



**CITY OF CAMPBELL**  
**Community Development Department**

January 13, 2017

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **January 24, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Tai Hong for a Site and Architectural Review Permit (PLN2016-286) to allow the construction of a new two-story single-family residence on property located at **1639 Walters Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

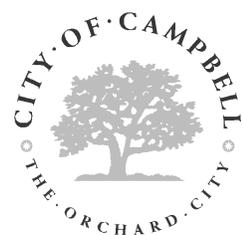
PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **1639 Walters Avenue**

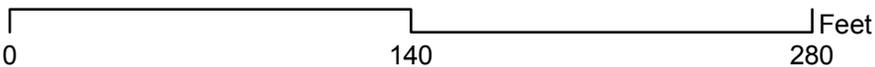
# Project Location Map



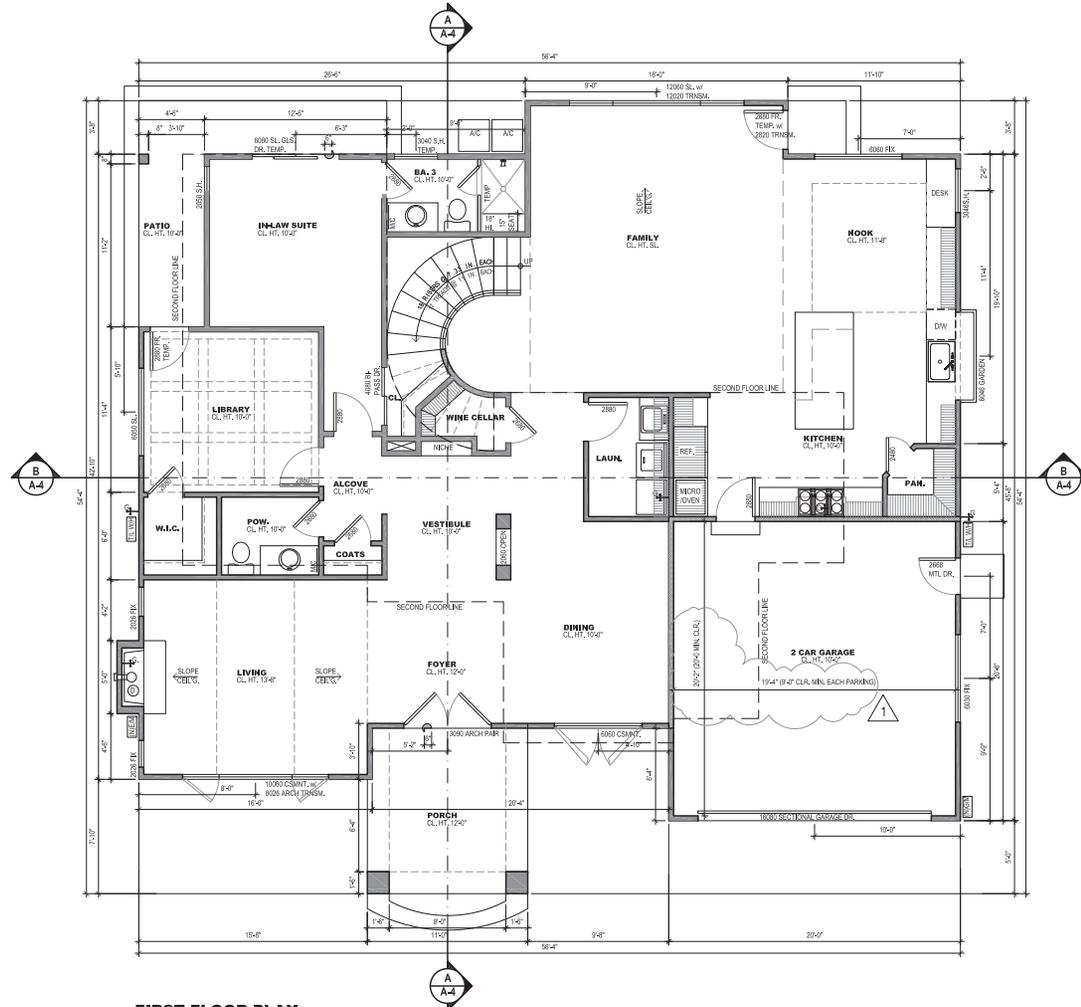
**Project Location:** 1639 Walters Ave.  
**Application Type:** Admin. Site and Arch. Review Permit  
**Planning File No.:** PLN2016-286



Community Development Department  
Planning Division







**FIRST FLOOR PLAN**

SCALE: 1/8"=1'-0"

<b>GROSS LOT SIZE:</b>	8,189 SQ.FT. (0.2412 ACRE)
<b>NET LOT SIZE:</b>	7,890 SQ.FT. (0.2280 ACRE)
<b>FLOOR AREA RATIO CALCULATION:</b>	
<b>MAX. F.A.R.:</b>	40% (7,760) = 3,146.0 SQ.FT.
<b>FIRST FLOOR:</b>	3,059.91 SQ.FT.
<b>SECOND FLOOR:</b>	972.87 SQ.FT.
<b>GARAGE:</b>	483.17 SQ.FT.
<b>STAIR:</b>	50.35 SQ.FT.
<b>PROPOSED F.A.R.:</b>	3,490.3 SQ.FT. (44.97%)
<b>BUILDING COVERAGE CALCULATION:</b>	
<b>MAX. COVERAGE:</b>	4517.77 SQ.FT. (55.21%)
<b>MAIN HOUSE &amp; GARAGE:</b>	2,411.08 SQ.FT.
<b>FRONT PORCH:</b>	123.50 SQ.FT.
<b>PATIO:</b>	53.25 SQ.FT.
<b>SECOND FLOOR CANTILEVER:</b>	1,002.94 SQ.FT.
<b>PROPOSED COVERAGE:</b>	2,689.77 SQ.FT. (32.84%)

REVISIONS	BY
△ 09.29.16	P.D.

**FIRST FLOOR PLAN**

NEW RESIDENCE  
**CHANGCHI LIU**  
 1030 WALTERS AVE. CAMPBELL, CA 95008  
 (408) 452-1620

FINE CUSTOM HOME  
  
 (408) 829-6883  
 19034 BONNET WAY • SARATOGA, CA 95070

DRAWN	LOC H3A
CHECKED	TRE HONG
SIGNATURE	
DATE	AUGUST 2016
SCALE	AS SHOWN
JOB	0716
SHEET	

REVISIONS	BY
△ 09.29.16	P.D.

