



CITY OF CAMPBELL
Community Development Department

June 2, 2017

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **June 13, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Igor Markovsky for a Site and Architectural Review Permit (PLN2017-59) to allow a major addition and remodel to an existing single-family residence on property located at **1829 Regina Way**. Staff is recommending that this project be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

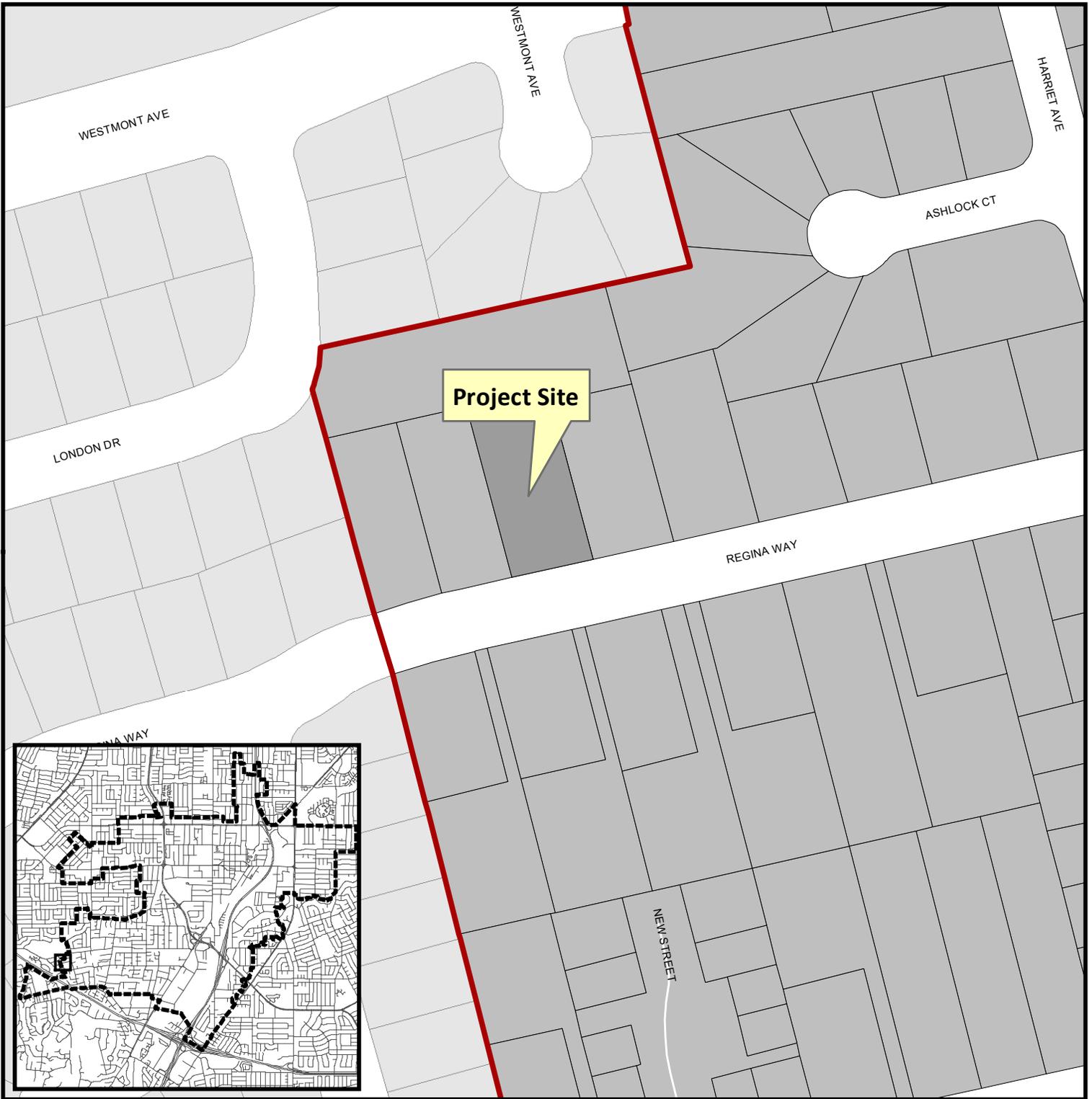
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

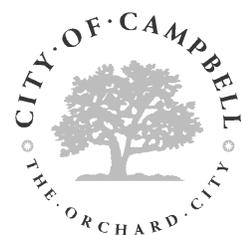
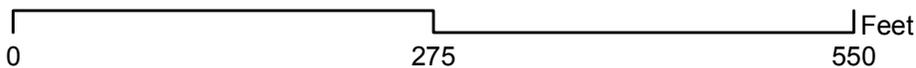
PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1829 Regina Way**

