



CITY OF CAMPBELL
Community Development Department

April 28, 2017

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **May 9, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Ben Hisumi for a Site and Architectural Review Permit (PLN2016-410) to allow an addition to an existing single-family residence on property located at **894 Sweetbriar Drive**. Staff is recommending that the project be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

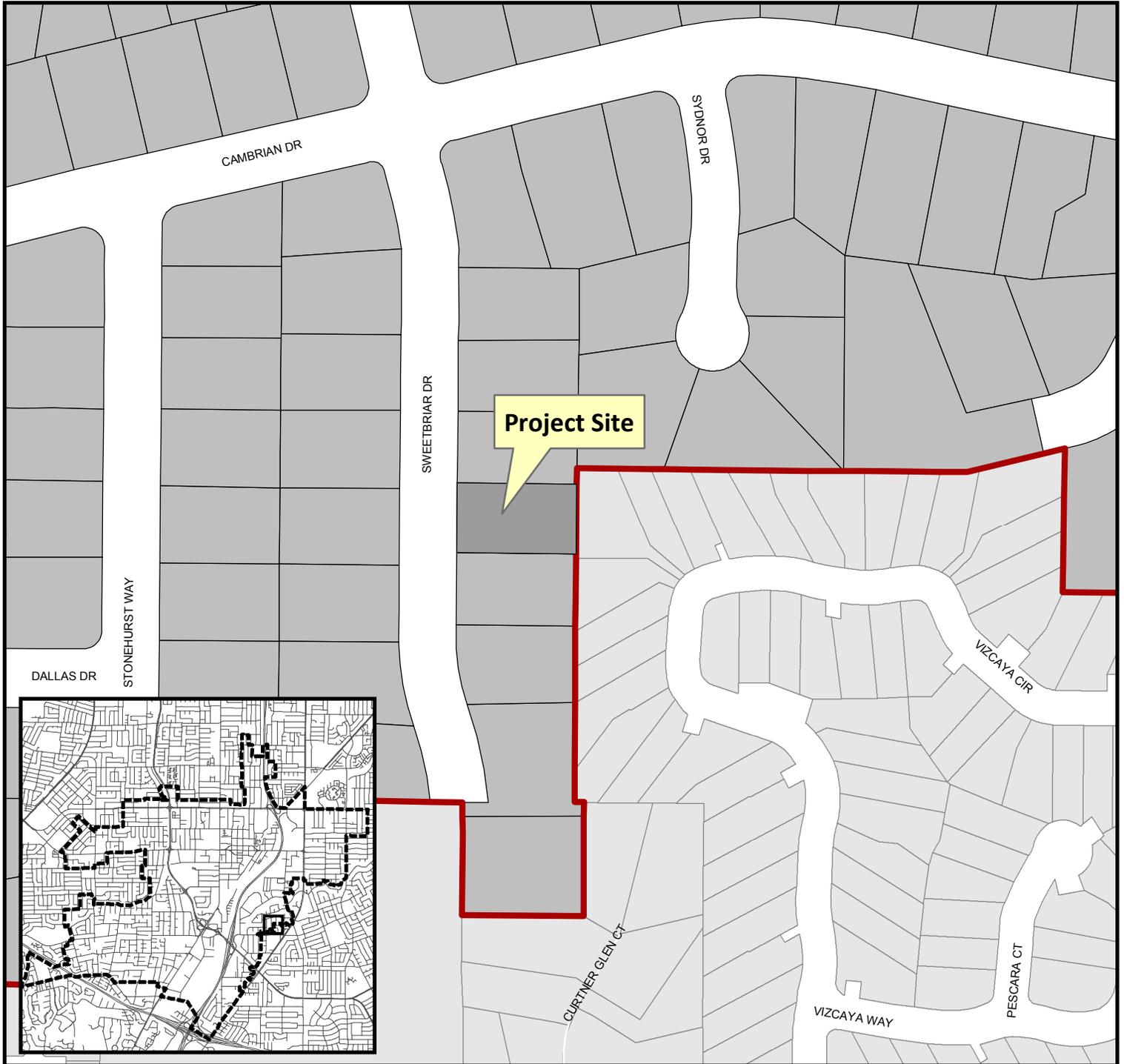
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **894 Sweetbriar Drive**.

