



CITY OF CAMPBELL
Community Development Department

March 17, 2017

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **March 28, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Derek Liu / Haniway Company for a Site and Architectural Review Permit (PLN2016-329) to allow an approximately 989 square-foot addition to an existing single-family residence on property located at **905 Stonehurst Way**. Staff is recommending that this item be deemed Categorically Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

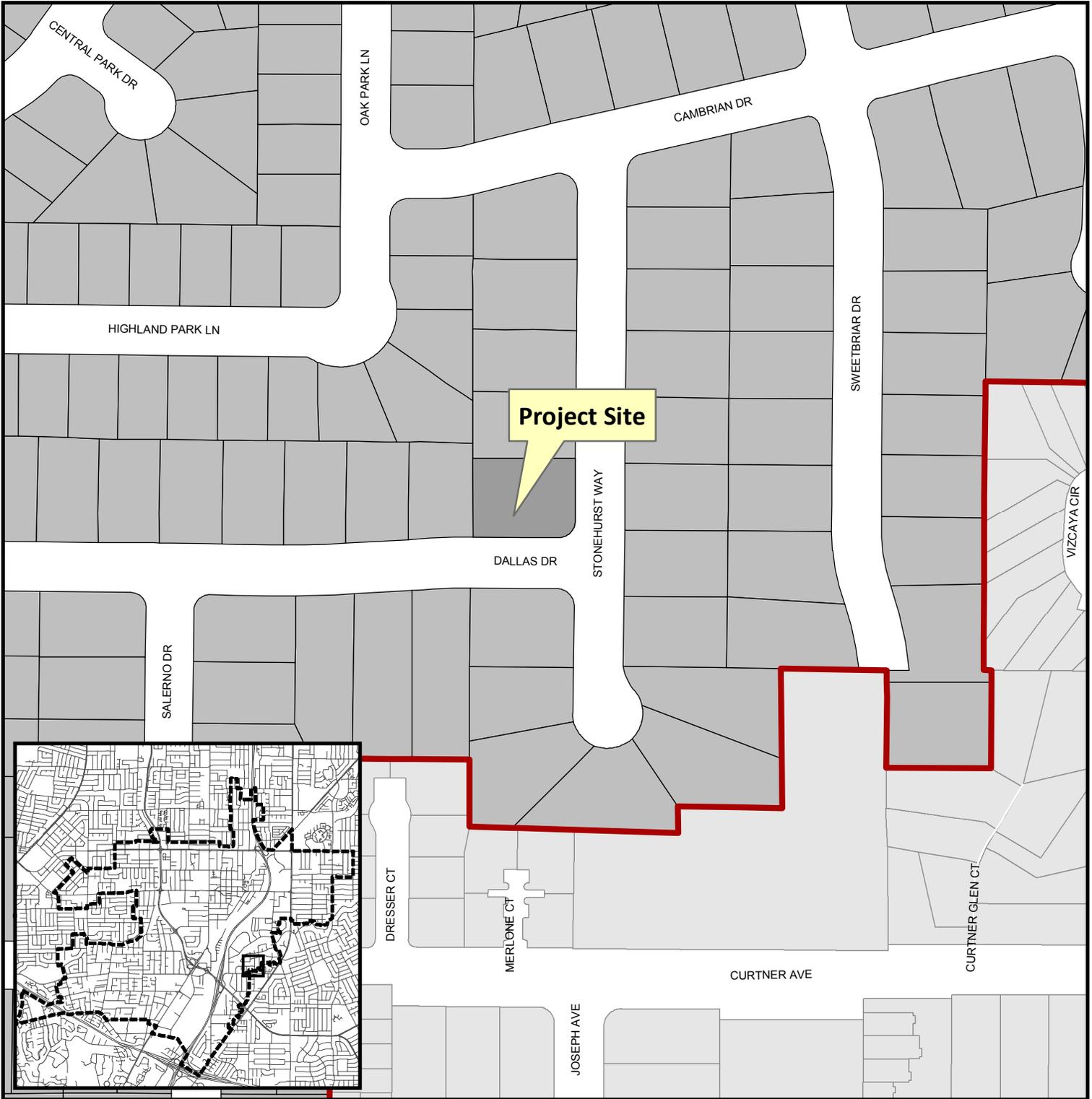
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **905 Stonehurst Way**

