



CITY OF CAMPBELL
Community Development Department

September 2, 2016

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **September 13, 2016**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Majid Saneinejad for a Planned Development Permit, Tentative Parcel Map to create two residential lots and a common lot and a Zone Change from R-M (Multi-family) to P-D (Planned Development) to allow the construction of two single family residences on property located at **1223 Walnut Drive**. Staff is recommending that a Negative Declaration be adopted for this project.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

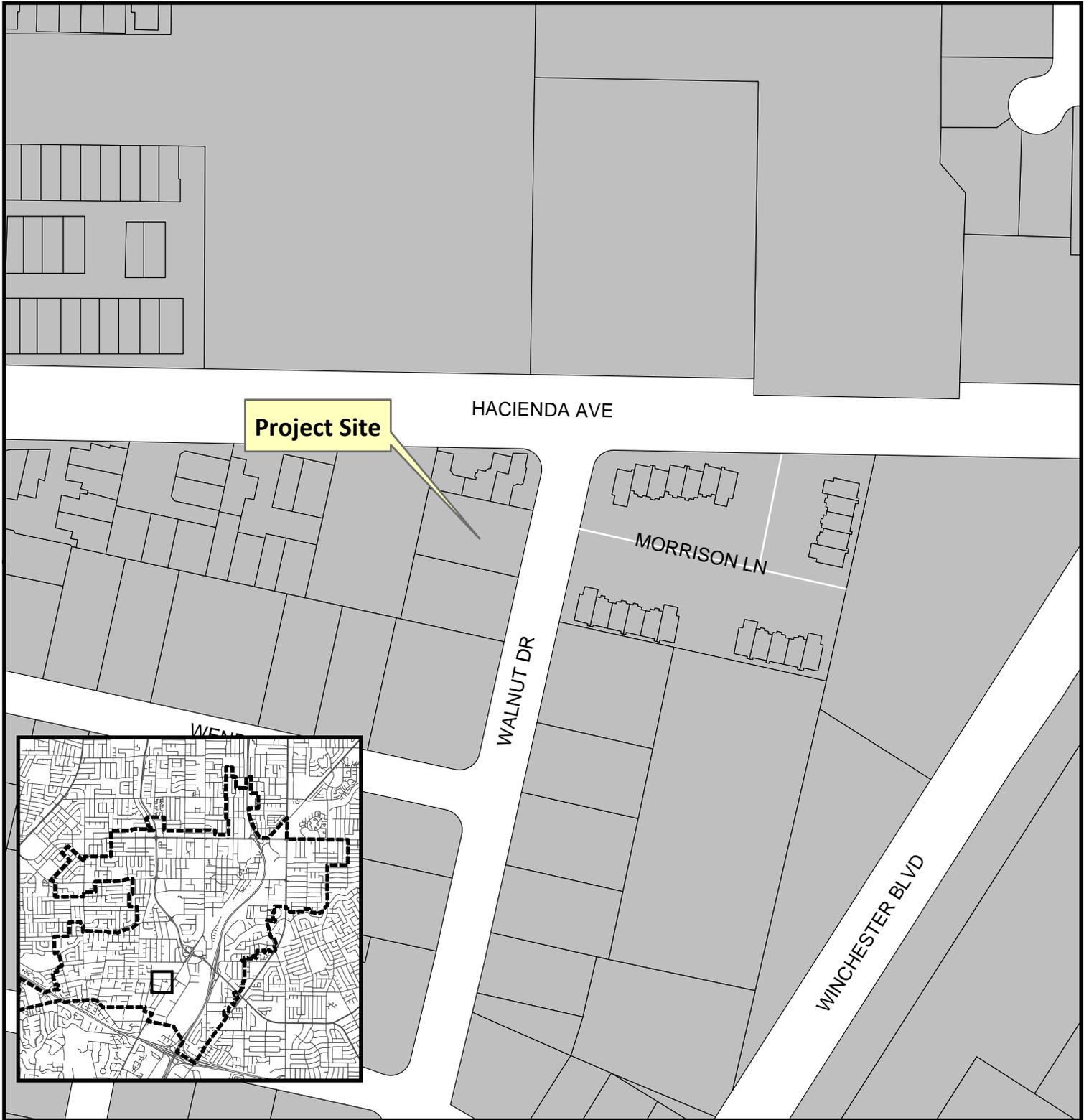
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1223 Walnut Drive**

Project Location Map



Project Location: 1223 Walnut Drive

Application Type: Planned Development, Parcel Map,
Tree Removal Permit, Zoning Map Amendment

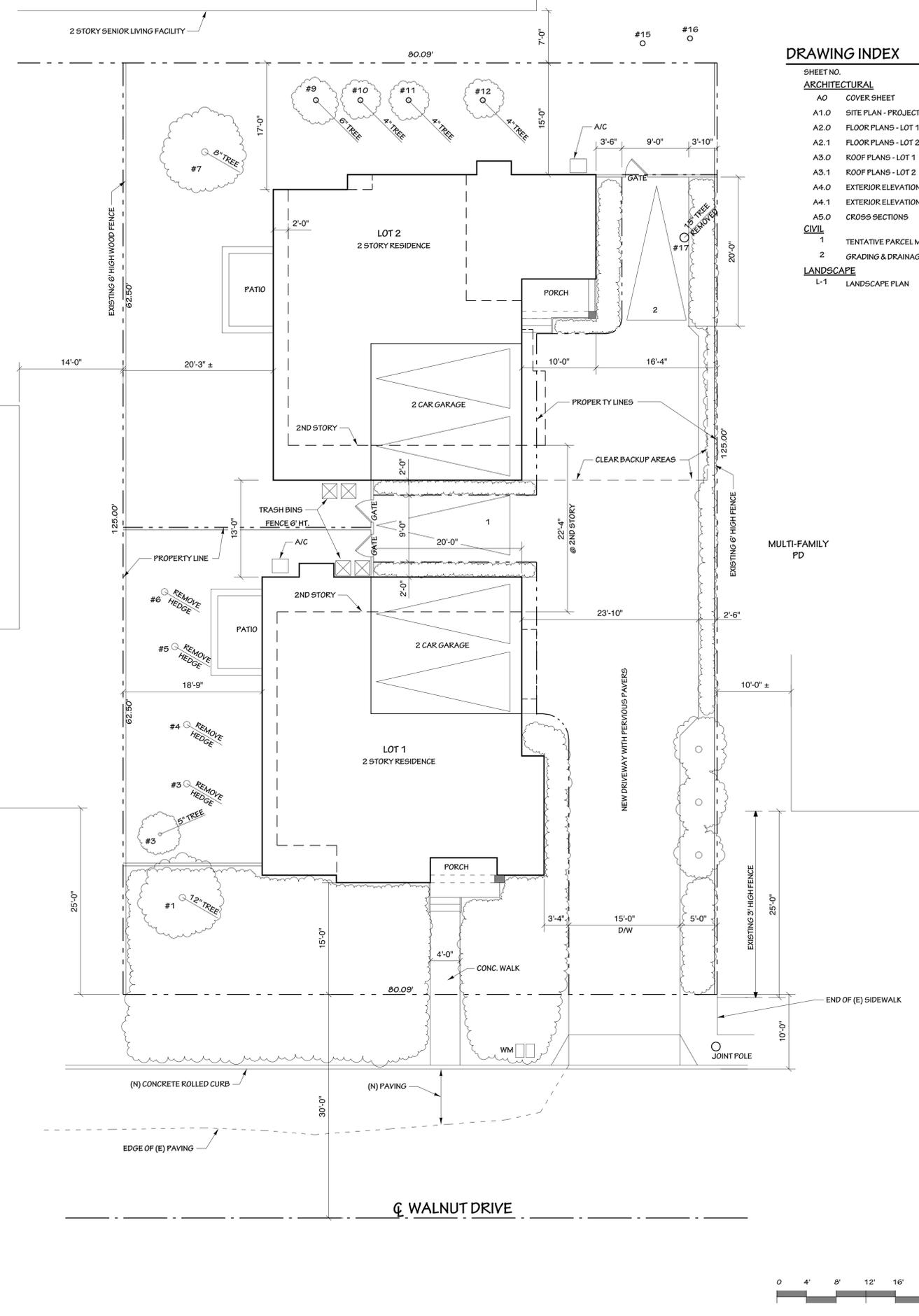
CEQA Negative Declaration

Planning File No.: PLN2016-019

Description: 2-unit attached Townhome Development

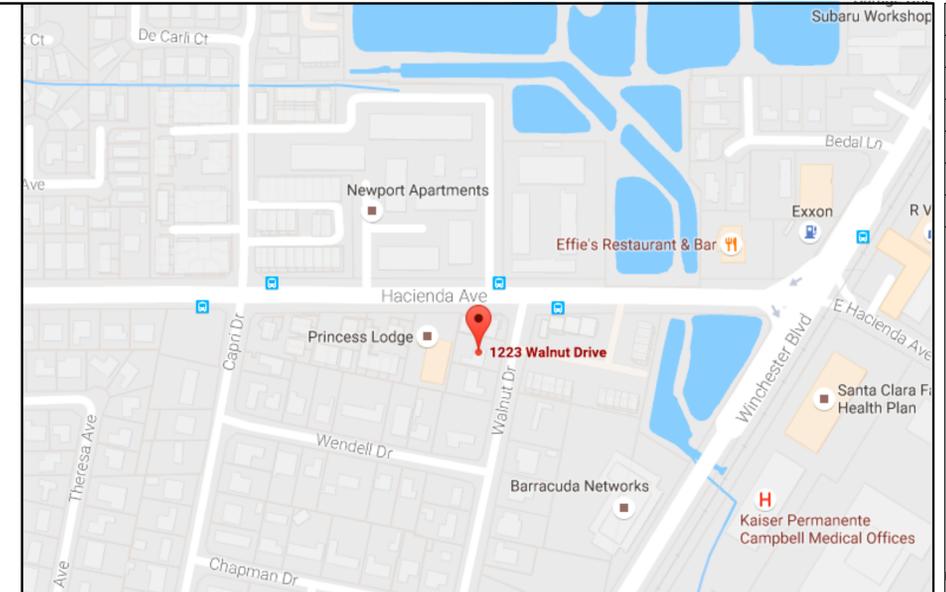


Community Development Department
Planning Division



DRAWING INDEX

- SHEET NO.
- ARCHITECTURAL**
- A0 COVER SHEET
 - A1.0 SITE PLAN - PROJECT DATA
 - A2.0 FLOOR PLANS - LOT 1
 - A2.1 FLOOR PLANS - LOT 2
 - A3.0 ROOF PLANS - LOT 1
 - A3.1 ROOF PLANS - LOT 2
 - A4.0 EXTERIOR ELEVATIONS - LOT 1
 - A4.1 EXTERIOR ELEVATIONS - LOT 2
 - A5.0 CROSS SECTIONS
- CIVIL**
- 1 TENTATIVE PARCEL MAP
 - 2 GRADING & DRAINAGE PLAN
- LANDSCAPE**
- L-1 LANDSCAPE PLAN



VICINITY MAP

GENERAL NOTES

1. ALL CONSTRUCTION MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE CURRENT EDITION OF THE CRC, LOCAL CODES, AND AUTHORITIES.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE.
3. CONTRACTORS AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR THE DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS THAT AFFECT ANY WORK, NOTIFY THE ARCHITECT FOR INSTRUCTION ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED WITHOUT INSTRUCTION FROM THE ARCHITECT THE CONTRACTOR SHALL MAKE GOOD THE RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT. SHOULD A CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.
4. THE GENERAL CONTRACTOR SHALL CONFORM HIS OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER. THE WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE LAWS, LOCAL ORDINANCES, PERMITS AND CONTRACT DOCUMENTS. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY MANNER FREE OF DEBRIS AND LITTER AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUN CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH AND DEBRIS THAT RESULT AS A PART OF HIS OPERATION.
5. ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
6. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY EXCAVATING OR CUTTING, OR OTHERWISE ALTERING THE TOTAL WORK OF ANY PART OF IT. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
7. NO PORTION OF WORK REQUIRING SHOP DRAWINGS OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN APPROVED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND SAMPLES.
8. DIMENSIONS:
 - A. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE.
 - B. ALL DIMENSIONS ARE TO THE ROUGH UNLESS OTHERWISE NOTED.
 - C. CEILING HEIGHT DIMENSIONS ARE FROM FINISH FLOOR SLAB TO FACE OF CEILING.
9. PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRIC UNITS, A.C. EQUIPMENT, AND ALL OTHER ITEMS WHERE FURRING OCCURS.
10. WHERE LARGER STUDS OR FURRINGS ARE REQUIRED TO COVER DUCTS, PIPING, AND CONDUITS, THE LARGER STUD SIZE OR FURRING SHALL EXTEND THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
11. VERIFY ALL NEW FINISHES WITH OWNERS BEFORE PROCEEDING. ALL COLORS, ETC. TO BE SELECTED BY OWNERS.
12. ALL CABINETS TO BE DESIGNED BY OTHERS. STYLE AND FINISHES SELECTED BY OWNERS.
13. ALL KITCHEN APPLIANCES, BATH AND OTHER PLUMBING FIXTURES ACCESSORIES AND ELECTRICAL FIXTURES SELECTED BY OWNERS.
14. WINDOWS SHALL BE DOUBLE GLAZE, VINYL FRAME (MILGARD), OR APPROVED EQUAL.