Project Location Map



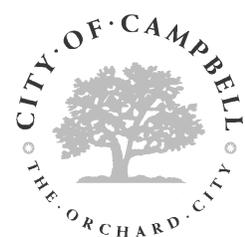
Project Location: 894 Sweetbriar Drive

Application Type: Site and Architectural Review Permit

Planning File No.: PLN2016-410

Description: 69 square-foot front addition and 262 square-foot rear addition to an existing one-story single-family residence

0 305 610 Feet

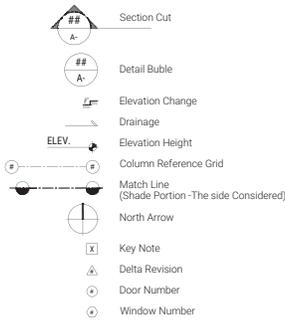


Community Development Department
Planning Division

ABBREVIATIONS

AA	Attic Access	ID	INDIRECT DRAIN
AFF	above finished floor	INT.	INTERIOR
ALUM.	aluminum	LL	LANDLORD
BV	ball valve (full port)	MC	MECHANICAL CONTRACTOR
C.	conduit	(N)	NEW
CO	conduit only	NIC	NOT IN CONTRACT
CW	cold water	NTS	NOT TO SCALE
(E)	existing	OA	OUTSIDE AIR
EC	electrical contractor	OC	ON CENTER
EWH	electrical water heater	PC	PLUMBING CONTRACTOR
EXT.	exterior	RAR	RETURN AIR REGISTER
FF	finish floor	RI	ROUGH-IN
FG	finish grade	STRUCT.	STRUCTURE, STRUCTURAL
FDF	face of finish	WCD	WASTE CLEAN OUT
FOS	face of stud	U.O.N	UNLESS OTHERWISE NOTICE
FS	floor sink		
GC	general contractor	BR	Bedroom
HW	hot water	BA	Bathroom
HT	height	MBR	Master Bedroom
		MBA	Master Bathroom
		W.I.C.	Walk-in Closet

SYMBOLS



PROJECT DIRECTORY

Properties Owner
 Ben & Trisha
 894 Sweetbriar Dr.
 Campbell, CA 95008
 Phone: (408) 896 2768
 Email: trishatang98@yahoo.com

Drafting
 Bao Dinh
 140 Cedar Pointe Loop, Apt# 514
 San Ramon, CA 94583
 Phone: 714.300.4222
 Email: bao.dinh@gmail.com

Structural
 ND Engineering
 10692 Silver Cir.
 Garden Grove, CA 92843
 Phone: 909.534.7760
 Email: truongdong@gmail.com

T-24
 JS Engineering Inc.
 410 S. San Gabriel Blvd. #8
 San Gabriel, CA 91776
 Phone: 626.497.0558
 Email: joezhang@sbcglobal.net

VICINITY MAP



House Addition

894 Sweetbriar Dr.
 Campbell, CA 95008

APPLICABLE CODES

All work under this contract shall comply with the provisions of the specifications and drawings, and shall satisfy all applicable codes, ordinances and regulations of all governing bodies involved. All permits and licenses necessary for the proper execution of the work shall be procured and paid for by the contractor involved. Applicable codes include, but are not limited to the following:

- 2013 California Building Code with local amendments
- 2013 California Residential Code with local amendments
- 2013 California Electrical Code
- 2013 California Plumbing Code with local amendments
- 2013 California Mechanical Code
- 2013 California Energy Code
- 2013 California Fire Code with local amendments
- 2013 California green Building Standards Code

BUILDING INFORMATION

Stories: 1
 Parcel: 412-41-004
 Zoning: R1-8

Type of Construction: V-8
 Fire Sprinkler: No
 Occupancy Group: R/U
 Lot Size: 9,103 S.F.

(E) Floor Area: 1,913 S.F.
 (E) Garage: 497 S.F.
 (E) Porch: 86 S.F.