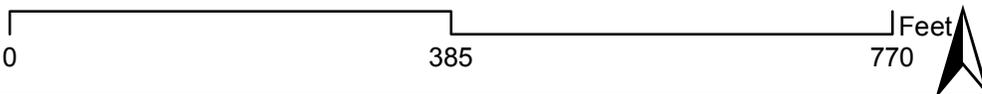
Project Location Map



Project Location: 905 Stonehurst Way
Application Type: S/A Review Permit
Planning File No.: PLN2016-329



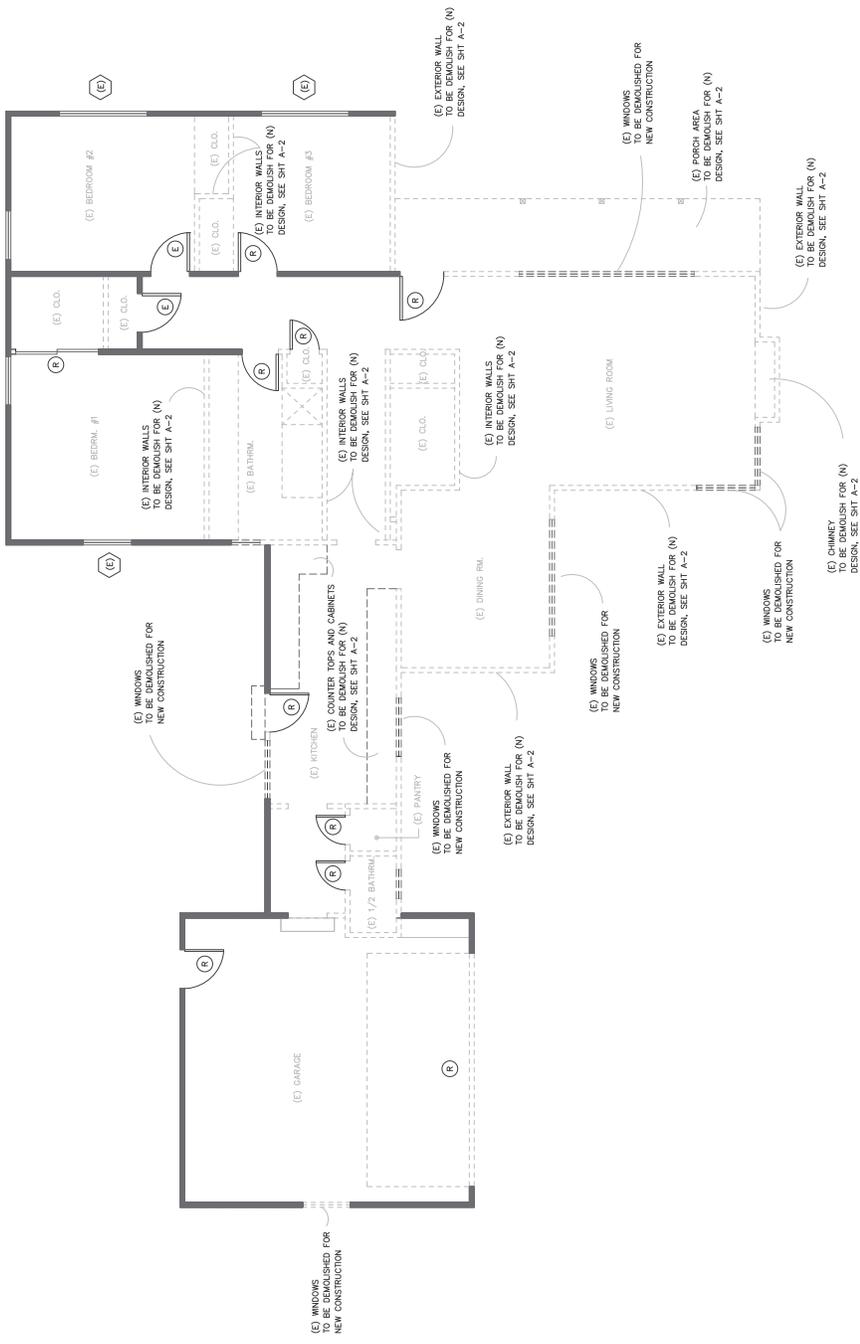
Community Development Department
Planning Division