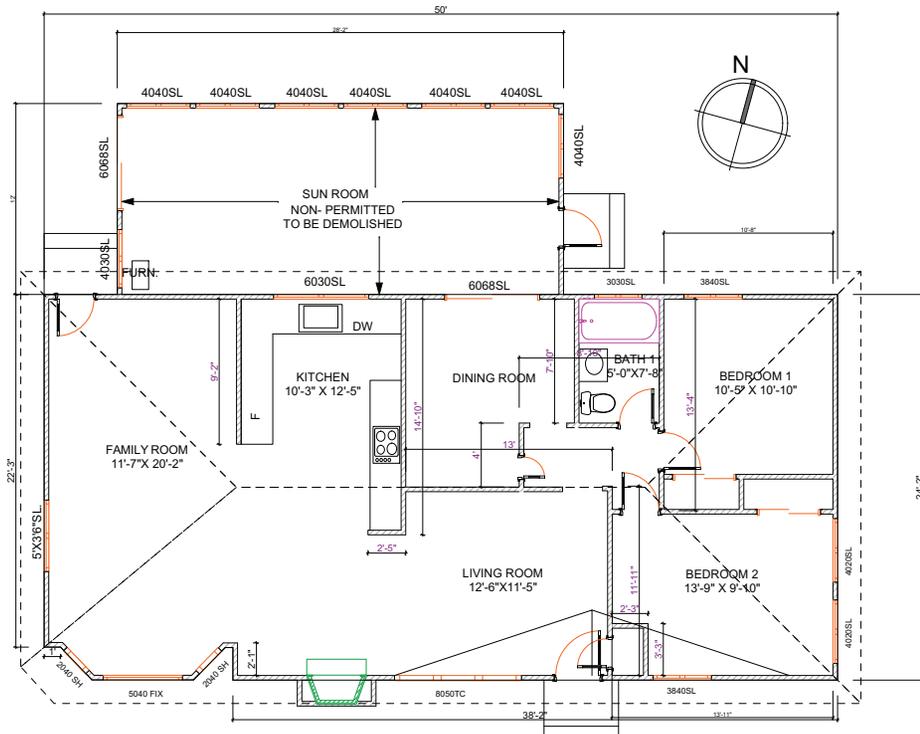
Project Location Map



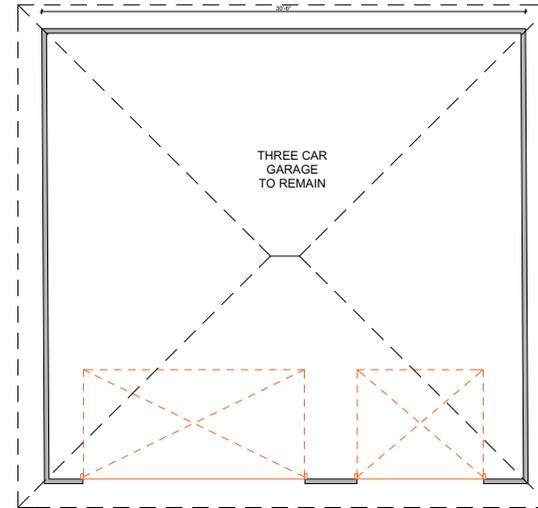
Project Location: 1829 Regina Way
Application Type: Site and Arch. Review Permit
Planning File No.: PLN2017-59



Community Development Department
Planning Division



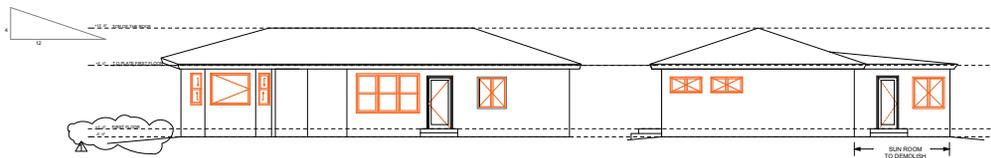
EXISTING HOUSE PLAN
1/4"=1'0"



EXISTING GARAGE
1/4"=1'0"

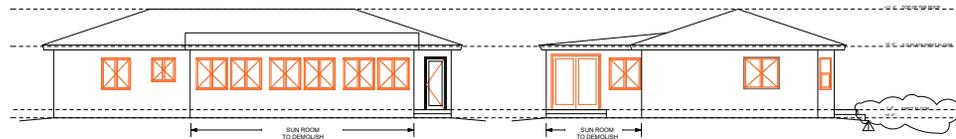
EXISTING INTERIOR WALLS:
 $11' + 13'4" + 4' + 3'3" + 11'11" + 13'11" + 13' + 8'10" + 7'10" + 9'2" + 2'4" + 2' + 14'10" + 2'5" = 118.0$ feet
 MINIMUM INTERIOR WALLS TO REMAIN:
 $118.0 \times 0.26 = 31.0$ feet

EXISTING EXTERIOR WALLS:
 $24'2" + 50' + 22'2" + 1' + 2'10" + 8'5" + 2'10" + 2' + 1' + 38'2" = 151.0$ feet
 MINIMUM EXTERIOR WALLS TO REMAIN:
 $151.0 \times 0.26 = 39.0$ feet



SOUTH ELEVATION

EAST ELEVATION



NORTH ELEVATION

WEST ELEVATION

EXISTING ELEVATIONS
1/8"=1'0"