Porch Existing (Remain): 17 S.F.
 Porch Addition: 6 S.F.
 Porch: 23 S.F.

Proposed Conditioned Addition

Master Bath	246 S.F.
Kitchen & Entry	69 S.F.
Bay Window	16 S.F.
Total Addition	331 S.F.

PROJECT SUMMARY

ASSESSOR PARCEL NUMBER
 412-41-004

LOT SIZE
 9,103 S.F.

DEVELOPMENT DATA

	EXISTING	PROPOSED
Building Coverage	2,496 S.F.	2,764 S.F.
Building Coverage %	27.42%	30.36%
Landscape Coverage	2,735 S.F.	2,739 S.F.
Landscape Coverage %	30.05%	30.09%
Paving Coverage	3,872 S.F.	3,600 S.F.
Paving Coverage %	42.53%	39.55%
F.A.R.	0.26	0.30
	(2,140 S.F. / 9,103 S.F.)	(2,749 S.F. / 9,103 S.F.)

ADJACENT LAND USES

North: Residential
 South: Residential
 East: Residential
 West: Street

PARKING

Cover Parking: 2

RESIDENTIAL PROJECT

	Existing	Proposed
Living Area	1,913 S.F.	2,244 S.F.
Garage	497 S.F.	497 S.F.
Total Area	2,410 S.F.	2,741 S.F.
Number of Bedroom	4	4
Total # Unit	1 Single Family	1 Single Family

SCOPE OF WORK

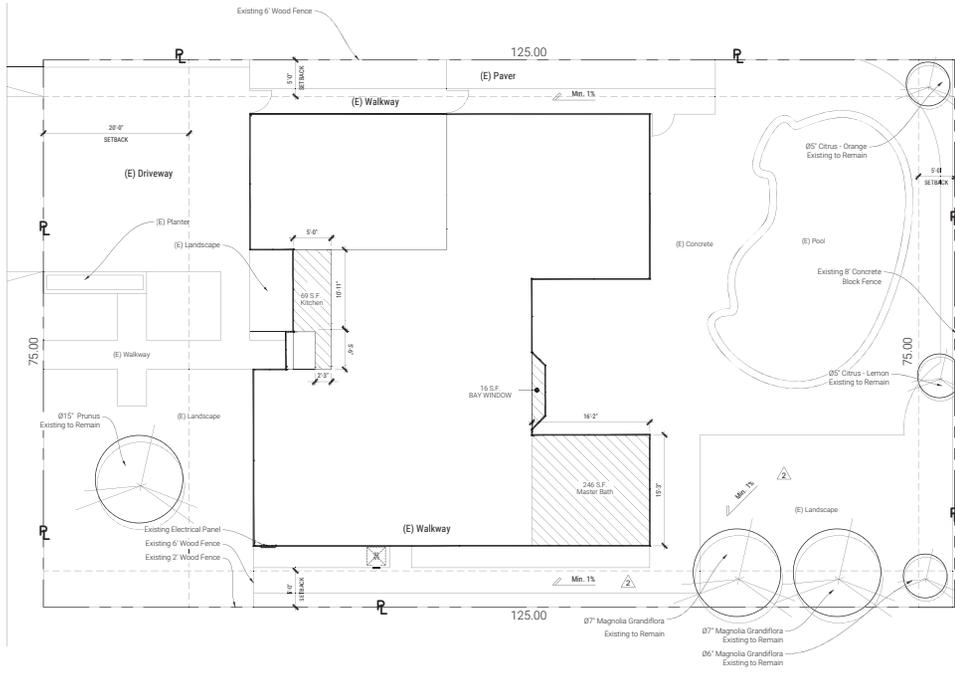
Added Master Bathroom 246 S.F., Added 16 S.F. Bay window. Extended existing kitchen and entry 69 S.F.
 Added 10 S.F. Porch. Proposed front elevations.