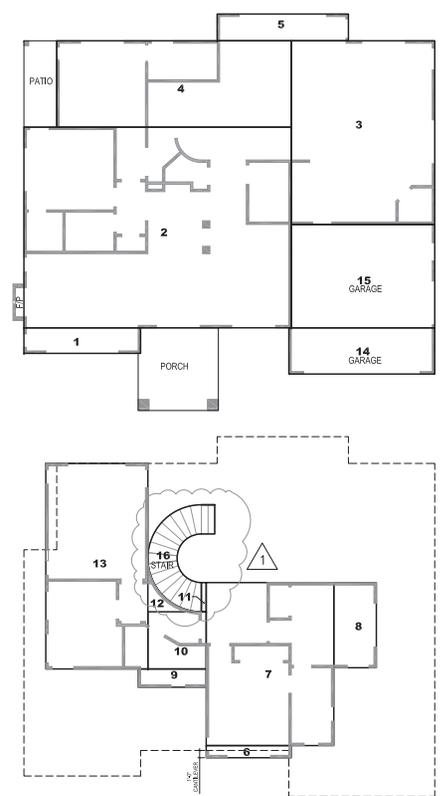
**SECOND FLOOR PLAN & FLOOR AREA CALCULATION DIAGRAM**

NEW RESIDENCE  
**CHANGCHU LIU**  
1600 WALTERS AVE, CAMPBELL, CA 95008  
APN# 405-16-020

FINE CUSTOM HOME  
**DESIGN**  
(408) 829-6883  
19034 BONNET WAY • SARATOGA, CA 95070

DRAWN  
LOC HSA  
CHECKED  
TRB HONG  
SIGNATURE  
DATE  
AUGUST 2016  
SCALE  
AS SHOWN  
JOB  
0716  
SHEET

**A-2.2**



**GROSS LOT SIZE:** 9,199 SQ.FT. (0.2112 ACRE)  
**NET LOT SIZE:** 7,690 SQ.FT. (0.1769 ACRE)

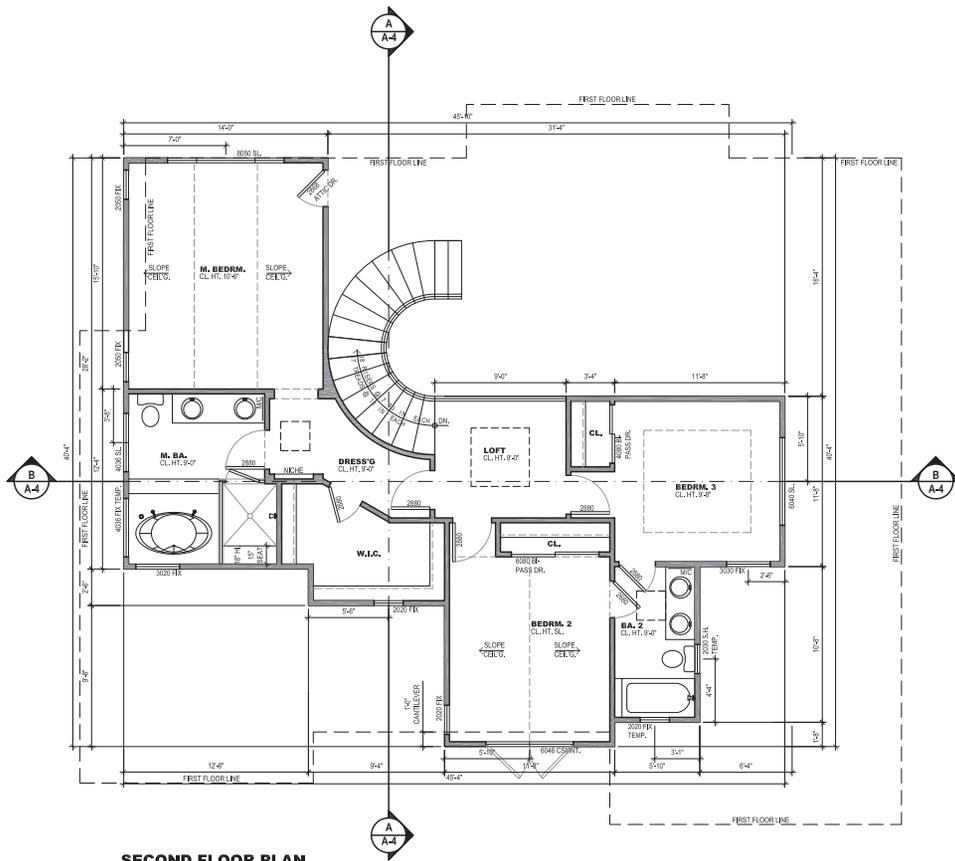
**FLOOR AREA RATIO CALCULATION:**  
MAX. F.A.R. = 40% (0.40) = 3,079.6 SQ.FT.

NO.	DESCRIPTION	AREA (SQ.FT.)
1	10'-0" x 10'-0"	96
2	20'-0" x 27'-0"	540.00
3	10'-0" x 10'-0"	96.00
4	10'-0" x 11'-0"	108.00
5	10'-0" x 10'-0"	96.00
6	11'-0" x 1'-0"	11.00
7	10'-0" x 10'-0"	96.00
8	10'-0" x 11'-0"	108.00
9	10'-0" x 10'-0"	96.00
10	10'-0" x 10'-0"	96.00
11	10'-0" x 10'-0"	96.00
12	17'-4" x 7'-3" ARCH	115.44
13	10'-0" x 10'-0"	96.00
14	20'-0" x 10'-0"	200.00
15	10'-0" x 10'-0"	96.00
16	22'-0" x 10'-0"	220.00
<b>TOTAL</b>	<b>PATIO</b>	<b>74.35</b>
<b>TOTAL</b>	<b>PROPOSED F.A.R.</b>	<b>3,403.3 SQ.FT. (34.07%)</b>

**BUILDING COVERAGE CALCULATION:**  
MAX. COVERAGE: 40% (0.40) = 3,079.6 SQ.FT.

**MAIN HOUSE & GARAGE:** 2,411.08 SQ.FT.  
**FRONT PORCH:** 123.50 SQ.FT.  
**PATIO:** 51.20 SQ.FT.  
**SECOND FLOOR CANTILEVER:** 14.52 SQ.FT.  
**PROPOSED COVERAGE:** 2,599.30 SQ.FT. (33.94%)

**FLOOR AREA CALCULATION DIAGRAM** SCALE: 1/8"=1'-0"



**SECOND FLOOR PLAN**

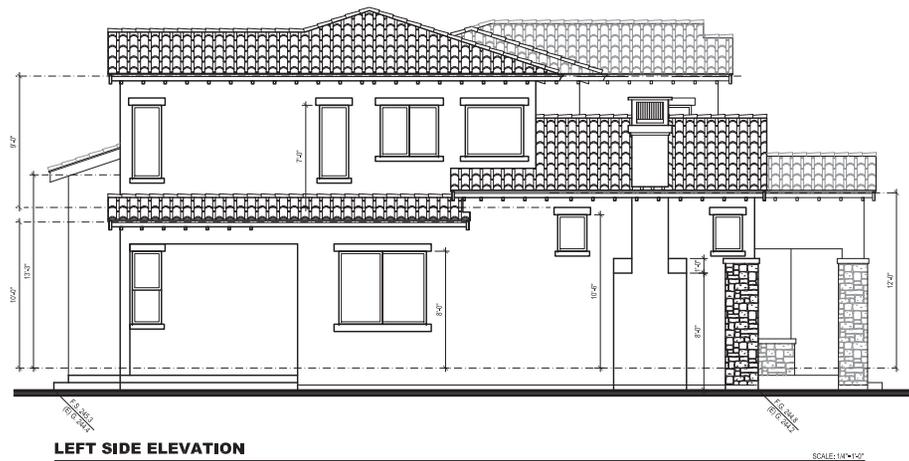
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**NET LOT SIZE:** 7,690 SQ.FT. (0.1769 ACRE)

**FLOOR AREA RATIO CALCULATION:**  
MAX. F.A.R. = 40% (0.40) = 3,079.6 SQ.FT.  
SECOND FLOOR: 972.87 SQ.FT.  
GARAGE: 405.17 SQ.FT.  
STAIR: 74.35 SQ.FT.  
PROPOSED F.A.R.: 3,452.39 SQ.FT. (44.97%)

