



CITY OF CAMPBELL
Community Development Department

July 29, 2016

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **August 9, 2016**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Continued Public Hearing to consider the Appeal (PLN2016-200) of Sarbajit and Sanhita Ghosal of a Fence Exception approved for a reduced setback (PLN2016-98) to allow a seven foot tall fence with a zero setback on the street side property line and retention of the front yard fence at a corner lot located at **1071 Lovell Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

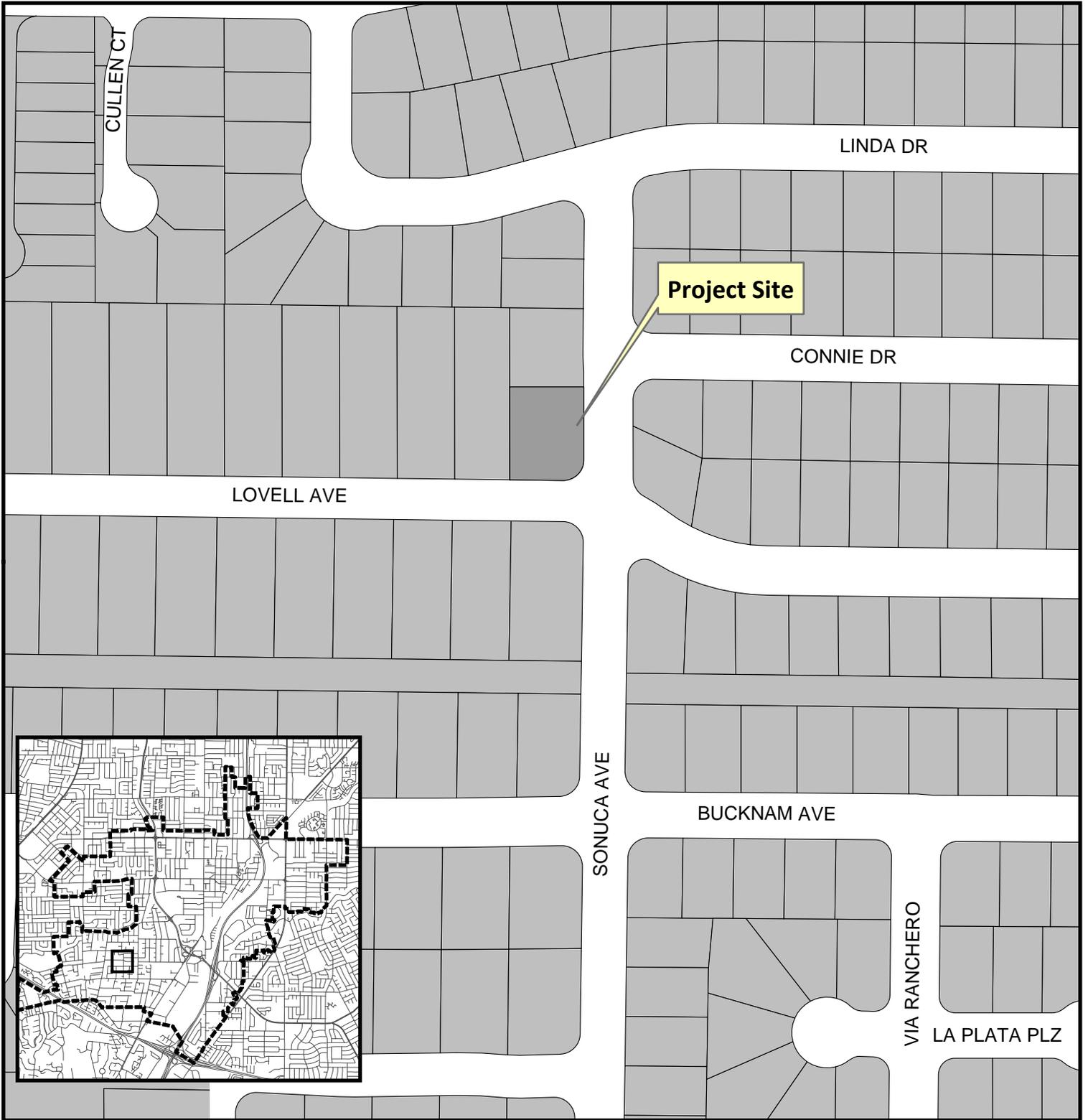
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1071 Lovell Avenue**

Project Location Map

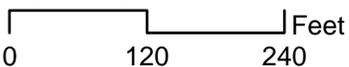


Project Location: 1071 Lovell Ave.

