



CITY OF CAMPBELL
Community Development Department

August 11, 2016

NOTICE OF ADMINISTRATIVE SITE & ARCHITECTURAL REVIEW PERMIT

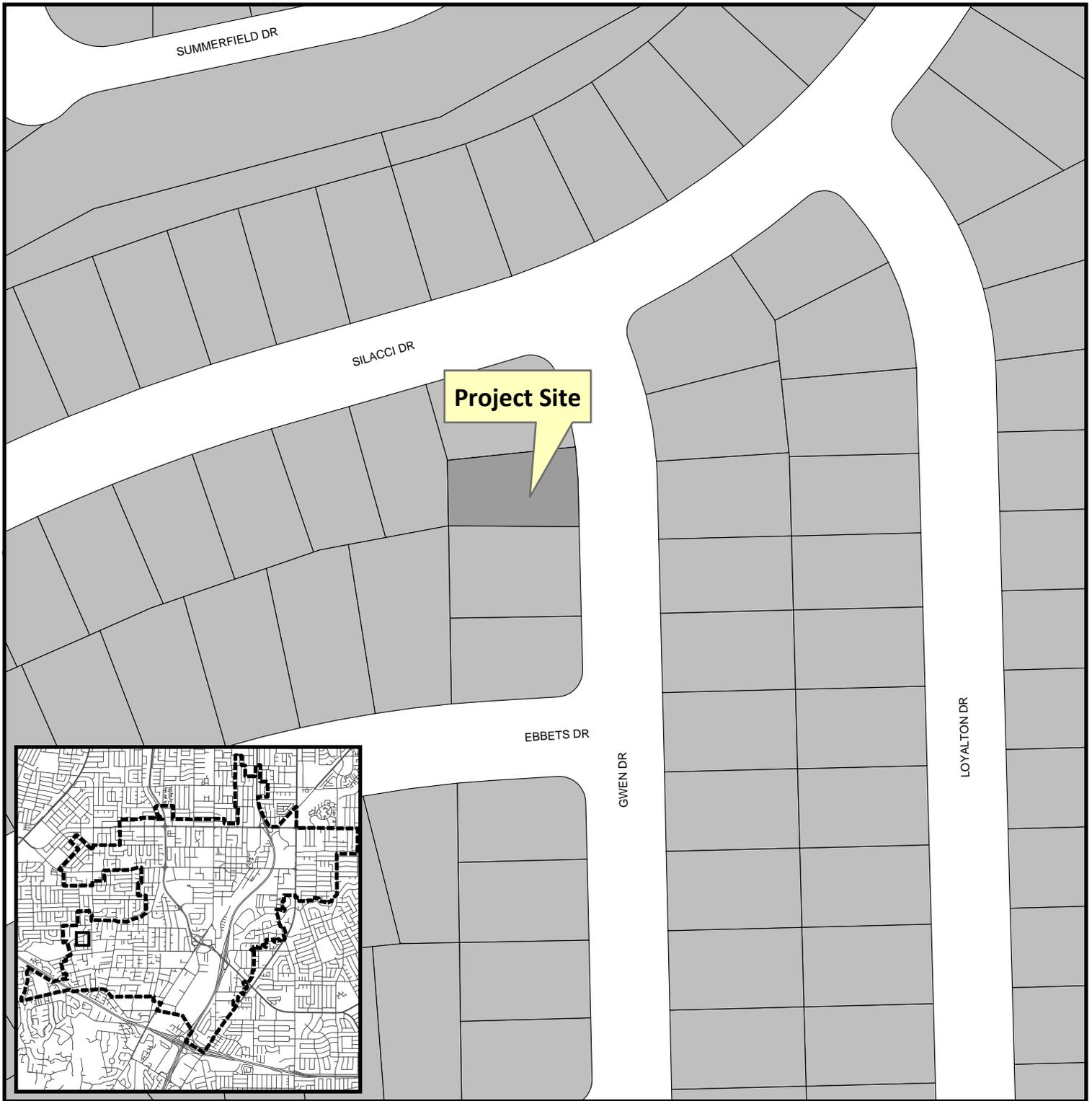
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site & Architectural Review Permit for the following project proposal:

File No.: PLN2016-211
Applicant: Diego Valencia
Project Address: 797 Gwen Drive
Property Owner: Tekle Tafari
Zoning District: R-1-6 (Single-Family Residential)
General Plan: Low Density Residential < 6 Units/Gr. Acre
Project Description: 498 SF addition to existing single-story single-family home.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on August 12, 2016 and ends on August 22, 2016. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **August 22, 2016**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Cindy McCormick, Senior Planner, in the Community Development Department, at (408) 871-5103 or by email cindym@cityofcampbell.com.

Project Location Map

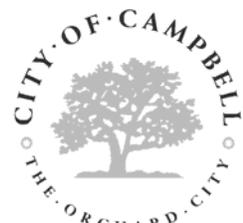
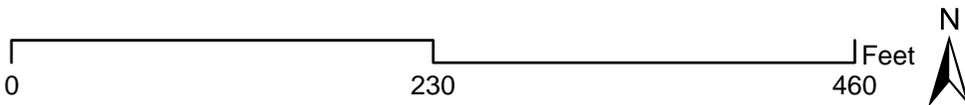


Project Location: 797 Gwen Drive

Application Type: Admin. Site and Arch. Review Permit

Planning File No.: PLN2016-211

Description: Addition to a single-family residence



Community Development Department
Planning Division

GENERAL NOTES:

1. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, ARE ALL PART OF THE CONSTRUCTION DOCUMENTS, GENERAL CONTRACTOR AND ITS SUBCONTRACTORS ARE TO REVIEW AND FOLLOW CONDITIONS LISTED BELOW THAT ARE APPLICABLE TO THIS SPECIFIC PROJECT.
2. IN CASE OF ANY DISCREPANCIES CONSULT THE DESIGNER BEFORE PROCEEDING.
3. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING CODES, ORDINANCES AND REGULATIONS. G.C. SHALL BECOME FAMILIAR WITH ALL CITY OF CAMPBELL, CA. ASPECTS OF WORKING .
4. GENERAL CONTRACTOR SHALL COORDINATE ALL FACES OF THIS WORK AND ALL TRADES INVOLVED TO AVOID CONFLICT IN THE LOCATION, INSTALLATION AND CONSTRUCTION OF ALL ITEMS OF WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS. IF ANY WORK IS TO BE INSTALLED BY THE OWNER/CLIENT DIRECTLY, ALLOWANCES FOR THE OWNER'S WORK MUST BE MADE, COORDINATE WITH DESIGNER/OWNER/G.C.
5. GENERAL CONTRACTOR SHALL LEAVE THE JOB SITE "BROOM CLEAN" AT THE END OF EACH WORKING DAY. ALL MATERIALS SHALL BE STORE IN A NEAT AND SAFE PLACE TO AVOID ACCIDENTS FOR CONSTRUCTION WORKERS AND FOR THE OWNER.
6. GENERAL CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO EXCAVATION, TRENCHING OR GRADING OF ANY KIND. GENERAL CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES WHEN RE-ROUTING ELECTRICAL, TELEPHONE, CABLE TV, GAS, WATER, SANITARY SEWER SERVICES, OR ANY OTHER UTILITY. GENERAL CONTRACTOR SHALL MAINTAIN ALL ELECTRICAL AND COMMUNICATION SYSTEMS IN-HOUSE AT ALL TIMES.
7. NO DIMENSIONS SHALL BE TAKEN BY SCALING FROM THE DRAWINGS, DETAILS TAKE PRECEDENCE OVER GENERAL SECTIONS OR FLOOR PLANS, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. IF DIMENSIONS MUST BE CLARIFIED, CONSULT THE DESIGNER, REFER TO THE COVER SHEET FOR DIMENSIONING STANDARDS.
8. VERIFY ALL DIMENSIONS ON THE JOB SITE PRIOR TO ORDERING OR MANUFACTURING.
9. GENERAL CONTRACTOR SHALL REVIEW ALL ARCHITECTURAL AND STRUCTURAL DRAWINGS BEFORE FRAMING. COORDINATE RECESSED LIGHT FIXTURES LOCATION, SHAFTS AND HVAC DUCTWORK PRIOR TO FRAMING, IT IS IMPERATIVE THAT FRAMING MEMBER LOCATIONS DO NOT CONFLICT WITH THE LOCATIONS OF RECESSED LIGHT FIXTURES. IF CONFLICT EXIST NOTIFY THE DESIGNER.
10. GENERAL CONTRACTOR SHALL INSTALL ALL APPLIANCES SPECIFIED AND ALL NEW EQUIPMENT ACCORDING TO MANUFACTURE'S INSTRUCTION. ALL GUARANTEES, INSTRUCTION BOOKLETS, AND INFORMATION REGARDING NEW EQUIPMENT SHALL BE HANDED DIRECTLY TO THE OWNER/CLIENT IN A MANILA ENVELOPE AT THE TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL VERIFY THAT EVERY PIECE OF EQUIPMENT AND EVERY APPLIANCE IS IN PERFECT WORKING ORDER AND THAT INFORMATION ABOUT ALL WARRANTIES AND GUARANTEES ARE MADE KNOWN TO THE OWNER/CLIENT.