**BUILDING COVERAGE CALCULATION:**  
MAX. COVERAGE: 40% (0.40) = 3,079.6 SQ.FT.  
MAIN HOUSE & GARAGE: 2,411.08 SQ.FT.  
FRONT PORCH: 123.50 SQ.FT.  
PATIO: 51.20 SQ.FT.  
SECOND FLOOR CANTILEVER: 14.52 SQ.FT.  
PROPOSED COVERAGE: 2,599.30 SQ.FT. (33.94%)

SCALE: 1/8"=1'-0"





REVISIONS	BY

**ELEVATIONS**

NEW RESIDENCE  
**CHANGCHU LIU**  
1000 WALTERS AVE. CAMPBELL, CA 95008  
AP/NP 10-1-16-00

FINE CUSTOM HOME  
**TDH DESIGN**  
(408) 829-6883  
19034 BONNET WAY • SARATOGA, CA 95070

DRAWN  
LOC H3A

CHECKED  
TRH H3MG

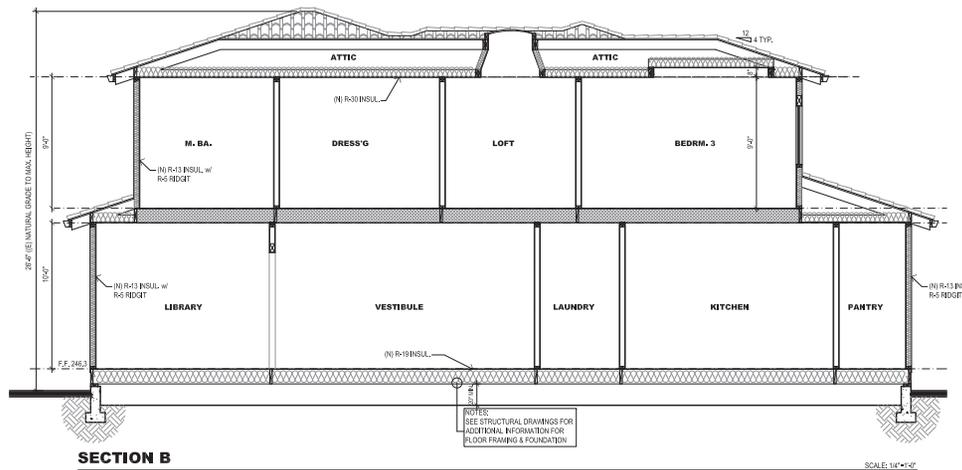
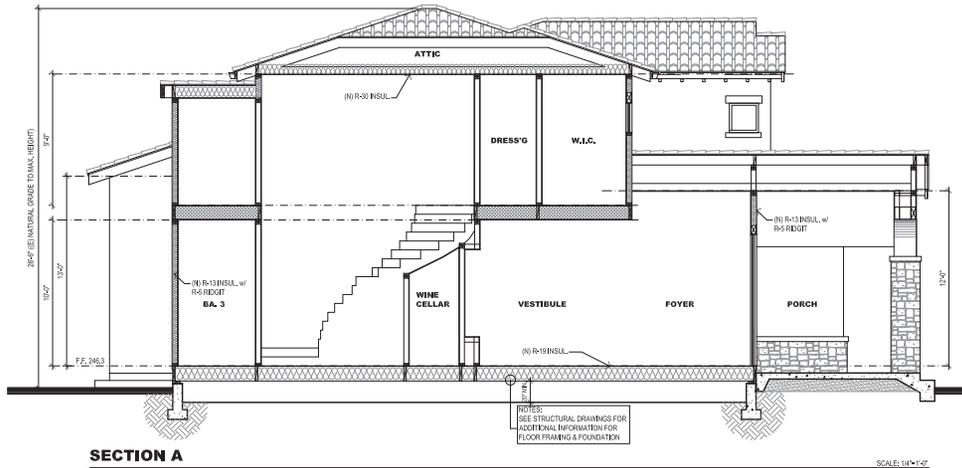
SIGNATURE

DATE  
AUGUST 2016

SCALE  
AS SHOWN

JOB  
0716

SHEET  
**A-3.2**



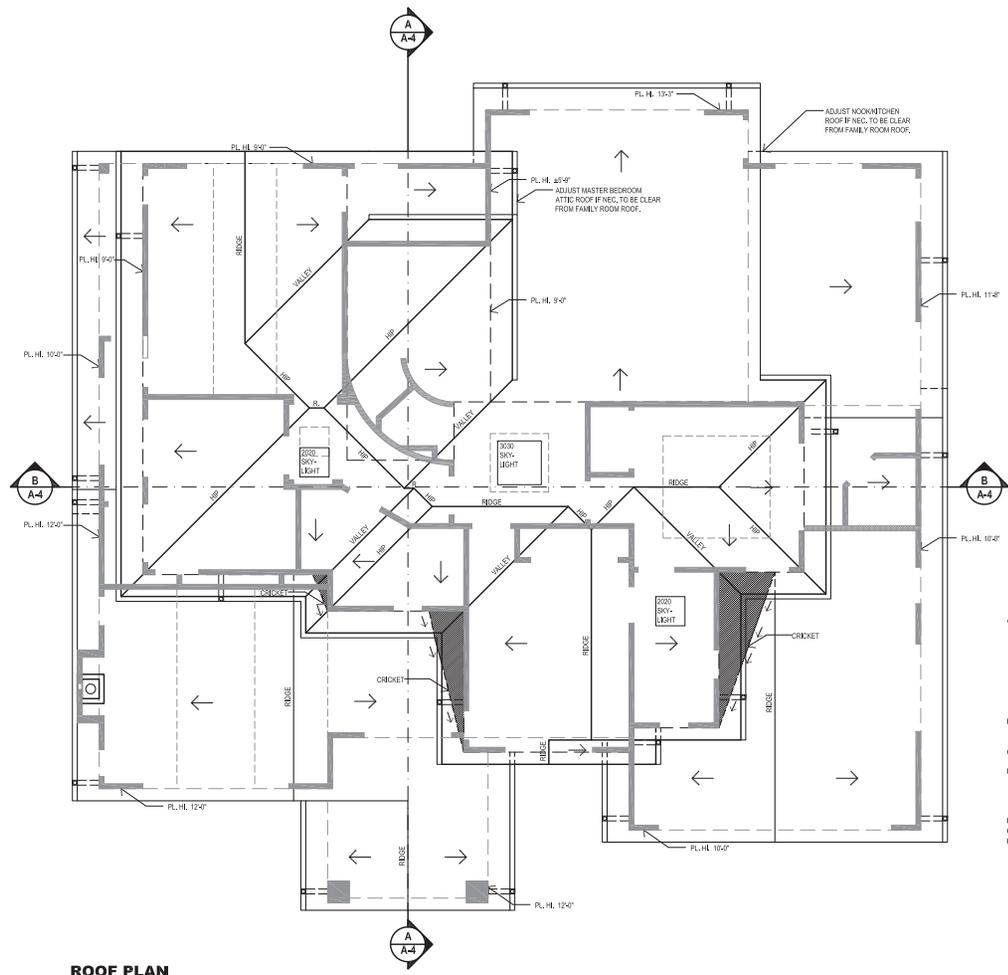
REVISIONS	BY

**SECTIONS**

NEW RESIDENCE  
**CHANGCHI LIU**  
 1030 WALTERS AVE. CAMPBELL, CA 95008  
 AP/NP 145-14-020

FINE CUSTOM HOME  
**DESIGN**  
 (408) 829-6883  
 19034 BONNET WAY • SARATOGA, CA 95070

DRAWN  
 LOC H3A  
 CHECKED  
 TRB H3MG  
 SIGNATURE  
 DATE  
 AUGUST 2016  
 SCALE  
 AS SHOWN  
 JOB  
 0716  
 SHEET  
**A-4**



