



**CITY OF CAMPBELL**  
Community Development Department

June 30, 2017

**NOTICE OF ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT**

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Planned Development Permit for the following project proposal:

<b>File No.:</b>	<b>PLN2017-20</b>
<b>Applicant:</b>	<b>Nick Gera</b>
<b>Project Address:</b>	<b>120 N. Third St.</b>
<b>Property Owner:</b>	<b>Nick Gera</b>
<b>Zoning District:</b>	<b>P-D (Planned Development)</b>
<b>General Plan:</b>	<b>Low Density Residential</b>
<b>Project Description:</b>	<b>A new, approximately 3,358 square-foot, two-story home and detached garage.</b>

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on July 3, 2017 and ends on July 13, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **July 13, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Victoria Hernandez, Assistant Planner, in the Community Development Department, at (408) 866-2732 or by email [victoriah@cityofcampbell.com](mailto:victoriah@cityofcampbell.com).

# Project Location Map

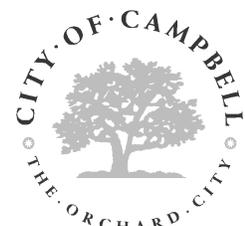
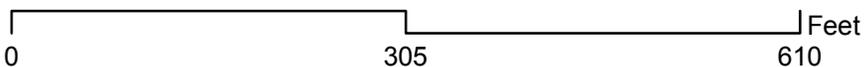