REVISIONS

05.24.2017

BY

PROJECT FOR
 IGOR MARKOVSKY
 1829 REGINA WAY,
 CAMPBELL, CA,

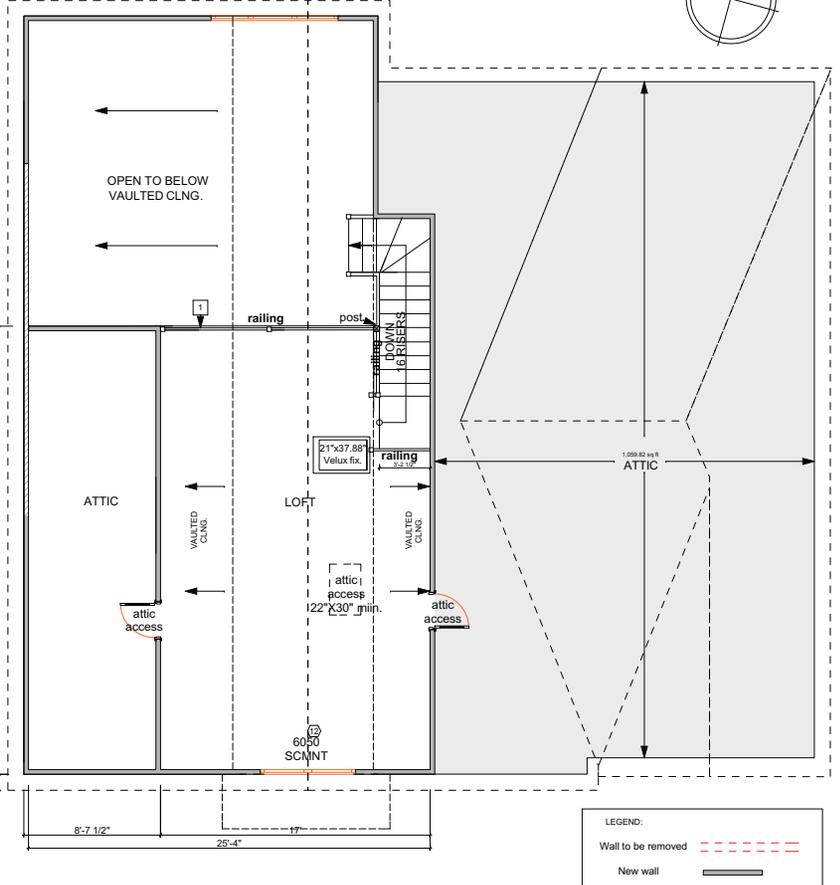
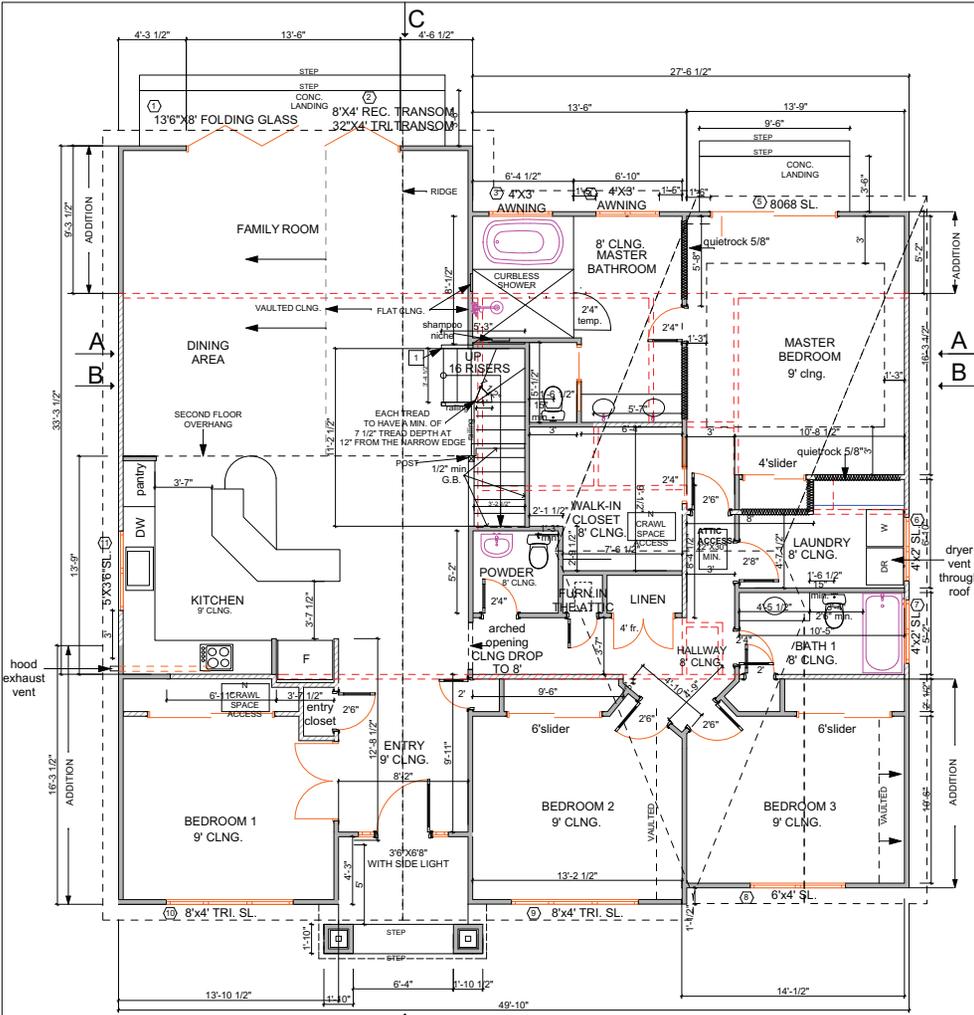
NATALIA AMATUNI
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 408 4200411

PROJECT NO.

DATE

A 3 OF

SHEET NUMBER



PROPOSED PLANS
1/4"=1'0"

NO.	QTY.	LOCATION	TYPE	REMARKS	NEW	REPLACE
6	1	LAUNDRY	4020 SL		•	•
7	1	BATH 1	4020 SL	OBSCURED	•	•
8	1	BEDROOM 3	6040 SL		•	•
9	1	BEDROOM 2	8040 TR. SL.		•	•
10	1	BEDROOM 1	8040 TR. SL.		•	•
11	1	KITCHEN	5036 SL		•	•
12	1	LOFT	6050 CSMNT		•	•

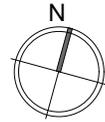
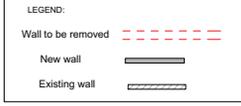
WINDOW SCHEDULE

WINDOW #	QUANT.	LOCATION	TYP.	EGRESS	TEMPERED GLS	NEW	REPLACE
1	1	FAMILY ROOM	13'6" X8" GLASS FOLDING DOOR			•	•
2	1	FAMILY ROOM	8040 TRANSOM RECT. HEADER 14" & TRANSOM 32" X4" TRAPEZ. HEADER 14"			•	•
3	1	MASTER BATH	4030 AWNING	OBSCURED		•	•
4	1	MASTER BATH	4030 AWNING	OBSCURED		•	•
5	1	MASTER BEDROOM	8068 SL			•	•

NOTE:
Attic will remain unconditioned and the attic access will be through a "hatch" door or opening size significantly smaller than a standard door size (height.)

- WINDOW NOTES:**
- ALL WINDOWS TO BE DOUBLE GLAZED. U.O.N.
 - CONTRACTOR SHALL VERIFY ALL FINAL MANUFACTURER'S WINDOW SIZES BEFORE ORDERING AND INSTALLING.
 - ALL HEADER HEIGHTS TO BE MEASURED FROM TOP OF PERSPECTIVE SUBFLOOR. U.O.N.
 - ALL WINDOWS AND DOORS MUST BE TEMPERED GLASS ON THE EXTERIOR PANE.
- STAIR NOTES:**
- (N) HANDRAIL & GUARDRAIL PROVIDE 36" H. GUARDRAIL. TO 2" DIAM. CONTINUOUS STAIR HANDRAIL 34" TO 38" ABOVE STAIR NOSING WITH NO SHARP EDGES AND BALUSTERS SPACED SUCH THAT 4" DIA. SPHERE CANNOT PASS THROUGH.

