



**CITY OF CAMPBELL**  
Community Development Department

**August 2, 2016**

**NOTICE OF ADMINISTRATIVE SITE & ARCHITECTURAL REVIEW PERMIT**

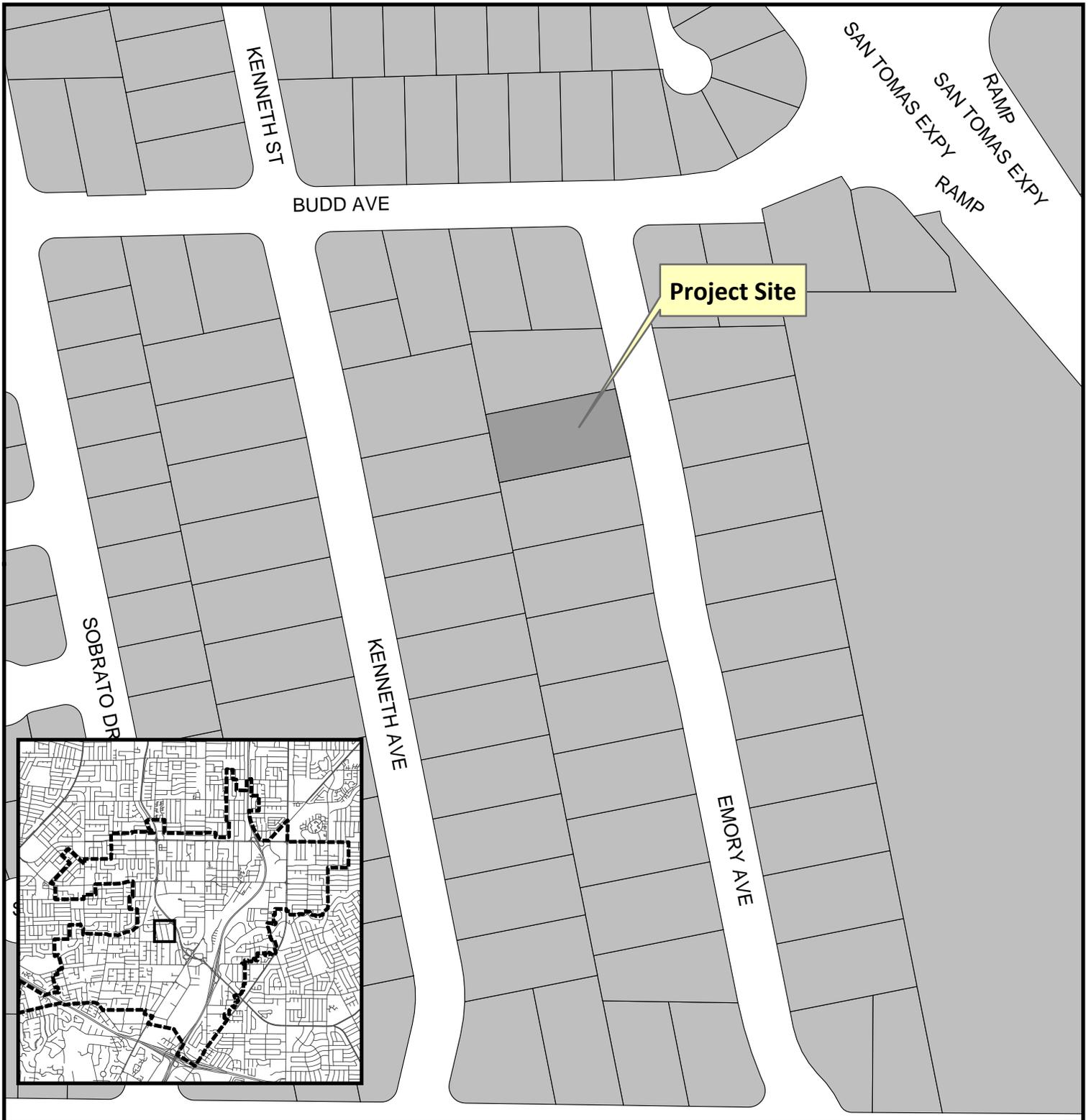
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site & Architectural Review Permit for the following project proposal:

<b>File No.:</b>	<b>PLN2016-93</b>
<b>Applicant:</b>	<b>Kathy Ljubojevic &amp; Darko Dekovic</b>
<b>Project Address:</b>	<b>569 Emory Avenue</b>
<b>Property Owner:</b>	<b>Agim &amp; Lujeta Kraja</b>
<b>Zoning District:</b>	<b>R-1-10 (Single-Family Residential)</b>
<b>General Plan:</b>	<b>Low Density Residential &lt;3.5 Units/Gr. Acre</b>
<b>Project Description:</b>	<b>To allow a major remodel with additions to the front and rear of an existing single-story, single-family residence.</b>

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on August 4, 2016 and ends on August 15, 2016. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **August 15, 2016**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Stephen Rose, Associate Planner, in the Community Development Department, at (408) 866-2142 or by email [stephenr@cityofcampbell.com](mailto:stephenr@cityofcampbell.com).

# Project Location Map



**Project Location:** 569 Emory Avenue

**Application Type:** Admin Site and Arch Review

**Planning File No.:** PLN2016-93

**Description:** Major remodel with additions to the front and rear of an existing single-story, single-family residence.

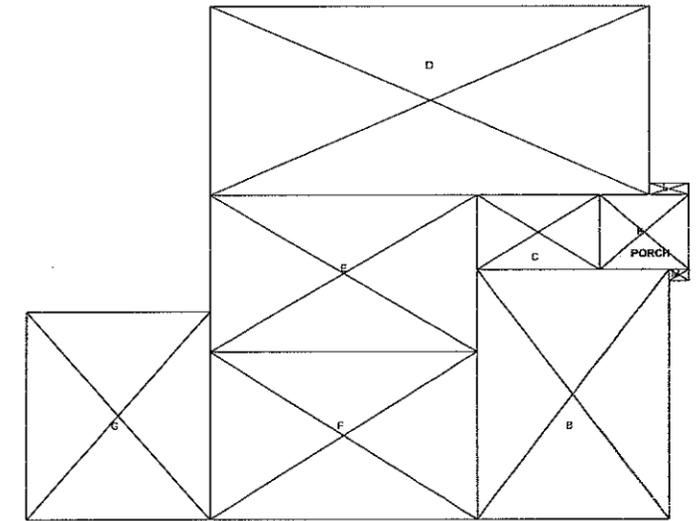
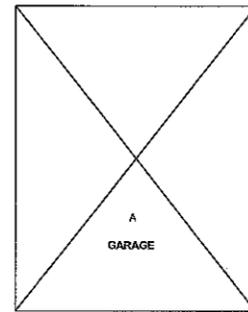