OWNER

MATT SANEINEJAD
1223 WALNUT DRIVE
CAMPBELL, CA 95008
408/836-1841

ARCHITECT

LOUIS R DORCICH, ARCHITECT
P.O. BOX 7306
SAN JOSE, CA 95150
831/430-9748

CIVIL ENGINEER

ADVANCED DEVELOPMENT
2933 BENJAMIN COURT
SAN JOSE, CA 95124
408/891-1689

LANDSCAPE DESIGN

J.R. NELSON & ASSOCIATES
P.O. BOX 110700
CAMPBELL, CA 95001
408/377-2508

PROJECT ROSTER

ASSESSORS PARCEL NUMBER 408-20-008

LOT SIZE:

12.814	GROSS SQ. FT. (PROPERTY CENTER LINE OF STREET)
10.011	NET SQ. FT. (LOTS 1, 2&3 + COMMON AREA)
3.511	GROSS SQ. FT. COMMON AREA
2.741	NET SQ. FT. COMMON AREA

DEVELOPMENT DATA	SQUARE FEET		PERCENT OF SITE	
	EXISTING	PROPOSED	EXISTING	PROPOSED
BUILDING COVERAGE	2,232	3,011	22.3	30.0
LANDSCAPE COVERAGE	5,191	4,706	51.8	47.1
PAVING COVERAGE	2,588	2,294	25.9	22.9
FLOOR AREA RATIO:	2,232	4,967.5	22.3	49.6
TOTAL BLDG S.F. DIVIDED BY NET LOT SIZE				

DEVELOPMENT DATA FOR EACH LOT

LOT / UNIT TYPE	FLOOR AREA RATIO	LOT COV. RATIO	OPEN SPACE RATIO
LOT 1 / TYPE A	80.2%	44.5%	17.9%
LOT 2 / TYPE B	113.2%	63.4%	29.2%
PERCENT OF PAVING AT SITE FRONT SETBACK (50% MAX.)			
26.2%			

PARKING

# STANDARD SPACES	# COMPACT SPACES	# DISABLED SPACES	# TOTAL PARKING SPACES
6	0	0	6

RESIDENTIAL PROJECTS:

	UNIT TYPE	
	A	B
LIVING AREA (SQUARE FOOTAGE)	2,108.0 S.F.	2,114.5 S.F.
GARAGE AREA (SQUARE FOOTAGE)	372.5 S.F.	372.5 S.F.
TOTAL AREA (SQUARE FOOTAGE)	2,480.5 S.F.	2,487.0 S.F.
NUMBER OF BEDROOMS	4	4
TOTAL NUMBER OF UNITS PER TYPE	1	1

ADJACENT LAND USES

DIRECTION	USE	ZONING
NORTH	MULTI-FAMILY RES.	PD
SOUTH	SINGLE-FAMILY RES.	R-M
EAST	MULTI-FAMILY RES.	PD
WEST	SENIOR LIVING FACILITY	R-M

GENERAL NOTES

PROJECT DATA

REVISIONS

NO.	DESCRIPTION	DATE

BY

LOUIS DORCICH
ARCHITECT
P.O. BOX 7306, SAN JOSE, CA 95150-7306
PHONE: (831) 430-9748
EMAIL: LRDORCICH@AOL.COM

PROPOSED 2 RESIDENCE FOR:
MR. M. SANEINEJAD
1223 WALNUT DRIVE
CAMPBELL, CALIFORNIA

SITE PLAN
PROJECT DATA

Date **07/26/16**
Scale **as shown**
Drawn **MaB / LD**
Job **15006**
Sheet **A1.0**
of 12 Sheets

PROPOSED 2 RESIDENCES FOR:
MR. M. SANEINEJAD

1223 WALNUT DRIVE
 CAMPBELL, CAIFORNIA



STREETSCAPE

SCALE 1/8" = 1'-0"



REVISIONS	BY

LOUIS DORCICH
 ARCHITECT
 P.O. BOX 7396, SAN JOSE, CA 95150-7396
 PHONE: (408) 430-9748
 EMAIL: LR.DORCICH@AOL.COM

PROPOSED 2 RESIDENCE FOR:
MR. M. SANEINEJAD
 1223 WALNUT DRIVE
 CAMPBELL, CALIFORNIA

COVER SHEET
 STREETSCAPE

Date 8/1/16
 Scale 1/8" = 1'-0"
 Drawn b
 Job 15006
 Sheet **AO**
 Of 12 Sheets

REVISIONS	BY

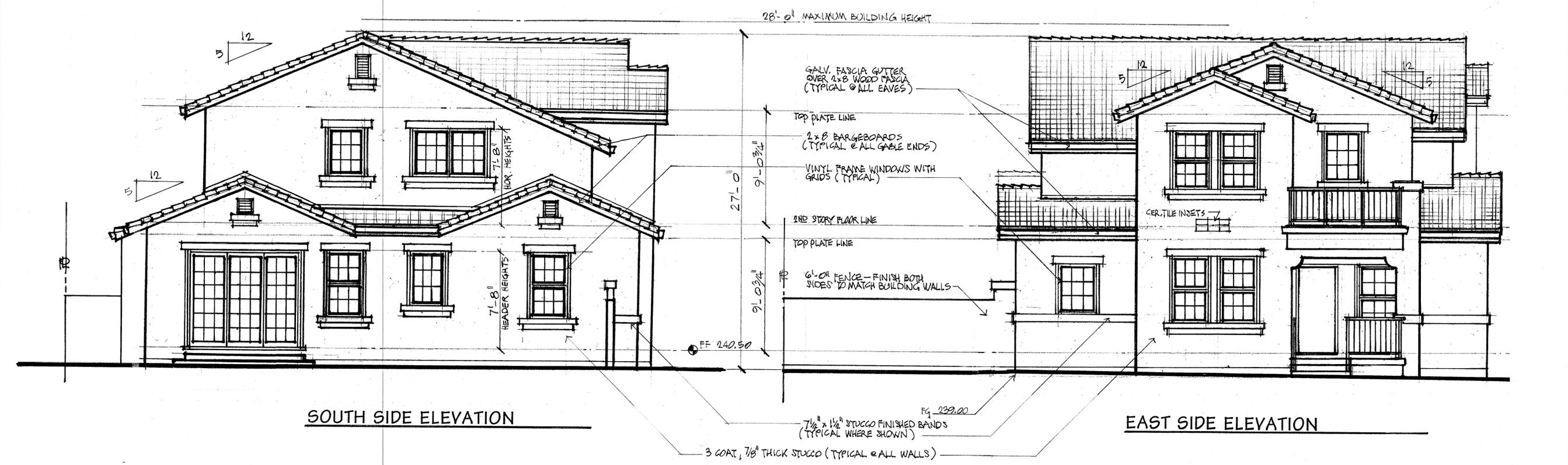
LOUIS DORCICH
 ARCHITECT
 P.O. BOX 7306, SAN JOSE, CA 95150-7306
 PHONE: (831) 430-9748
 EMAIL: LDRD@AIA.COM

PROPOSED 2 RESIDENCE FOR:
MR. M. SANEINEJAD
 1223 WALNUT DRIVE
 CAMPBELL, CALIFORNIA

EXTERIOR ELEVATIONS
 LOT 1

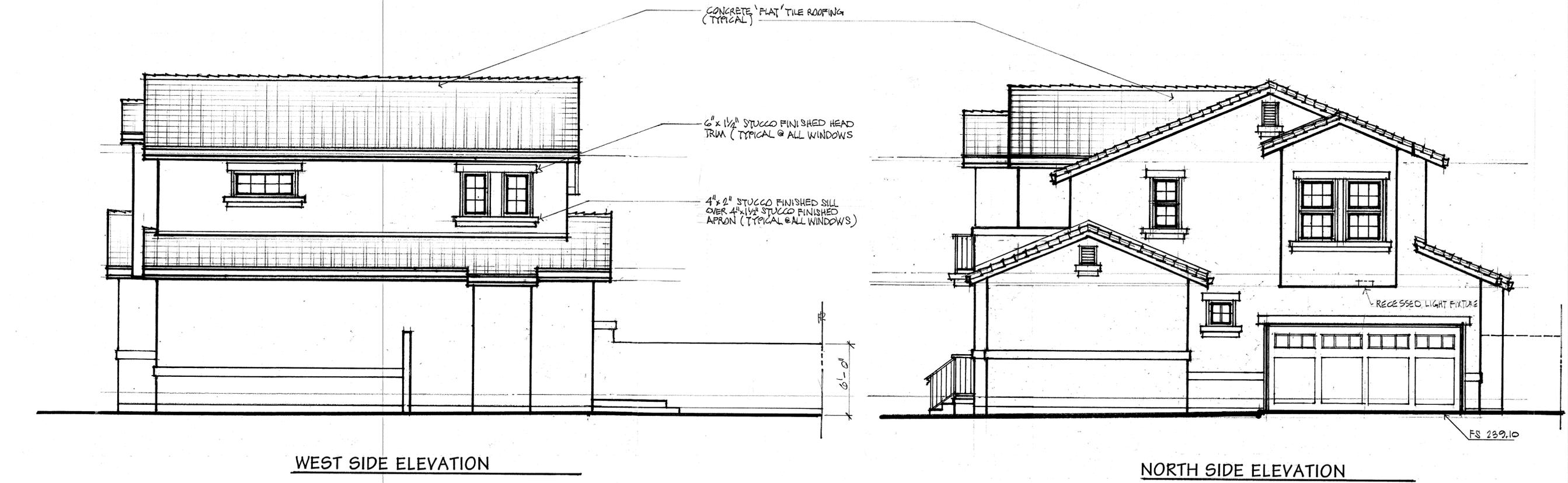
Date 07/26/16
 Scale as shown
 Drawn MaB / LD
 Job 15006