- EXISTING INTERIOR WALLS TO REMAIN: 31 FEET**
(See A3 for existing interior walls calculations)
- (E) INTERIOR WALLS TO REMAIN CALCULATIONS**
57' + 103' + 84' 8" + 326' = 31' COMPLPY
- (E) EXTERIOR WALLS TO REMAIN CALCULATIONS**
242' + 222' = 46.2 feet
46.2 > 39.0. COMPLPY
- EXISTING EXTERIOR WALLS TO REMAIN: 39 FEET**
(See A3 for existing exterior walls calculations)



REVISIONS

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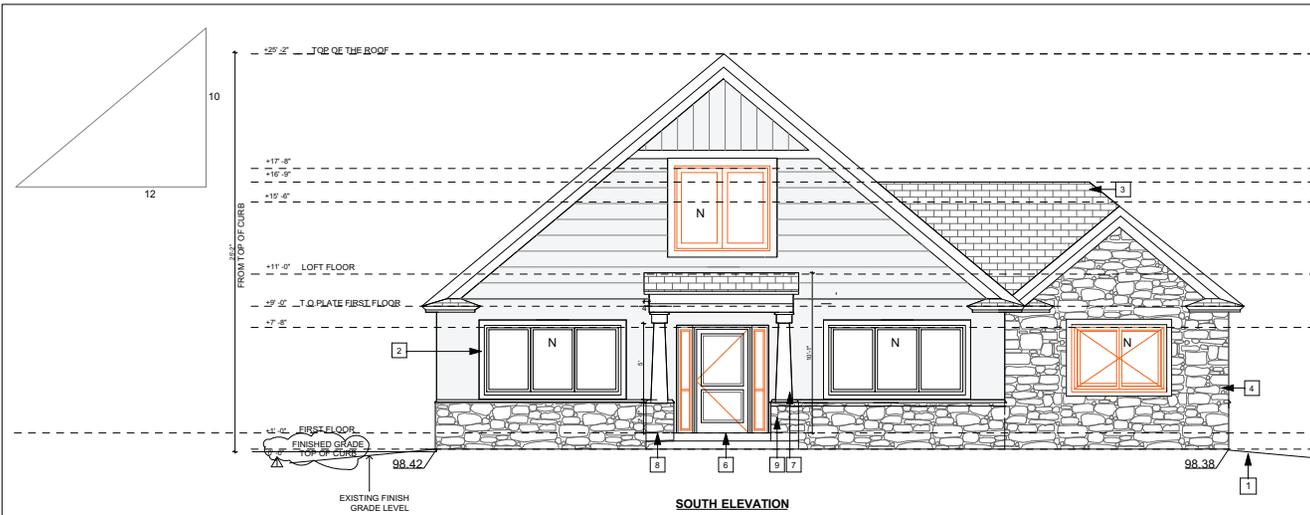
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ARCHITECTURAL ELEVATION NOTES

- 1 NATURAL GRADE (APPROX.)
- 2 4" TRIM BOARD
- 3 NEW CLASS "A" COMPOSITION SHINGLES ROOFING
- 4 1/8" STUCCO ON EXPANDED METAL LATH ON 2 LAYERS OF 2X4 @ 16" O.C. STUDS WR-13 INSUL. O/ 5/8" GYPSUM BOARD.
- 5 (IN GUTTERS) 4"x4" 30 GA. CORROSION RESISTANT SHEET METAL W/ FASCIA GUTTERS
- 6 (IN TILE DECK FINISH)
- 7 SQUARE TAPERED COLUMN WITH (IN BOXED WOOD FRAMING AND STUCCO FINISH BEARING POST INSIDE) PROVIDE 2" CLR. PORCH PAVING 1/2" NOTCH AT TOP
- 8 (IN 3/4" WOOD FRAME DECORATIVE COLUMN BASE WITH ADHERED STONE VENEER APPLIED PER MFR'S SPECS.
- 9 CAST STONE COLUMN BASE CAP (IN PRECAST STONE COLUMN BASE CAP CUT TO FIT AROUND COLUMN. CALC AT COLUMNS AND GROUT IN STONE VENEER)
- 10 STUCCO KEEP SCAFFED PROVIDE 2" CAL. MIN. CORROSION RESISTANT SHEET METAL KEEP SCAFFED AT OR BELOW PLATE LINE (3" MIN. 4" CLEAR TO FINISH GRADE AND MIN. 2" CLR. TO PAVING)

NOTE:

FLASHING TO BE INSTALLED WHERE THE EXTERIOR WALL MEETS THE ROOF LINE PER CRC R903.2.1

TYP. NEW WALL
7/8" STUCCO (3 COATS) O 2 LAYERS
GRADE 10" BLDG PAPER O 1/2" CDX
PLYWD. O/ 2X4 @ 16" O.C. STUDS
WR-13 INSUL. O/ 5/8" GYPSUM BOARD.

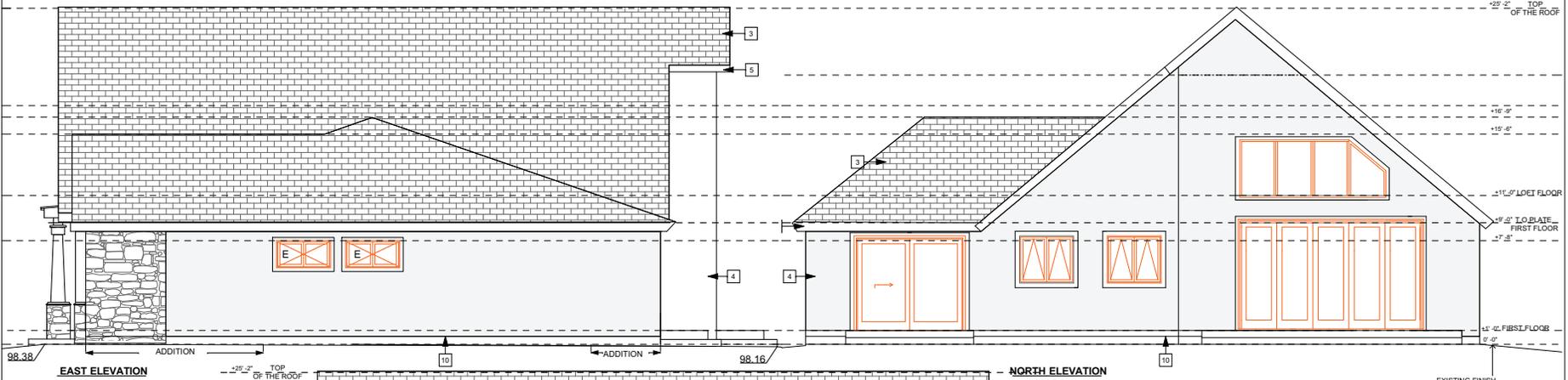
TYP. ROOF AT FLAT CEILINGS
COMPOSITION SHINGLES (CLASS "A" FIRE
RATING) O/ 30 LB. BUILDING PAPER O/ 1/2"
CDX PLYWOOD O/ 2X6 RAFTERS O.F. N O/ 2
O/ VENTILATED ATTIC O/ 2X6 CEILING
JOISTS W/ R-30 INSULATION & 1" MINIMUM
VENTED AIR SPACE O/ 1" PERM MINIMUM
VAPOR BARRIER O/ 5/8" GYPSUM BOARD
CEILING.