Community Development Department  
Planning Division

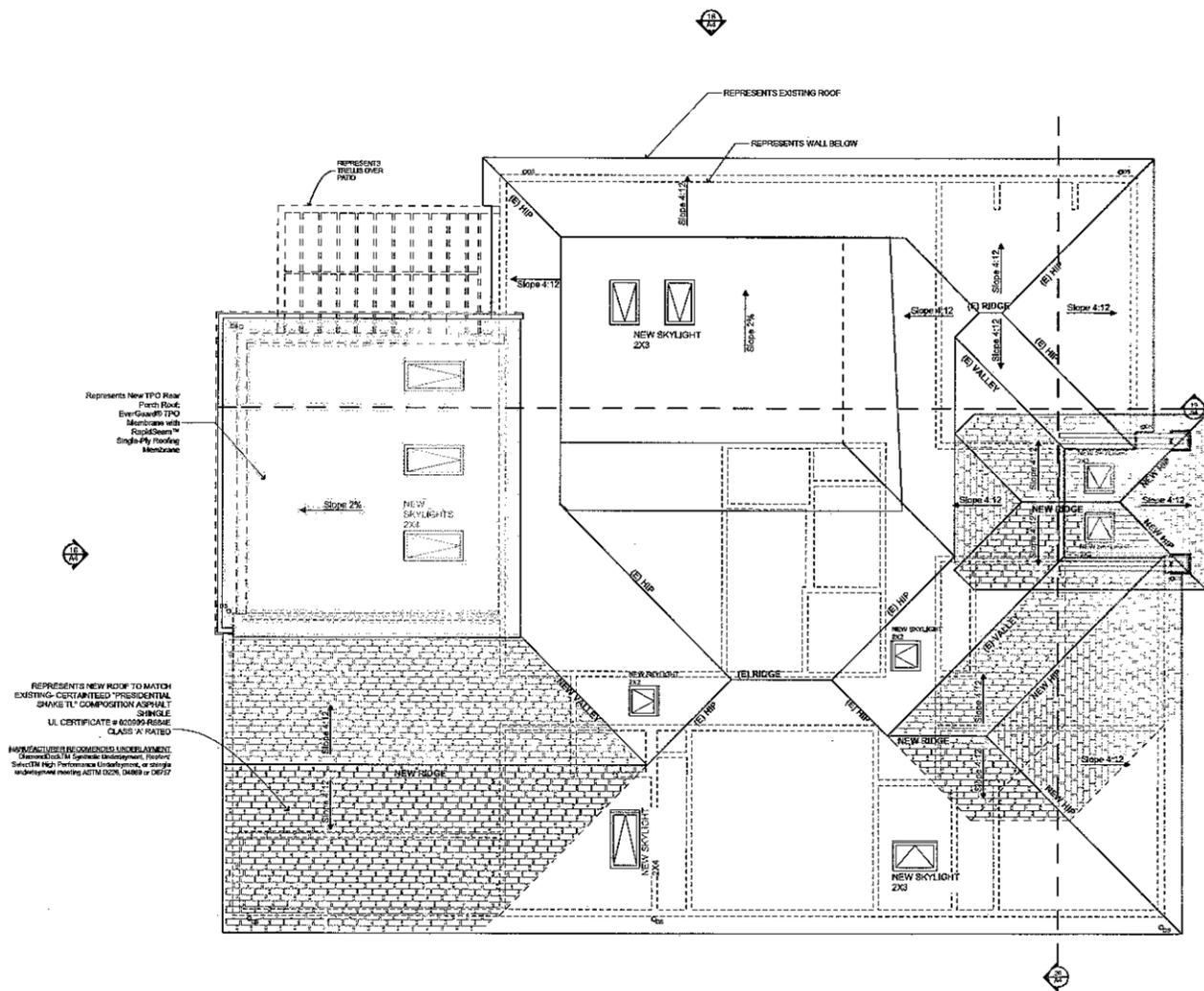


25 AREA CALCULATION			
SECTION	LENGTH	WIDTH	AREA
A	28'-0"	29'-0"	702.00
B	19'-1"	24'-3 1/2"	463.32
C	12'-2 3/4"	7'-3 1/4"	88.76
D	43'-0"	15'-4 1/2"	799.31
E	26'-4 1/2"	15'-2 3/4"	401.60
F	28'-0"	15'-3 3/4"	431.01
G	18'-1 1/2"	23'-2 1/4"	398.00
K	6'-0"	7'-0"	63.56
L	3'-10 1/4"	1'-4 1/2"	4.35
M	1'-10 3/4"	1'-4 1/4"	2.09
			3,322.00 sq ft