GENERAL ELECTRIC NOTES:

1. ELECTRICAL CONVENIENCE OUTLETS SHALL BE LOCATED AT 2'-0" MAXIMUM APART, AND NO MORE THAN 6'-0" FROM THE EDGE OF ANY WALL SURFACE, PER THE N.E.C.
2. GENERAL HIGH EFFICACY LIGHTING IS DEFINED TO BE MINIMUM 40 LUMENS/WATT. OR GREATER.
3. HIGH EFFICACY LIGHTING MUST BE OPERATED ON SEPARATE SWITCH FROM ANY OTHER INCANDESCENT OR OTHER LOW EFFICACY LIGHTING
4. ALL PERMANENTLY INSTALLED HARD WIRED LIGHTING MUST BE HIGH EFFICACY LUMINARIES WITH EXCEPTIONS AS NOTED BELOW:
 - A. 1 KITCHEN - UP TO 50% OF TOTAL RATED WATTAGE OF PERMANENTLY INSTALLED LUMINARIES MAY BE IN LUMINARIES THAT ARE NOT HIGH EFFICACY PROVIDED THAT THESE LUMINARIES ARE SWITCHED SEPARATELY FROM HIGH EFFICACY LUMINARIES
 - B. EXTERIOR LIGHTING NOT ATTACHED TO THE BUILDING ARE EXEMPT FROM ABOVE REQUIREMENT
5. PROVIDE (1) 20 AMP CIRCUIT FOR BATHROOM OUTLETS AND (1) 30 AMP /220V OUTLET @ LAUNDRY ROOM/ IF DRYER IS ELECTRIC.
6. ALL 125 VOLT, 15AMP AND 20 AMP OUTLETS SHALL BE LISTED TEMPERE-RESINTANT RECEPTACLES / PER CEC 406.11

(N) BATHROOM TO INCLUDE:

1. All electrical receptacles shall be GFCI protected.
2. Permanently installed light fixtures in bathrooms shall be High-efficacy (fluorescent/ LED) luminaries. Low-efficacy luminaries are allowed if they are controlled by a manual-on occupancy sensor. Occupancy sensor must be manual on/ off and automatic off. The maximum time delay to turn off is 30 minutes after the last detected motion. Sensors cannot have an override allowing the light fixture to be continuously on. (When new lighting is installed)
3. Toilet fixture clearance shall be a minimum of 24" in front of toilet and 15" from centerline of toilet. If existing conditions can not comply, contact the Building Inspection Division.
4. Shower compartment must have a finished interior area of not less than 1,024 square inches which shall facilitate the minimum diameter of a 30" circle.
5. Shower compartments and areas above bathtubs shall be finished with non-absorbent surface, a minimum of 6 feet (72 inches) above the floor.
6. Pressure balanced or thermostatic mixing valves are required for shower and tub-shower combination plumbing installations. Additionally, for bathtubs and whirlpool bathtubs, the maximum hot water temperature discharging from the filler spout shall be limited to 120 °F., the water heater thermostat shall not be considered a control for meeting this provision.
7. Safety glazing is required on windows within tub or shower area when the bottom exposed edge of the glazing is less than 60" inches above a standing surface and drain inlet.
8. Ventilation is required either through natural means (operable window) or by mechanical ventilation exhausted to the outside of the building, i.e.: exhaust fan.

CAL GREEN SECTION 4.303.1 INDOOR WATER USE / WATER CONSERVING PLUMBING FIXTURES AND FITTINGS

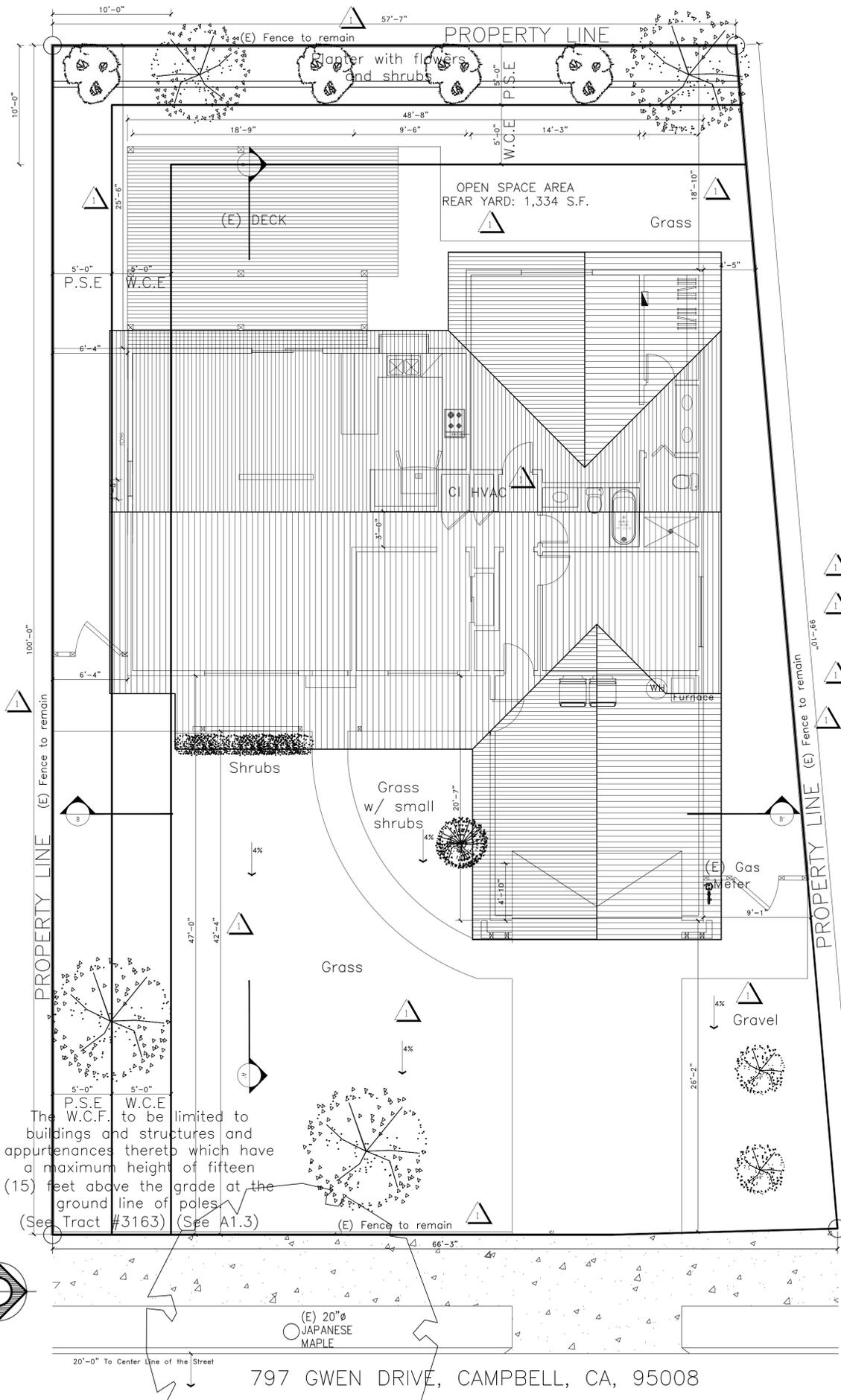
(For all building alterations or improvements to a single family residential property, existing plumbing fixtures and fittings in the entire house that do not meet current flow rates will need to be upgraded)

PLUMBING FIXTURES AND FITTINGS (FAUCETS AND SHOWER HEADS) SHALL COMPLY WITH THE FOLLOWING:

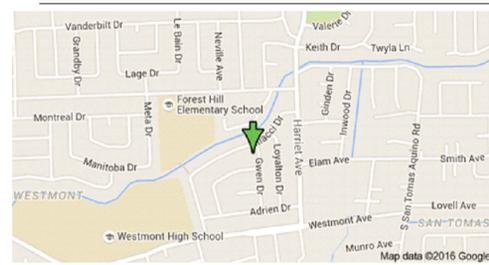
4.303.1.1. Water closets. Shall not exceed 1.28 GPF (Gallons Per Flush). Tank- type water closets shall be certified to performance criteria of the U.S. EPA water sense specification.