Application Type: Appeal of a Fence Exception Approval

Planning File No.: PLN2016-200

Description: Appeal of a Fence Exception approved for a reduced setback to allow a seven foot tall fence with a zero setback on the street side property line and retention of the front yard fence of a corner lot.



Community Development Department
Planning Division



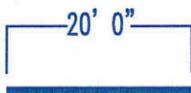
1071 Lovell Avenue
Fence Exception Exhibit
June 3, 2016

RECEIVED

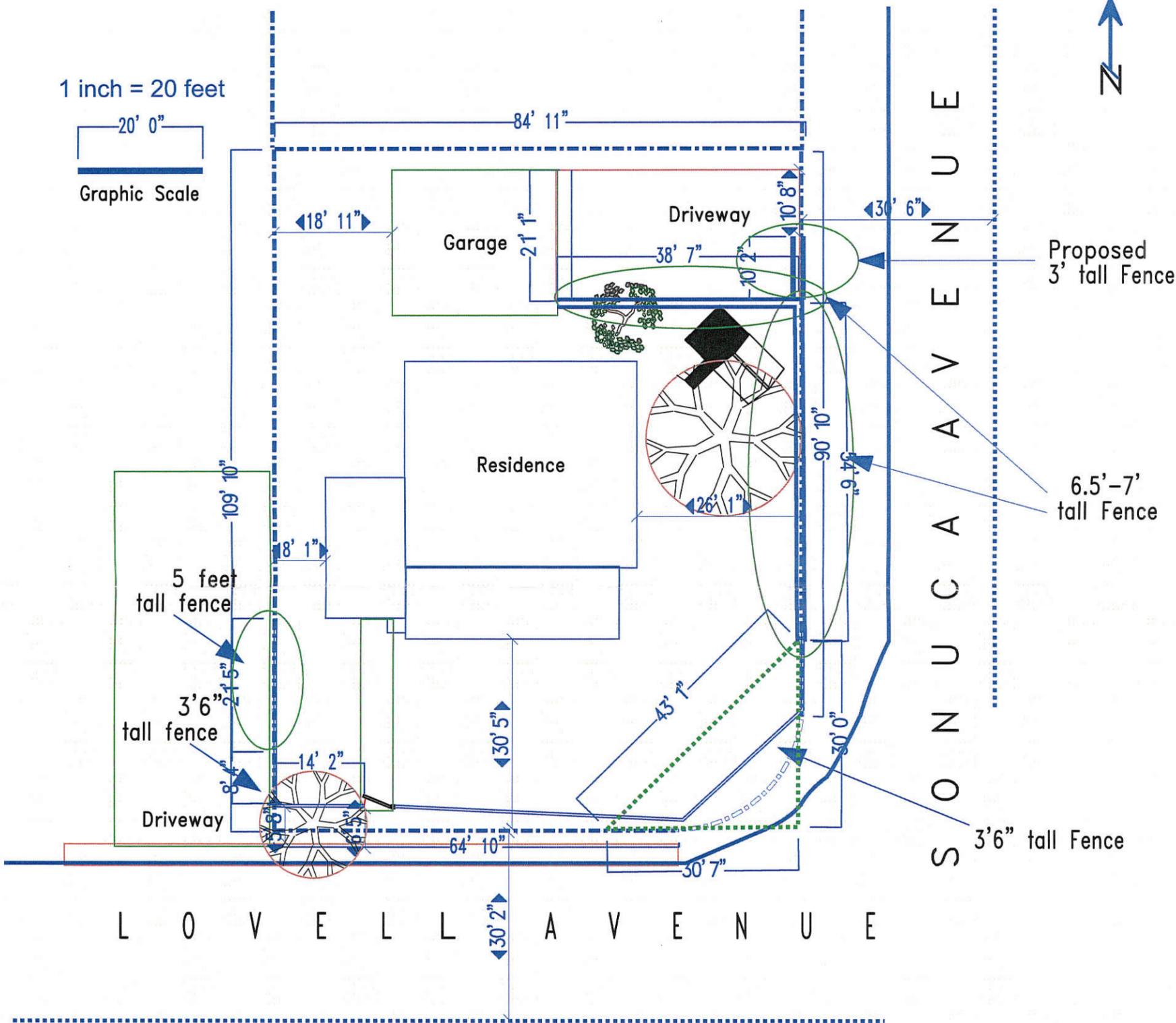
MAR 15 2016

CITY OF CAMPBELL
PLANNING DEPT.

1 inch = 20 feet



Graphic Scale



L O V E L L A V E N U E

S O N U C A A V E N U E

1071 Lovell Avenue