DRAWING INDEX

ARCHITECTURAL	Site Plan & Building Information
A0.1	Mandatory Measure
A0.2	Mandatory Measure
A0.3	Mandatory Measure
A2.1	Proposed Floor Plan
A2.1a	Proposed Floor Plan Diagram
A3.1	Reflected Ceiling Plan
A5.0	Existing Elevations
A5.1	Roof Plan & Elevations
A5.2	Elevations
A6.1	Section & Details
A7.1	Details
T-24	
T-24 1/2	Mandatory Measure
T-24 2/2	Certification of Compliance
STRUCTURAL	Structural Notes
S.0	Foundation Plan
S1	Framing Plan
S2	Structural Details
SD1	Structural Details
SD2	Structural Details

REVISION

12/19/2016	Site & Architectural Review
12/21/2016	1st Building Submittal
02/08/2016	Planning Revision
03/06/2016	Building Revision
03/18/2016	Planning Revision



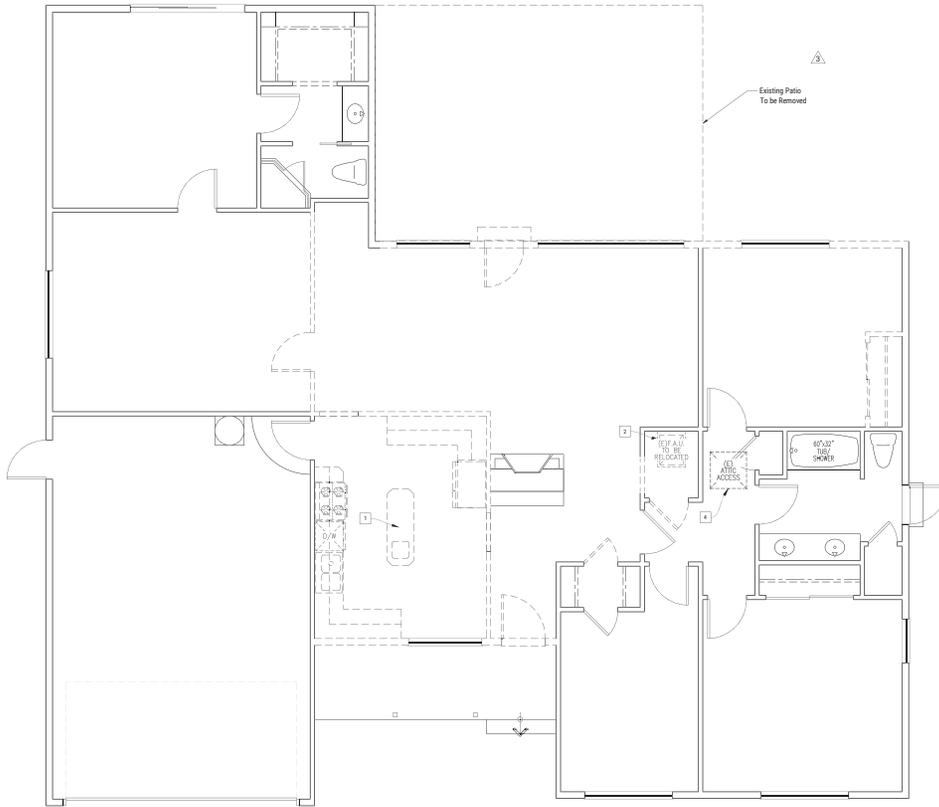
1 Site Plan
 SCALE: 1/8"=1'-0"