LEGEND

(E) 2x STUD WALL TO REMAIN
 (N) 2x STUD WALLS

EXISTING WINDOW
 (N) DOOR
 (E) DOOR
 CARBON MONOXIDE DETECTORS



DEMOLITION FLOOR PLAN

1/4"=1'-0"



DATE	01-3-2015
SCALE	1"=10'-0"
DRAWN	MB
JOB	777

THE YEE RES.
905 STONEHURST WAY
CAMPBELL, CA

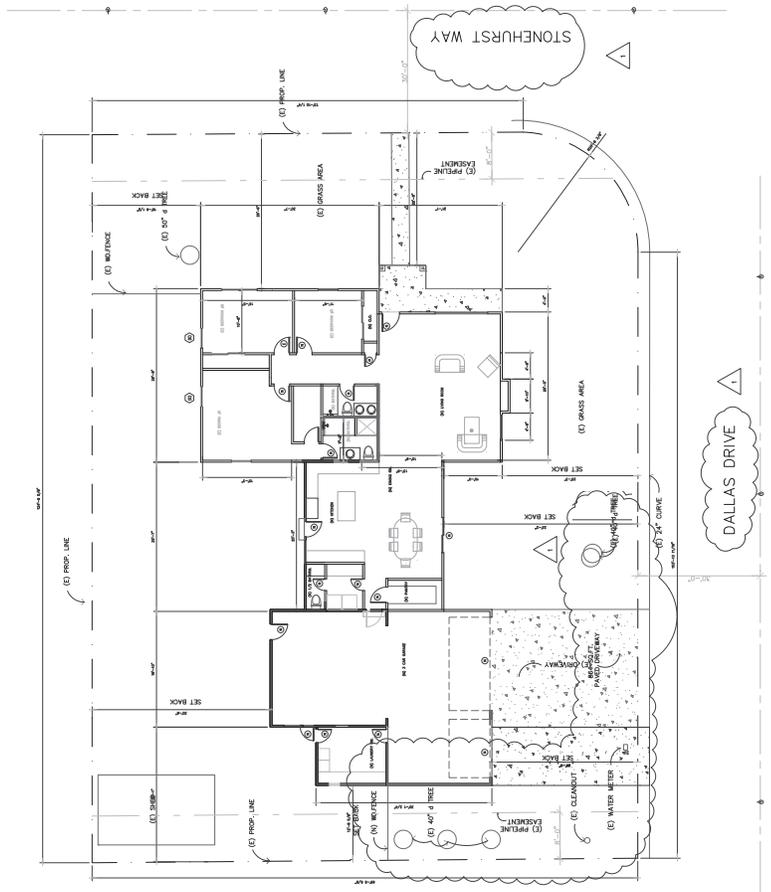
(E) & (N) SITE PLAN

BY	
REVISIONS	
DATE	12-29-2016

HANWAY
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BUILDING ANALYSIS

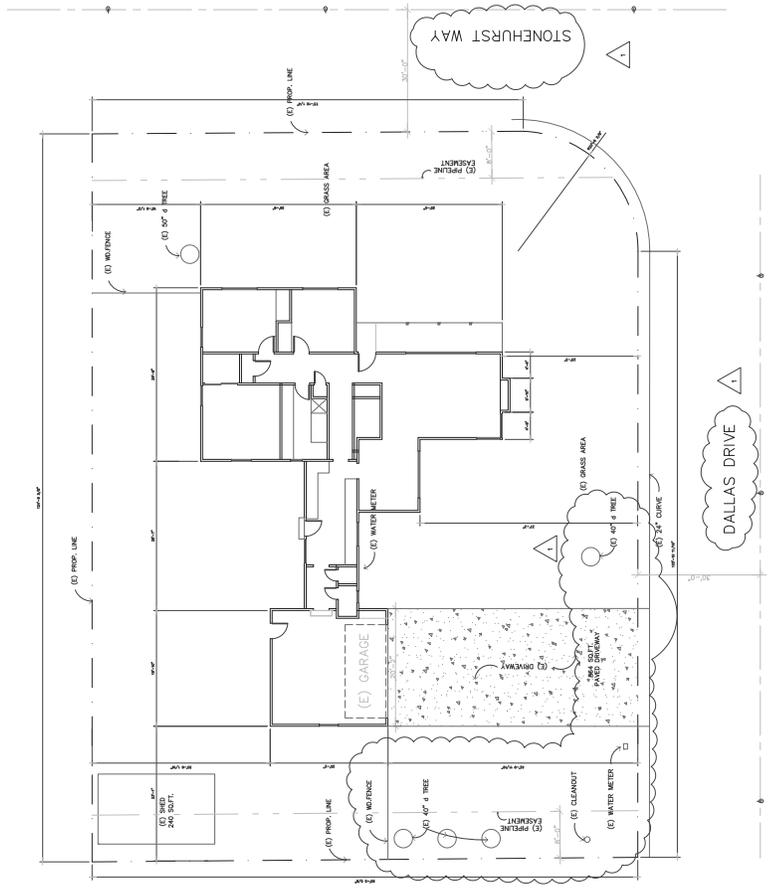
APN#	412-39-005
ZONING	R-1
TYPE OF CONST.	V-A
SIZE / LOT AREA	11,567 SQ.FT.
(E) LANDSCAPE AREA	8,920 SQ.FT.
(E) PAVED AREA	864 SQ.FT.
(E) ADJ. PAVED AREA	240 SQ.FT.
(E) HOUSE FLOOR AREA	408 SQ.FT.
(E) GARAGE AREA	408 SQ.FT.
(E) TOTAL LIVING AREA	1,943 SQ.FT.
(E) FLOOR AREA RATIO	1,943 / 11,567 = .168
(N) ADDITION FLOOR AREA	989 SQ.FT.
(N) PAVED AREA	453 SQ.FT.
(N) LANDSCAPE AREA	8,182 SQ.FT.
(N) TOTAL ADDITIONAL LIVING AREA	989 SQ.FT.
(N) LOT AREA RATIO	2,932 / 11,567 = .254 LOT COVERAGE
(N) FLOOR AREA RATIO	2,932 / 11,567 = .254 F.A.R.



PROPOSED SITE PLAN



1"=10'-0"