Sheet
A4.0
 of 12 Sheets



SOUTH SIDE ELEVATION

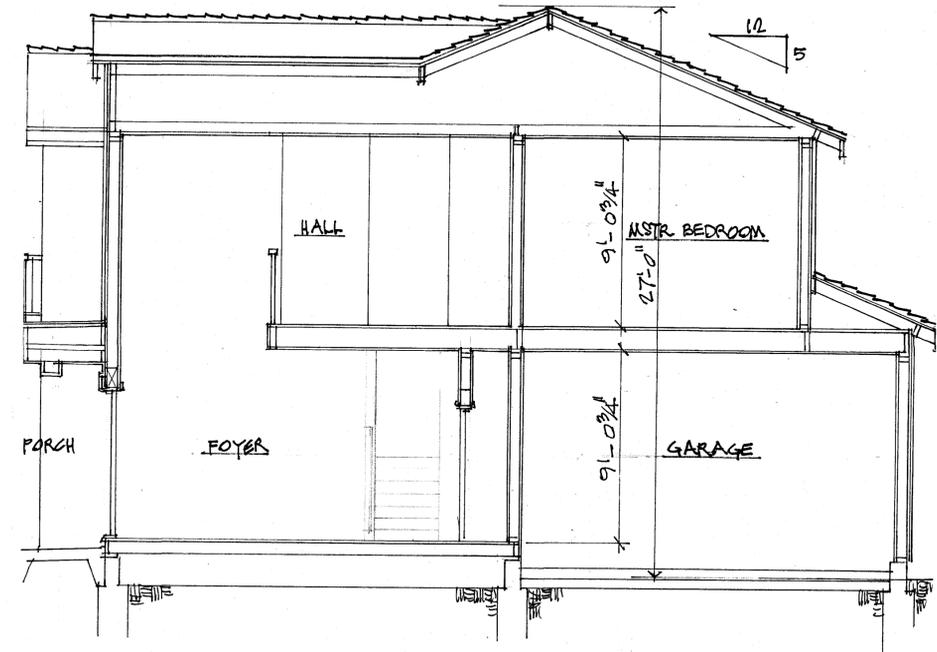
EAST SIDE ELEVATION



WEST SIDE ELEVATION

NORTH SIDE ELEVATION





CROSS SECTION

A
A5.0



Scale:
1/4" = 1'-0"

REVISIONS	BY

LOUIS DORCICH
 ARCHITECT
 P.O. BOX 7306, SAN JOSE, CA 95150-7306
 PHONE: (415) 430-9748
 EMAIL: LDORCICH@AOL.COM

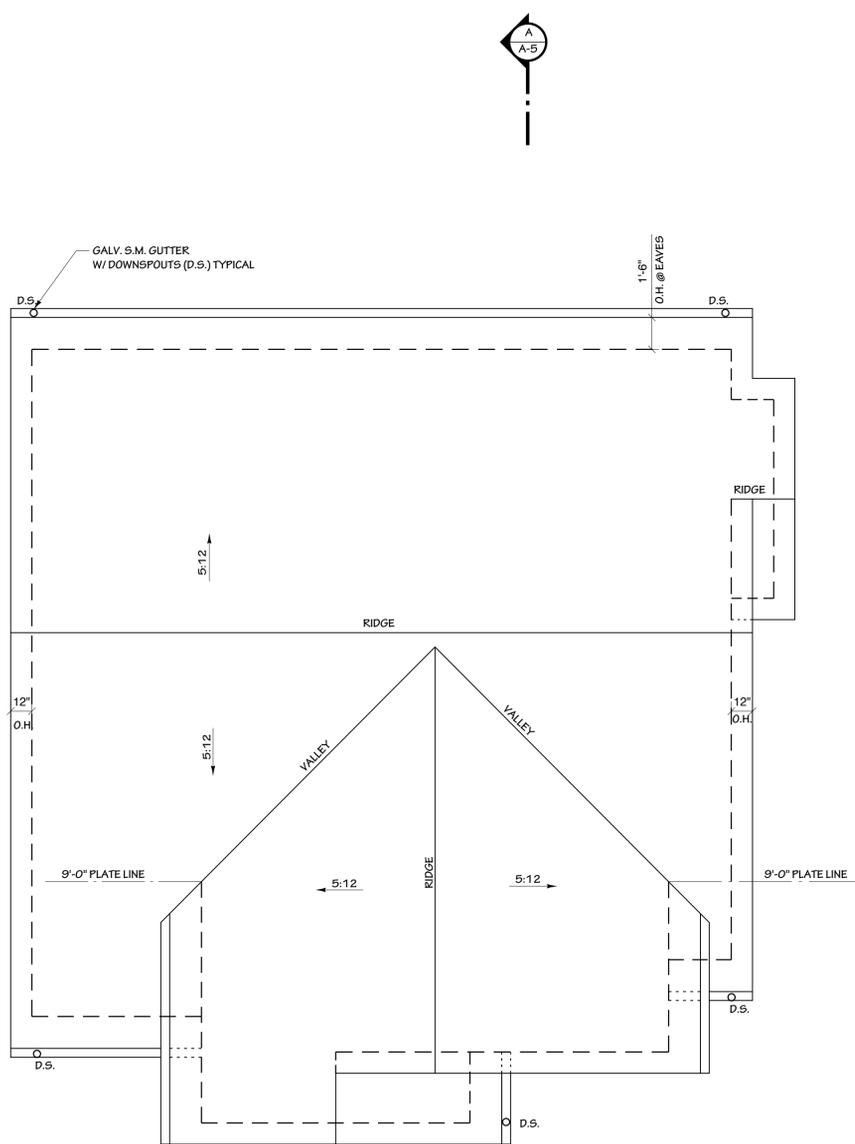
PROPOSED 2 RESIDENCE FOR:
MR. M. SANEINEJAD
 1223 WALNUT DRIVE
 CAMPBELL, CALIFORNIA

CROSS SECTIONS

Date 07/26/16
 Scale as shown
 Drawn MaB / LD
 Job 15006
 Sheet

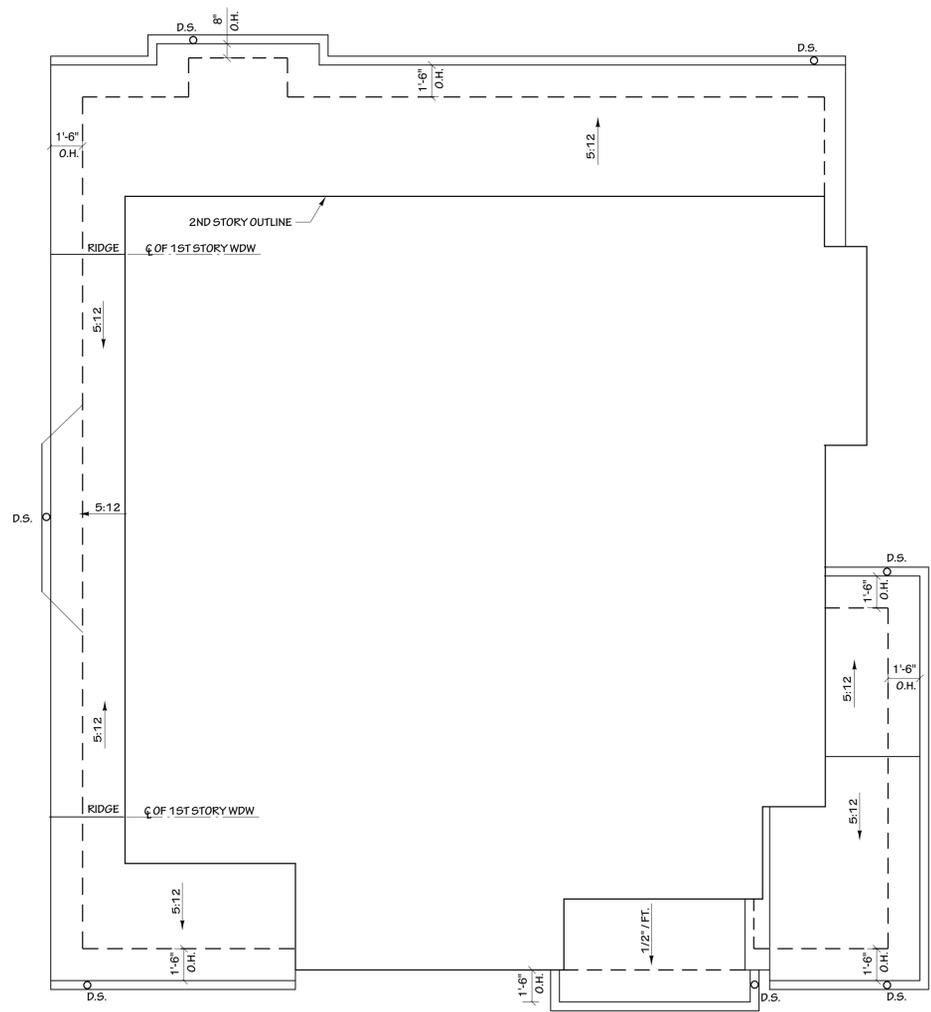
A5.0

of 12 Sheets



2ND STORY LOT 1 ROOF PLAN

Scale:
1/4" = 1'-0"



1ST STORY LOT 1 ROOF PLAN

Scale:
1/4" = 1'-0"