**ROOF PLAN**

SCALE: 1/4"=1'-0"

**ROOF PLAN NOTES**

- A. **GENERAL**
  - ROOF SLOPE IS TO BE 4:12 TYP. UNLESS NOTED OTHERWISE.
  - ARROWS INDICATE DIRECTION OF ROOF SLOPE.
  - SEE ROOF PLAN FOR PLATE HEIGHT.
  - OVERHANGS ARE TO BE 36" AT EAVES & AT RAKES.
  - SEE MANUF. INSTALLATION AND I.C.C. ESR-REPORT.
  - PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER C.A.C. TYP.
  - INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
  - PROVIDE DOUBLE UNDERLAYMENT AT CONCRETE TILE ROOFING ON SLOPES LESS THAN 4:12.
  - PROVIDE RAHWAY BARRIER SHEATHING, RAHWAY BARRIER REQUIRED FULL VENTILATION.
- B. **ROOFING**
  - CLASS W BARREL CONCRETE TILE BY SINGLE ROOFING CAPSTRAND 9 MIN. 10# FELLT.
  - ICESCREEN REPORT FOR 10#; REC: 17-102 9/07
- C. **FASCIA GUTTER w/ DOWNSPOUTS**: 2" 26 GA. GALV. AS REQUIRED, PROVIDE CONCRETE SPLASH BLOCKS AT DOWNPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE.
- D. **CHIMNEY**
  - 2" ABOVE ANY ROOF STRUCTURE WITH MIN 10" AND NOT LESS THAN 3" ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
  - SPARK ARRESTER SHALL BE APPROVED, SCREENED, ACCESSIBLE & REMOVABLE FOR CLEANING.
- E. **FLASHING AT ROOF TO WALL CONNECTIONS**: 26 GA. GALV.
- F. **SKYLIGHT**: VELUX (N.E.R. 218) SEE ROOF PLAN FOR SIZE
- G. **SKYLIGHT**: VELUX (N.E.R. 218) SEE ROOF PLAN FOR SIZE
- H. **CRICKET**: 45 GA. GALV. FLASHING

REVISIONS	BY

**ROOF PLAN**

NEW RESIDENCE  
**CHANGCHI LIU**

1030 WALTERS AVE. CAMPBELL, CA 95008  
APN# 405-14-020

FINE CUSTOM HOME  
**DESIGN**

(408) 829-6063  
19034 BONNETT WAY • SARATOGA, CA 95070

DRAWN LOC H3A
CHECKED TRU HONG
SIGNATURE 
DATE AUGUST 2016
SCALE AS SHOWN
JOB 0716
SHEET <b>A-5</b>

**NOTES:**

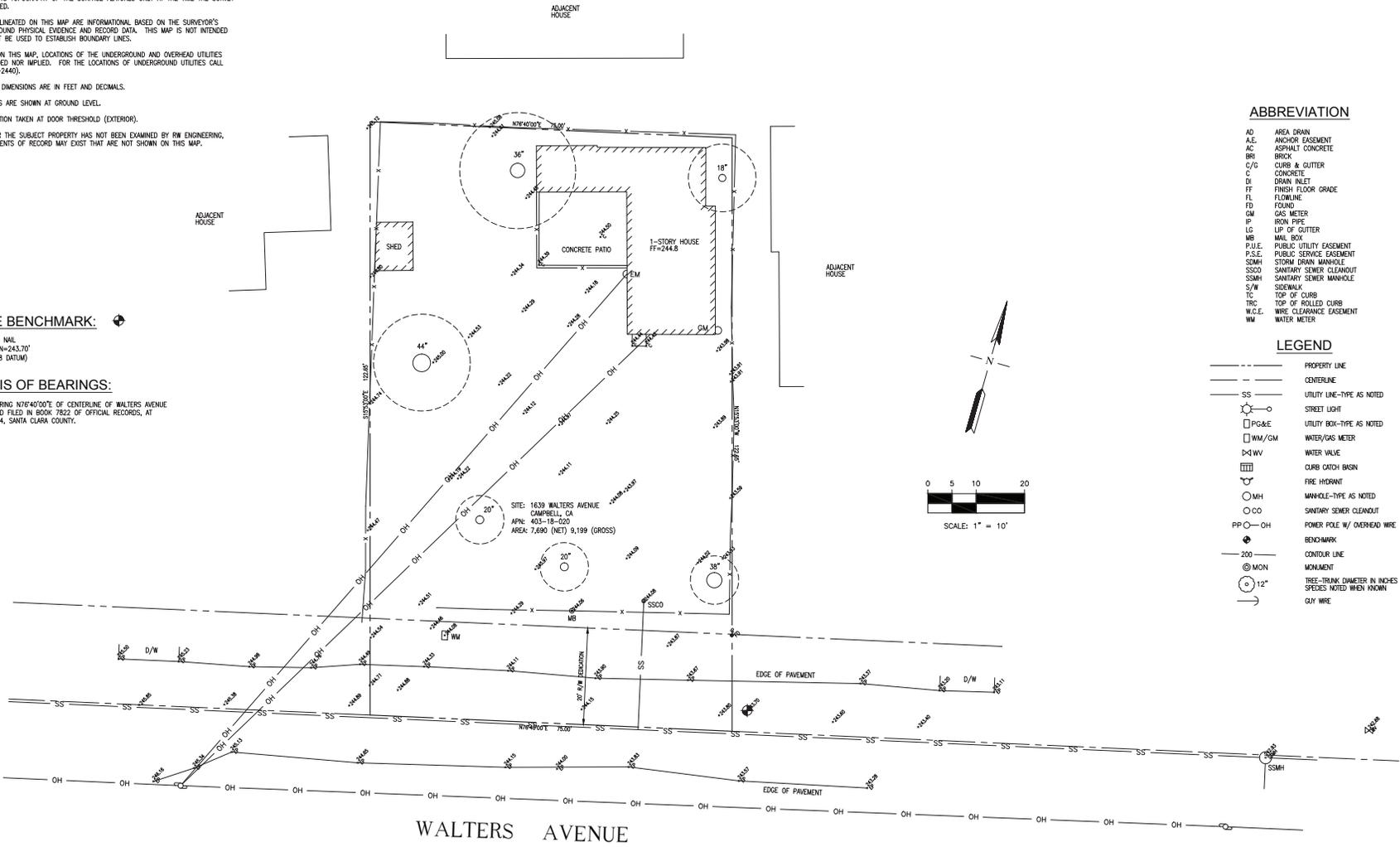
1. THIS ELECTRONIC FILE IS SOLELY FOR THE USE OF THE ARCHITECT FOR THE DEVELOPMENT OF HIS/HER ARCHITECTURAL DRAWINGS TO OBTAIN BUILDING PERMITS.
2. THIS MAP SHALL NOT BE USED TO STAKE OUT CONSTRUCTION IMPROVEMENTS IN THE FIELD.
3. THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SIGNED PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. RW ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.
4. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED.
5. BOUNDARY LINES DELINEATED ON THIS MAP ARE INFORMATIONAL BASED ON THE SURVEYOR'S OPINION UTILIZING FOUND PHYSICAL EVIDENCE AND RECORD DATA. THIS MAP IS NOT INTENDED AND SHALL NOT BE USED TO ESTABLISH BOUNDARY LINES.
6. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
7. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
8. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
9. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
10. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY RW ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

**SITE BENCHMARK:**

SET MAG NAIL  
ELEVATION=243.70'  
(NAVD 88 DATUM)

**BASIS OF BEARINGS:**

THE BEARING N76°40'00" E OF CENTERLINE OF WALTERS AVENUE  
PER DEED FILED IN BOOK 7822 OF OFFICIAL RECORDS, AT  
PAGE 444, SANTA CLARA COUNTY.