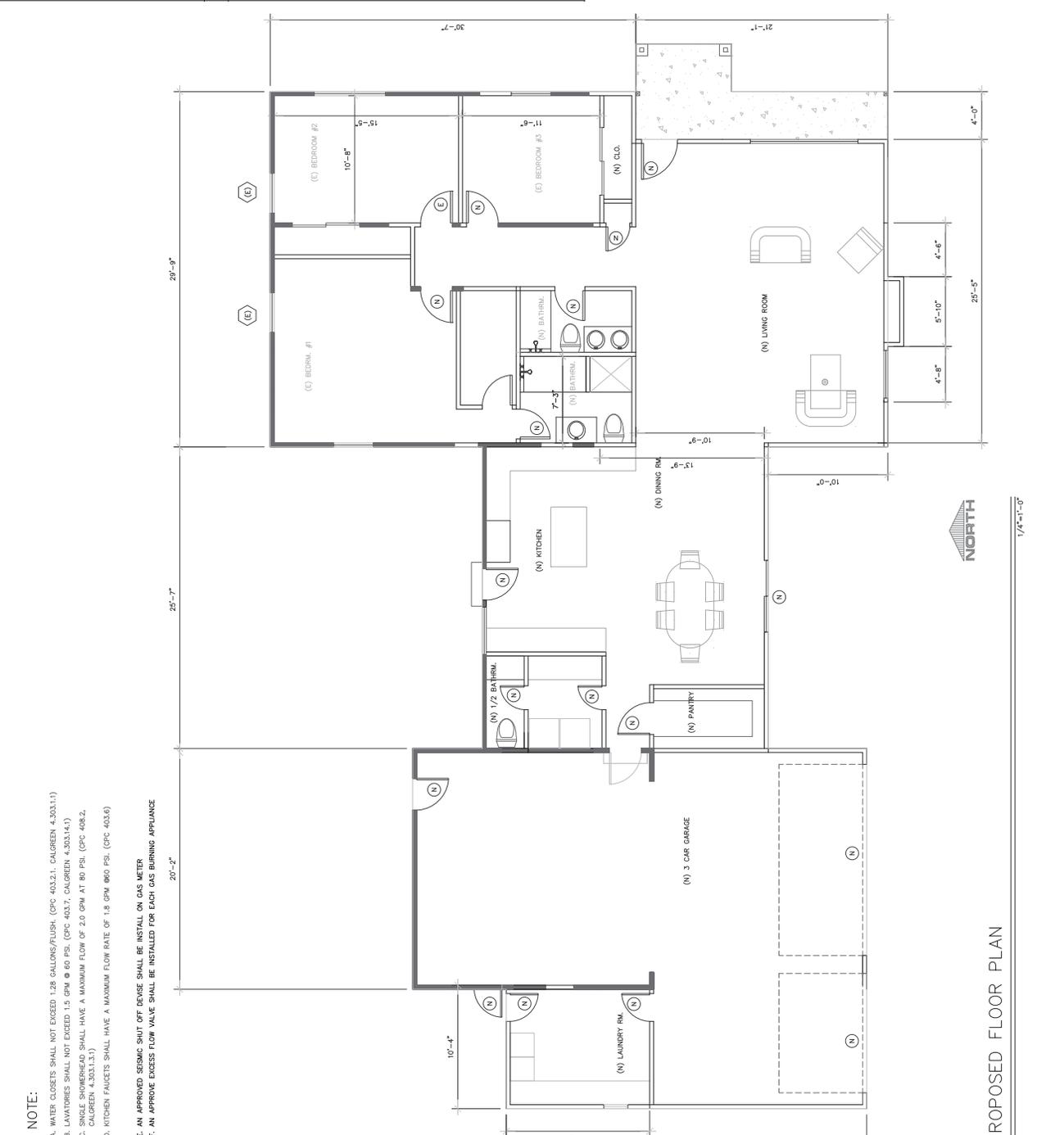
EXISTING SITE PLAN



1"=10'-0"

- LEGEND**
- (E) 2X STUD WALL TO REMAIN
 - (N) 2X STUD WALLS
 - EXISTING WINDOW
 - (E) DOOR
 - (E) DOOR
 - (E) CARBON MONOXIDE DETECTORS