4.303.2.3. Showerheads.

1. Shall have a max flow rate of 2.0 GPM at 80 psi. Showerheads shall be certified to the performance criteria of US EPA Water Sense Specifications.
2. Multiple Showerheads Serving one Shower, the combined flow rate for all showerheads and/ or other shower outlets controlled by a single valve shall not exceed 2.0 GPM at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. NOTE: A hand-held shower be considered a showerhead.



SITE LOCATION MAP



SITE DATA AND ZONING

PROJECT LOCATION	: 797 GWEN DR.
JURISDICTION	: CITY OF CAMPBELL
A.P.N.	: 403-43-002
LOT SIZE	: 6,184 S.F.
PARCEL #	:
ZONING	: R-1-G
LOT COVERAGE	: % 29,36
PERMITTED COVERAGE	: 40% (2,473 S.F.)

SQUARE FOOTAGE

DESCRIPTION	EXISTING	ADD PROPOSED	TOTALS
LOT As Assessor's Parcel Map			6,184 S.F.
One Story House	1,457 S.F.	498 S.F.	1,955 S.F.
Garage	359 S.F.		359 S.F.
TOTALS	1,816 S.F.	498 S.F.	2,314 S.F.

DESCRIPTION	EXISTING	PROPOSED	TOTALS
Covered Porch	143 S.F.	21 S.F.	
Paving Front Area	548 S.F.	664 S.F.	
	24%	38%	
Permeable surfaces (grass & gravel) Front Area	1,786 S.F.	1,095 S.F.	
	76%	62%	

LOT COVERAGE	: 29,36% (1,816 S.F.)
LOT COVERAGE W/PORCH	: 31,67% (1,959 S.F.)
PROPOSED COVERAGE	: 37,4% (2,314 S.F.)
PERMITTED COVERAGE	: 40% (2,473 S.F.)

CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA RESIDENTIAL CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA FIRE CODE
- 2013 CALIFORNIA ENERGY CODE
- 2013 CAL GREEN BUILDING CODE
- CUPERTINO CITY CODE

SHEET INDEX

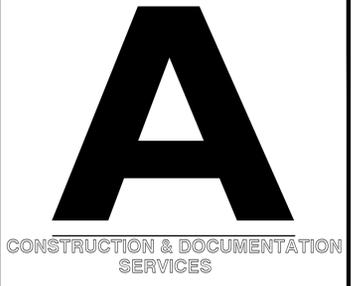
A.0.0	SITE PLAN, SITE DATA & GENERAL NOTES
A.1.0	(E) FLOOR PLAN & (N) FLOOR PLAN
A.1.1	(E) ROOF PLAN & (N) ROOF PLAN
A.1.2	CONSTRUCTION FLOOR PLAN
A.1.3	(E) & (N) ELEVATIONS
A.1.4	(E) & (N) ELEVATIONS
A.1.5	(E) & (N) SECTIONS
A.2.0	(N) ELECTRICAL FLOOR PLAN

CONSTRUCTION DATA

BUILDING TYPE	: VB
NUMBER OF STORIES	: 1
ZONING	: R-1-G (Single Family)
FIRE SPRINKLER	: NONE
BUILT	: 1962

SCOPE OF WORK

- ADDITION OF 498 S.F. FOR:
- * (N) BEDROOM 4
 - * (N) BATHROOM
 - * (N) OFFICE
 - * (N) ENTRANCE & FOYER
- REMODELING OF 320 S.F. FOR:
- * (N) BEDROOM 3
 - * (N) LIVING ROOM



ADDITION & REMODELING FOR:
TAFARI'S RESIDENCE
797 GWEN DRIVE
CAMPBELL, CA 95008

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT.

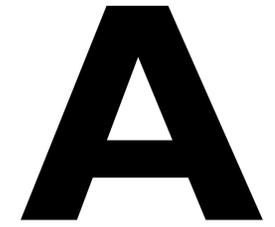
REVISION	DATE
1 Site & Arch. Review	July 18, 2016