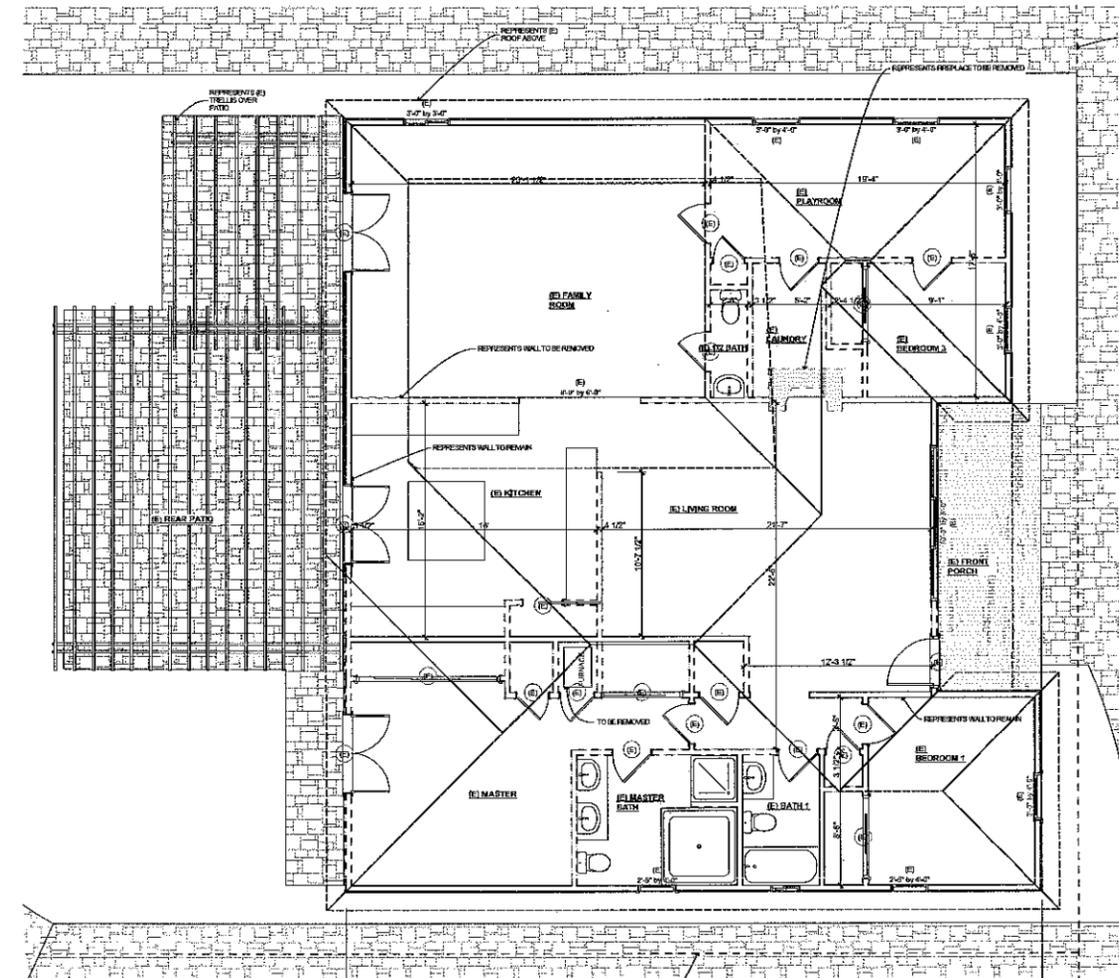
FLOOR AREA PROPOSED HOUSE TOTAL 2,550 SF