- GENERAL NOTES**
1. ALL PASSAGE DOORS SHALL BE AT LEAST 30" WIDE ON ACCESSIBLE FLOOR.
 2. ALL GLAZING SUBJECT TO HUMAN IMPACT DOORS SHALL BE TEMPORARILY REMOVED WITH THE TEMPORARY SWING OF A DOOR SHOWN.
 3. ALL SLEEPING ROOMS SHALL BE PROVIDED WITH EXCESS WINDOWS, EXCESS WINDOW AREA SHALL BE NO MORE THAN 7 SQ. FT. W/ MIN. 20" WIDTH AND 24" HEIGHT. SILL SHALL BE NO MORE THAN 44" A.S.F.
 4. SMOKE DETECTORS SHALL BE PROVIDED IN ALL SLEEPING ROOMS AND ALL HALLWAYS LEADING TO SLEEPING ROOMS. SMOKE DETECTORS SHALL BE WIRELESSLY INTERCONNECTED, AND PROVIDED W/ BATTERY BACK UP.
 5. ALL NEW EXTERIOR WALLS SHALL BE INSTALLED WITH R-13 INSULATION.
 6. NEW INSULATION WITH FOIL SHEET SHALL BE FACED INTO THE INTERIOR ENVELOPE.
 7. 18X24 UNDER FLOOR ACCESS.
 8. 227 X 307 ATTIC ACCESS OPENING.
 9. ALL EXTERIOR LANDINGS SHALL BE MINIMUM 48" DEEP, NOT MORE THAN 8 INCHES LOWER THAN THE FLOOR FINISH. ALL EXTERIOR DOORS SHALL BE PROVIDED WITH AN OUTSWINGING DOOR THRESHOLD FOR OUT-SWINGING DOOR.
 10. ALL CABINET WORK DESIGN & BUILD BY G.C.
 11. ALL WATER AT SITE WILL DRAIN AWAY FROM FOUNDATION.



EXTERIOR FINISH

- ◇ COLONY "PERCENTRAL SHAVE" CLASS A FIRE RESISTIVE ROOFING ASSEMBLY WITH 1/2" Gypsum Board AND 1/2" Gypsum Board WITH 1/2" Gypsum Board TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- ◇ 7/8" CEM. PLASTER OF SELF FIRING LATH, PAPER MATCH "E", FIN. AND PAINT.
- ◇ 24 GA. GALV. GUTTERS, PRIME & PAINT TO MATCH EXISTING
- ◇ UNDECORATIVE SHUTTERS
- ◇ CONC. STEP STAIR
- ◇ 24 GA. GALV. DOWNPIPES, PRIME & PAINT TO MATCH EXISTING SURFACE
- ◇ UNDECORATIVE VENTS
- ◇ NEW DECORATIVE SHUTTERS
- ◇ CONC. STEP STAIR