DIEGO VALENCIA / DESIGNER
408.594.8452

DATE: JUNE 08, 2016

SITE PLAN, SITE DATA & GENERAL NOTES

A.0.0



CONSTRUCTION DOCUMENTATION SERVICES

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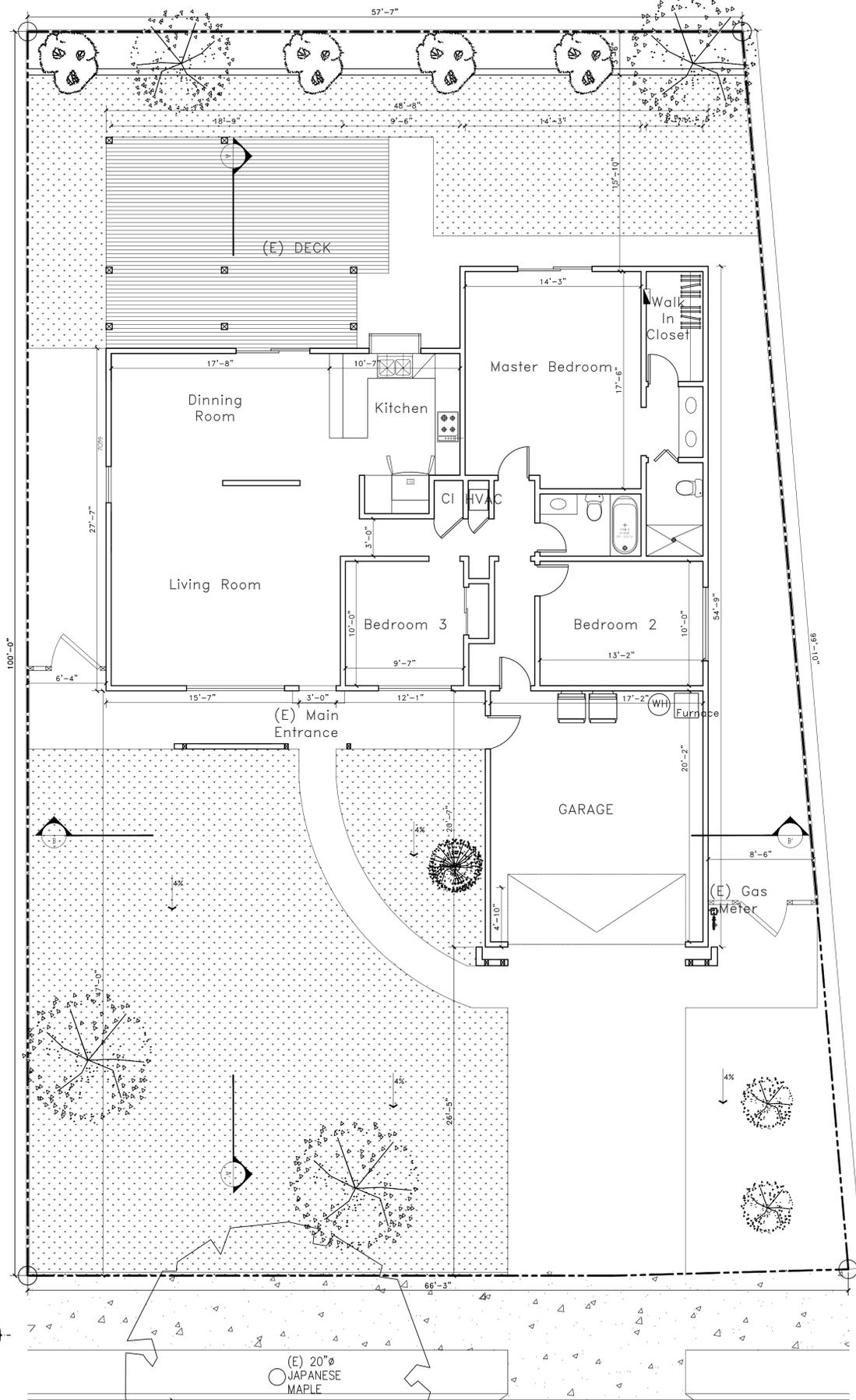
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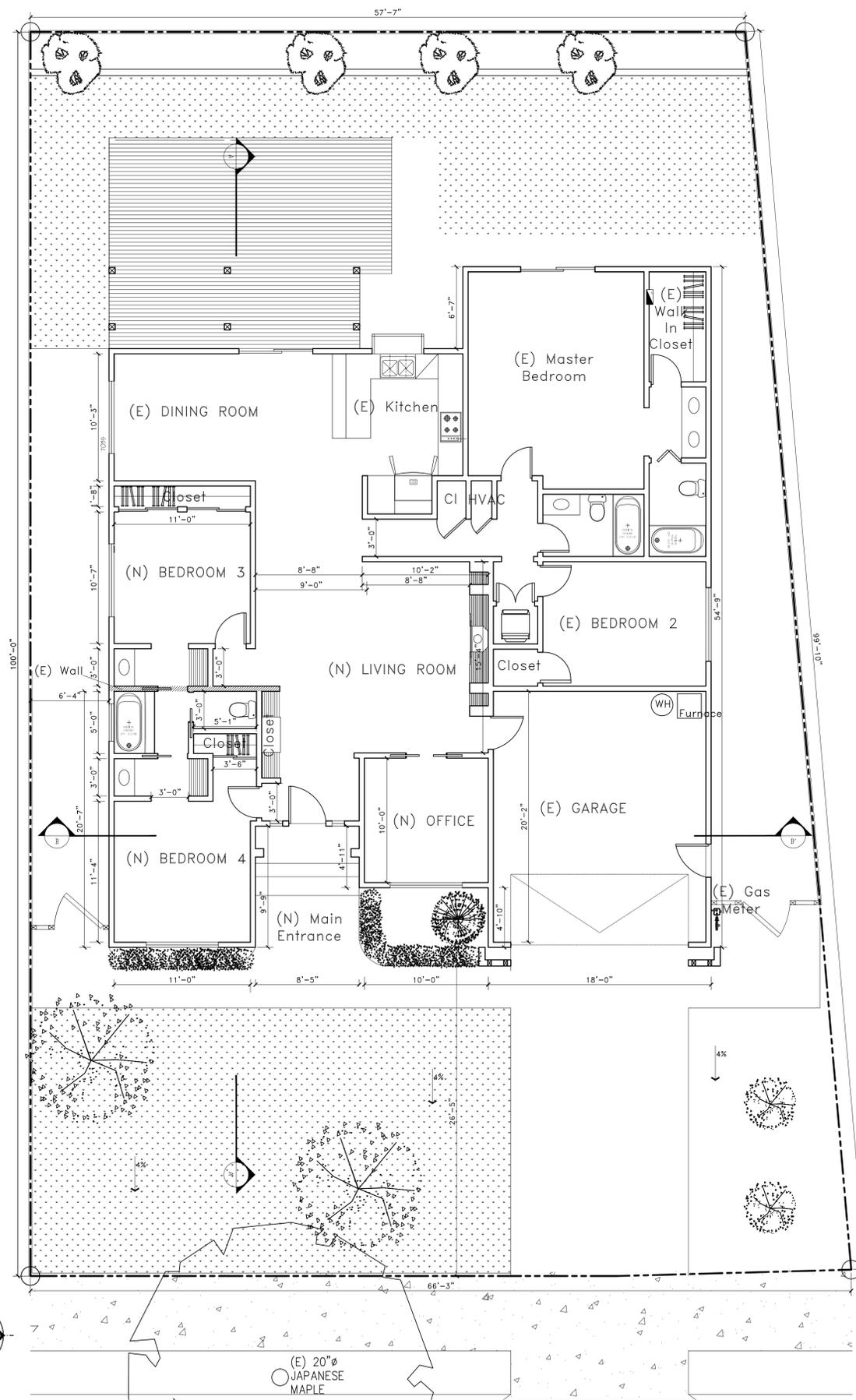
DATE: JUNE 08, 2016

(E) FLOOR PLAN &
(N) FLOOR PLAN

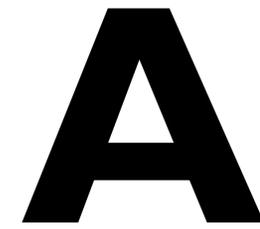
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TITLE : (E) FLOOR PLAN