REVISIONS	BY

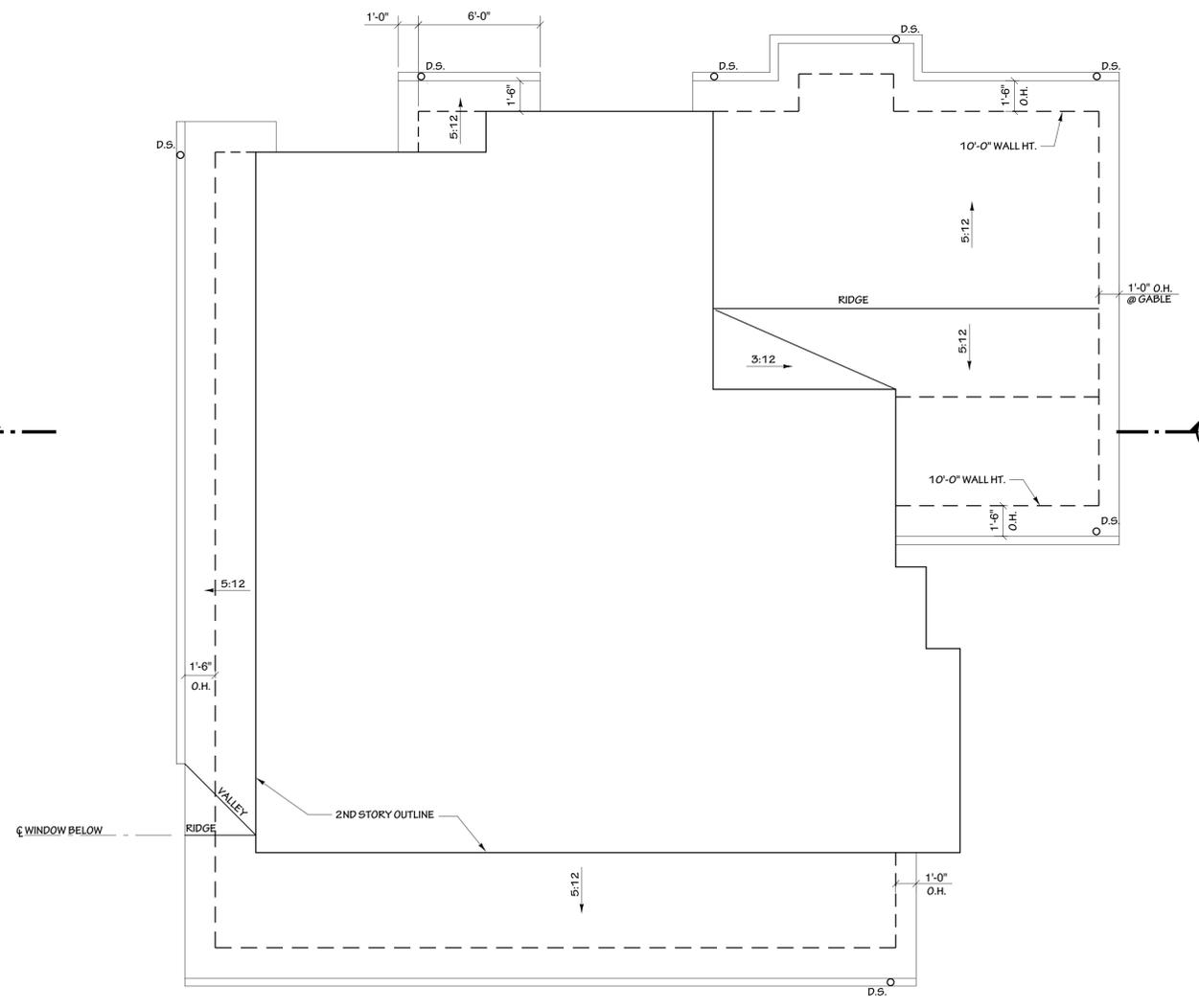
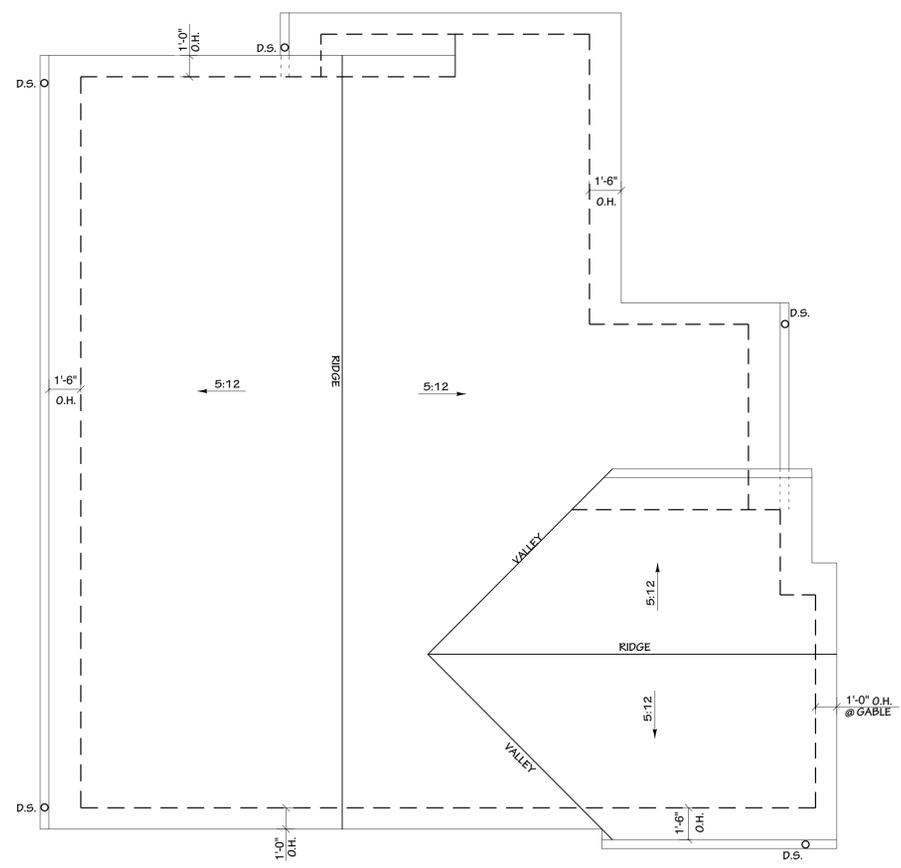
LOUIS DORCICH
 ARCHITECT
 P.O. BOX 7306, SAN JOSE, CA 95150-7306
 PHONE: (831) 430-9748
 EMAIL: LRDORCICH@AOL.COM

PROPOSED 2 RESIDENCE FOR:
MR. M. SANEINEJAD
 1223 WALNUT DRIVE
 CAMPBELL, CALIFORNIA

LOT 1 ROOF PLAN

Date 07/26/16
 Scale as shown
 Drawn MaB / LD
 Job 15006
 Sheet

A3.0
 of 12 Sheets



§ WINDOW BELOW

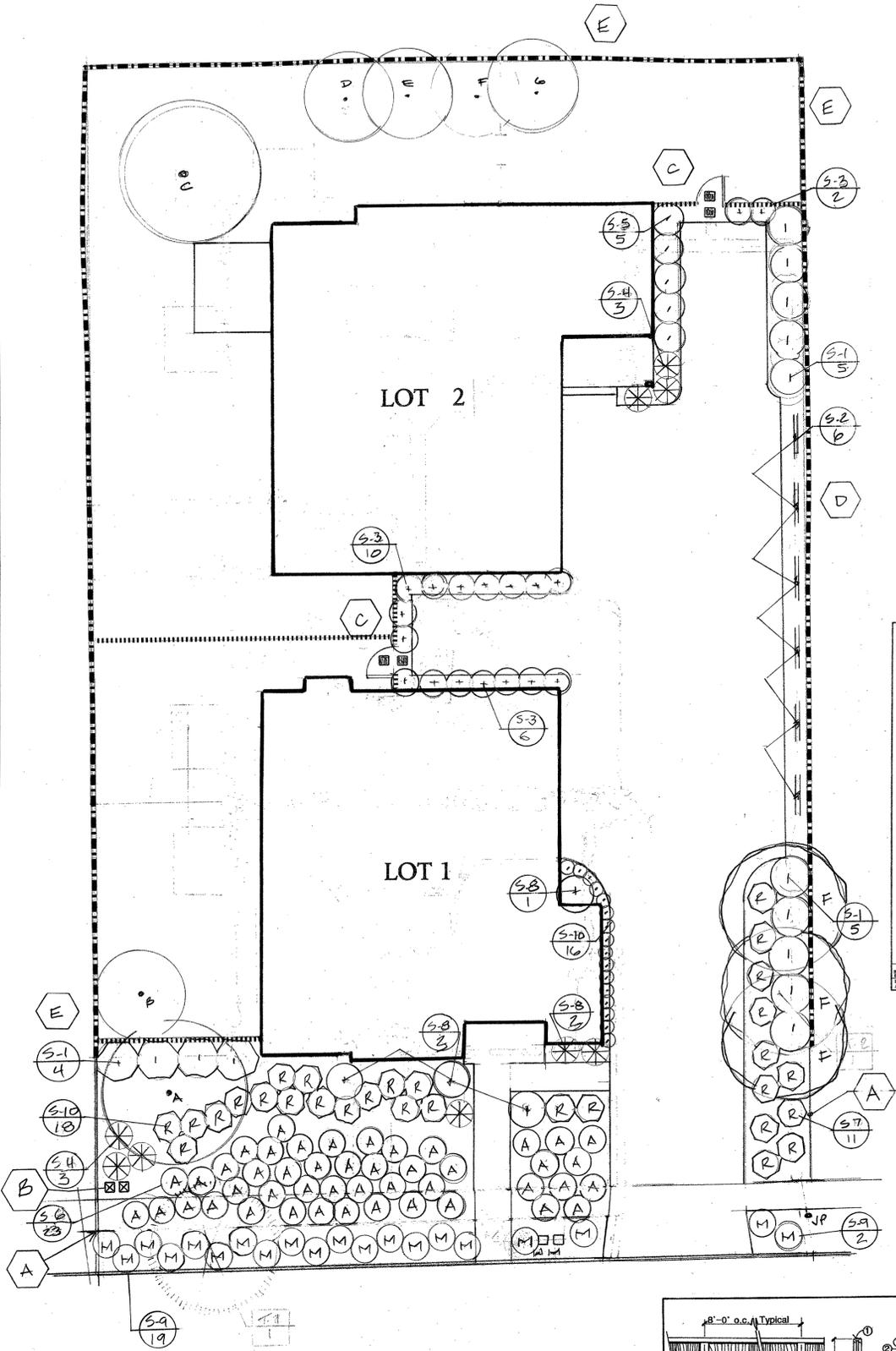
REVISIONS	BY

LOUIS DORCICH
 ARCHITECT
 P.O. BOX 7306, SAN JOSE, CA 95150-7306
 PHONE: (831) 430-9748
 EMAIL: LRDORCICH@AOL.COM

PROPOSED 2 RESIDENCE FOR:
MR. M. SANEINEJAD
 1223 WALNUT DRIVE
 CAMPBELL, CALIFORNIA

LOT 2 ROOF PLAN

Date	07/26/16
Scale	as shown
Drawn	MaB / LD
Job	15006
Sheet	A3.1
of 12 Sheets	



PLANT PALETTE:

KEY	QUANTITY	SIZE	NAME	NOTES
TREES				
NONE REQUIRED OR NEEDED				
SHRUBS				
S-1	14	5 GALLON	PRUNUS CAROLINA "COMPACTA"	CAROLIANA CHERRY
S-2	6	5 GALLON	PANDORA JASMIODES "PINK"	BOWER VINE
S-3	18	5 GALLON	NANDINA "COMPACTA"	HEAVENLY BAMBOO
S-4	6	5 GALLON	PHORUM "JACK SPRAT"	NEW ZEALAND FLAX
S-5	5	5 GALLON	RAPHIOLEPIS "CLARA"	INDIAN HAWTHORN
S-6	46	1 GALLON	ARCTOSTAPHYLOS "EMERALD CARPET"	MANZANITA
S-7	29	5 GALLON	RAPHIOLEPIS "PINKIE"	INDIAN HAWTHORN
S-8	4	5 GALLON	STRELTIZIA REGINAE	BIRD F PARADISE
S-9	18	1 GALLON	MYOPORUM "PINK"	MYOPORUM
S-10	16	1 GALLON	PELARGONIUM PELTATIUM	IVY GERANIUM

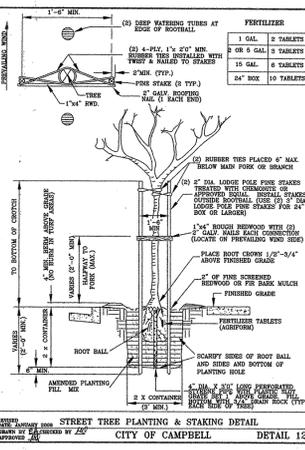
- EXISTING SITE TREES TO BE SAVED:**
- | KEY | TREE NAME | SHAPE, PRUNE AND THIN OUT | TREE PROTECTION |
|-----|---------------------|---------------------------|-------------------|
| A | APRICOT | SHAPE, PRUNE AND THIN OUT | TREE PROTECTION D |
| B | MALUS "PAIRIE FIRE" | SAVE | TREE PROTECTION D |
| C | CITRUS | SHAPE, PRUNE AND THIN OUT | TREE PROTECTION D |
| D | PLUM "PURPLE LEAF" | SHAPE, PRUNE AND THIN OUT | TREE PROTECTION D |
| E | PLUM "PURPLE LEAF" | SHAPE, PRUNE AND THIN OUT | TREE PROTECTION D |
| F | LAGERSTROEMIA | SHAPE, PRUNE AND THIN OUT | TREE PROTECTION D |

- CONSTRUCTION NOTES:**
- PLASTIC HEADERBOARD
 - MAILBOX MODULE (OWNER SUPPLIED, PER USPS SPEC)
 - CONCRETE STEPPING STONES (18" X 18")
 - WOOD LATH PANEL ATTACHED TO FENCE
 - 6'-0" HIGH "GOOD NEIGHBOR" REWOOD FENCE

CITY OF CAMPBELL WATER EFFICIENT ORDINANCE:

THIS PROJECT WAS DESIGNED TO INCLUDE THE CITY OF CAMPBELL WATER EFFICIENT LANDSCAPE GUIDELINES IN EFFECT AS OF JANUARY 1, 2016. I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM TOWARD THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

DATE: JULY 22, 2016
 SIGNATURE: JON NELSON



- NOTES:** (unless otherwise specified in the plans or special provisions)
- All trees shall be a minimum of 15-gallon size and of the variety indicated on the plans or specified by the City Engineer.
 - Each tree shall be approved by the Engineer prior to planting. Contractor may request Engineer to pre-approve tree at local nursery.
 - The exact location of each tree shall be approved by the Engineer prior to planting.
 - Vertically cut the root ball at three or four places to loosen roots and discourage circling. Vertically nearby sides and bottom of planting hole.
 - When planting, hold tree so that previous planting level is even with sidewalk level and gradually place top soil about the root ball.
 - Top soil fill shall be an approved garden mix loam that is mixed at a 1:1 ratio with the native soil removed from the planting hole.
 - When hole is three-quarters full, fill with water to compact the soil and eliminate air pockets.
 - Fill planting hole with loose soil to ground level.
 - Construct a watering basin around each tree as shown.
 - Planting operations must be followed by a deep, thorough watering of each tree.
 - Substitutions in tree varieties are permitted only upon written authorization from the City Engineer.
 - All street trees installed in commercial and industrial shall be installed with an irrigation system (fed from on-site).