10 AREA CALCULATION DIAGRAM  
SCALE: 1/8" = 1'-0"



5 ROOF PLAN  
SCALE: 3/16" = 1'-0"



1 EXISTING ROOF AND FLOOR PLAN  
SCALE: 3/16" = 1'-0"

# 569 EMORY

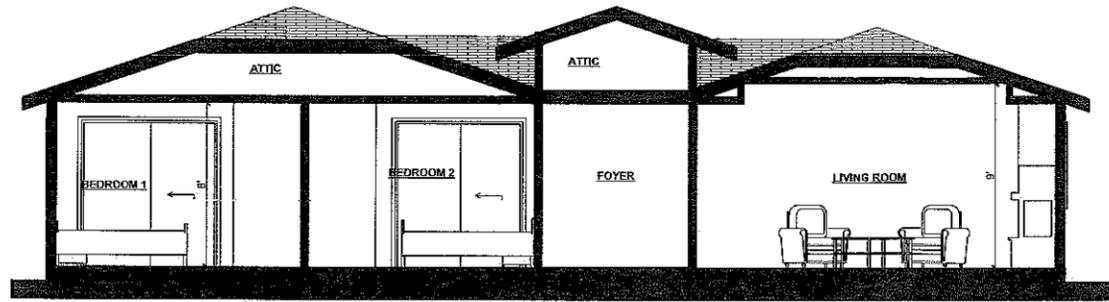
CAMPBELL, CA

A2

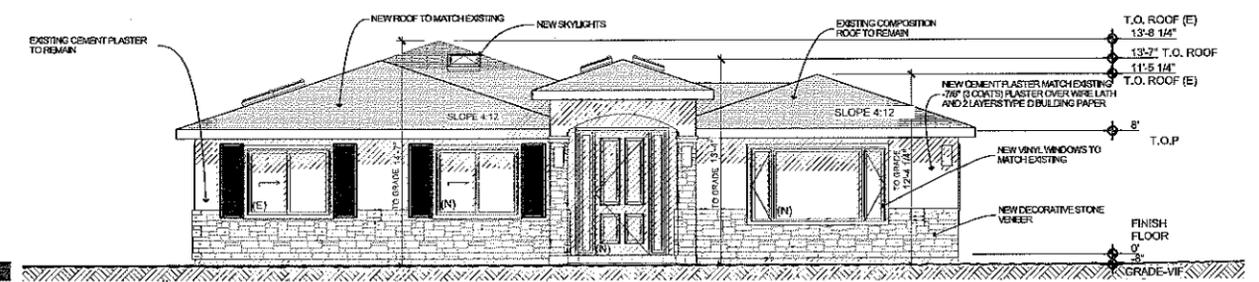


## EXISTING PLAN AND PROPOSED ROOF PLAN

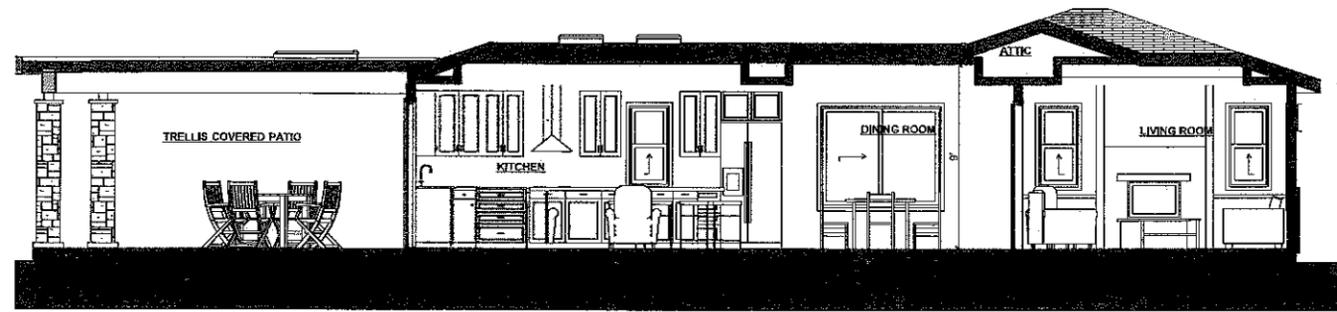
905 RUSSELL AVE. LOS ALTOS, CA. 94024  
dankod@mac.com 650.464.2520



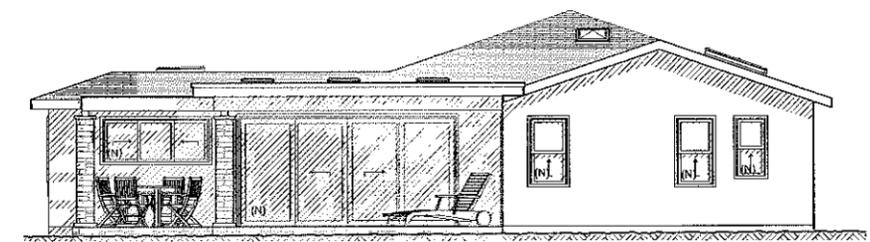
20 N-S CROSS SECTION  
SCALE: 1/4" = 1'-0"