**Project Location:** 120 N. Third St.

**Application Type:** Administrative Planned Development Permit

**Planning File No.:** PLN2017-20

**Description:** 3,343 square foot new two-story home and detached garage.



Community Development Department  
Planning Division



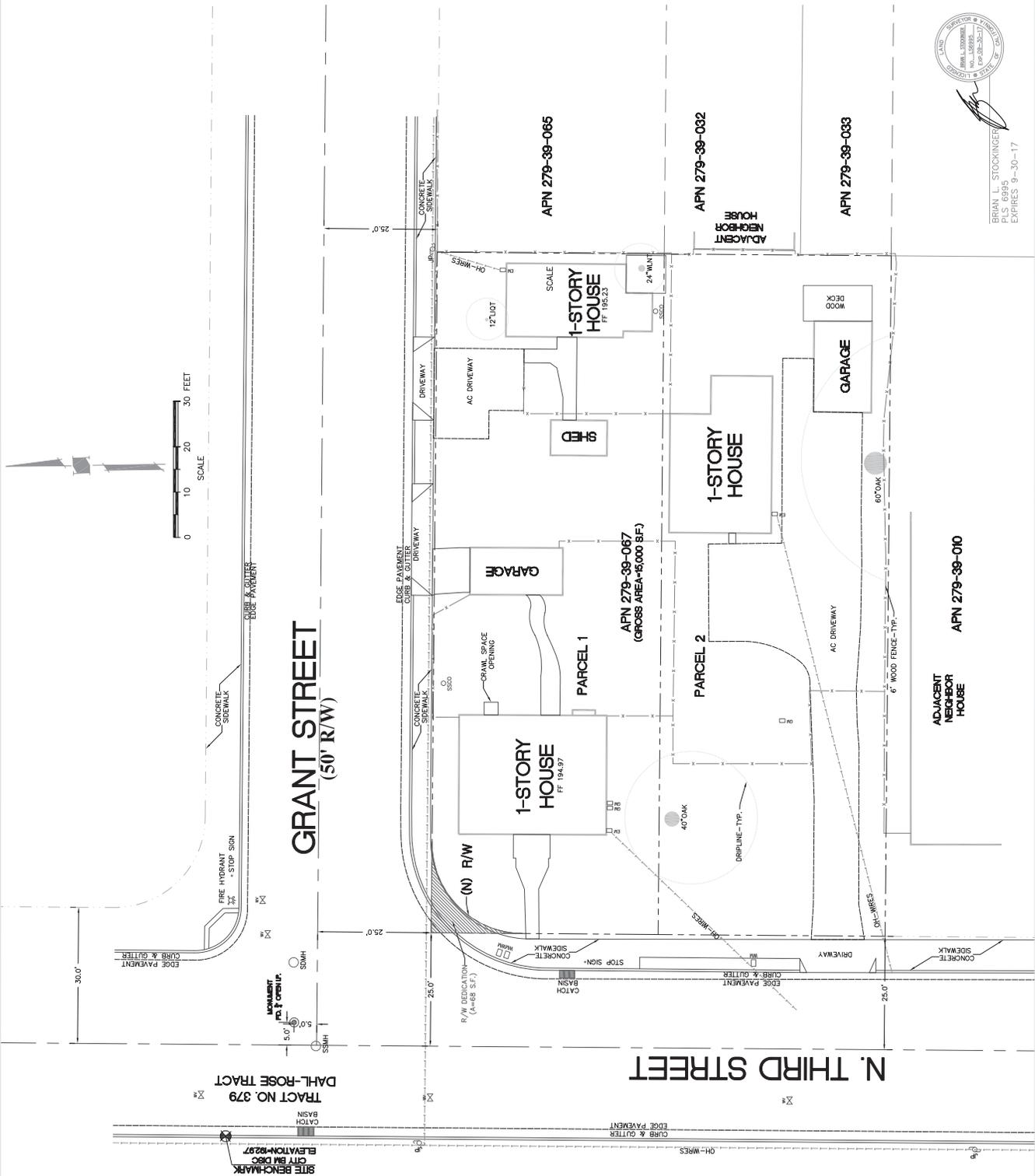


REVISIONS	BY

JOB NO.:  
DATE: 10-5-2016  
SCALE: 1"=10'  
DRAWN BY: NR  
SHEET NO.: 1



BRIAN L. STOCKINGER  
PLS 6995  
EXPIRES 9-30-17



**SURVEYOR'S NOTE:**

1. BASIS OF BEARINGS SHOWN ON THIS MAP IS BASED ON THE CENTERLINE OF GRANT STREET PER TRACT NO. 379 DAHL-ROSE TRACT AS 889 250'00"
2. CITY OF CAMPBELL BENCHMARKS, 80' LOCATED AT THE CORNER OF CUC CENTER DRIVE AND FIRST STREET EAST END CA, ELEVATION TAKEN AS 197.16
3. DATE OF SURVEY: OCTOBER 1, 2016
4. UTILITIES FOUND ARE BASED UPON SURFACE EVIDENT RECORDS OF UTILITIES WERE NOT UTILIZED FOR THIS SURVEY
5. TREES SHOWN ARE THOSE OF SIZE SIGNIFICANCE. THE SITE CONTAINS OTHER TREES UNDER 6" AND ARE NOT SHOWN. THE SURVEYOR HAS TAKEN CARE TO TAKE TO THE BEST KNOWLEDGE OF THE SURVEYOR, AN ARBORIST MUST SPECIFY ACTUAL TREE TYPE.
6. MAIN STRUCTURE AND APPURTENANT STRUCTURES ARE BASED UPON THE BEST EFFORTS OF THE SURVEY CREW. SOME ELEMENTS MAY BE MISSING AND CHECKS BY THE ARCHITECTS OFFICE WILL BE NECESSARY BEFORE DESIGN WORK.
7. SITE IS FLAT IN NATURE.
8. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY, UNLESS SPECIFIED ON THIS MAP. LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE. CURBLINE OFFSETS ARE TO FACE OF CURB, MANHOLES CENTERS, HOODED CATCH BASINS ARE MEASURED FROM THE TOP OF HOOD AND INVERTS FOR MANHOLES ARE MEASURED FROM THE RIM. THE TOPOGRAPHY CONTROL LINE(S) DEPICTED ON THIS MAP IS BASED ON A COMBINATION THEREOF. THE TOPOGRAPHY CONTROL LINE(S) SHOULD NOT BE TAKEN AS REPRESENTING THE RECORD CENTERLINE OF THE STREETS.