University of California
 Water Use Classification of Landscape Species (WUCOLS IV)

Plant Search Database

Export List

Campbell, CA
 10 result

Type	Botanical Name	Common Name	Water Use	Export
Gc S N	Arctostaphylos "Emerald Carpet"	Emerald Carpet manzanita	Moderate	0
T A	Lagostroemia sp., hybrids and cvs.	crapo myrtle	Low	0
Gc S	Myoporum parvifolium & cvs.	myoporum	Low	0
S	Nandina domestica	heavenly bamboo	Low	0
V	Pandora pandorana	wonga wonga vine	Moderate	0
Gc P	Pelargonium peltatum	ivy geranium	Low	0
P	Phormium hybridis	flax	Low	0
T	Prunus caroliniana	Carolina laurd cherry	Low	0
S	Raphiolepis indica & cvs	Indian hawthorne	Low	0
S	Strelitzia reginae (shade in desert)	bird of paradise	Moderate	0

PLANTING NOTES:

THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.

ALL WORK TO BE PERFORMED BY PERSONS FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.

ALL LANDSCAPED AREAS SHALL RECEIVE AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL SPRINKLE 100% OF PLANTED AREA WITH A MINIMUM OF RUNOFF TO STREETS AND SIDEWALKS. IRRIGATION WILL BE ADJUSTED TO ELIMINATE OVER-SPRAY ON BUILDINGS, FENCES AND GARBS. THIS SYSTEM SHALL BE SET TO WATER LANDSCAPED AREAS DURING THE NIGHT TIME OR AS EARLY IN THE MORNING TO REDUCE WATER LOSS TO EVAPORATION.

ALL PLANTING AREAS AND TREE/SHRUB PLANTING HOLES SHALL BE FREE FROM ROCKS AND CONSTRUCTION DEBRIS LARGER THAN 2" IN DIAMETER.

ALL LANDSCAPED AREAS SHALL HAVE NITRIFIED REDWOOD SAWDUST ROTOTILLED INTO THE TOP 6" OF SOIL. THE APPLICATION RATE WILL BE 6 CUBIC YARDS OF NITRIFIED SAWDUST PER 1,000 SQUARE FEET. THIS AMOUNTS TO A 2" LAYER OF SAWDUST INCORPORATED AS SOIL AMENDMENT INTO EXISTING SOIL.

FINISH SOIL GRADE SHALL BE 1" BELOW TOP OF PAVING, CURBS OR SIDEWALKS. LANDSCAPE CONTRACTOR SHALL ENSURE POSITIVE SURFACE DRAINAGE AWAY FROM BUILDING FOUNDATION IN ALL AREAS.

THE PLANT MATERIAL LOCATIONS ARE DIAGRAMMATIC AND SUBJECT TO CHANGE IN THE FIELD AS DIRECTED BY THE LANDSCAPE DESIGNER. LAYOUT PLANTS ADDING TO THE PLAN SO THAT PLANTS ARE PROPERLY SPACED FOR FUTURE GROWTH. MINOR ADJUSTMENTS MAY BE NECESSARY DUE TO VARIATIONS IN SITE CONDITIONS (MAILBOXES, UTILITIES, LIGHT FIXTURES AND DRAINAGE STRUCTURES).

ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD OF NURSERY STOCK, PUBLISHED BY THE THE AMERICAN ASSOCIATION OF NURSERMEN.

ALL TREES AND SHRUBS SHALL HAVE AGRIFORM 21 GRAM FERTILIZER TABLETS INSTALLED IN THE BACKFILL AND ROOT ZONE OF PLANTS. TABLET APPLICATION RATE SHALL BE 24" BOX PLANT MATERIAL WILL HAVE 4 TABLETS, 15 GALLON CONTAINER SIZE SHALL GET 3 TABLETS, 5 GALLON CONTAINER SIZE 2 TABLETS AND 1 GALLON PLANTS WILL GET 1 TABLET.

THE PLANT COUNT IS FOR CONTRACTOR'S CONVENIENCE. IN CASE OF DISCREPANCY, THE PLAN SHALL GOVERN.

ALL GROUNDCOVER/ SHRUB AREAS SHALL RECEIVE A 2" DEPTH OF SMALL SIZE WOOD MULCH CONSISTING OF FIRBARK OR RECYCLED WOOD FIBER. IF RECYCLED WOOD CHIP IS USED ALL MATERIAL SHALL BE CERTIFIED FROM SUPPLIER TO CONTAINING NO CHEMICAL, PAINT, LEAD OR OTHER HAZARDOUS MATERIAL PRIOR TO SHIPPING TO SITE.

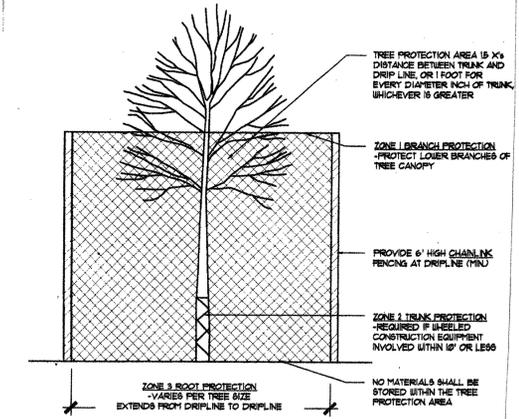
ALL TREES TO BE STAKED AS NOTED. STREET TREE INSTALLATION (WITHIN COUNTY OF ALAMEDA STREET RIGHT OF WAY) SHALL BE PER COUNTY OF ALAMEDA PUBLIC WORKS DETAIL STANDARD. ALL TREES SHALL HAVE VESPEID 24" ROOT BARRIERS INSTALLED.

CONTRACTOR SHALL APPLY ONE APPLICATION OF "RONSTAR" PRE-EMERGENT WEED CONTROL TO ALL PLANTED GROUNDCOVER AREAS. THE PRE-EMERGENT WEED CONTROL SHALL BE APPLIED USING THE MANUFACTURERS RECOMMENDED RATE OF APPLICATION.

CONTRACTOR SHALL PROVIDE A 30 DAY LANDSCAPE MAINTENANCE PERIOD BEGINNING FROM THE DATE OF FINAL PLANT INSTALLATION, APPLICATION OF WEED CONTROL AND FINAL PROJECT CLEANUP.

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANTING FOR A PERIOD OF 6 MONTHS FROM FINAL INSTALLATION AND LANDSCAPE MAINTENANCE PERIOD.

FOR ADDITIONAL INFORMATION SEE PLANTING, IRRIGATION, HARDSCAPE, GRADING-IMPROVEMENT AND CONSTRUCTION DETAIL PLANS.



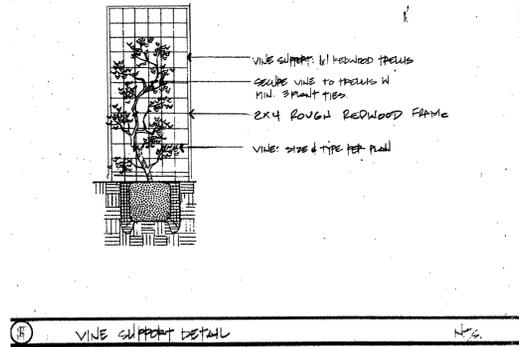
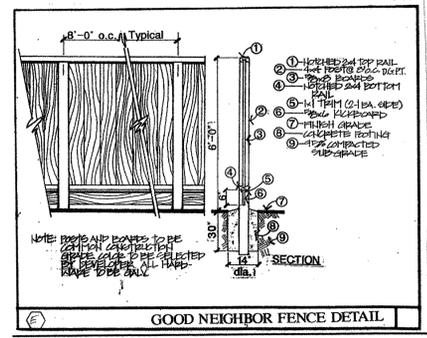
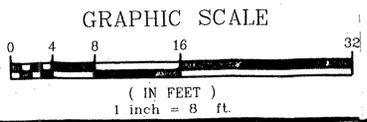
TREE PROTECTION

SCALE: NTS

BAY FRIENDLY STATEMENT:

THIS PROJECT HAS BEEN DESIGNED TO USE THE BEST LANDSCAPE PRACTICES THAT MINIMIZE IRRIGATION AND RUN-OFF; PROMOTES SURFACE INFILTRATION WHERE POSSIBLE AND MINIMIZES THE USE OF PESTICIDES AND FERTILIZERS, AND INCORPORATES APPROPRIATE SUSTAINABLE LANDSCAPING PRACTICES AND PROGRAMS SUCH AS BUT NOT LIMITED TO BAY FRIENDLY LANDSCAPING.

SIGNED: [Signature] DATED: 7/22/2016



811
 Know what's below.
 Call before you dig.



LANDSCAPE PLAN

DESIGN PREPARED UNDER SECTION 7027.5
 J.R. NELSON

REVISIONS

NO.	REVISIONS	BY
1	REVISED 7/19/2016	LD
2	ADD ADDITIONAL EXISTING TREES	7/20/2016
3	REVISE FRONT WALKWAY DRIVE SIDEWALK	7/22/2016