- ◇ DOOR
- ◇ NEW CHIMNEY
- ◇ NEW PR. GLASS SLIDING DOOR
- ◇ NEW GARAGE DOOR

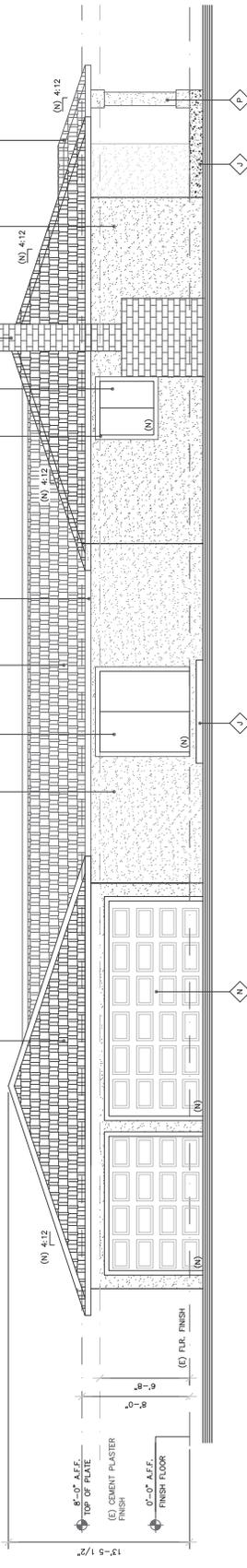
- ◇ (N) METAL RAIL
- ◇ (N) COLUMN

EXT. ELEV. LEGEND

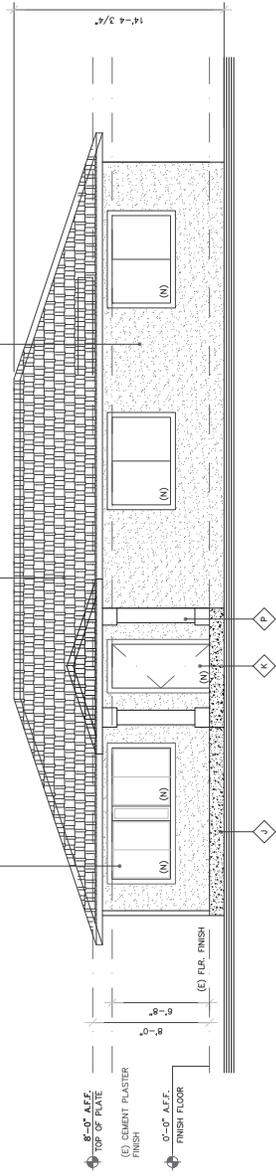
- ◇ (E) ROOFING MATERIALS
- ◇ (E) OVERLAP WOOD SIDING
- ◇ (N) ROOFING MATERIALS TO MATCH (E)
- ◇ (N) OVERLAP WOOD SIDING TO MATCH EXISTING FIN. AND PAINT

NOTE: ALL NEW EXTERIOR AND ROOF FINISHES TO MATCH EXISTING


 Design - Engineering - Construction
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PROPOSED SOUTH EXT. ELEVATION



PROPOSED EAST EXT. ELEVATION

BY	REVISIONS	DATE

(N) EXT ELEVATIONS

THE YEE RES.
905 STONEHURST WAY
CAMPBELL, CA

DATE	SCALE	FRAME	JOB
	1/4"=1'-0"	MB	777

A-C

DATE	1-14-2015
SCALE	1/4"=1'-0"
DRAWN	MB
JOB	777

THE YEE RES.
905 STONEHURST WAY
CAMPBELL, CA

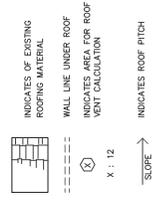
(N) PROPOSED
FLOOR PLAN

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Design - Engineering - Construction

BY	
REVISIONS	
DATE	

LEGEND



ATTIC VENT CALCULATION

ATTIC SPACE	383 SQ.FT.	ATTIC VENT	383/100 = 3.83 S.F.	1" B.C. FREE	383/100 = 3.83 S.F.	1-1/2" HOLE VENT	3 @ 8" DIA. (SIZE DEP. EX)	EYE-BROW	VENTS-75
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NOTE: 1" B.C. WOOD CEILING COULDS BY 1/2" TO 6" O.C. @ BOUNDARY & CONT. PANEL EDGES & 10" @ 12" O.C. IN FIELD.

1/2" TH. D.F. PLY. SHIT. O.S.B. GR. AND A.C.X. EXPOSED OVERHANG WITH "A" FACE EXPOSED NAIL WITH 8# NAILS PER 12" O.C. FIELD RADIANT BARRIER

NOTES

ROOF TILE, PRESIDENTIAL SHAKE, CEILING, INSULATIVE ROOFING ASSEMBLY OR OTHER ROOFING SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

ALL NEW SHEET METAL WILL BE GALVANIZE PRIME & PAINTED INCLUDE FLASHING, VALLEY, GUTTERS, VENTS, DOWNSPOUTS, ETC.

