT DIMENSIONED, SHALL BE LOCATED PER PLAN, ALIGNED AS INDICATED, AND SPACED EQUALLY. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO LAYING REBAR.
- ALL VISIBLE POURED-IN-PLACE CONCRETE SHALL BE SEALED PER SPECS.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 48 HOURS IN ADVANCE TO ARRANGE FOR FIELD REVIEW OF ALL PAVING AND PATH LAYOUTS.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES & ROOT SYSTEMS. NO EXCAVATION FOR ANY PURPOSE SHALL BE DONE WITHIN 15 FEET OF EXISTING TREE TRUNKS. EXCAVATION BEYOND 15 FEET AND WITHIN DRIFTLINES OF EXISTING VEGETATION AND TREES TO REMAIN SHALL BE HAND DUG. NO ROOTS GREATER THAN 1/2" SHALL BE CUT. ALL CUT ROOTS SHALL BE CLEANLY CUT & DRESSED.
- NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.
- A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY SHALL BE REGULARLY COLLECTED AND PLACED IN THE CONTAINER.
- ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE FILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.



**Kikuchi + Kankel  
Design Group**

Landscape Architecture  
Environmental Design  
Site Planning

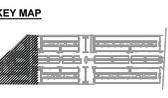
730 Mill Street  
Half Moon Bay, CA 94019  
(650) 726-7100  
www.kkdesigngroup.com



**LANDSCAPE RENOVATIONS**

**PARC AT PRUNEYARD**

225 UNION AVE.  
CAMPBELL, CA



**NOT FOR CONSTRUCTION**

REVISIONS	4/27/17
Revisions:	PLANNING SET 11/28/16
Date:	10/31/16
Scale:	1" = 16'-0"
Drawn By:	NR, TL

**LANDSCAPE PLAN**

Sheet No.  
**L1.1**  
Of

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**Kikuchi + Kankel**  
Design Group

Landscape Architecture  
Environmental Design  
Site Planning

730 Mill Street  
Half Moon Bay, CA 94019  
(650) 726-7100  
www.kkdesigngroup.com



LANDSCAPE  
RENOVATIONS

**PARC AT  
PRUNEYARD**

225 UNION AVE.  
CAMPBELL, CA

**NOT FOR  
CONSTRUCTION**

REVISIONS  
4/21/17  
PLANNING SET  
11/28/16

Date: 10/31/16 PLANNING SET

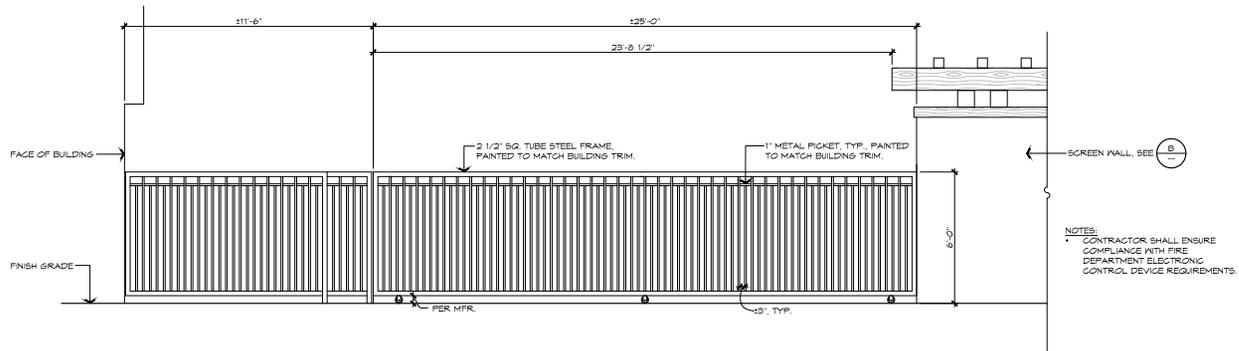
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Drawn By: NR, TL

**WALL & GATE  
ELEVATIONS**

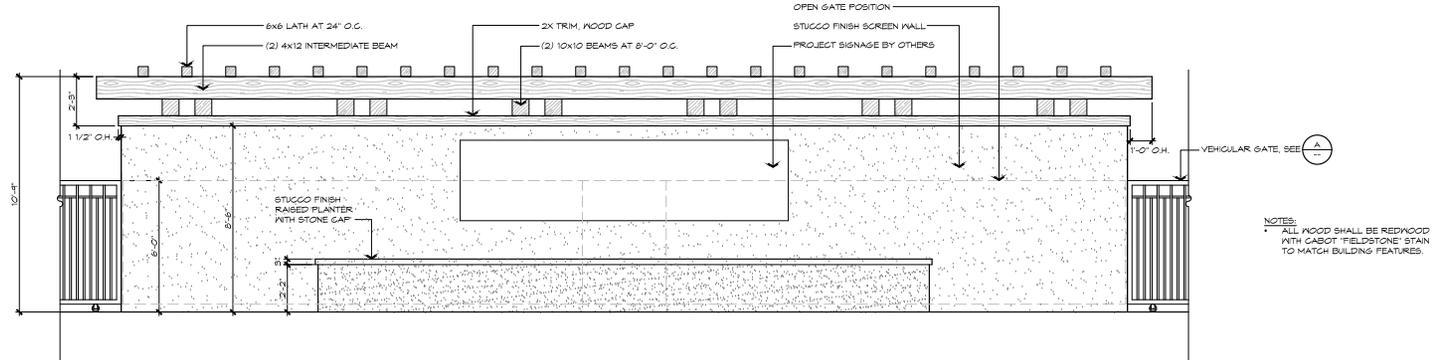
Sheet No.  
**L4.1**

Of



**(A) VEHICULAR GATE**

SCALE: 3/8" = 1'-0"



**(D) SCREEN WALL**

SCALE: 3/8" = 1'-0"

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