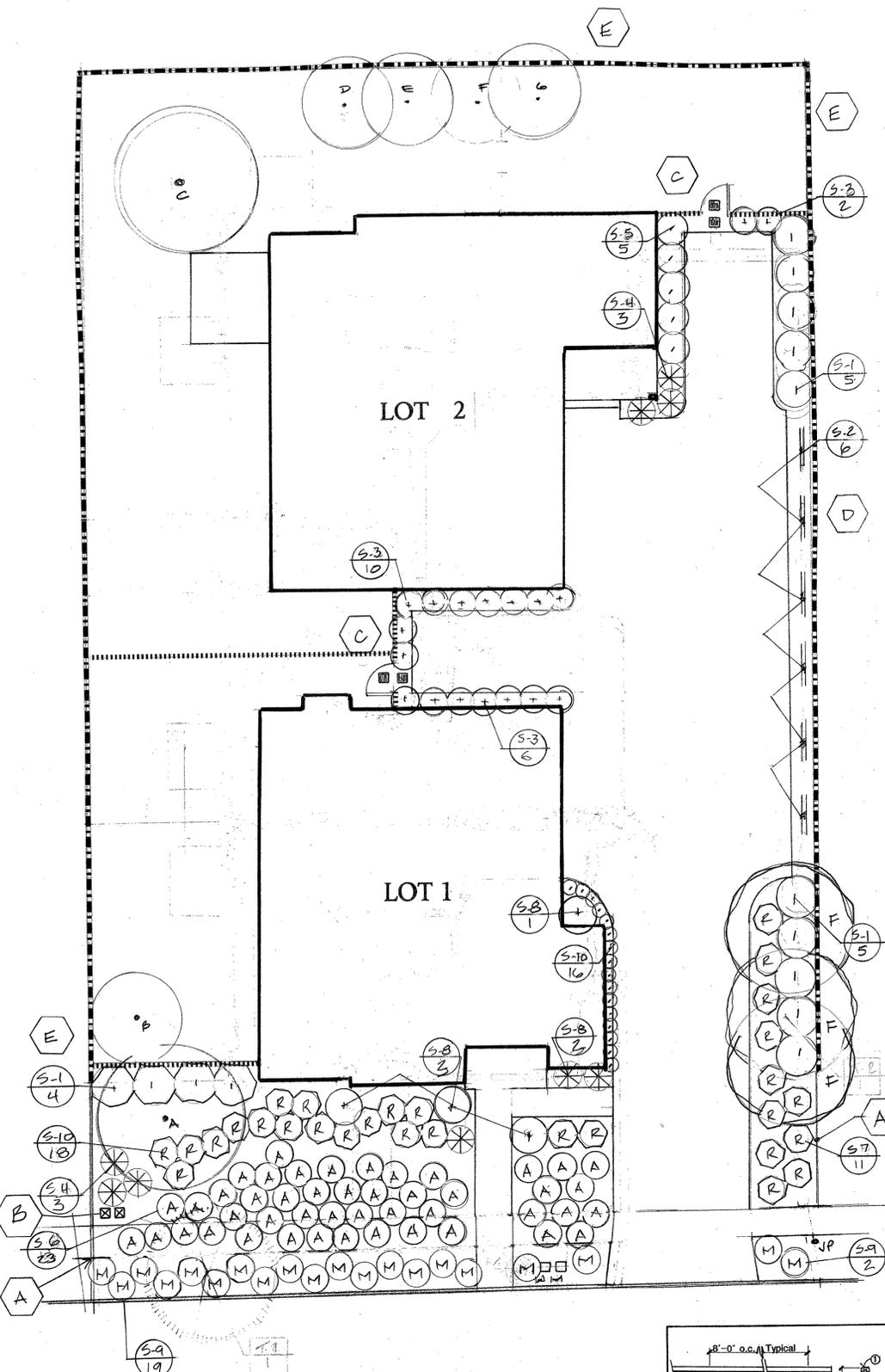
LANDSCAPE PLANNERS:
J.R. NELSON AND ASSOCIATES, INC.
 23585 SUMMIT ROAD
 LOS GATOS, CALIFORNIA 95033
 PHONE (408) 591.0873 EMAIL: CNDEY@AOL.COM



NEW RESIDENTIAL FOR:
MR. MATT SANENEJAD
 1223 WALNUT DRIVE
 CAMPBELL, CALIFORNIA

DRAWN: JRN
 CHECKED: [Signature]
 DATE: 12.24.2015
 SCALE: 1" = 8'-0"
 JOB NO: CAMPBELL
 SHEET: [Blank]

OF SHEETS: [Blank]



PLANT PALETTE:

KEY	QUANTITY	SIZE	NAME	NOTES
TREES				
NONE REQUIRED OR NEEDED				
SHRUBS				
S-1	14	5 GALLON	PRUNUS CAROLINA "COMPACTA"	CAROLIANA CHERRY
S-2	6	5 GALLON	PANDORA JASMIODES "PINK"	BOWER VINE
S-3	18	5 GALLON	NANDINA "COMPACTA"	HEAVENLY BAMBOO
S-4	6	5 GALLON	PHORIUM "JACK SPRAT"	NEW ZEALAND FLAX
S-5	5	5 GALLON	RAPHIOLEPIS "CLARA"	INDIAN HAWTHORN
S-6	46	1 GALLON	ARCTOSTAPHYLOS "EMERALD CARPET"	MANZANITA
S-7	29	5 GALLON	RAPHIOLEPIS "PINKIE"	INDIAN HAWTHORN
S-8	4	5 GALLON	STRELITZIA REGINAE	BIRD F PARADISE
S-9	18	1 GALLON	MYOPORUM "PINK"	MYOPORUM
S-10	16	1 GALLON	PELARGONIUM PELTATIUM	IVY GERANIUM

EXISTING SITE TREES TO BE SAVED:

LETTER	TREE NAME	SHAPE, PRUNE AND THIN OUT	TREE PROTECTION
A	APRICOT	SHAPE, PRUNE AND THIN OUT	TREE PROTECTION D
B	MALUS "PAIRIE FIRE"	SAVE	TREE PROTECTION D
C	CITRUS	SHAPE, PRUNE AND THIN OUT	TREE PROTECTION D
D	PLUM "PURPLE LEAF"	SHAPE, PRUNE AND THIN OUT	TREE PROTECTION D
E	PLUM "PURPLE LEAF"	SHAPE, PRUNE AND THIN OUT	TREE PROTECTION D
F	LAGERSTROEMIA	SHAPE, PRUNE AND THIN OUT	TREE PROTECTION D

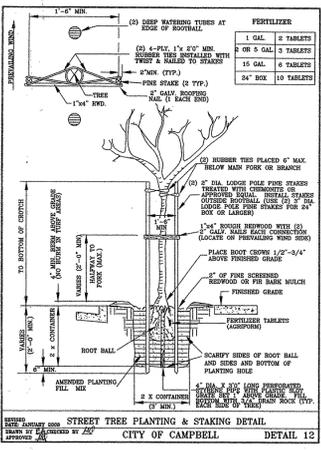
CONSTRUCTION NOTES:

- A PLASTIC HEADERBOARD
- MAILBOX MODULE (OWNER SUPPLIED, PER USPS SPEC)
- CONCRETE STEPPING STONES (18" X 18")
- WOOD LATH PANEL ATTACHED TO FENCE
- 6'-0" HIGH "GOOD NEIGHBOR" REWOOD FENCE

CITY OF CAMPBELL WATER EFFICIENT ORDINANCE:

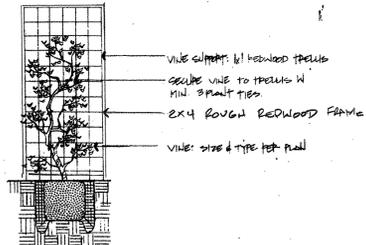
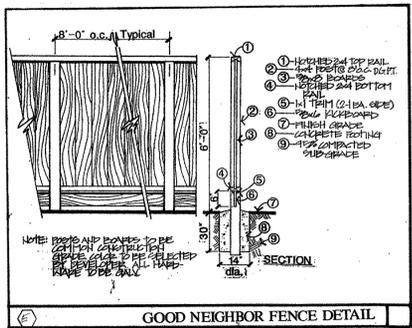
THIS PROJECT WAS DESIGNED TO INCLUDE THE CITY OF CAMPBELL WATER EFFICIENT LANDSCAPE GUIDELINES IN EFFECT AS OF JANUARY 1, 2016. I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM TOWARD THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

JON NELSON
JULY 22, 2016



STREET TREE PLANTING NOTES

- All trees shall be a minimum of 10-gallon size and of the variety specified on the plans or specified by the City Engineer.
- Each tree shall be approved by the Engineer prior to planting. Contractor may request Engineer to pre-approve trees at local nursery.
- The exact location of each tree shall be approved by the Engineer prior to planting.
- Vertically cut the root ball at three or four places to loosen roots and discourage circling. Vertically steady sides and bottom of planting hole.
- When planting, hold tree so that previous planting level is even with adjacent level and gradually place top soil about the root ball.
- Top soil fill shall be an approved garden mix loam that is mixed at a 1:1 ratio with the native soil removed from the planting hole.
- When hole is three-quarters full, fill with water to compact the soil and eliminate air pockets.
- Fill planting hole with loose soil to ground level.
- Construct a watering basin around each tree as shown.
- Flanking operations must be followed by a deep, thorough watering of each tree.
- Substitutions in tree varieties are permitted only upon written authorization from the City Engineer.
- All street trees installed in commercial and industrial shall be installed with an irrigation system (fed from on-site).



Plant Search Database

Export List

Campbell, CA
10 result

Type	Botanical Name	Common Name	Water Use	Export
Gc SN	Arctostaphylos 'Emerald Carpet'	Emerald Carpet manzanita	Moderate	2
TA	Lagostroemia spp. hybrids and cvs.	crapo myrtle	Low	2
Gc S	Myoporum parvifolium & cvs.	myoporum	Low	2
S	Nandina domestica	heavenly bamboo	Low	2
V	Pandorea pandorana	wonga wonga vine	Moderate	2
Gc P	Polegorium peltatum	ivy geranium	Low	2
P	Phloxium hybrids	flx	Low	2
T	Prunus caroliniana	Carolina laurel cherry	Low	2
S	Raphiolepis indica & cvs	Indian Hawthorne	Low	2
S	Strelitzia reginae (shade in desert)	bird of paradise	Moderate	2

PLANTING NOTES:

THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.

ALL WORK TO BE PERFORMED BY PERSONS FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.

ALL LANDSCAPED AREAS SHALL RECEIVE AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL SPRINKLE 100% OF PLANTED AREA WITH A MINIMUM OF RUNOFF TO STREETS AND SIDEWALKS. IRRIGATION WILL BE ADJUSTED TO ELIMINATE OVER-SPRAY ON BUILDINGS, FENCES AND CURBS. THIS SYSTEM SHALL BE SET TO WATER LANDSCAPED AREAS DURING THE NIGHT TIME OR AS EARLY IN THE MORNING TO REDUCE WATER LOST TO EVAPORATION.

ALL PLANTING AREAS AND TREE/SHRUB PLANTING HOLES SHALL BE FREE FROM ROCKS AND CONSTRUCTION DEBRIS LARGER THAN 2" IN DIAMETER.

ALL LANDSCAPED AREAS SHALL HAVE NITRIFIED REDWOOD SAWDUST ROTOTILLED INTO THE TOP 6" OF SOIL. THE APPLICATION RATE WILL BE 6 CUBIC YARDS OF NITRIFIED SAWDUST PER 1,000 SQUARE FEET. THIS AMOUNTS TO A 2" LAYER OF SAWDUST INCORPORATED AS SOIL AMENDMENT INTO EXISTING SOIL.

FINISH SOIL GRADE SHALL BE 1" BELOW TOP OF PAVING, CURBS OR SIDEWALKS. LANDSCAPE CONTRACTOR SHALL ENSURE POSITIVE SURFACE DRAINAGE AWAY FROM BUILDING FOUNDATION IN ALL AREAS.

THE PLANT MATERIAL LOCATIONS ARE DIAGRAMMATIC AND SUBJECT TO CHANGE IN THE FIELD AS DIRECTED BY THE LANDSCAPE DESIGNER. LAYOUT PLANTS ACCORDING TO THE PLAN SO THAT PLANTS ARE PROPERLY SPACED FOR FUTURE GROWTH. MINOR ADJUSTMENTS MAY BE NECESSARY DUE TO VARIATIONS IN SITE CONDITIONS (MAILBOXES, UTILITIES, LIGHT FIXTURES AND DRAINAGE STRUCTURES).

ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD OF NURSERY STOCK, PUBLISHED BY THE THE AMERICAN ASSOCIATION OF NURSERYMEN.

ALL TREES AND SHRUBS SHALL HAVE AGRIFORM 21 GRAM FERTILIZER TABLETS INSTALLED IN THE BACKFILL AND ROOT ZONE OF PLANTS. TABLET APPLICATION RATE SHALL BE 24" BOX PLANT MATERIAL WILL HAVE 4 TABLETS; 15 GALLON CONTAINER SIZE SHALL BE 3 TABLETS; 5 GALLON CONTAINER SIZE 2 TABLETS AND 1 GALLON PLANTS WILL BE 1 TABLET.

THE PLANT COUNTY IS FOR CONTRACTOR'S CONVENIENCE. IN CASE OF DISCREPANCY, THE PLAN SHALL GOVERN.

ALL GROUNDCOVER/SHRUB AREAS SHALL RECEIVE A 2" DEPTH OF SMALL SIZE WOOD MULCH CONSISTING OF FIRBARK OR RECYCLED WOOD FIBER. IF RECYCLED WOOD CHIP IS USED ALL MATERIAL SHALL BE CERTIFIED FROM SUPPLIER TO CONTAINING NO CHEMICAL PAINT, LEAD OR OTHER HAZARDOUS MATERIAL PRIOR TO SHIPPING TO SITE.