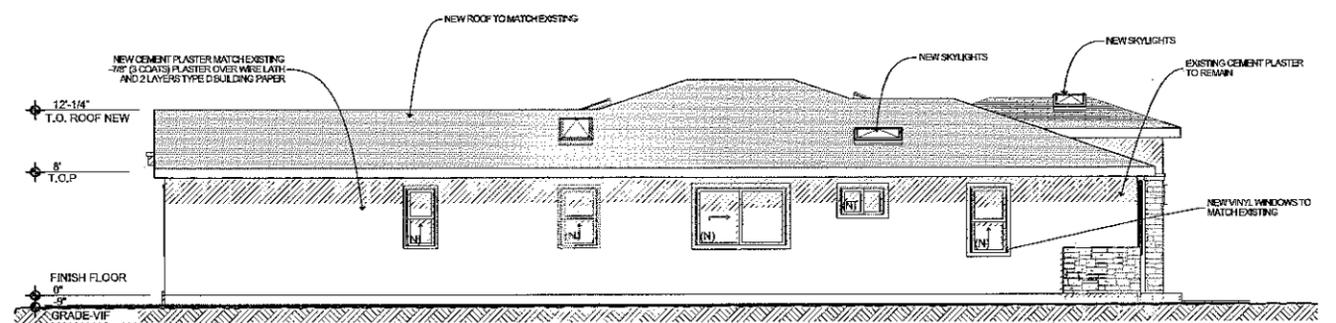
17 FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



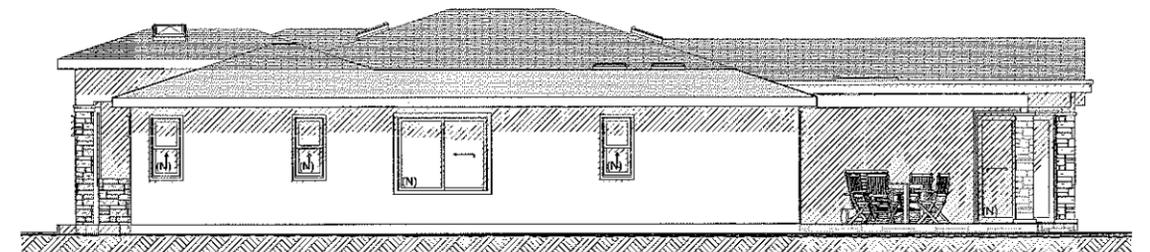
19 E-W CROSS SECTION  
SCALE: 1/4" = 1'-0"



16 REAR ELEVATION  
SCALE: 3/16" = 1'-0"



15 SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



18 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

569 EMORY  
CAMPBELL, CA

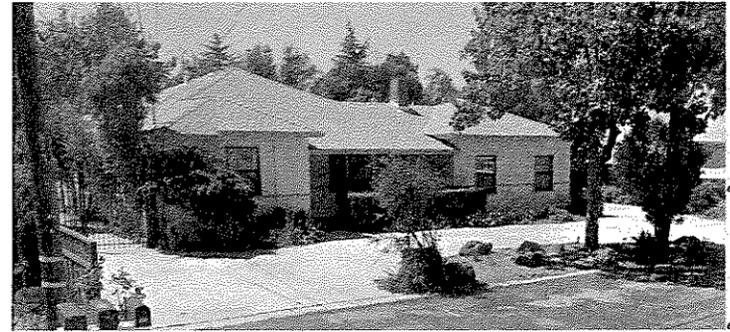
A4



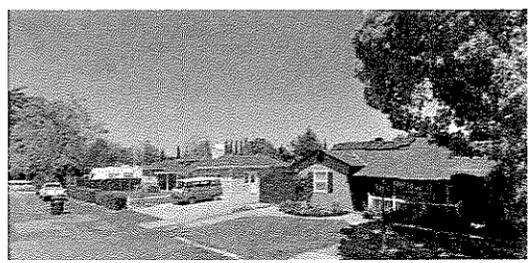
ELEVATIONS AND SECTIONS



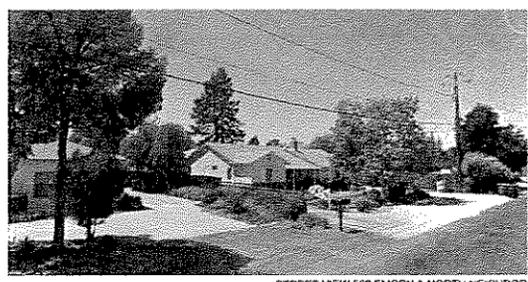
3 STREETScape  
SCALE: 1/8" = 1'-0"