TITLE : (N) FLOOR PLAN



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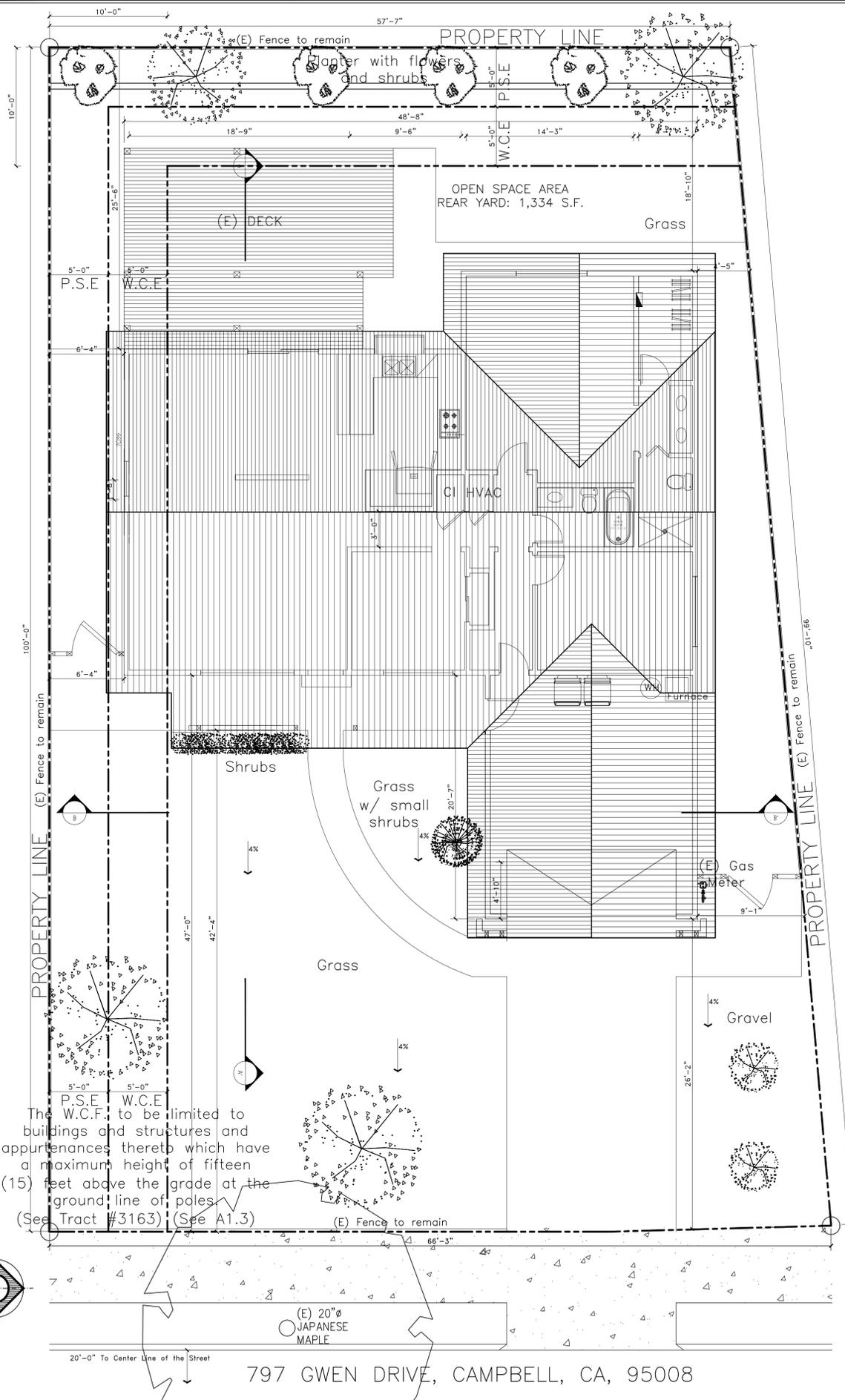
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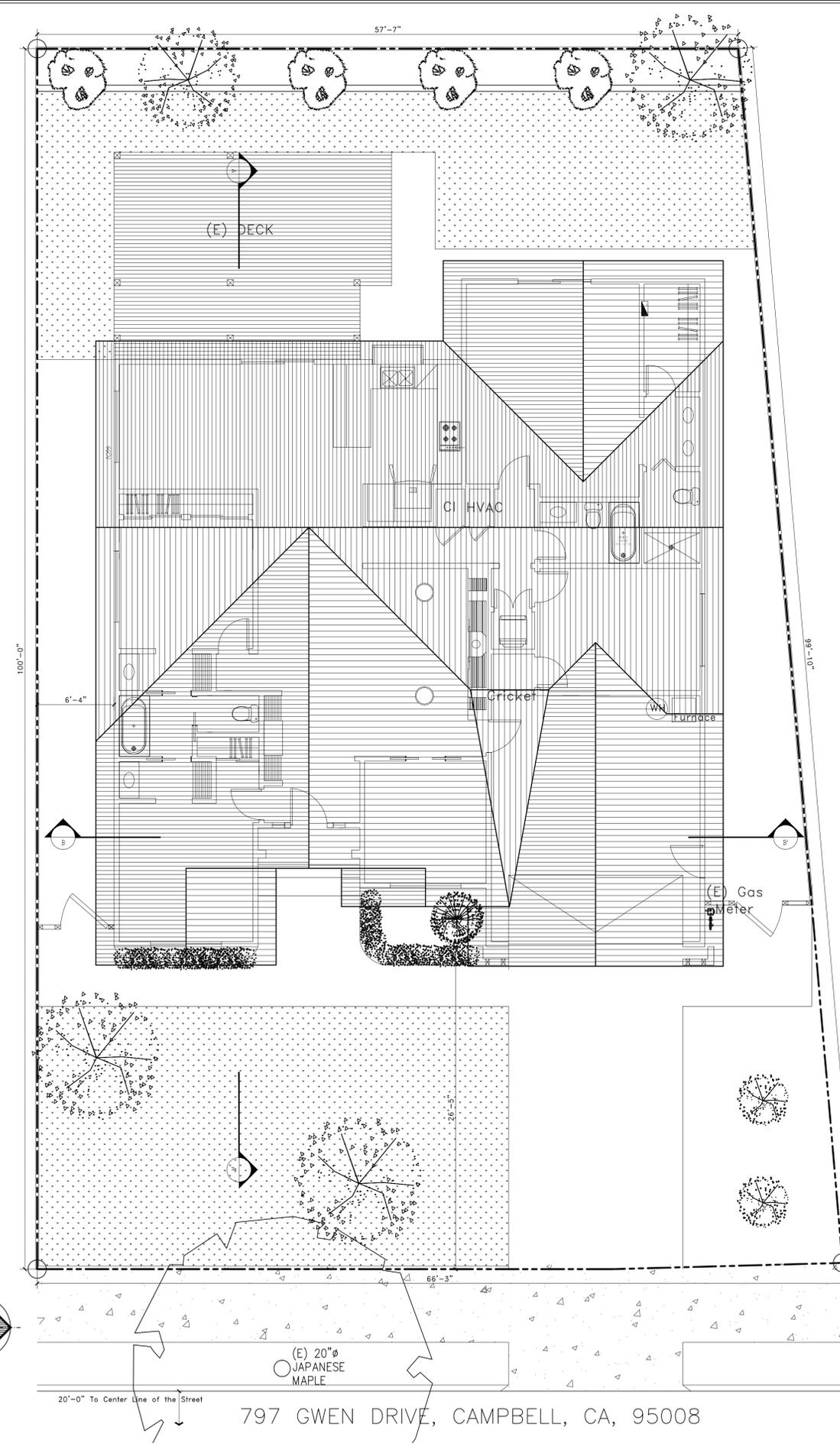
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(E) ROOF FLOOR PLAN
& (N) ROOF FLOOR PLAN

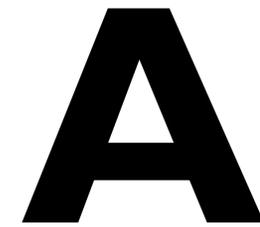
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TITLE : (E) ROOF PLAN



TITLE : (N) ROOF PLAN



CONSTRUCTION DOCUMENTATION SERVICES

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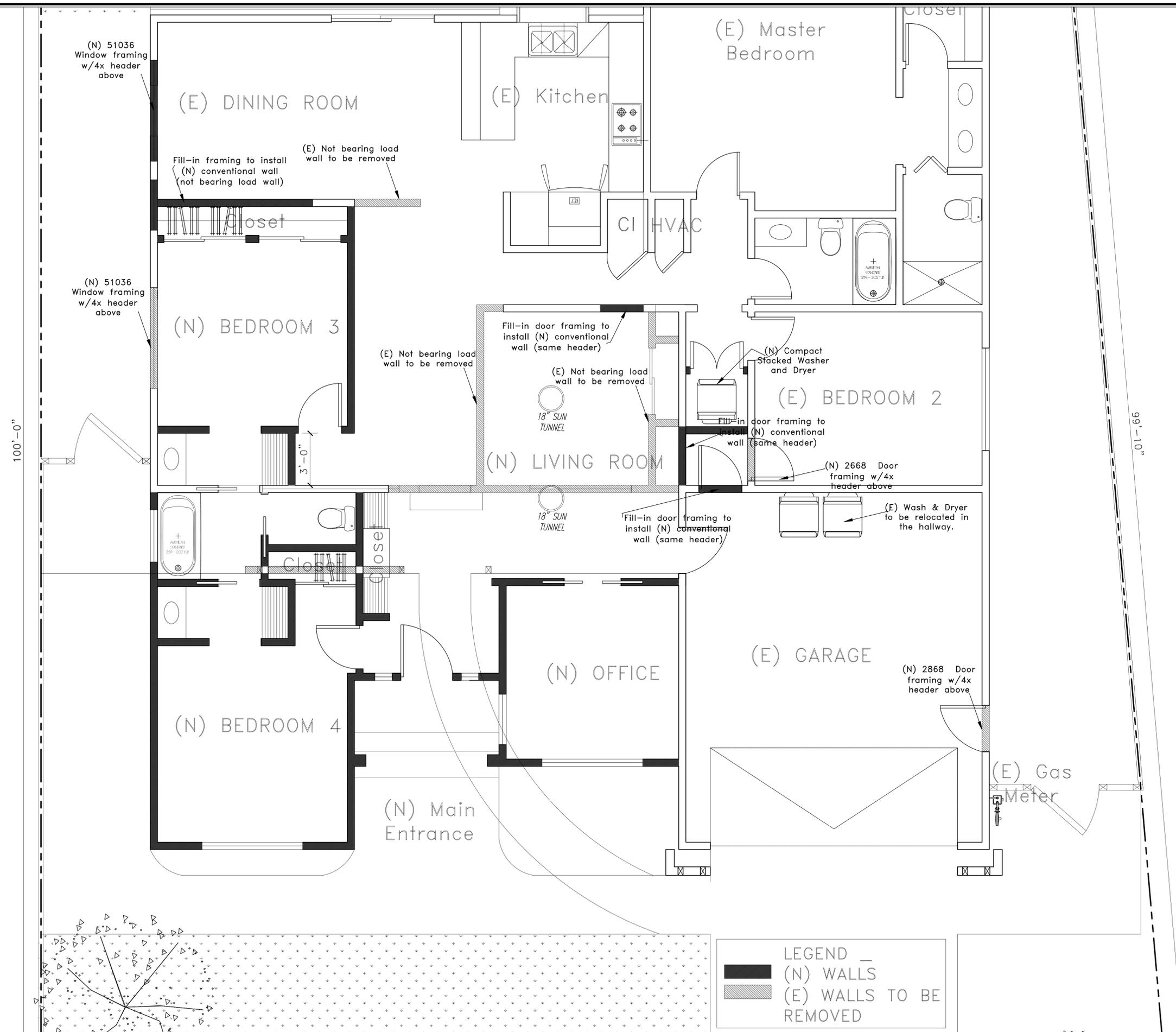
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CONSTRUCTION FLOOR PLAN