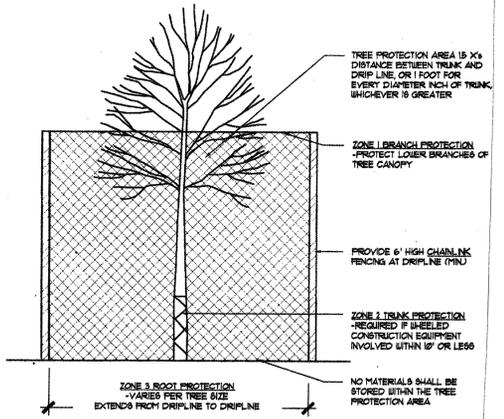
ALL TREES TO BE STAKED AS NOTED. STREET TREE INSTALLATION (WITHIN COUNTY OF ALAMEDA STREET RIGHT OF WAY) SHALL BE PER COUNTY OF ALAMEDA PUBLIC WORKS DETAIL STANDARD. ALL TREES SHALL HAVE VESPRD 24" ROOT BARRIERS INSTALLED.

CONTRACTOR SHALL APPLY ONE APPLICATION OF "ROBSTAR" PRE-EMERGENT WEED CONTROL TO ALL PLANTED GROUNDCOVER AREAS. THE PRE-EMERGENT WEED CONTROL SHALL BE APPLIED USING THE MANUFACTURER'S RECOMMENDED RATE OF APPLICATION.

CONTRACTOR SHALL PROVIDE A 30 DAY LANDSCAPE MAINTENANCE PERIOD BEGINNING FROM THE DATE OF FINAL PLANT INSTALLATION, APPLICATION OF WEED CONTROL AND FINAL PROJECT CLEANUP.

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANTING FOR A PERIOD OF 6 MONTHS FROM FINAL INSTALLATION AND LANDSCAPE MAINTENANCE PERIOD.

FOR ADDITIONAL INFORMATION SEE PLANTING, IRRIGATION, HARDSCAPE, GRADING-IMPROVEMENT AND CONSTRUCTION DETAIL PLANS.

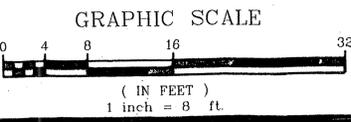


TREE PROTECTION
SCALE: NTS

BAY FRIENDLY STATEMENT:

THIS PROJECT HAS BEEN DESIGNED TO USE THE BEST LANDSCAPE PRACTICES THAT MINIMIZE IRRIGATION AND RUN-OFF; PROMOTES SURFACE INFILTRATION WHERE POSSIBLE AND MINIMIZES THE USE OF PESTICIDES AND FERTILIZERS, AND INCORPORATES APPROPRIATE SUSTAINABLE LANDSCAPING PRACTICES AND PROGRAMS SUCH AS BUT NOT LIMITED TO BAY FRIENDLY LANDSCAPING.

SIGNED: [Signature] DATED: 7/22/2016



PROJECT NORTH

DESIGN PREPARED UNDER SECTION 7027.5
JR NELSON

LANDSCAPE PLAN

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	REVISED 7/19/2016	7/19/2016	JR NELSON
2	ADD ADDITIONAL EXISTING TREES	7/20/2016	JR NELSON
3	REMOVE FRONT WALKWAY & REVEE SIDEWALK	7/22/2016	JR NELSON

LANDSCAPE PLANNERS:
J.R. NELSON AND ASSOCIATES, INC.
23585 SUMMIT ROAD
LOS GATOS, CALIFORNIA 95033
PHONE (408) 591.0873 EMAIL: CNDEY@AOL.COM



NEW RESIDENTIAL FOR:
MR. MATT SANENEJAD
1223 WALNUT DRIVE
CAMPBELL, CALIFORNIA

DRAWN
JR
CHECKED

DATE
12.24.2015

SCALE
1" = 8'-0"

JOB NO.
CAMPBELL

SHEET

L

OF SHEETS

HACIENDA AVENUE

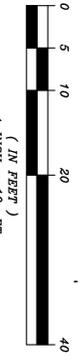
EARTHWORK SUMMARY	
EXCAVATION:	180 CY
EMBANKMENT:	0 CY
EXCESS:	180 CY

NOTE:
1. EXCESS MATERIAL TO BE EXPORTED TO LEGAL DUMP SITE.

APN 406-20-006
LANDS OF LEE & CHANG

APN 406-20-009
LANDS OF JONI FURLONG

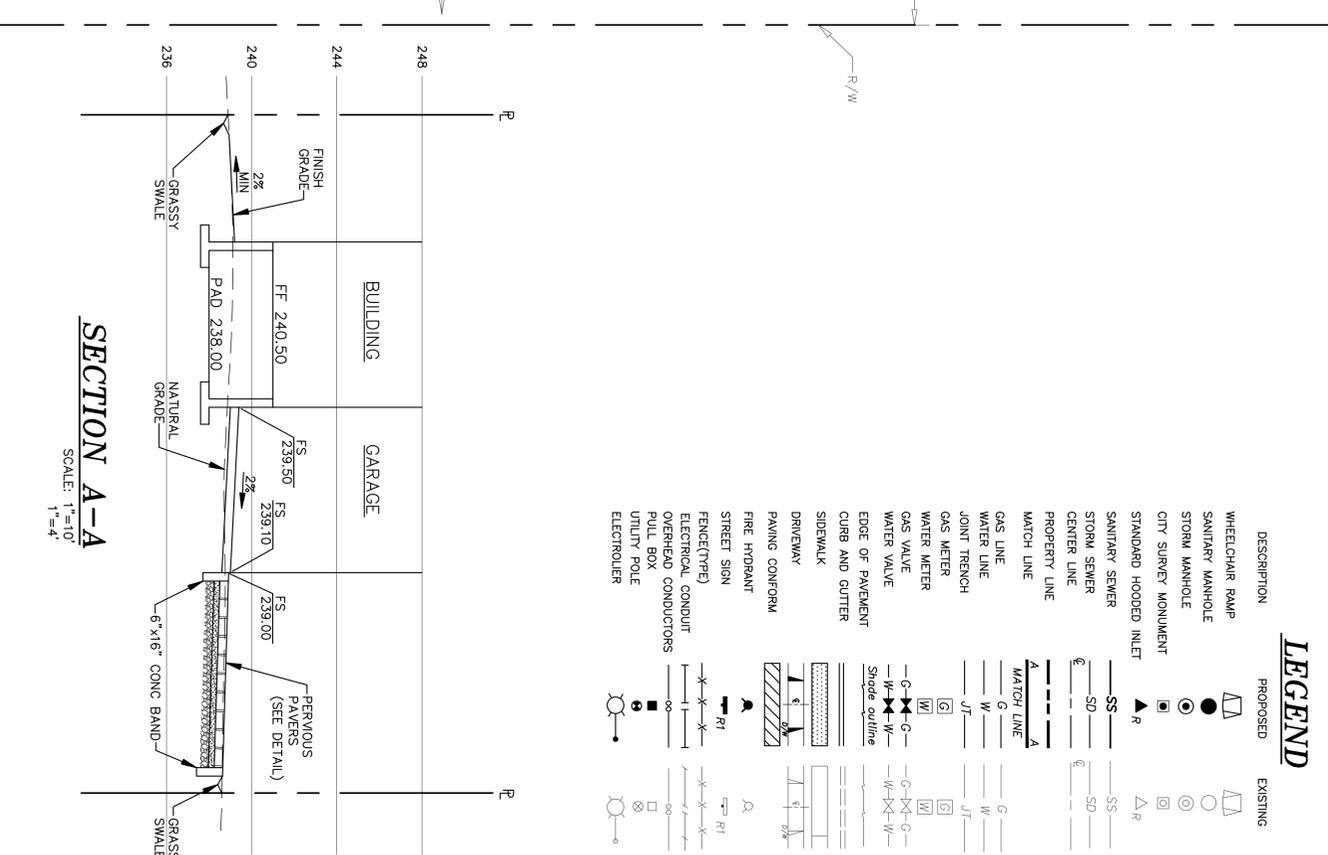
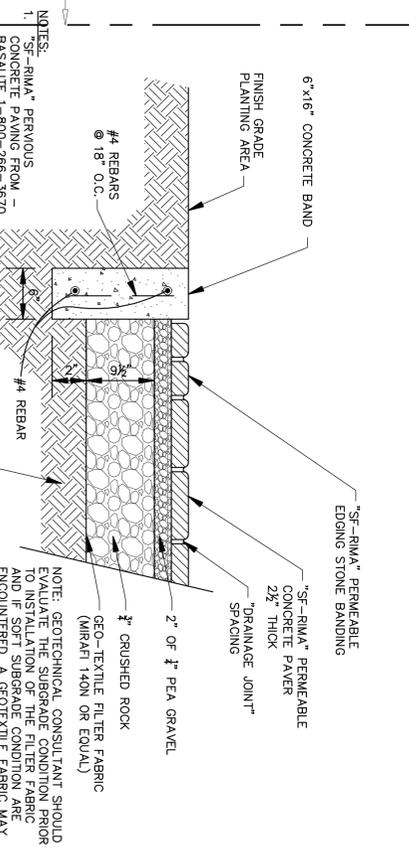
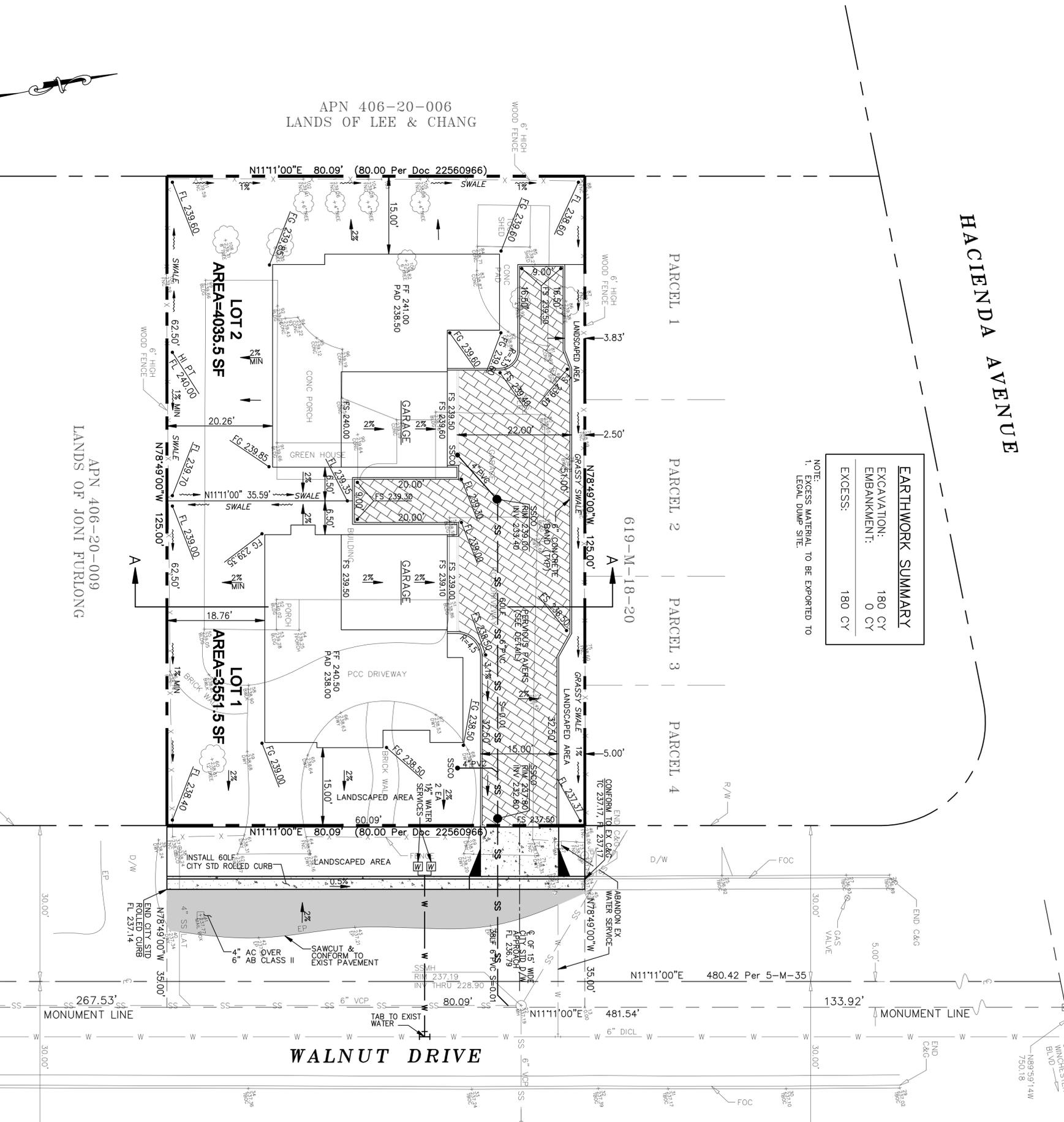
WALNUT DRIVE



WENDELL DRIVE

PERVIOUS CONCRETE PAVER DETAIL

Sheet No. **1**
2 of 2
JOB NO. **KALNUT**



NOTES:
1. "SF-RIMA" PERVIOUS CONCRETE PAVING FROM RASANTE-800-286-3570 SPECIFICATIONS.
2. COLOR - TAN/CHARCOAL.