ALL TRUSS AND BLOOMING AND AT MIDSPAN - STAGGER NAILS

ALL TRUSS AND BLOOMING AND AT MIDSPAN - STAGGER NAILS

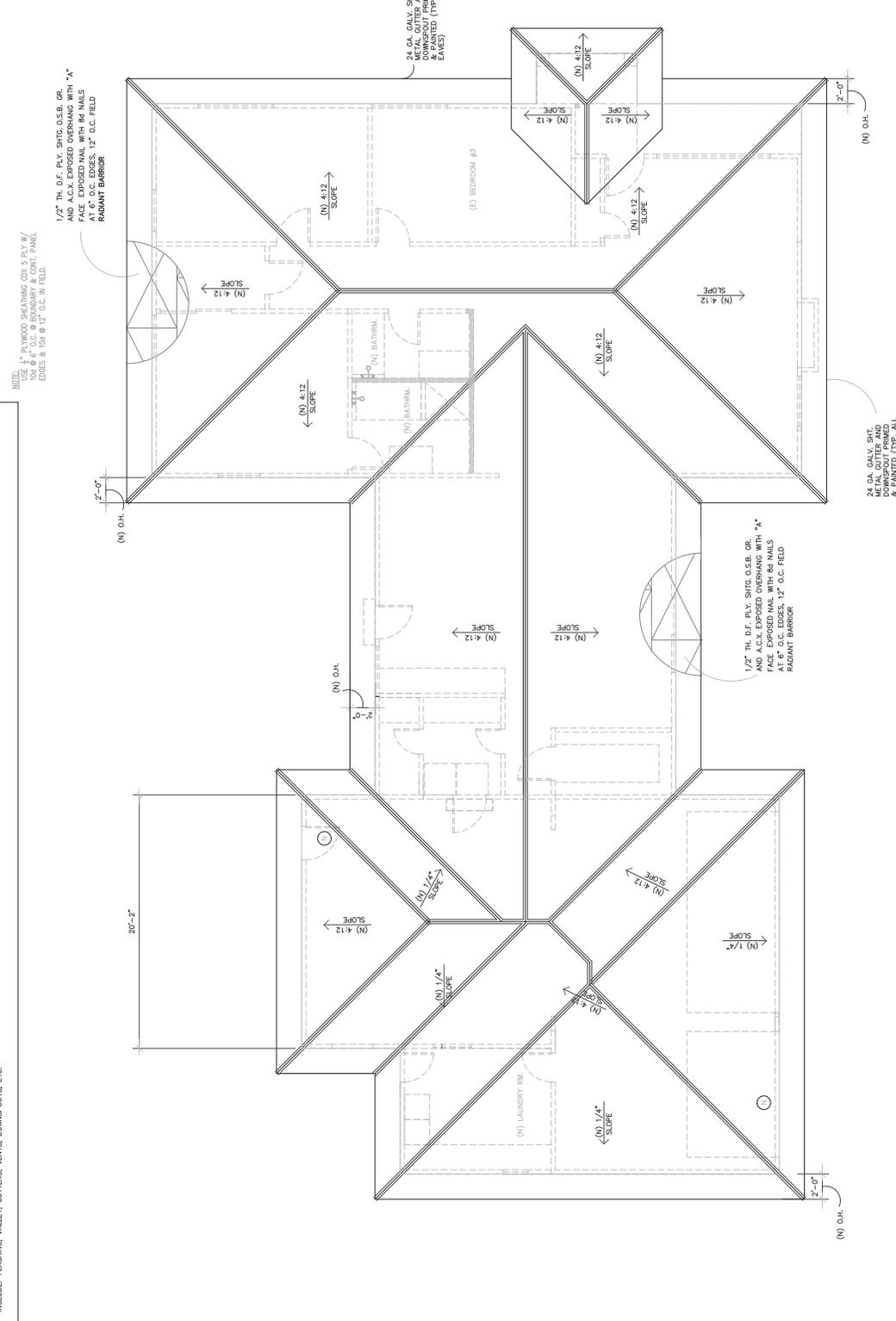
WHERE PANELS ARE APPLIED ON BOTH FACES OF THE WALL AND NAIL SPACING IS LESS THAN 6" O.C. ON EITHER SHEET-PANEL JOINTS FRAMING SHALL BE 3X OR THICKER AND NAILS ON EACH SIDE SHALL BE STAGGERED.

ALL HEADERS, BEAMS AND POSTS TO BE D.F.#1 OR BETTER CONTRACTOR TO VERIFY

ROOF RAFTERS TO BE 2X6 @ 24" O.C. W/ 1/4" X 1/2" ROOF PITCH

SEE SHEET A-1 FOR WALL RLYWOOD SCHEDULE

ALL TRUSS AND BLOOMING AND AT MIDSPAN - STAGGER NAILS



PROPOSED ROOF PLAN

1/4"=1'-0"