**ABBREVIATIONS**

- FL FLOWLINE
- TC TOP OF CURB
- EM EDGE OF MANHOLE
- CONC CONCRETE
- LIP LIP OF GUTTER
- GS GROUND SHOT
- TC TOP OF CURB
- FF FINISH FLOOR
- BLL BUILDING SETBACK LINE

**LEGEND**

- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- FENCE LINE
- ⊠ WATER VALVE
- ⊠ WATER METER
- ⊠ FIRE HYDRANT
- ⊠ JOINT POLE
- ⊠ GUY ANCHOR
- TREE SIZE AND TYPE AS NOTED
- XX" TREE
- GAS LINE
- WATER LINE
- CONCRETE
- GM GAS METER





NO. DATE/REVISION

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF UNIQUE HOME DESIGNS. THESE PLANS AND SPECIFICATIONS ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THESE PLANS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF UNIQUE HOME DESIGNS IS STRICTLY PROHIBITED. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES.

**UNIQUE HOME DESIGNS**  
 Land Planning and Residential Design  
 498 Cimarron Lane, San Jose, California 95128  
 (408) 972-8594

**DRAWING TITLE**  
 Main Level Floor Plan

**JOB TITLE**  
 Gera Construction

**JOB ADDRESS**  
 120 N. Third Street  
 Campbell, California

**DATE**  
 JUNE 2011

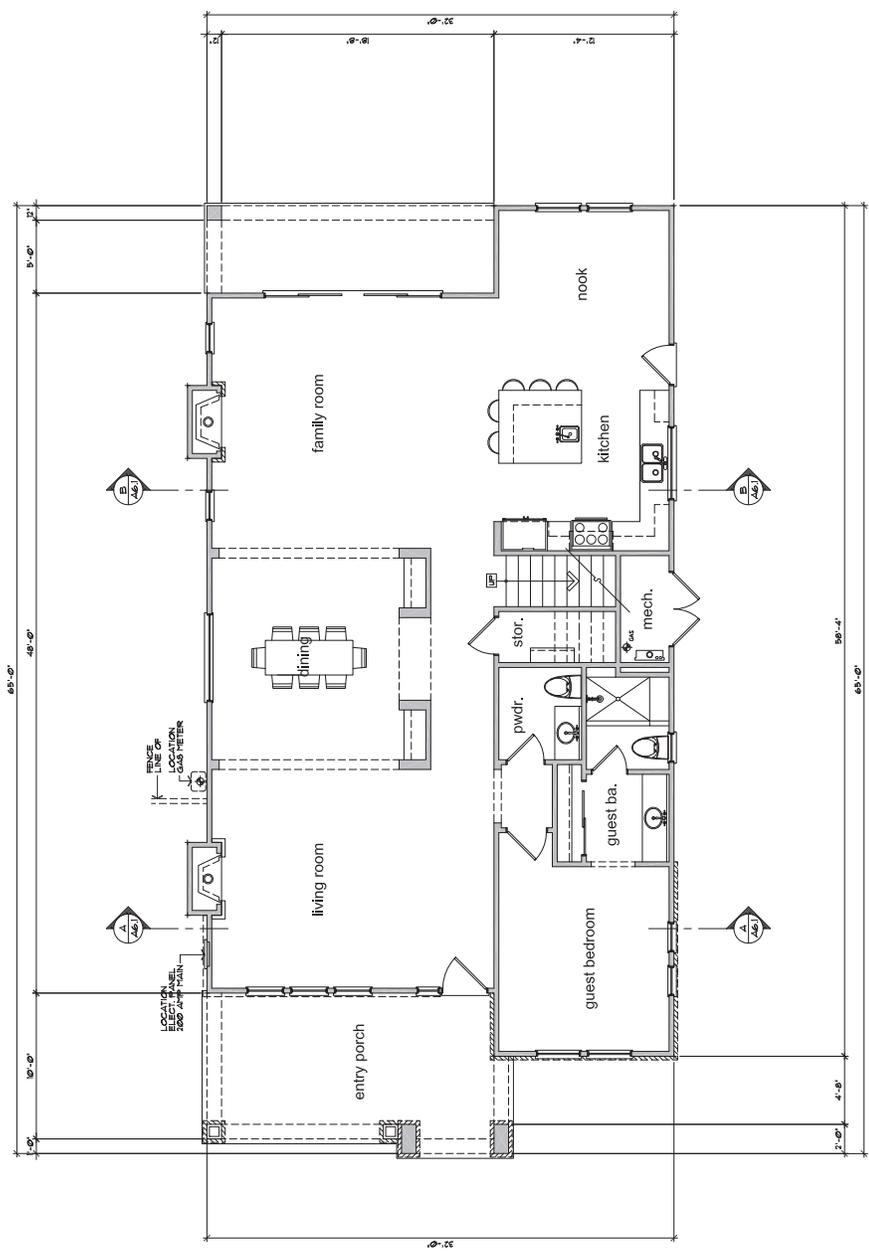
**SCALE**  
 1/4" = 1'-0"