1. "SF-RIMA" PERVIOUS CONCRETE PAVING FROM RASANTE-800-286-3570 SPECIFICATIONS.
2. COLOR - TAN/CHARCOAL.

1. "SF-RIMA" PERVIOUS CONCRETE PAVING FROM RASANTE-800-286-3570 SPECIFICATIONS.
2. COLOR - TAN/CHARCOAL.

1. "SF-RIMA" PERVIOUS CONCRETE PAVING FROM RASANTE-800-286-3570 SPECIFICATIONS.
2. COLOR - TAN/CHARCOAL.

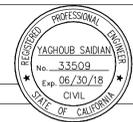
1. "SF-RIMA" PERVIOUS CONCRETE PAVING FROM RASANTE-800-286-3570 SPECIFICATIONS.
2. COLOR - TAN/CHARCOAL.

1. "SF-RIMA" PERVIOUS CONCRETE PAVING FROM RASANTE-800-286-3570 SPECIFICATIONS.
2. COLOR - TAN/CHARCOAL.

GRADING AND DRAINAGE PLAN
FOR WALNUT PLACE
CAMPBELL, CALIFORNIA

Revision	Date	App'd	Description

ADVANCED DEVELOPMENT
2933 BENJAMIN COURT
SAN JOSE, CALIFORNIA 95124
(408) 376-0570
JACOB SAIDIAN - CIVIL ENGINEER

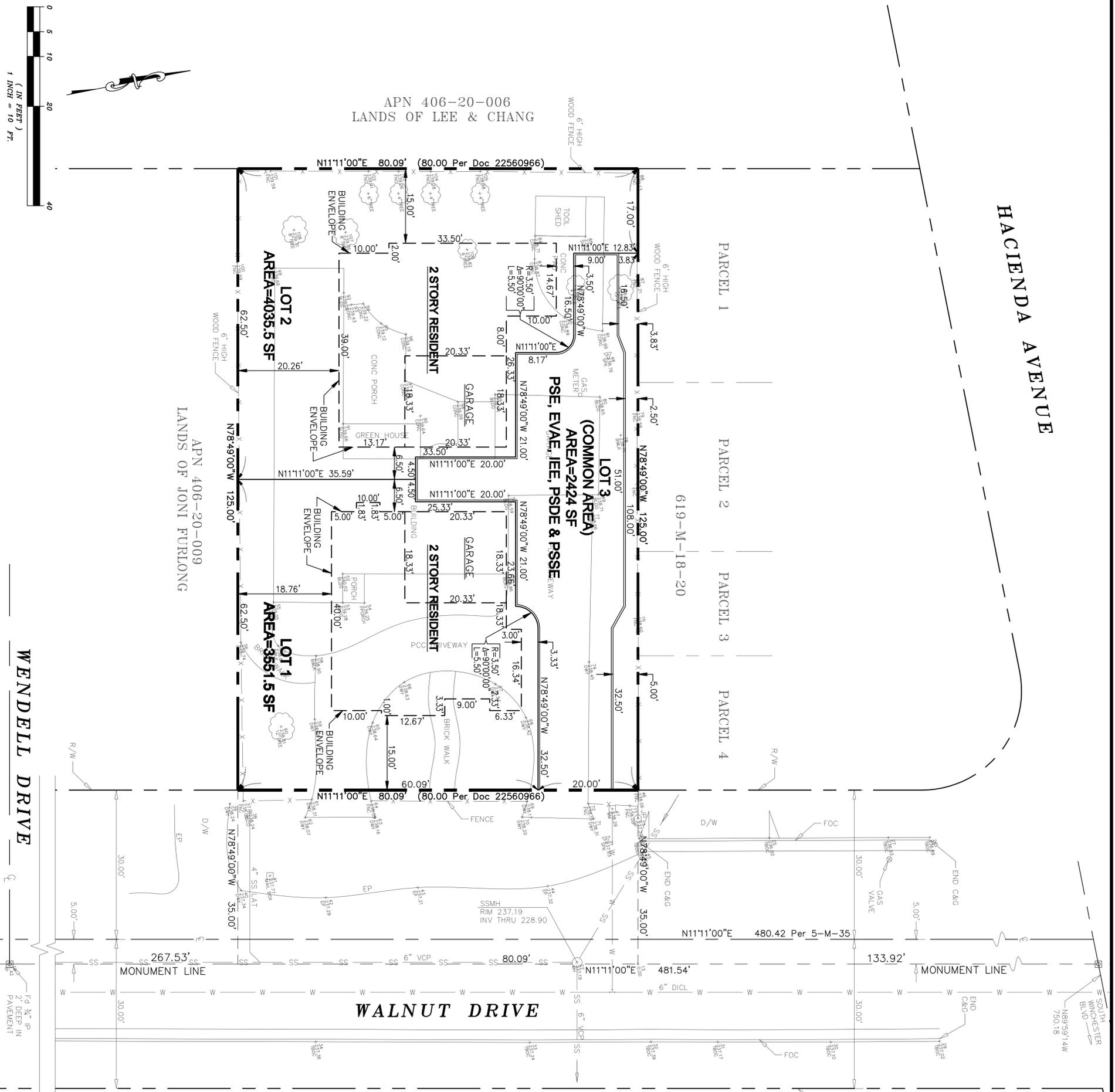


APPROVED BY:
YAGHOUB SAIDIAN
R.C.E. NO. 33509
EXPIRES 06/30/18

Checked: JS
Drawn: AC
Designed: JS
Surveyed: JS
Scale: 1"=10'
Date: 07-27-18

HACIENDA AVENUE

APN 406-20-006
LANDS OF LEE & CHANG



DEVELOPMENT SUMMARY

LOT 1	3551.5 SF (NET)	
LOT 2	4035.5 SF (NET)	
LOT 3	2424.0 SF (NET)	
TOTAL LAND	10011 SF (NET)	
	12814 SF (GROSS)	
BUILDING FLOOR AREA		
LOT 1 (UNIT A)	RESIDENCE	2108.0 SF
	GARAGE	372.6 SF
LOT 2 (UNIT B)	RESIDENCE	2114.5 SF
	GARAGE	372.6 SF
TOTAL BUILDING AREA		4967.5 SF
FLOOR AREA RATIO		49.6%
BUILDING COVERAGE		30%
PAVING COVERAGE		27.9%
LANDSCAPE COVERAGE		47.1%

BASIS OF BEARINGS

THE MONUMENT LINE OF WALNUT DRIVE TAKEN AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, ON JANUARY 27, 1941 IN BOOK 5 OF MAPS AT PAGE 35. AREA NET = 10,011 SF (0.230 AC±)

LEGAL DESCRIPTION

BEING A PORTION OF LOT 1 AS SHOWN UPON THE MAP OF THE CITY OF CAMPBELL, CALIFORNIA, AND HACIENDA AVENUE NORTHWEST CORNER AT CENTER OF CURB RETURN (CR).

BASIS OF ELEVATION

CITY OF CAMPBELL BM# 1 - 2" BRASS DISK IN CONCRETE AT INTERSECTION OF BOWLEARD AND HACIENDA AVENUE NORTHWEST CORNER AT CENTER OF CURB RETURN (CR).
ELEVATION: 231.127

ABBREVIATIONS

AB	AGGREGATE BASE	M.H.	MANHOLE
AC	ASPHALT CONCRETE	MINI	MINIPIE
B.C.	BEGINNING OF CURVE(HORIZONTAL)	M.W.C.	MIDDLE OF VERTICAL CURVE
B.D.	BUILDING	N.M.	NON-MONITORING WELL
B.W.	BUILDING WALK	N.T.S.	NOT TO SCALE
B.V.C.	BEGINNING OF VERTICAL CURVE	P.C.	POINT OF CURB RETURN
C.B.	CATCH BASIN	P.C.R.	PORTLAND CEMENT CONCRETE
C.F.	CHAIN LINK FENCE	P.F.	PRECAST CONCRETE
C.O.	CHAIN LINK	P.L.	POLYMER LUSH BUTTON
C.P.	CHAIN LINK POST	P.V.C.	POLYVINYL CHLORIDE
D.I.	DRIVEWAY	P.V.	POINT OF VERTICAL INTERSECTION
D.N.	DRAINAGE INLET	R.C.P.	RADIUS RIGHT-OF-WAY
D.W.	DRIVEWAY	R.O.W.	RIGHT-OF-WAY
E.C.	EXISTING	S	SLOPE
E.V.C.	END OF VERTICAL CURVE	S.D.	STORM DRAIN
F.F.	FINISHED FLOOR ELEVATION	S.D.M.N	STORM DRAIN MANHOLE
F.F.C.	FINISHED FLOOR CURB	S.S.	SHED
F.L.C.	FACE OF CURB	S.S.H.	SHED SHEET
F.L.	FACE OF CURB	S.S.M.H.	SANITARY SEWER MANHOLE
F.P.C.	FACE OF CURB	S.W.	SIDEWALK
F.G.	FACE OF CURB	T	TYPICAL
F.G.V.	FACE OF CURB	T.P.	TYPICAL
G.B.	GRADE BREAK	T.P.C.	TYPICAL
G.V.	GATE VALVE	U.O.N.	UNLESS OTHERWISE NOTED
H.P.	HIGH POINT	V.C.	VERTICAL CURVE
I.D.	INSIDE DIAMETER	V.C.P.	VERTICAL CURVE (EXTRA STRENGTH)
J.P.	JOINT POLE	W.M.	WATER METER
L.F.	LOW POINT	W.M.	WATER METER
L.P.	LOW POINT	W.M.	WATER METER
M.A.	MAXIMUM		

TENTATIVE PARCEL MAP FOR WALNUT PLACE CAMPBELL, CALIFORNIA

Revision	Date	App'd	Description

Checked: JS
Drawn: AC
Designed: JS
Surveyed: JS
Scale: 1"=10'
Date: 07-26-18

APPROVED BY:
YAGHOUB SAIDIAN
No. 33509
Exp. 06/30/18
CIVIL ENGINEER
STATE OF CALIFORNIA

ADVANCED DEVELOPMENT
2933 BENJAMIN COURT
SAN JOSE, CALIFORNIA 95124
(408) 376-0570
JACOB SAIDIAN - CIVIL ENGINEER

WENDELL DRIVE