**ABBREVIATION**

- AD AREA DRAIN
- A.E. ANCHOR EASEMENT
- AC ASPHALT CONCRETE
- BR BRICK
- C/G CURB & GUTTER
- C CONCRETE
- D DRAIN INLET
- FF FINISH FLOOR GRADE
- FL FLOWLINE
- FD FOUND
- GM GAS METER
- I IRON PIPE
- LG LIP OF GUTTER
- MB MAIL BOX
- P.U.E. PUBLIC UTILITY EASEMENT
- P.S.E. PUBLIC SERVICE EASEMENT
- SDMH STORM DRAIN MANHOLE
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- S/W SIDEWALK
- TC TOP OF CURB
- TRC TOP OF ROLLED CURB
- W.C.E. WIRE CLEARANCE EASEMENT
- WM WATER METER

**LEGEND**

- PROPERTY LINE
- - - CENTERLINE
- SS UTILITY LINE-TYPE AS NOTED
- STREET LIGHT
- PG&E UTILITY BOX-TYPE AS NOTED
- WM/GM WATER/GAS METER
- ◇ WV WATER VALVE
- ▣ CURB CATCH BASIN
- ⊕ FIRE HYDRANT
- MH MANHOLE-TYPE AS NOTED
- CO SANITARY SEWER CLEANOUT
- PP-○ OH POWER POLE W/ OVERHEAD WIRE
- ◆ BENCHMARK
- CONTOUR LINE
- ⊙ MON MONUMENT
- 12" TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED W/SH MONUM
- GUY WIRE

NO.	REVISION	DATE	BY

**RW ENGINEERING, INC.**  
CIVIL ENGINEERS LAND SURVEYORS  
505 ALAMANT DRIVE, WALTONS, CA 95055  
(P) (408) 262-1899 (FAX) (408) 824-5556  
www.rwengineering.com

**SANTA CLARA COUNTY**  
COUNTY ENGINEER  
DATE OF CERTIFICATION: 11/1/16

NEW RESIDENCE  
1639 WALTERS AVENUE  
CAMPBELL, CA  
SANTA CLARA COUNTY  
APN: 403-18-020

TOPOGRAPHIC  
MAP

DATE: 11/1/16  
SCALE: AS NOTED  
DESIGNED BY: RW  
DRAWN BY: RW  
SHEET  
**C-0**

- LEGEND**
- PROPERTY LINE
  - CENTERLINE
  - UTILITY LINE-TYPE AS NOTED
  - STREET LIGHT
  - ELEC
  - WM
  - WV
  - CB
  - FH
  - MH
  - CO
  - OH
  - MON
  - MON
  - 200
  - SWALE @ 1% MIN. (L.O.N.)
  - SURFACE FLOW DIRECTION
  - DOWNSPOUT WITH SPLASH-BLOCK
  - 12" TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN

- ABBREVIATION**
- P.U.E. PUBLIC UTILITY ELEMENT
  - CONC. CONCRETE
  - S/W SIDEWALK
  - EA EXISTING
  - C & G CURB & GUTTER
  - PVC POLYVINYL CHLORIDE
  - DI DRAIN INLET
  - FG FINISH GRADE
  - OFF GARAGE FINISH GRADE
  - FF FINISH FLOOR GRADE
  - TC TOP OF CURB
  - FL FLOW LINE
  - AC ASPHALT CONCRETE

**EARTHWORK TABLE**

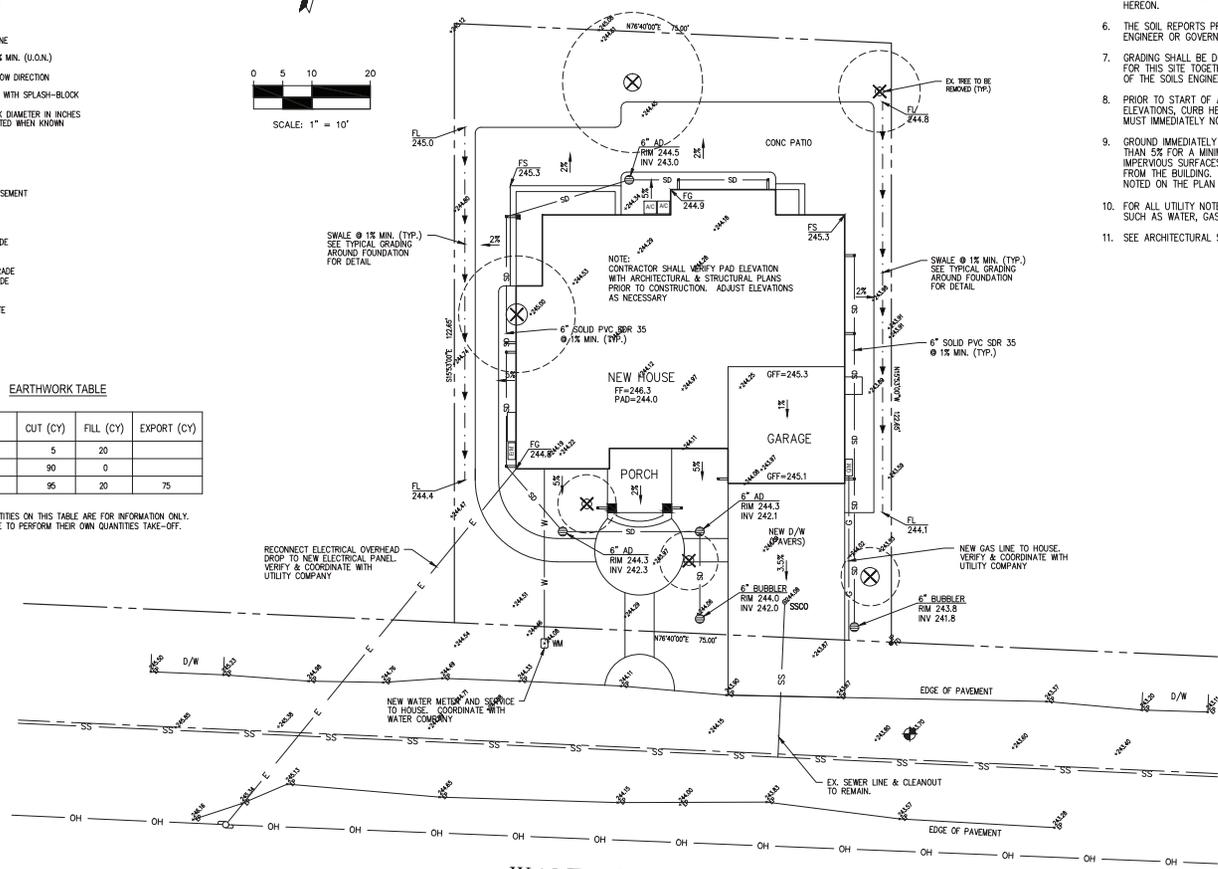
LOCATION	CUT (CY)	FILL (CY)	EXPORT (CY)
DRIVEWAY & SITE	5	20	
HOUSE	90	0	
TOTAL	95	20	75

NOTE: EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITIES TAKE-OFF.