REVISIONS	BY
2/8/2016	BD
3/6/2016	BD
3/18/2016	BD

Ben & Trisha Residence
 894 Sweetbriar Drive,
 Campbell, CA 95008

Date:	-
Scale:	As Noted
Drawn:	BD
Job:	2016070
Sheet	

A0.1



1 DEMO/EXISTING FLOOR PLAN
SCALE: 1/4"=1'-0"

Floor Plan

DEMOLITION NOTE

- The contractor shall visit the site to determine the full extent of the demolition. verify all conditions, and bring to the attention of the owner and architect any discrepancies prior to and during construction.
- Verify all drawings.
- All salvagable items, such as but not limited to moveable partition, doors & lights shall be the property of the owner and shall be reused or stored where designated by the owner.
- Where removal of the plumbing fixture etc., is indicated, carefully removed all piping back to nearest main lines and cap.
- If jack hammering core drilling or concrete sawing is going to be utilized, it shall be kept to a minimum and shall be done only with the permission of the owner and at such time as designated.
- All debris shall be promptly removed from the site.
- Where existing conduits or diffused and p.o.c. telephone cables will be removed back to match, patch and repair existing construction. use methods and materials which are similar in appearance and equal in quality to those area being repaired.
- All abandoned plumbing lines, electrical conduit or boxes, a/c duct or diffused and telephone cables will be removed back to closest feeder point.
- All flooring shall be removed & prep. concrete slab for new flooring material.
- All existing telephone line, jack & cad 5 line to be marked and hang from ceiling

BEST MANAGEMENT PRACTICE

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. all approved storage containers are to be protected from the weather. spills must be cleaned up immediately and disposed of in a proper manner. spills may not be washed into the drainage system.
- Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- Excess or waste concrete may not be washed into the public way or any other drainage system. provisions
- Shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. the construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.

Legend

-  Existing Wall
-  Existing Wall to be Removed
-  New 2x Wall
-  Proposed Addition

Key Note

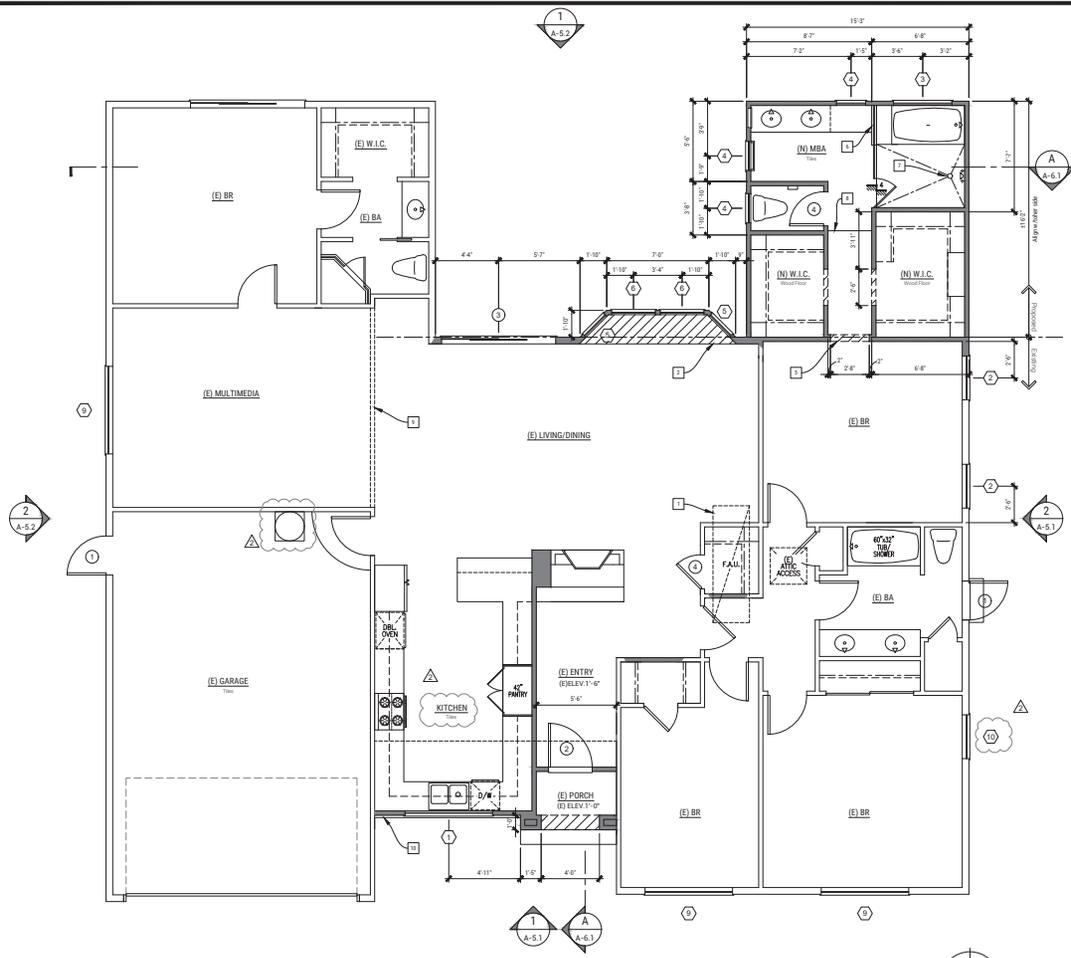
- Remodel Existing Kitchen
- Relocated F.A.U.
- Bay window Seat per Contractor
- Existing Attic Access
- 2x6 Wall
- Temper Glass o/ Low wall
- Floor Drain
- Floor material Change
- New Beam Refer to Structural for Size