TYP. ROOF AT SLOPED CEILINGS
COMPOSITION SHINGLES (CLASS "A" FIRE
RATING) O/ 30 LB. BUILDING PAPER O/ 1/2"
CDX PLYWOOD O/ 2X8 O.F. N O/ 2 RAFTERS
W/ R-19 INSULATION & 1" MINIMUM
VENTED AIR SPACE O/ 1" PERM MINIMUM
VAPOR BARRIER O/ 5/8" GYPSUM BOARD
CEILING.

NEW WALLS FINISH: STUCCO

ROOF: NEW ROOF COMPOSITION SHINGLES
CLASS A.

WINDOW & DOOR MOLDING: STUCCO. COLOR
IS THE SAME AS WALLS



COLOR SCHEME:

Stucco Walls & Siding- Tavern
Taupe SW 7508 or similar

Fascia Board , windows
stucco trim, decorative walls
stucco trim : Navajo white SW
6126

Windows- White vinyl

Roof- Oakridge Driftwood
shingles or similar

Stone veneer: Ledge stone
style. Color: Bucks country
or similar

PROPOSED ELEVATIONS
1/4"=1'0"

FINISH NOTES:

1. USE HARDWOOD FLOOR IN THE KITCHEN , LIVING ROOM, DINING AREA.
TILE FLOOR IN THE BATHROOMS.
2. ANY TRIM SPANNING A CORNER OR TWO ADJUTENT SURFACES SHOULD BE FASTENED ON ONE SIDE ONLY.
3. MAKE ADJUSTMENTS FOR VARYING FRAMING MEMBERS MOISTURE CONTENT TO ENSURE LEVEL BASE FOR DRY WALL AND OTHER FINISHES.
4. BATHROOM FINISH:
a) BATHROOMS SHALL BE FINISHED WITH NONABSORBENT SURFACES EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
b) WATER RESISTANT GYPSUM BACKING SHALL NOT BE USED WHERE WILL BE DIRECT EXPOSURE TO WATER OR IN AREAS SUBJECT CONTINUOUS HIGH HUMIDITY. CRC R702.3.8.1
5. TRESHOLDS AND FLOORING TRANSITION STRIPS TO MEET CBC CHAPTER 11A. EXCEPT EXTERIOR DOORS FLOOR LEVEL SHALL CHANGE MIN. 1 1/2".
6. DO NOT BUTT DISSIMILAR MATERIALS TIGHTLY. LEAVE REASONABLE CLEARANCES @ JOINTS. TO ALLOW EXPANSION AND CONTRACTION, AND FOR DIFFERENT SETTLEMENT.

REVISIONS

05.24.2017

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NEW ROOF:
COMPOSITION SHINGLES ROOFING, GAF,
WEATHERED WOOD COLOR OR SIMILAR

REQUIRED VENTILLATION ATTIC
(SEE A8 FOR CALCS.)

1069 SQ.FT. OF NEW ATTIC AREA
1069x144=153918 SQ.IN.
(PER CRC R806.2 REQUIRED OPENINGS AREA 1/150 OF
VENTILLATED AREA IF APPROVED VAPOR BARRIER
PROVIDED).
REQUIRED OPENINGS ON TWO SIDES
(LOW VENTS- INTAKE AND RIDGE VENTS- HIGH VENTS-
EXHAUST)
1018.2=509 SQ.IN. OF INTAKE NET FREE AREA & 509 SQ.IN.
OF EXHAUST NET FREE AREA.

EXHAUST:
509 > 72, SEVEN PCS. OF SHINGLE VENT (4" LENGTH)
OR
509 :39.6 = THIRTEEN PCS OF RECTANGLE GABLE LOUVERS
12"X12"

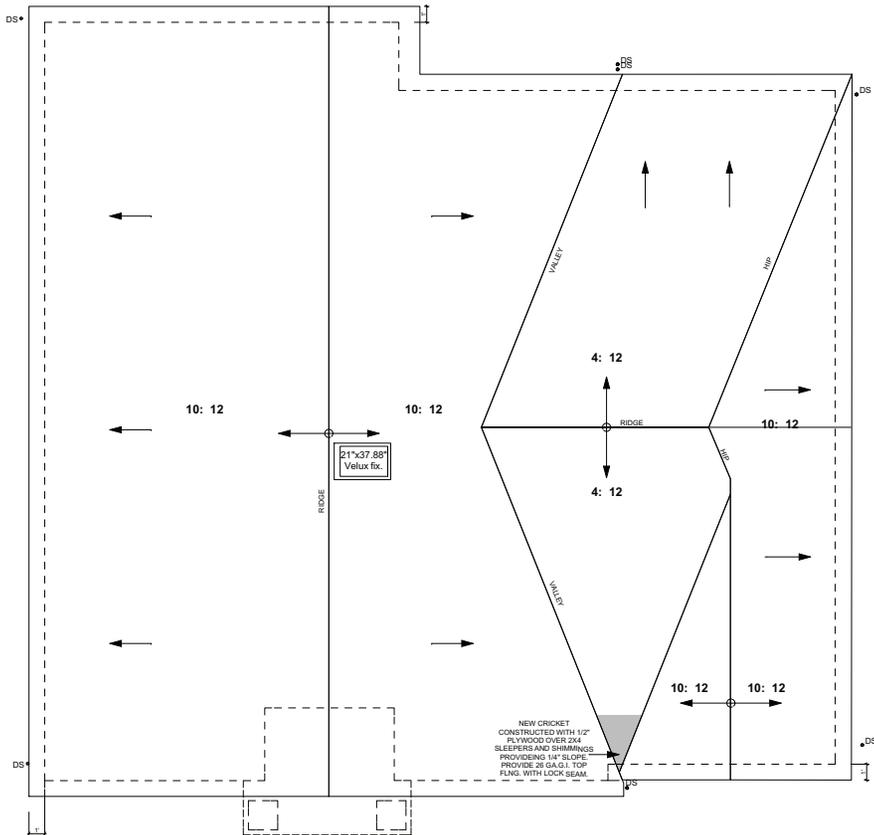
INTAKE:
OPENING SIZE 2"X4"=8SQ.IN.
(SAW CUT BLOCKING)
509:8=64 PCS, USE FOR EACH SIDE OF THE HIP
MAX 2 PER RAFTER BAY @EACH BAY.