**DRAWN BY**  
 C. GERA

**CHECKED BY**  
 C. GERA

**DATE**  
 11/20/2016

**SHEET**  
 A2.2



**Main Level Floor Plan**

1653 sq. ft. Main Level  
 1277 sq. ft. Upper Level  
 2938 sq. ft. Total Living Area  
 420 sq. ft. Garage  
 3358 sq. ft. Total Floor Area • 44.8%

SCALE: 1/4"=1'-0"

120 N. Third Street





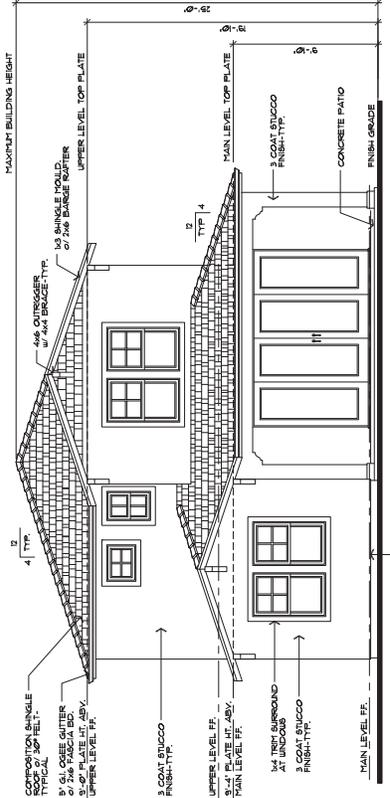
DATE	JUNE 2011
SCALE	1/4" = 1'-0"
PROJECT NUMBER	120NTHIRD
PROJECT NAME	CONCRETE ZEPHYRUS
DRAWN	GZ
CHECKED	GZ
JOB NO.	120-2011
SHEET	

DRAWING TITLE	Exterior Elevations - Plan 1
JOB TITLE	Gera Construction
JOB ADDRESS	120 N. Third Street Campbell, California