A.1.2



LEGEND

- (N) WALLS
- (E) WALLS TO BE REMOVED

TITLE : CONSTRUCTION FLOOR PLAN

3/8" 1

A

CONSTRUCTION DOCUMENTATION SERVICES

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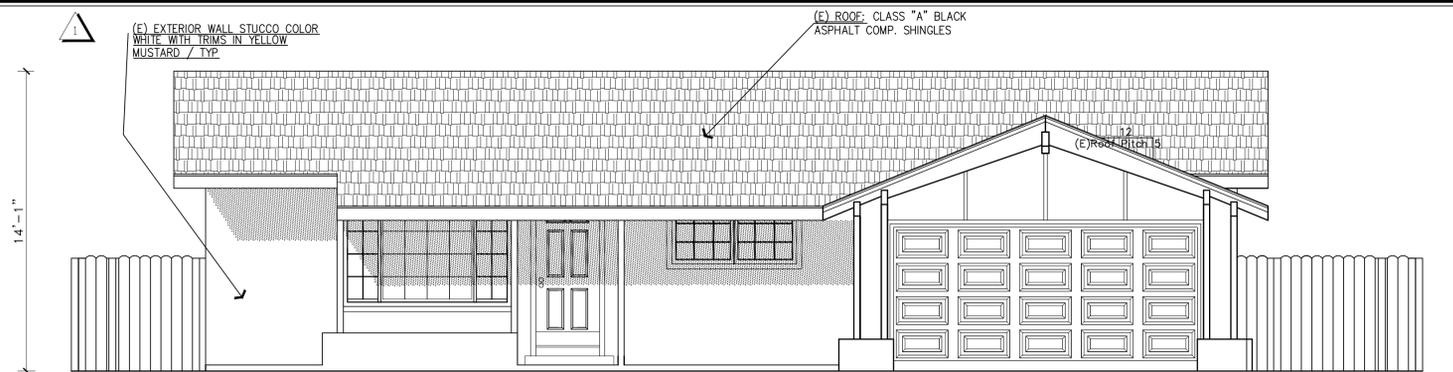
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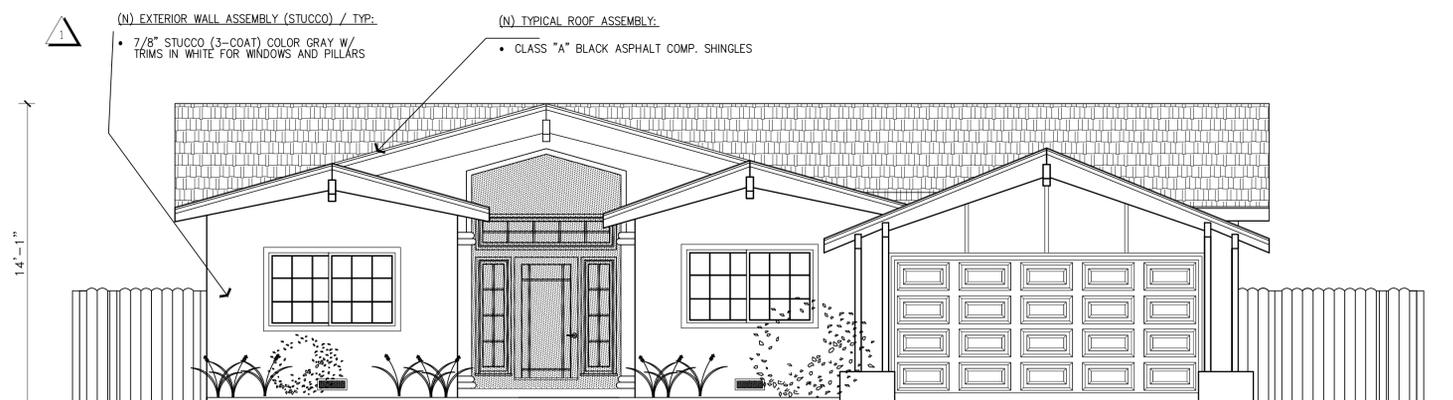
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(N) & (E) ELEVATIONS

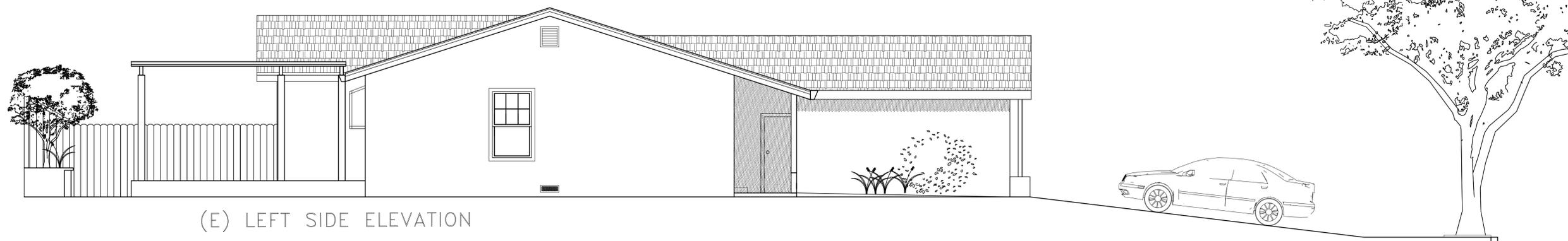
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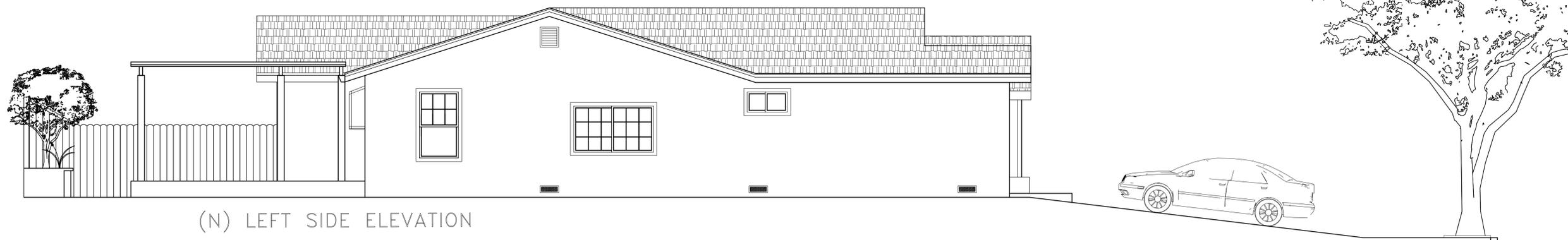
(E) FRONT ELEVATION