**SITE BENCHMARK:** SET MAG NAIL ELEVATION=243.70' (NAVD 88 DATUM)

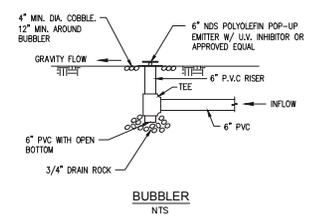
**BASIS OF BEARINGS:** THE BEARING N76°40'00" OF CENTERLINE OF WALTERS AVENUE PER DEED FILED IN BOOK 7822 OF OFFICIAL RECORDS, AT PAGE 444, SANTA CLARA COUNTY.

NOTE: THIS GRADING AND DRAINAGE PLAN CONFORMS TO THE CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)

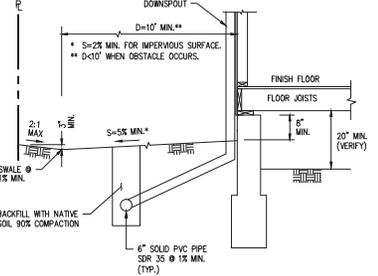


PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

- GRADING NOTES:**
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, AND REQUIREMENT OF THE CITY OF CAMPBELL.
  - THE OWNER AND THE ENGINEER OF WORK WILL NOT BE RESPONSIBLE FOR ENFORCING SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR MUST DESIGN, CONSTRUCT, INSTALL, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAW AND REGULATIONS.
  - PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY ALL JOINT/CROSSING LOCATIONS, ELEVATIONS, CURB, GUTTER, SIDEWALK, FLOW LINES, PAVEMENT, STREETS, AND ALL GRADE JOINTS. IF DISCREPANCY IS FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER AND NOT PROCEED WITH ANY CONSTRUCTION UNTIL VERIFICATION AND REVISION (IF NECESSARY) IS COMPLETED BY THE SAID ENGINEER.
  - CONTRACTOR TO EXPOSE EXISTING SEWERS AND CHECK INVERTS BEFORE CONSTRUCTING NEW SEWERS. NOTIFY THE ENGINEER 24 HOURS PRIOR TO EXPOSING SEWERS.
  - THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES/STRUCTURES SHOWN HEREON WERE OBTAINED FROM INFORMATION FURNISHED BY OTHERS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND ACCURACY OF SAID INFORMATION. THE CONTRACTOR MUST ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF THOSE TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
  - THE SOIL REPORTS PREPARED FOR THE PROJECT IS A PART OF THIS PLAN. THE MOST STRINGENT REQUIREMENTS BY SOIL ENGINEER OR GOVERNING AGENCIES SHALL PREVAIL.
  - GRADING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOIL REPORT FOR THIS SITE TOGETHER WITH ANY SUPPLEMENTS THERETO. ALL GRADING WORK SHALL BE DONE UNDER THE OBSERVATION OF THE SOILS ENGINEER. THE SOILS ENGINEER SHALL BE NOTIFIED 48 HOURS BEFORE THE START OF ANY GRADING.
  - PRIOR TO START OF ANY WORK, CONTRACTOR MUST REVIEW THE PLANS FOR DESIGN INCONSISTENCIES AND TYPUS AS WELL AS ELEVATIONS, CURB HEIGHT, DIMENSIONS, SLOPES, ETC. IF INCONSISTENCIES OR OBVIOUS TYPUS ARE FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF WORK FOR VERIFICATION BEFORE PROCEEDING WITH ANY WORK.
  - GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. SPOT ELEVATIONS SHOWN ON THE PLAN SHALL DICTATE ACTUAL GRADES. SURFACE SLOPE GRADES NOTED ON THE PLAN ARE APPROXIMATE.
  - FOR ALL UTILITY NOTES MARKED "VERIFY", CONTRACTOR SHALL VERIFY LOCATION, SIZE, MATERIAL, ETC. OF EXISTING UTILITIES, SUCH AS WATER, GAS SEWER, ETC., PRIOR TO STARTING CONSTRUCTION.
  - SEE ARCHITECTURAL SITE PLAN AND LANDSCAPE PLAN FOR SITE INFORMATION AND NOTES NOT SHOWN HEREIN.



NOTE: CONTRACTOR SHALL VERIFY ALL FINISH FLOOR, GARAGE FLOOR, AND PAD ELEVATION WITH STRUCTURAL PLAN PRIOR TO CONSTRUCTION.



DATE BY

REVISION

NO.

RW ENGINEERING, INC.  
CIVIL ENGINEERS LAND SURVEYORS  
505 ALAMONT DRIVE, MENPAS, CA 95035  
(916) 262-1899 (FAX) (408) 874-5556  
rweengineering@gmail.com

**RW**

PROFESSIONAL SEAL  
GENERAL DATE: 10-30-17  
CIVIL  
DATE: 11/7/16

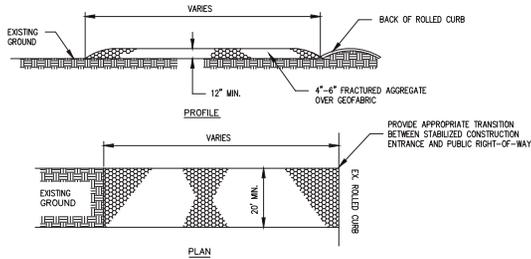
NEW RESIDENCE  
1639 WALTERS AVENUE  
CAMPBELL, CA  
SANTA CLARA COUNTY  
APN: 403-18-020

GRADING & DRAINAGE PLAN

DATE: 10/7/16  
SCALE: AS NOTED  
DESIGNED BY: RW  
DRAWN BY: RW

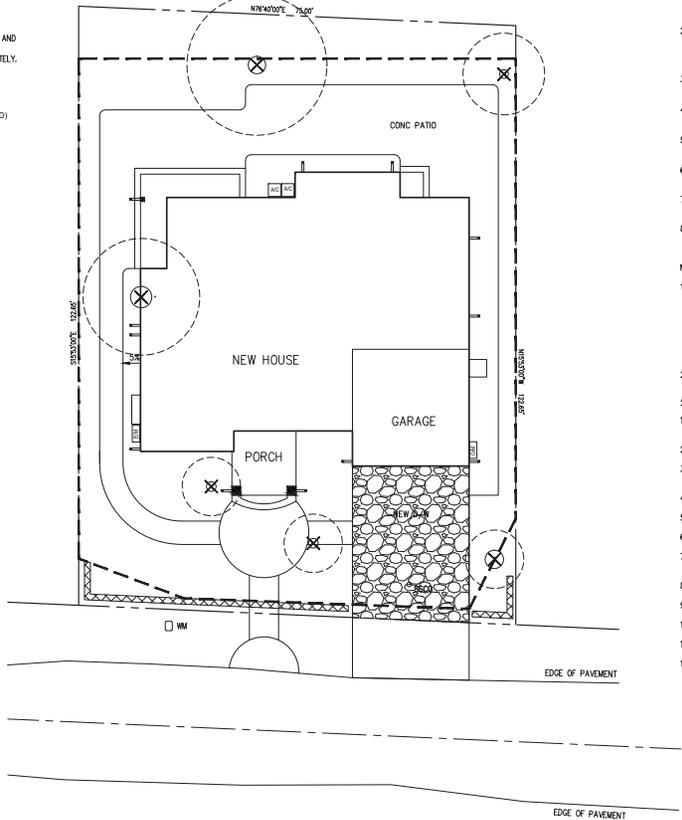
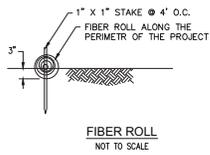
SHEET