REQUIRED VENTILLATION ATTIC
ABOVE BDRM1 & KITCHEN (SEE A2 FOR CALCS.)

238 SQ.FT. OF NEW ATTIC AREA
238x144=34272 SQ.IN.
(PER CRC R806.2 REQUIRED OPENINGS AREA 1/150 OF
VENTILLATED AREA IF APPROVED VAPOR BARRIER
PROVIDED).
REQUIRED OPENINGS ON TWO SIDES
(LOW VENTS- INTAKE AND RIDGE VENTS- HIGH VENTS-
EXHAUST)
204.2=114 SQ.IN. OF INTAKE NET FREE AREA & 114 SQ.IN.
OF EXHAUST NET FREE AREA.

EXHAUST:
114 > 72, TWO PCS. OF SHINGLE VENT (4" LENGTH)
OR
114 :39.6 = THREE PCS OF RECTANGLE GABLE LOUVERS
12"X12"

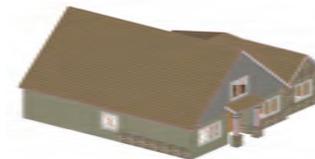
INTAKE:
OPENING SIZE 2"X4"=8SQ.IN.
(SAW CUT BLOCKING)
114:8=14 PCS, USE FOR EACH SIDE OF THE HIP
MAX 2 PER RAFTER BAY @EACH BAY.



ROOF PLAN
1/4"=1'0"



FRONT VIEW



LEFT VIEW



REAR VIEW



RIGHT VIEW

3D MODELS

REVISIONS

BY

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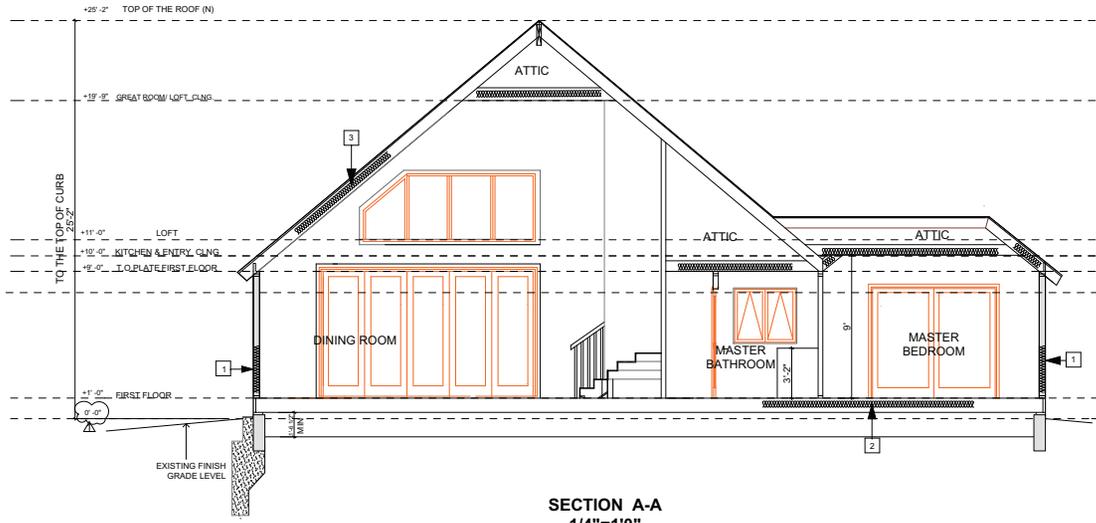
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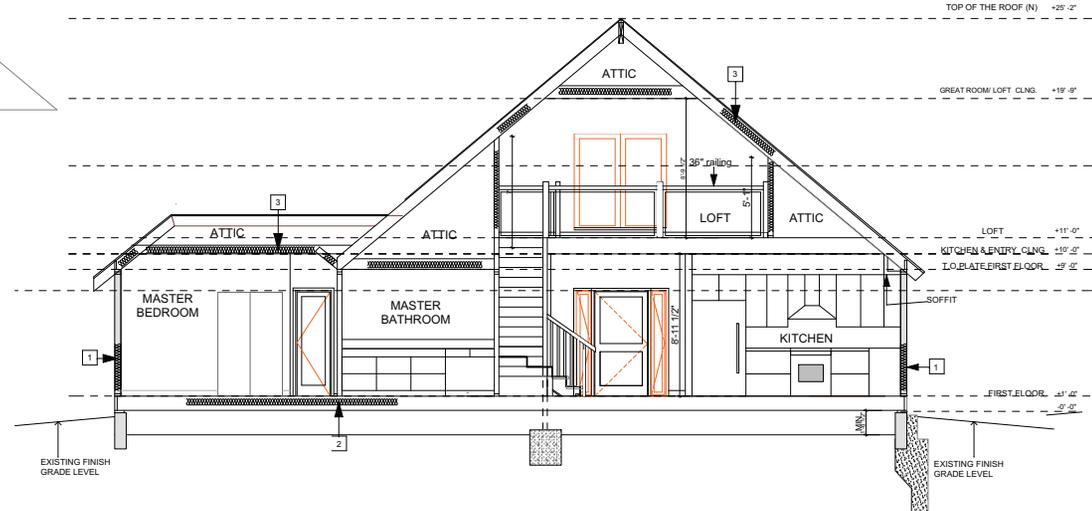
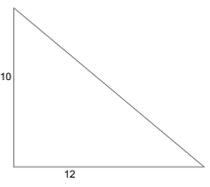
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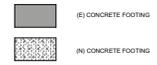


SECTION A-A
1/4"=1'0"



SECTION B-B
1/4"=1'0"

- 1 R-15 w/ EXTERIOR R-5 MIN. THERMAL INSULATION
- 2 R-19 MIN. THERMAL INSULATION
- 3 R-38 MIN. THERMAL INSULATION



STAIRWAY NOTES:
STAIRWAY SHALL BE NOT LESS THAN 36" IN WIDTH. RISERS SHALL BE NO GREATER THAN 7 1/2". TREADS SHALL BE MIN. 10".

OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR - BETWEEN BALUSTERS OR BETWEEN POST AND BALUSTER - SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH.

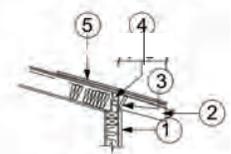
THE SPACE BETWEEN THE FINISHED FLOOR AND THE BOTTOM RAIL MUST NOT EXCEED 4 INCHES.

THE BALUSTRADE MUST BE ABLE TO WITHSTAND 200 POUNDS OF FORCE OF PRESSURE AT ANY POINT.

THE MINIMUM BALUSTRADE HEIGHT IS 42 INCHES.

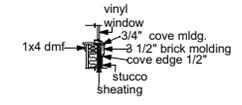
TRIM SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN 3 1/2 INCHES. HANDRAILS MAY PROJECT FROM EACH SIDE OF A STAIRWAY A DISTANCE OF 3 1/2 INCHES INTO THEIR EQUIURED WIDTH.

N.T.S. EV.1 DETAIL

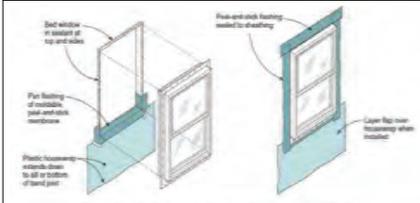


- 1 stucco
- 2 2x6 rafter tail
- 3 1x6 blocking w/3 1/2" diam. holes w/ 1/4" screen
- 4 2x blocking w/3 -1 1/2" diam. holes
- 5 roof finish

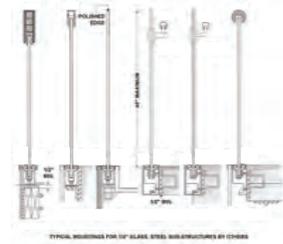
N.T.S SILL DETAIL



WINDOWS FLASHING



GLASS RAIL ASSEMBLY



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1	05.24.2017	

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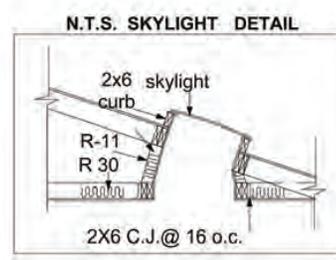
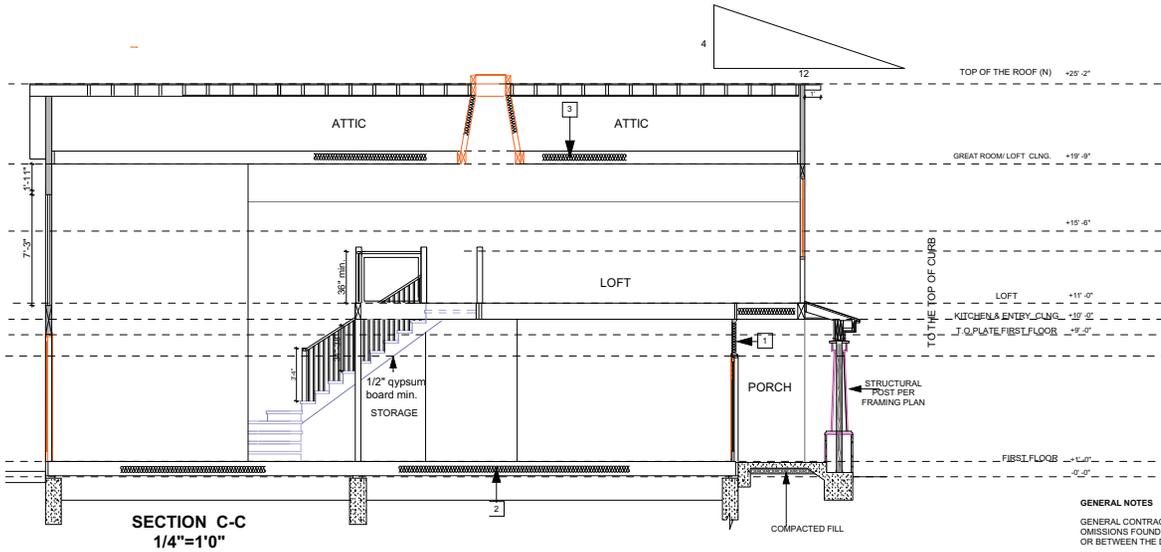
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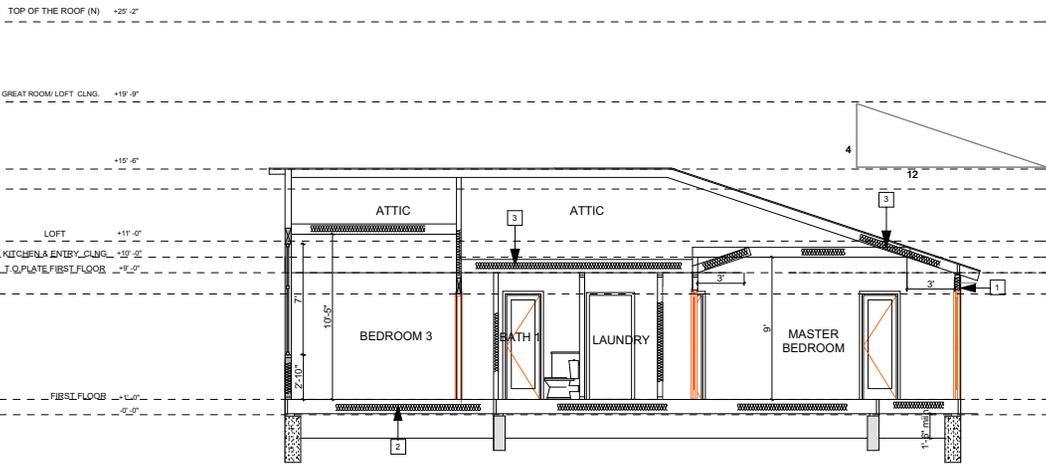
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GENERAL NOTES