REVISIONS	BY
2/8/2016	BD
3/6/2016	BD
3/18/2016	BD

Ben & Trisha Residence
894 Sweetbriar Drive,
Campbell, CA 95008

Date:	-
Scale:	As Noted
Drawn:	BD
Job:	2016070
Sheet	

A2.0



1 PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"

Window Schedule

#	Qty.	Window Size	Type	Temper Glass	Condition
1	1	6'-0"x3'-6"	Slide	-	New
2	2	3'-0"x4'-0"	Single Hung	-	New
3	1	4'-0"x3'-0"	Slide	Yes	New
4	3	2'-0"x3'-0"	Single Hung	-	New
5	2	2'-0"x5'-0"	Fixed	-	New
6	2	3'-0"x5'-0"	Single Hung	-	New
7	-	-	-	-	Spare
8	-	-	-	-	Spare
9	3	6'-0"x4'-0"	-	-	Existing
10	1	3'-0"x4'-0"	-	-	Existing

Door Schedule

#	Door Size	Type	Temper Glass	Remark
1	-	-	-	Existing
2	3'-0"x6'-8"	Single	Yes	W/Weather Strip & 12" X Sidelight
3	8'-0"x6'-0"	Slide	Yes	W/Weather Strip
4	2'-4"x6'-8"	Single	-	-

Crawl Space Requirement

VENTILATION CALCULATION

Crawl Space Area 246 Sq.Ft.
Ventilation Requirement (1/150) 237 Sq.In.

Provide (4) Foundation vent at 71 Sq.in 284 Sq.In.

VENTILATION REQUIREMENT

1. Vent net free area based on 14in x 8in Foundation Vent #TW148 'Gibraltar Building Product'
2. The Minimum net area of ventilation openings shall not be less than 1 Sq.Ft for each 150 Sq.Ft. One ventilation openings shall be within 3 feet of each corner of the building. Ventilation openings shall have corrosion resistant wire mesh or other approved material with 1/2" min. and 1/2" max. opening.

Maximum Fixture water use
Complied with Civil Code Section 1101.1 through 1101.8

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	2.0 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.5 GPM @ 60 PSI MIN. 0.8 GPM @ 25 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.25 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.5 GAL/FLUSH

Legend

- Existing Wall
- Existing Wall to be Removed
- New 2x Wall
- Proposed Addition

Key Note

1. Remodel Existing Kitchen
2. Relocated F.A.U.
3. Bay window Seat per Contractor
4. Existing Attic Access
5. 2x6 Wall
6. Temper Glass o/ Low wall
7. Floor Drain
8. Floor material Change
9. New Beam Refer to Structural for Size

REVISIONS	BY
△ 2/8/2016	BD
△ 3/6/2016	BD

Ben & Trisha Residence
894 Sweetbriar Drive,
Campbell, CA 95008

Date: -
Scale: As Noted
Drawn: BD
Job: 2016070
Sheet



1 PROPOSED 1st FLOOR PLAN
SCALE: 1/4"=1'-0"



Area Tabulation

#	Area	Type	Description
A	246 S.F.	Habitable	Master Bath
B	16 S.F.	Habitable	Bay Window
C	69 S.F.	Habitable	Kitchen & Entry
D	7 S.F.	-	Porch