**C-1**

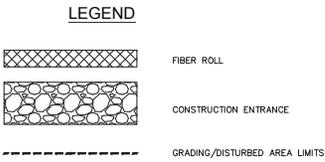


- MAINTENANCE:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY MEASURES USED TO TRAP SEDIMENT.
  2. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
  3. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. THIS SHALL BE DONE AT AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**STABILIZED CONSTRUCTION ENTRANCE** (TO BE MAINTAINED)



WALTERS AVENUE



**GENERAL EROSION AND SEDIMENT CONTROL NOTES:**

1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
2. OWNER/ CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

**EROSION AND SEDIMENT CONTROL MEASURES**

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY AND COUNTY.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCEWAYS. (ALSO INCLUDE THIS NOTE ON GRADING PLANS.)
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY AND COUNTY.
5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH.
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
7. LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.
8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

**MAINTENANCE NOTES**

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
  - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
  - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - F. RILLS AND GULLIES MUST BE REPAIRED.
2. ROCK BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.

**ADDITIONAL NOTES:**

1. STABILIZE ALL DENUDED AREAS AND INSTALL AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCTOBER 15TH AND APRIL 15TH OF EACH YEAR, UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
2. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTE PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
3. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING, WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
4. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DETWATERING SITE AND OBTAIN ALL NECESSARY PERMITS.
5. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLE ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
6. DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DRAINAGE COURSES.
7. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
8. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.
9. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
10. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
11. AVOID TRACKING DIRT OR OTHER MATERIAL OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
12. THE CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE CONSTRUCTION BMPs.

NO.	REVISION	DATE	BY

**RW ENGINEERING INC.**  
 CIVIL ENGINEERS LAND SURVEYORS  
 505 ALHAMBRA DRIVE, MERIDIAN, CA 90305  
 (P) (408) 262-1899 (F) (408) (408) 874-5556  
 rweengineering@gmail.com

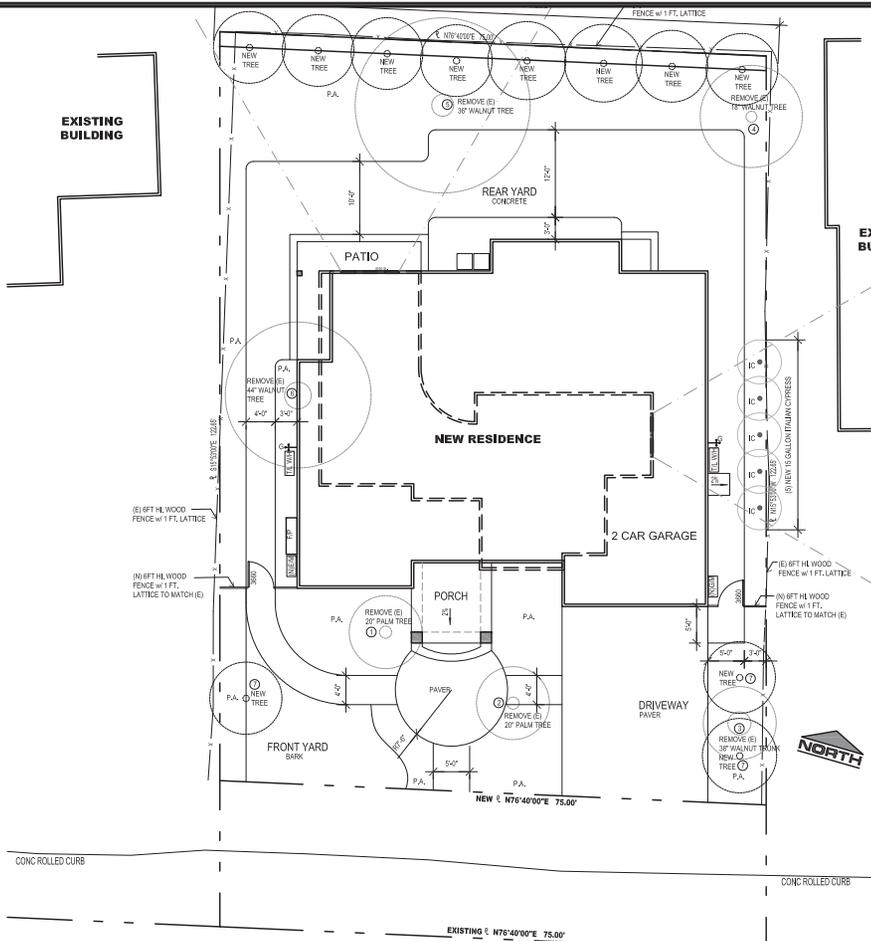
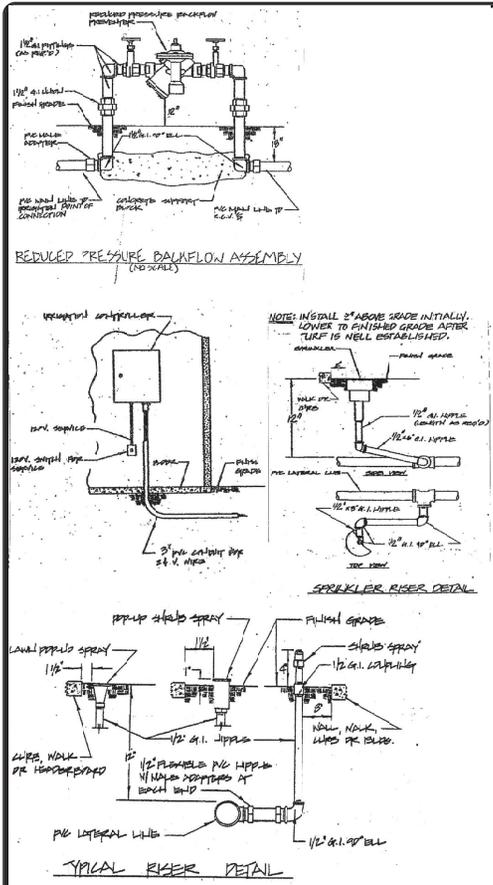
**RW**  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
 STATE OF CALIFORNIA  
 LICENSE NO. 40318  
 EXPIRES 12/31/17  
 GENERAL DATE: 08-30-17  
 DATE: 11/7/16

**NEW RESIDENCE**  
**1639 WALTERS AVENUE**  
**CAMPBELL, CA**  
 SANTA CLARA COUNTY  
 APN: 403-18-020

**EROSION CONTROL PLAN**

DATE: 10/7/16  
 SCALE: AS NOTED  
 DESIGNED BY: RW  
 DRAWN BY: RW  
 SHEET

**C-2**



**TREE PROTECTION DURING CONSTRUCTION**

PROTECTED TREES DESIGNATED FOR PRESERVATION SHALL BE PROTECTED DURING DEVELOPMENT OF A PROPERTY BY COMPLIANCE WITH THE FOLLOWING, WHICH MAY BE MODIFIED BY THE PLANNING DIRECTOR.