(N) FRONT ELEVATION



(E) LEFT SIDE ELEVATION



(N) LEFT SIDE ELEVATION

A

CONSTRUCTION DOCUMENTATION
SERVICES

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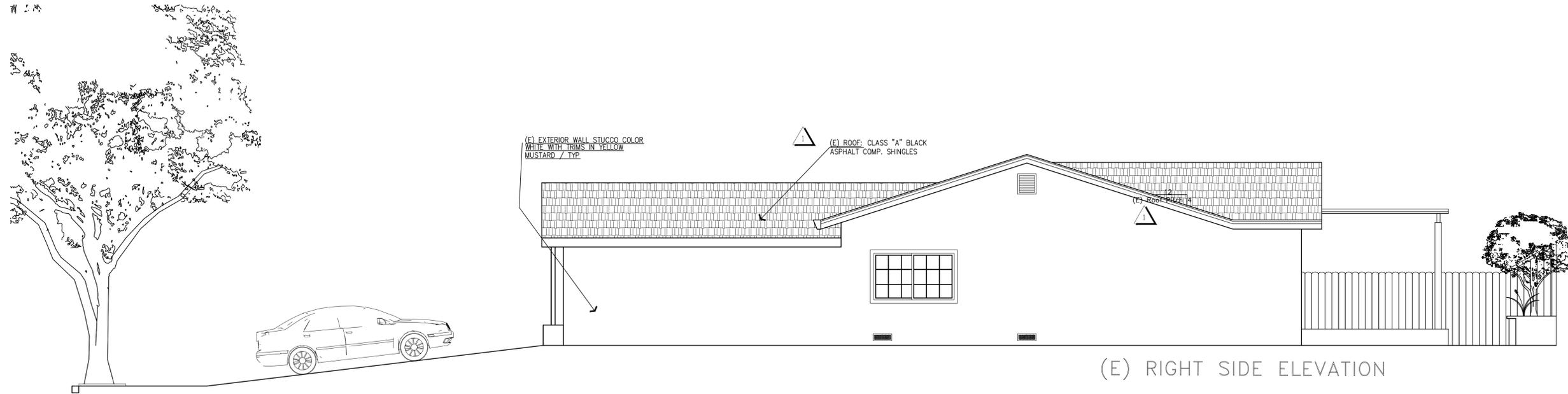
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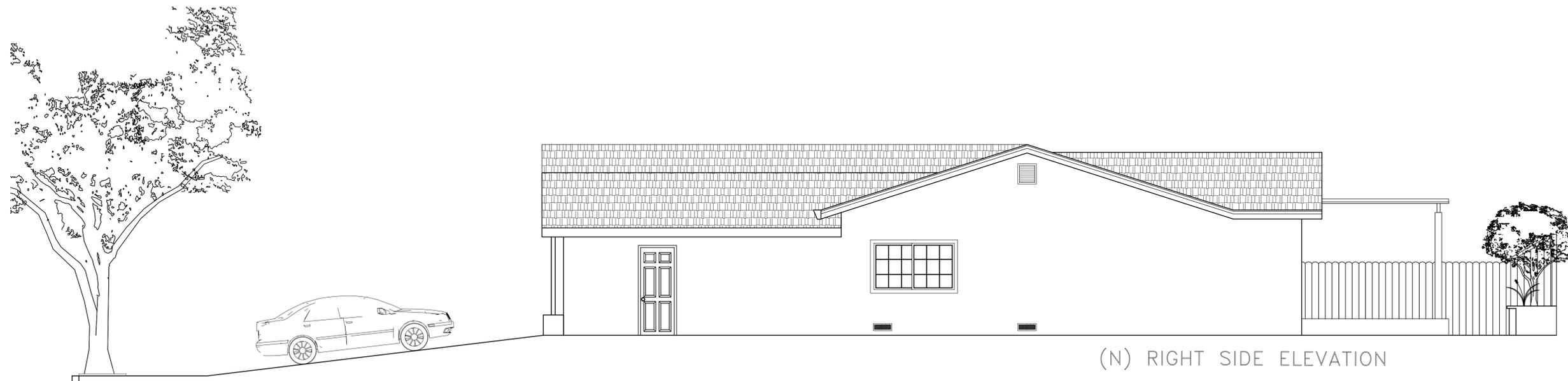
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(E) & (N)
ELEVATIONS

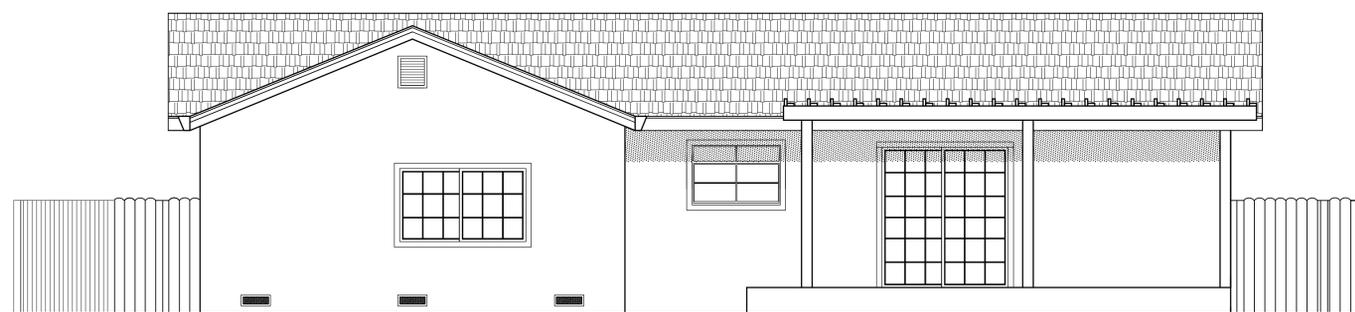
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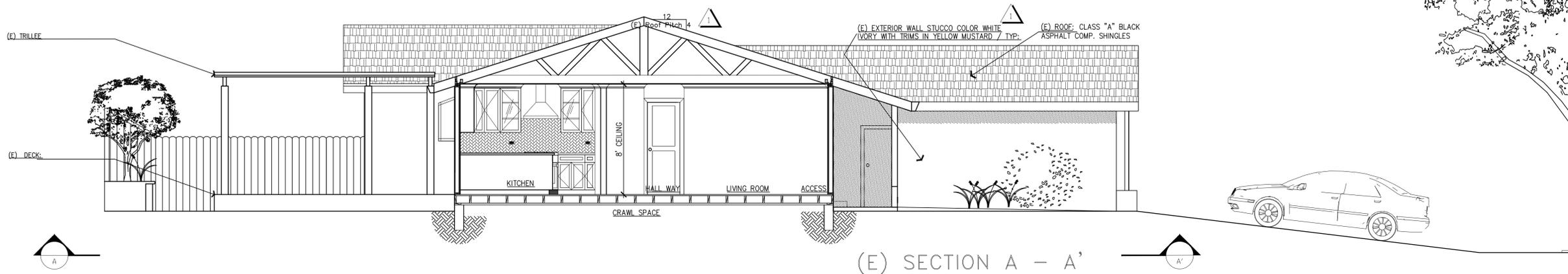
(E) RIGHT SIDE ELEVATION



(N) RIGHT SIDE ELEVATION



(E) BACK ELEVATION



TYPICAL EAVE ASSEMBLY:

- RAFTER TAILS (24" EAVE EXTENSION TYP; SEE ROOF PLAN FOR OVERHANG DIMENSIONS)- 2x8 SMOOTH FASCIA BOARD
- 1x4 SMOOTH TRIM
- 4" OGEE GUTTER (GALV; PRIMED & PAINTED)

TYPICAL ARBOR:

- 2x4 REDWOOD
- P.T. FRAMING

TYPICAL DECK:

- 2x6 REDWOOD DECKING
- P.T. FRAMING

TYPICAL INTERIOR WALL:

- 1/2" GYP. BD (5/8" TYPE "X" AT GARAGE)
- 2x4 STUDS @ 16" O.C. UON (P.T. WOOD IN CONTACT WITH CONC., TYP.)

TYPICAL ROOF ASSEMBLY:

- CLASS "A" BLACK ASPHALT COMP. SHINGLES
- BUILDING PAPER
- PLYWOOD SHEATHING
- ROOF TRUSSES
- R-30 BATT INSULATION BETWEEN JOISTS OVER UNCONDITIONED SPACE/EXT

TYPICAL ROOF ASSEMBLY:

- 2X JACK TRUSSES @ 24" O.C. / TYP
- 2X6 RIDGE
- R30 INSULATION / PER T-24
- ATTIC VENTILATION / PER T-24
- DOUBLE 2X4 TOP PLAT

TYPICAL EAVE ASSEMBLY:

- RAFTER TAILS (24" EAVE EXTENSION TYP; SEE ROOF PLAN FOR OVERHANG DIMENSIONS)- 2x8 SMOOTH FASCIA BOARD
- 1x4 SMOOTH TRIM
- 4" OGEE GUTTER (GALV; PRIMED & PAINTED)

EXTERIOR WALL ASSEMBLY (STUCCO) / TYP:

- 7/8" STUCCO (3-COAT) COLOR GRAY WITH TRIMS IN WHITE FOR WINDOWS AND PILLARS
- 2 LAYERS GRADE "D" BUILDING PAPER
- PLYWD SHEATHING
- 2x4 STUDS @ 16" O.C. UON (P.T. STUDS IN CONTACT W/CONC)
- R-13 BATT INSULATION BETWEEN STUDS
- 1/2" GYP. BD