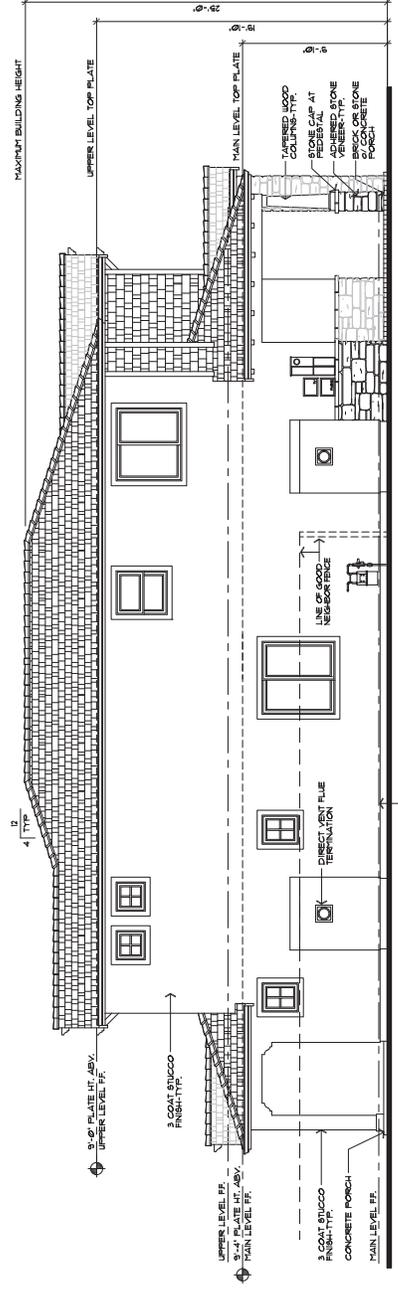
UNIQUE HOME DESIGNS	Land Planning and Residential Design
499 Chabok Lane	San Jose, California 95123
(408) 972-8894	

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FROM WHICH THEY WERE DEVELOPED. ANY CHANGES TO THE ORIGINAL SITE OR ANY OTHER CHANGES TO THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