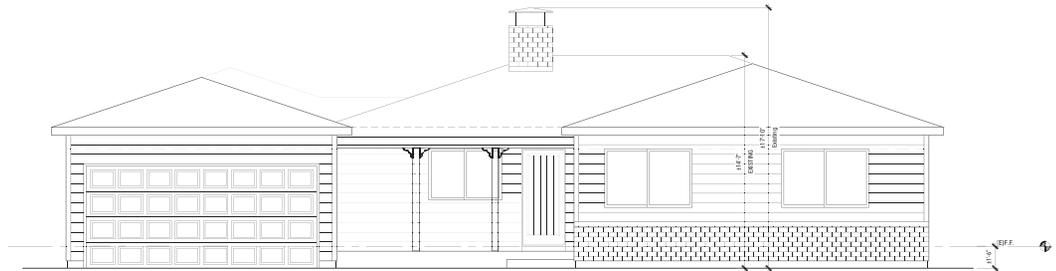
Floor Plan Diagram Legend

-  Existing Habitable Space
-  Existing Porch
-  Proposed Habitable Addition
-  Convert Existing Porch to Habitable space
-  Proposed Porch (Unconditional Space)

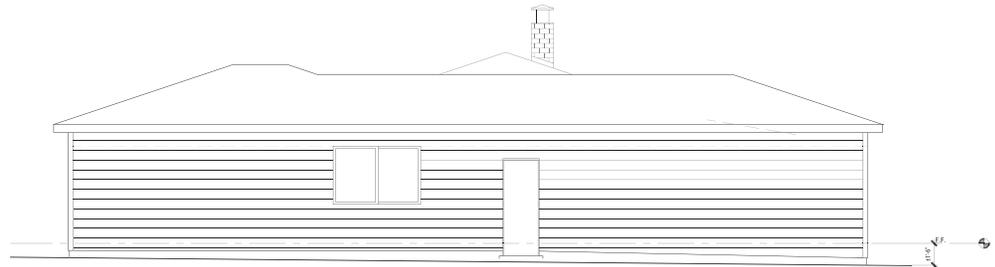
REVISIONS	BY
△ 2/8/2016	BD
3/6/2016	BD
△ 3/18/2016	BD

Ben & Trisha Residence
894 Sweetbriar Drive,
Campbell, CA 95008

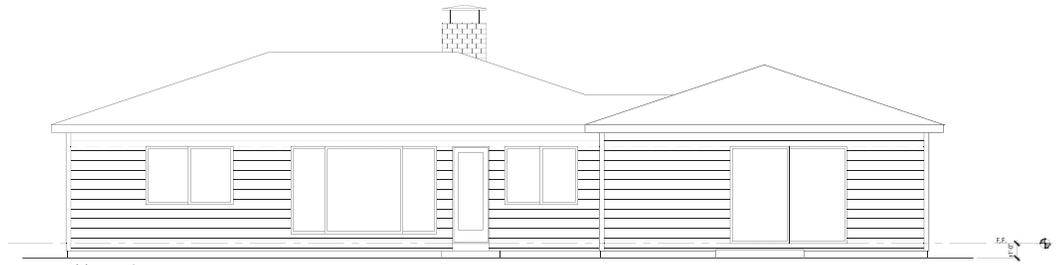
Date:	-
Scale:	As Noted
Drawn:	BD
Job:	2016070
Sheet	A2.1a



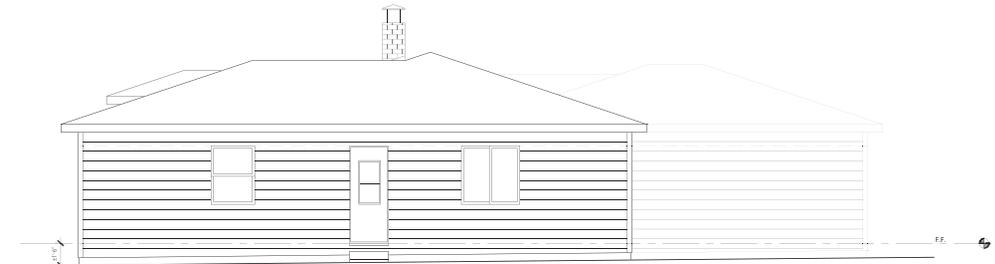
1 (E) West Elevation
SCALE: 1/4"=1'-0"