(E) STREET VIEW 569 EMORY



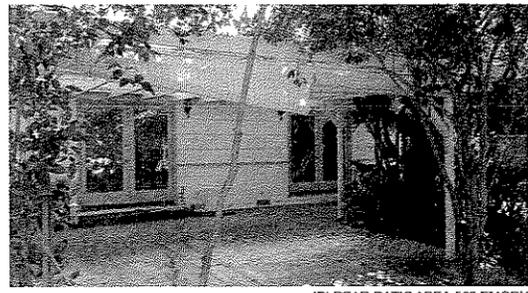
STREET VIEW NEIGHBORHOOD



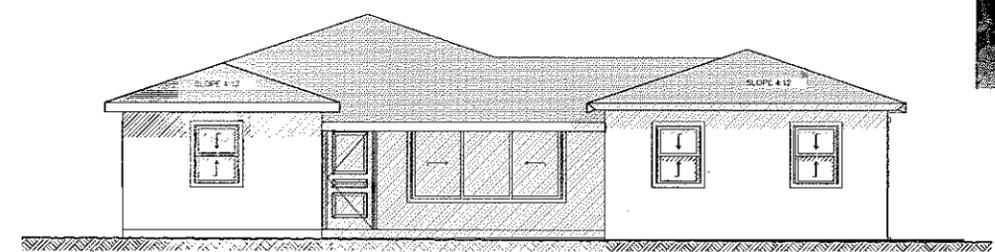
STREET VIEW 569 EMORY & NORTH NEIGHBOR



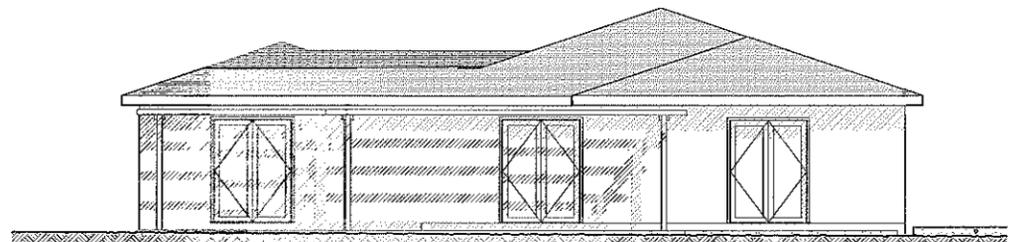
STREET VIEW 569 EMORY & SOUTH NEIGHBOR



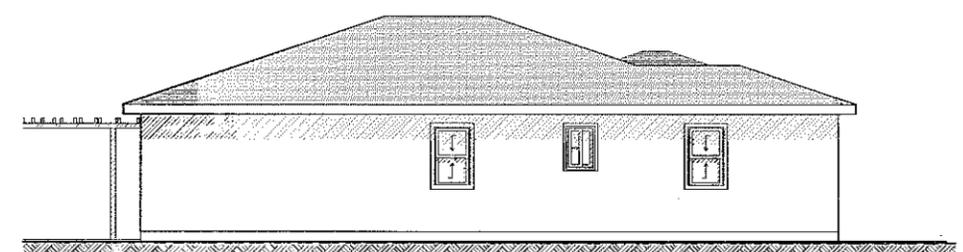
(E) REAR PATIO AREA 569 EMORY



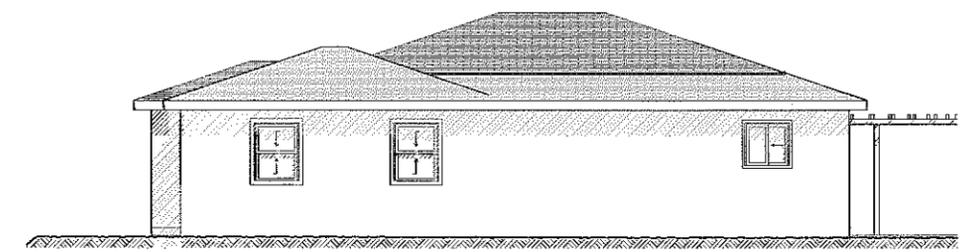
4 EXISTING FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