- GENERAL NOTES**
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL NOTIFY OWNER OR DESIGNER OF ANY DISCREPANCIES OR OMISSIONS FOUND IN THE DRAWINGS OR DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DOCUMENTS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH AFFECTED WORK.
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISHED SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5).
- AEROSOL PAINTS AND COATING SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.3)
- PAINTS, STAINS, AND OTHER COATING SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2)
- ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.1)
- COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1)
- STUCCO**
- STUCCO AT ALL HORIZONTAL SURFACES AND THE FIRST 12" VERTICAL PORTIONS AROUND CORNERS AND EDGES SHALL BE MIXED WITH "ACRYLIC-60". A MINIMUM 0.019(26GA) CORROSION-RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS WITH STUCCO. THE SCREED SHALL BE PLACED AT MINIMUM OF 6" ABOVE THE GROUND OR 2" ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. SEC 25065.
- APPLICATION OF STUCCO: STUCCO SHALL BE THREE COATS PROCESS AND 7/8" THICK OVER TWO LAYERS OF GRADE D WALL PAPER BACKED WITH METAL LATH.
- ENERGY**
- ALL EXTERIOR DOORS TO BE 1 3/8" SOLID CORE AND WEATHER-STRIPPED.
- DOOR FROM GARAGE TO HOUSE TO BE 1 3/8" SOLID CORE, WEATHER STRIPPED AND WITH SELF-CLOSING DEVICE.
- ADD A BEAD OF CAULKING AROUND THE INTERIOR OF THE SOLE PLATE AT ALL EXTERIOR WALLS. THE BEAD SHALL BE APPLIED AT THE JOINT OF SUBFLOOR AND SOLE PLATE JUST PRIOR TO SHEETROCK APPLICATION.
- THERMAL AND MOISTURE**
- COVER WOOD FRAMING WITH 15 FOOT WATERPROOF BUILDING PAPER IN BATH TUB AND SHOWER ENCLOSURE. TILE OR OTHER APPROVED MATERIALS MUST BE ATTACHED TO A BACKING WHICH IS NOT ADVERSELY AFFECTED BY MOISTURE. USE TILE OVER MORTAR WITH METAL LATH OVER 15 FOOT WALL PAPER OVER WATERPROOF "GB UP TO 70" ABOVE DRAIN INLET.
- WHEN INSULATED SPACE IS SMALLER THAN 12" USE ROGOD INSULATION BOARD TO ALLOW MIT 1" AIRFLOW. WHEN INSULATING CEILINGS PROVIDE MIN. 1" SPACE FOR AIRFLOW.
- PROVIDE CROSS VENTILATION AT ALL ROOFS.
- CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FRAMING BEFORE ENCLOSURE (4.505.3)
- EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND FAN MUST BE CONTROLLED BY HUMIDITY CONTROL (4.506.1)
- MECHANICAL**
- PROVIDE 6" CLEARANCE ON COMBUSTION AIR SIDE OF FURNACE ROOM AND 30" WORKING SPACE IN FRONT OF ALL HEATING CONTROLS PER U.M.C.
- PROVIDE MIN. REQUIRED DISTANCE OF TERMINATION OF VENTS, AND FLUES PER U.M.C. AND U.P.C. LATEST EDITION.
- IN A CASE OF MEMBRANE PENETRATION BY DUCT OR PIPE, PROVIDE 26 GA FOR MIN. 2" OF THE PENETRATION SECTION. PIPE SHALL BE METAL AT THE PENETRATION. ALL PENETRATION AREA SHALL BE CAULKED AND SEALED.
- THE DRYER DUCT RUN AND TERMINATION POINT OF THE DRYER EXHAUST SHALL EXTEND TO THE OUTSIDE.
- TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING (I.E., DRYERS, BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, ATTIC VENTS, OPENING SKYLIGHTS).
- PER EPA REQUIREMENTS AND AS ENFORCED BY CONTRACTOR'S STATE LICENSE BOARD ANY CONTRACTOR WORKING IN A HOME THAT WAS BUILT PRIOR TO 1978 MUST BE CERTIFIED IN LEAD-SAFE WORK PRACTICES.
- PLUMBING**
- PROVIDE ANTI-SCALD SHOWER VALVES AT ALL NEW SHOWERS AND TUBI SHOWERS.
- SHOWER AND TUBI SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.
- THE WATER HEATER SHALL BE SEISMIC STRAPPED OR ANCHORED IN ACCORDANCE WITH CPC 507.2
- THE WATER HEATER SHALL BE LOCATED ON AN 18" PLATFORM, ABOVE THE FLOOR, UNLESS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT PER CPC 507.13
- ELECTRICAL**
- BATHROOMS AND LAUNDRY RECEPTICLES REQUIRE SEPARATE 20 AMP. CIRCUIT. THE CIRCUITS SHALL HAVE NO OTHER ELECTRICAL OUTLETS.
- KITCHENS AND BATHROOMS ARE TO HAVE THEIR TITLE 24 FLUORESCENT FIXTURES OPERATED BY FIRST SWITCH AT ALL ENTRANCES TO THE ROOMS. GENERAL LIGHTING FIXTURES ARE TO BE LOCATED SO AS TO ILLUMINATE FLOOR AND COUNTERS.
- AN ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT RECEPTICLES IN THE BEDROOMS. SEC ARTICLE 210-12(B).



- 1 R- 15 w/ EXTERIOR R-5 MIN. THERMAL INSULATION
- 2 R- 19 MIN. THERMAL INSULATION
- 3 R- 38 MIN. THERMAL INSULATION



SECTION D-D
1/4"=1'0"

REVISIONS

BY

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