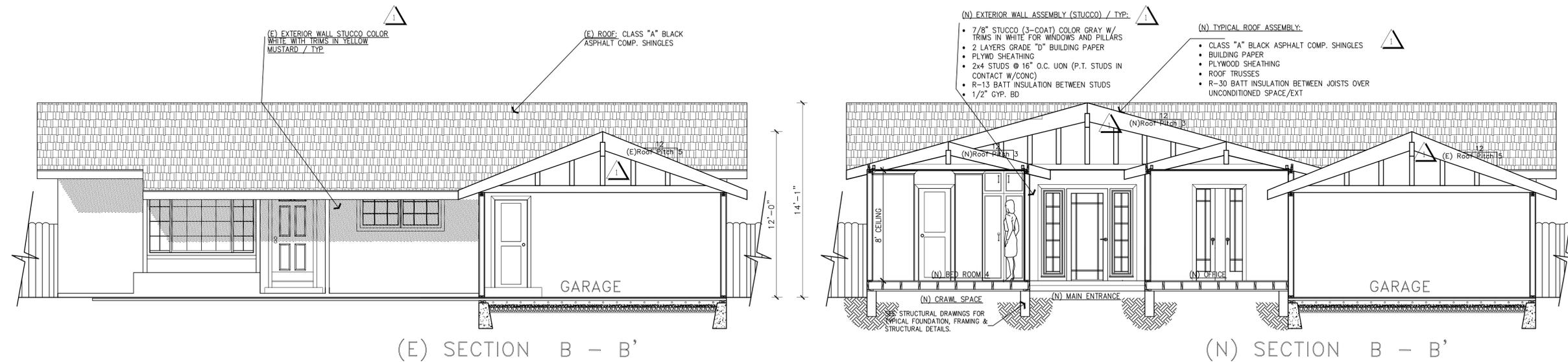
CRAWLSPACE VENTILATION:

- VENT 1 S.F./150 S.F. OF UNDERFLOOR AREA: U.O.N., PROVIDE PAINTED 6"x18" G.S.M. VENTS AS CLOSE TO CORNERS AS POSSIBLE AND ALLOWING CROSS-VENTILATION. VENTS SHALL BE COVERED WITH 1/2" WIRE MESH

SEE STRUCTURAL DRAWINGS FOR TYPICAL FOUNDATION, FRAMING & STRUCTURAL DETAILS.

SEE STRUCTURAL DRAWINGS FOR TYPICAL FOUNDATION, FRAMING & STRUCTURAL DETAILS.

(N) SECTION A - A'



(E) EXTERIOR WALL STUCCO COLOR WHITE WITH TRIMS IN YELLOW MUSTARD / TYP

(E) ROOF: CLASS "A" BLACK ASPHALT COMP. SHINGLES

(N) EXTERIOR WALL ASSEMBLY (STUCCO) / TYP:

- 7/8" STUCCO (3-COAT) COLOR GRAY W/ TRIMS IN WHITE FOR WINDOWS AND PILLARS
- 2 LAYERS GRADE "D" BUILDING PAPER
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(N) TYPICAL ROOF ASSEMBLY:

- CLASS "A" BLACK ASPHALT COMP. SHINGLES
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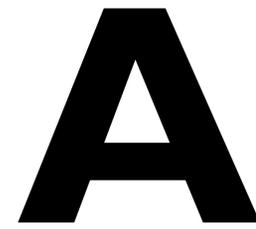
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DIEGO VALENCIA/DESIGNER

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(E) & (N) SECTIONS

A.1.4



CONSTRUCTION DOCUMENTATION SERVICES

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REVISION DATE

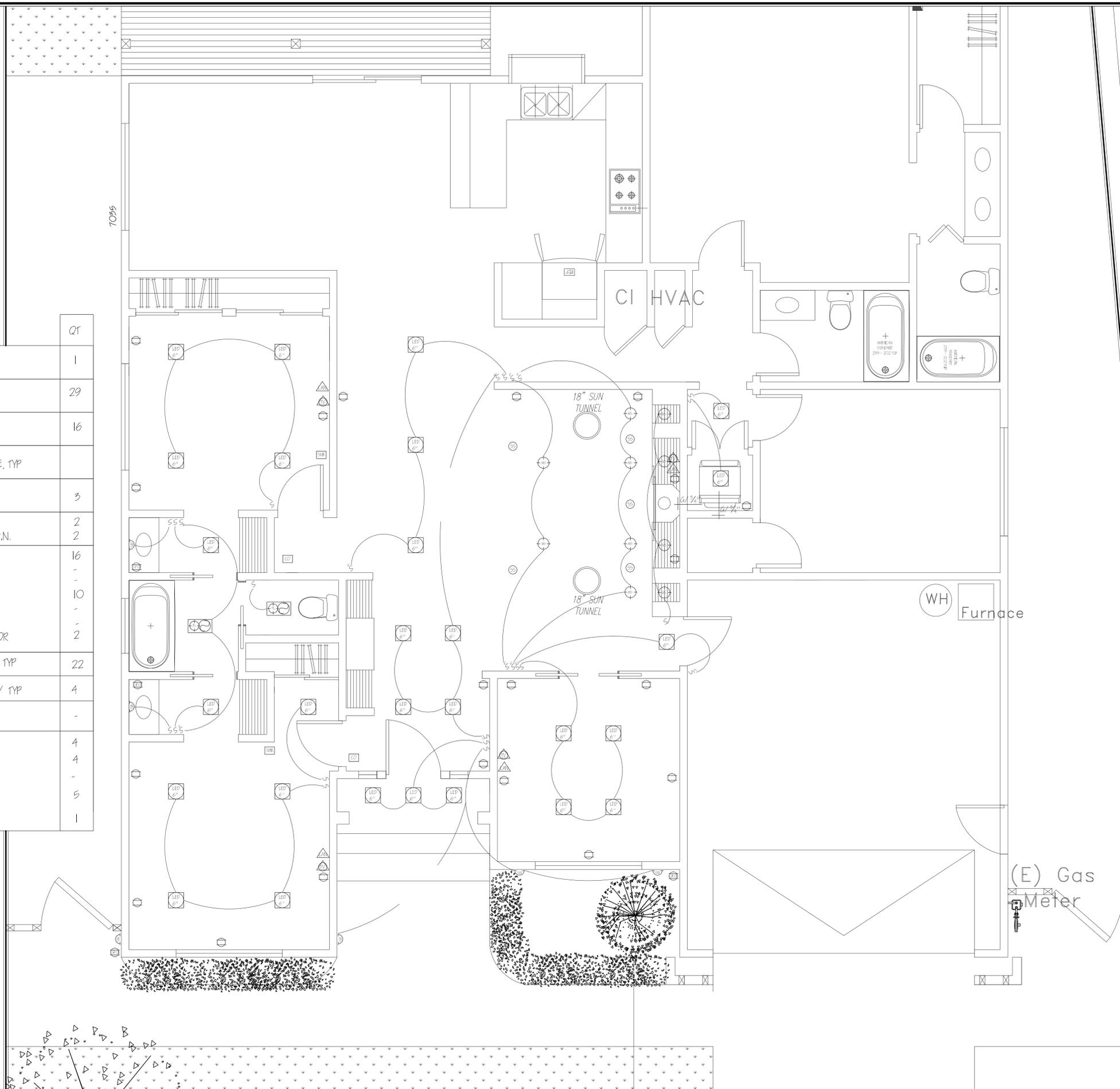
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(N) ELECTRICAL FLOOR PLAN

A.2.0



LEGEND

	ELECTRICAL PANEL	1
	LED	29
	MOUNT SURFACE FIXTURE	16
	UNDER CABINET LIGHT/ FLUORESCENT TUBE, TYP	
	EXHAUST FAN	3
	SMOKE DETECTOR	2
	CARBON MONOXIDE ALARM + 90" TYP. U.O.N.	2
	SWITCH	16
	SWITCH-DIMMER	-
	SWITCH-DIMMER 3WAY	-
	SWITCH-3WAY	10
	SWITCH-4 WAY	-
	SWITCH-MOTION SENSOR	-
	SWITCH-MANUAL ON -OCCUPANCY DETECTOR	2
	CONVENTIONAL DUPLEX OUTLET/ 120V / TYP	22
	GROUND FAULT CIRCUIT INTERRUPT/ 120V / TYP	4
	DEDICATED CIRCUIT OUTLET/ 120V / TYP	-
	LOCAL AREA NETWORK (INTERNET)	4
	TV OR CABLE COAXIAL WIRE CONNECTION	4
	PHONE CONNECTION	-
	BUILT IN SPEAKERS (SOUND SYSTEM)	5
	GAS SUPPLY FOR APPLIANCE	1

TITLE : (N) ELECTRICAL FLOOR PLAN