NO. DATE	REVISION



rear elevation



left side elevation

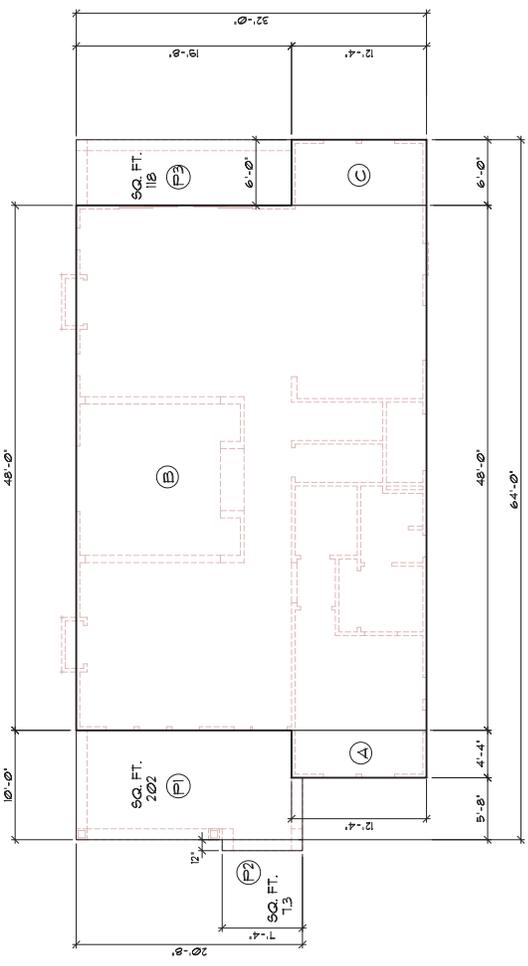




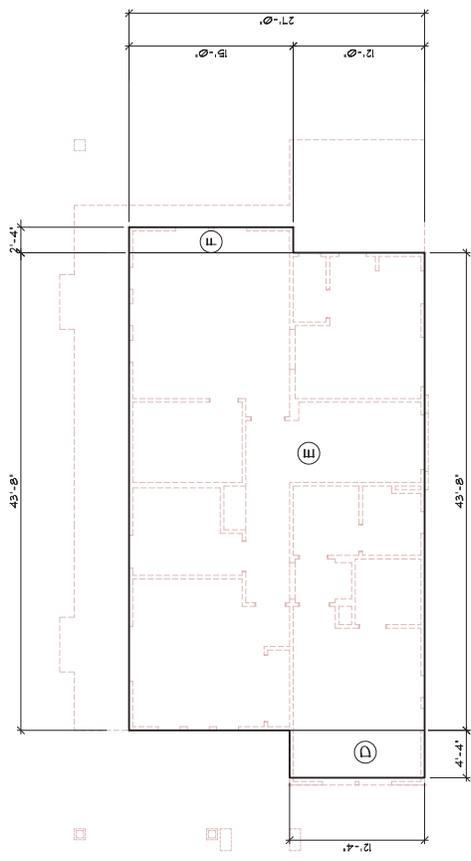


**Square Footage Calculation**

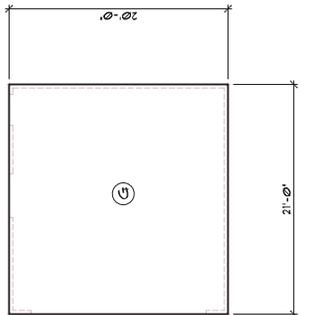
- MAIN LEVEL FLOOR AREA:**
- A. 4'-4" x 12'-4" = 52.88 SQ. FT.
  - B. 48'-0" x 32'-0" = 1536.00 SQ. FT.
  - C. 6'-0" x 12'-4" = 74.40 SQ. FT.
- MAIN LEVEL AREA: 1663.28 SQ. FT. (1663 SQ. FT.)**
- UPPER LEVEL FLOOR AREA:**
- D. 5'-0" x 12'-4" = 61.65 SQ. FT.
  - E. 43'-0" x 27'-0" = 1161.00 SQ. FT.
  - F. 2'-4" x 15'-0" = 34.95 SQ. FT.
- UPPER LEVEL AREA: 1275.42 SQ. FT. (1275 SQ. FT.)**
- GARAGE AREA:**
- G. 20'-0" x 21'-0" = 420.00 SQ. FT.
- GARAGE AREA: 420.00 SQ. FT. (420 SQ. FT.)**
- MAIN LEVEL AREA: 1663 SQ. FT.**
- UPPER LEVEL AREA: 1275 SQ. FT.**
- TOTAL LIVING AREA: 2938 SQ. FT.**
- GARAGE AREA: 420.00 SQ. FT.**
- TOTAL FLOOR AREA: 3358 SQ. FT. (44.8%)**
- PORCHES:**
- F1. 10'-0" x 20'-2" = 202.00 SQ. FT.
  - F2. 1'-0" x 11'-3" = 11.30 SQ. FT.
  - F3. 6'-0" x 19'-0" = 113.56 SQ. FT.
- COVERED PORCH AREA: 317.86 SQ. FT. (317 SQ. FT.)**
- SITE COVERAGE:**
- LOT SIZE (NET): 1500 SQ. FT.
  - HOUSE: 1663 SQ. FT.
  - GARAGE: 420 SQ. FT.
  - ENTRY PORCH: 202 SQ. FT.
  - REAR PORCH: 118 SQ. FT.
  - WALKWAYS: 131 SQ. FT.
- TOTAL SITE COVERAGE: 2644 SQ. FT. (34.0%)**
- LANDSCAPE + OPEN SPACE: 4353 SQ. FT. (66.0%)**



**MAIN LEVEL FLOOR AREA DIAGRAM**  
 SCALE: 3/16" = 1'-0"



**UPPER LEVEL FLOOR AREA DIAGRAM**  
 SCALE: 3/16" = 1'-0"



**GARAGE FLOOR AREA DIAGRAM**  
 SCALE: 3/16" = 1'-0"

NO. / DATE / REVISION

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**UNIQUE HOME DESIGNS**  
 Residential Design  
 499 Chhook Lane, San Jose, California 95128  
 1(408) 972-8594

STREETSCAPE  
 Gera Construction  
 120 N. Third Street  
 Campbell, California

DATE: JUNE 2011  
 SCALE TO FIT  
 PROJECT MANAGER: GREG ZIERMAN  
 DRAWN: GZ  
 JOB NO.: 100-2016  
 SHEET: ST1