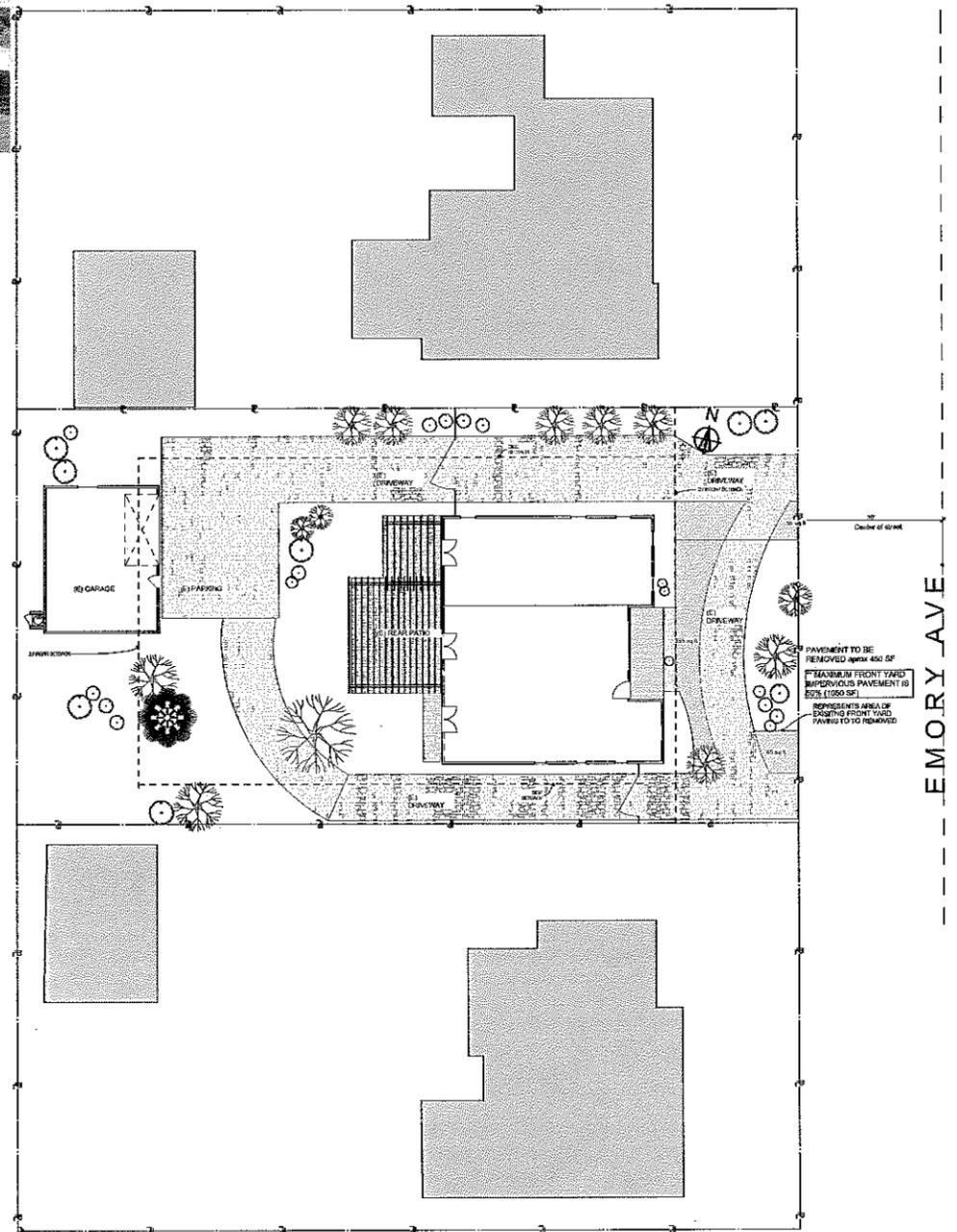
7 EXISTING REAR ELEVATION  
SCALE: 3/16" = 1'-0"



5 EXISTING SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



6 EXISTING NORTH ELEVATION  
SCALE: 3/16" = 1'-0"



1 EXISTING SITE PLAN  
SCALE: 1/16" = 1'-0"

EMORY AVE

# 569 EMORY

CAMPBELL, CA

A5

## EXISTING SITE PLAN & ELEVATIONS