2 (E) North Elevation
SCALE: 1/4"=1'-0"



3 (E) East Elevation
SCALE: 1/4"=1'-0"



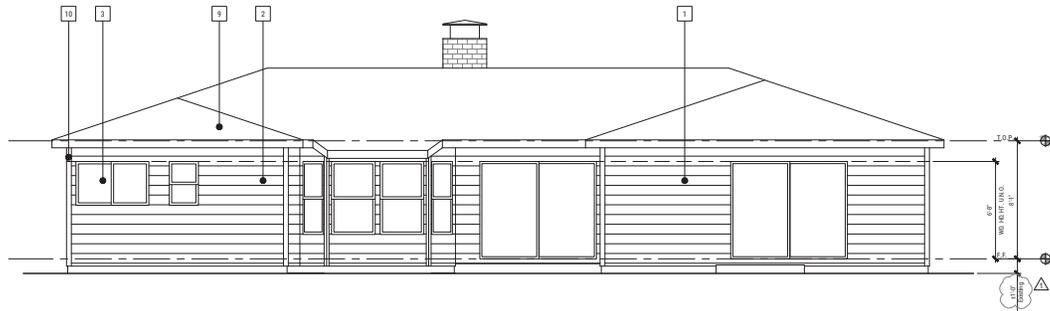
4 (E) South Elevation
SCALE: 1/4"=1'-0"

REVISIONS	BY
△ 2/8/2016	BD
3/6/2016	BD
3/18/2016	BD

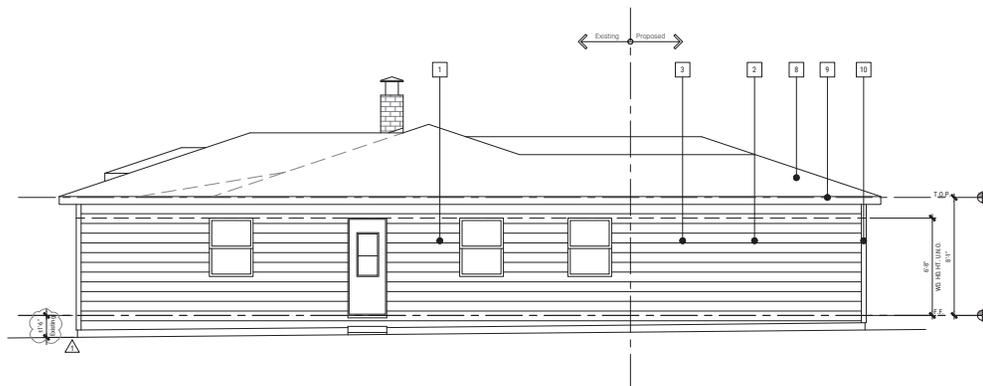
Ben & Trisha Residence
894 Sweetbriar Drive,
Campbell, CA 95008

Date: -
Scale: NTS
Drawn: BD
Job: 2016070
Sheet

A5.0



1 East Elevation
SCALE: 1/4"=1'-0"



2 South Elevation
SCALE: 1/4"=1'-0"

Elevations

GENERAL NOTES

1. Refer to roof plan for roof material and roof pitch

KEY NOTE

1. Existing Condition
2. Lap siding - Match Existing (DES819 - Pearl City)
3. New Window - Refer to A-2.1 for type and size
4. New Door - Refer to A-2.1 for type and size
5. Brick Veneer - Match Existing
6. Exterior Plaster - (DET648 - White Picket Fence)
7. Roof - Refer to roof plan
8. Crow Molding - (DET617 - Winter Morn)
9. 1x Fascia Board - Match Existing
10. Lap Siding Corner
11. 1x4 Trim - (DET670 - Vintage Ephemer)

REVISIONS	BY
△ 2/8/2016	BD
3/6/2016	BD

Ben & Trisha Residence
894 Sweetbriar Drive,
Campbell, CA 95008

Date: -
Scale: NTS
Drawn: BD
Job: 2016070
Sheet

A5.2