- PROTECTIVE FENCING SHALL BE INSTALLED NO CLOSER TO THE TRUNK THAN THE DRUMLINE, AND FAR ENOUGH FROM THE TRUNK TO PROTECT THE INTEGRITY OF THE TREE. THE FENCE SHALL BE A MINIMUM OF FOUR FEET IN HEIGHT AND SHALL BE SET SECURELY IN PLACE. THE FENCE SHALL BE OF A STURDY BUT OPEN MATERIAL, I.E., CHAINLINK, TO ALLOW VISIBILITY TO THE TRUNK FOR INSPECTIONS AND SAFETY. THERE SHALL BE NO STORAGE OF ANY KIND WITHIN THE PROTECTIVE FENCING.
- THE EXISTING GRADE LEVEL AROUND A TREE SHALL NORMALLY BE MAINTAINED OUT TO THE DRUMLINE OF THE TREE. ALTERNATE GRADE LEVELS MAY BE APPROVED BY THE PLANNING DIRECTOR.
- DRAIN WELLS SHALL BE INSTALLED WHENEVER IMPERVIOUS SURFACES WILL BE PLACED OVER THE ROOT SYSTEM OF A TREE (THE ROOT SYSTEM GENERALLY EXTENDS TO THE OUTERMOST EDGES OF THE BRANCHES).
- TREES THAT HAVE BEEN DAMAGED BY CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH ACCEPTED ARBORCULTURE METHODS.
- NO SKIDS, WHEELS, OR ANY OTHER OBJECT SHALL BE ATTACHED TO THE TREE.
- PLEASE SEE ADDITIONAL TREE PROTECTION 11.08 OF MUNICIPAL CODE IF NEC.

**PLANTING NOTES**

- THE PLANTING IS DIAGRAMMATIC ONLY. THE EXACT LOCATION OF PLANT MATERIAL SHALL BE DETERMINED BY THE FIELD.
- THE CONTRACTOR SHALL VERIFY THAT THE SOIL TO BE PLANTED IS NATIVE AND FREE FROM ANY FOREIGN MATERIALS OR SUBSTANCES.
- TILL ALL NEW PLANTING AREAS TO A DEPTH OF 8" AND REMOVE ALL WEEDS, STONKS, STONES OVER 2" DIAMETER, AND ANY OTHER MATERIAL WHICH WOULD BE HARMFUL TO PLANT GROWTH.
- ALL NEW PLANTING AREAS SHALL RECEIVE A 2" LAYER OF NITROGEN FORTIFIED WOOD RESIDUAL, TILL TO A DEPTH OF 4" AND FINE GRADE.
- ALL PLANT MATERIAL SHALL RECEIVE "AGROFORM" FERTILIZER TABLETS AT THE TIME OF PLANTING INSERTED TO THE DRUMLINE MIN AT HALF THE DEPTH OF THE ROOTBALL TABLET QUANTITIES AND SIZE AS INDICATED ON THE PLANTING DETAILS.
- AFTER FINE GRADING AND PLANTING, PRIOR TO TOP DRESSING WITH MULCH, A PRO-INTEGRITY RESIDUAL SHALL BE APPLIED AT A RATE AND METHOD RECOMMENDED BY THE PRODUCT MANUFACTURER SPREAD AS A TOP DRESSING, A 2" LAYER OF NITROGEN FORTIFIED BARK LAYER, IF PLANTING AREAS FOR ADDITIONAL WEED CONTROL AND WATER RETENTION, SUBMIT A SAMPLE FOR APPROVAL.
- ALL PLANT MATERIAL, SUBSTITUTIONS SHALL BE APPROVED BY THE OWNERS OR THE LANDSCAPE ARCHITECT.
- ALL PLANTING DETAILS SHALL BE CLOSELY FOLLOWED, AND ALL LOCAL GOVERNING CODES SHALL BE MET.
- ALL LAWN TO BE SOO "DOUBLE DWARF CHAMPION" BY THE GRASS FARM IN MORGAN HILL.
- LAWN HEADERS SHALL BE 1" THICK PLASTIC COMP. STAKE AND SPRUCE TO ACHIEVE SMOOTH AREAS.
- ALL PLANT MATERIALS SHALL BE IN A HEALTHY, VIGOROUS, AND DISEASE FREE CONDITION. THE PLANT SIZE SPECIFIED, PLANTS NOT MEETING THESE REQUIREMENTS WILL BE REFUSED, EVEN IF PLANTED.
- BOULDERS SHALL BE SET WITH OF THE BOULDER BURIED.

**IRRIGATION NOTES**

- SEE GARDEN SHEET 01 FOR METHOD OF IRRIGATION SYSTEM AND THE CONTROLS.
- IRRIGATION SYSTEM SHALL BE WEATHER-BASED CONTROLS WITH RAIN SENSORS.
- DRIP METHOD SHALL BE USED AT ALL PLANTERS & TREES.
- ROTOR-POP UP SHALL BE USED AT FRONT LAWN.
- REMOTE CONTROL VALVES SHALL BE INSTALLED FLUSH WITH FINISH GRADE AND SHOULD BE INSTALLED IN PLANTING AREAS ONLY.
- WHERE PIPE PASSES UNDER DRIVING SURFACES, PROVIDE PVC SLEEVES AS NOTED ON PLANS.
- CONTRACTOR TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO EXCAVATION. CONTRACTOR TO REPAIR ANY CHANGES CAUSED BY, OR DURING THE PERFORMANCE OF HIS WORK AT NO EXTRA COST TO THE OWNER.

**LEGEND**

EXISTING TREE	SIZE	QUANTITY
1. PALM TREE TO BE REMOVED	20"	1
2. PALM TREE TO BE REMOVED	20"	1
3. WALNUT TREE TO BE REMOVED	30"	1
4. WALNUT TRUNK TO BE REMOVED	18"	1
5. WALNUT TREE TO BE REMOVED	38"	1
6. WALNUT TREE TO BE REMOVED	44"	1

NEW TREE	SIZE	QUANTITY
7. TREE	15 GAL	11
8. ITALIAN CYPRESS TREE	15 GAL	5

**NOTES**

- 2" THICK LAYERS OF BARK/MULCH WILL BE PLACED IN ALL SHRUB & GRASS COVER AREAS.
- LAWN TO BE DWARF TALL FESCUE MIX SOO.
- WATER CONSERVING ALTERNATE IRRIGATION SYSTEM FOR ALL PLANTING AREAS.

LANDSCAPING PLANS CONSISTENT WITH STATE WATER EFFICIENT LANDSCAPE REQUIREMENTS (CALIFORNIA CODE OF REGULATIONS, TITLE 23, CH. 2, DIV. 2, ADOPTED AS THE CITY OF CAMPBELL WATER EFFICIENT LANDSCAPE GUIDELINES (CWC 21.26.030.F).

REVISIONS	BY
△ 06.26.16	P.D.

**CONCEPTUAL LANDSCAPE PLAN & STREETSCAPE**

NEW RESIDENCE  
**CHANGHOE LUI**

FINE CUSTOM HOME  
**DESIGN**

(408) 829-6083  
1639 WALTERS AVE. CAMPBELL, CA 95008  
M/F/W 405-16-620

19034 BONNET WAY • SARATOGA, CA 95070



**STREETSCAPE**      **1655**      **1639 WALTERS AVE.**      **1621**

SCALE: N.T.S.

DRAWN  
LOC H3A

CHECKED  
TRH HONG

SIGNATURE  
*[Signature]*

DATE  
AUGUST 2016

SCALE  
AS SHOWN

JOB  
0716

SHEET  
**L-1**