



**CITY OF CAMPBELL**  
**Community Development Department**

March 11, 2016

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **March 22, 2016**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Gabriela Navarrete for a Site and Architectural Review Permit (PLN2015-369) to allow for a new two-story residence (approximately 3,071 sq. ft.) reusing portions of the existing structure and resulting in a floor area ratio exceeding 45% (49% proposed) on property located at **283 Warwick Drive** within the R-1-6 (Single-Family Residential) Zoning District. Staff is recommending that this project be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

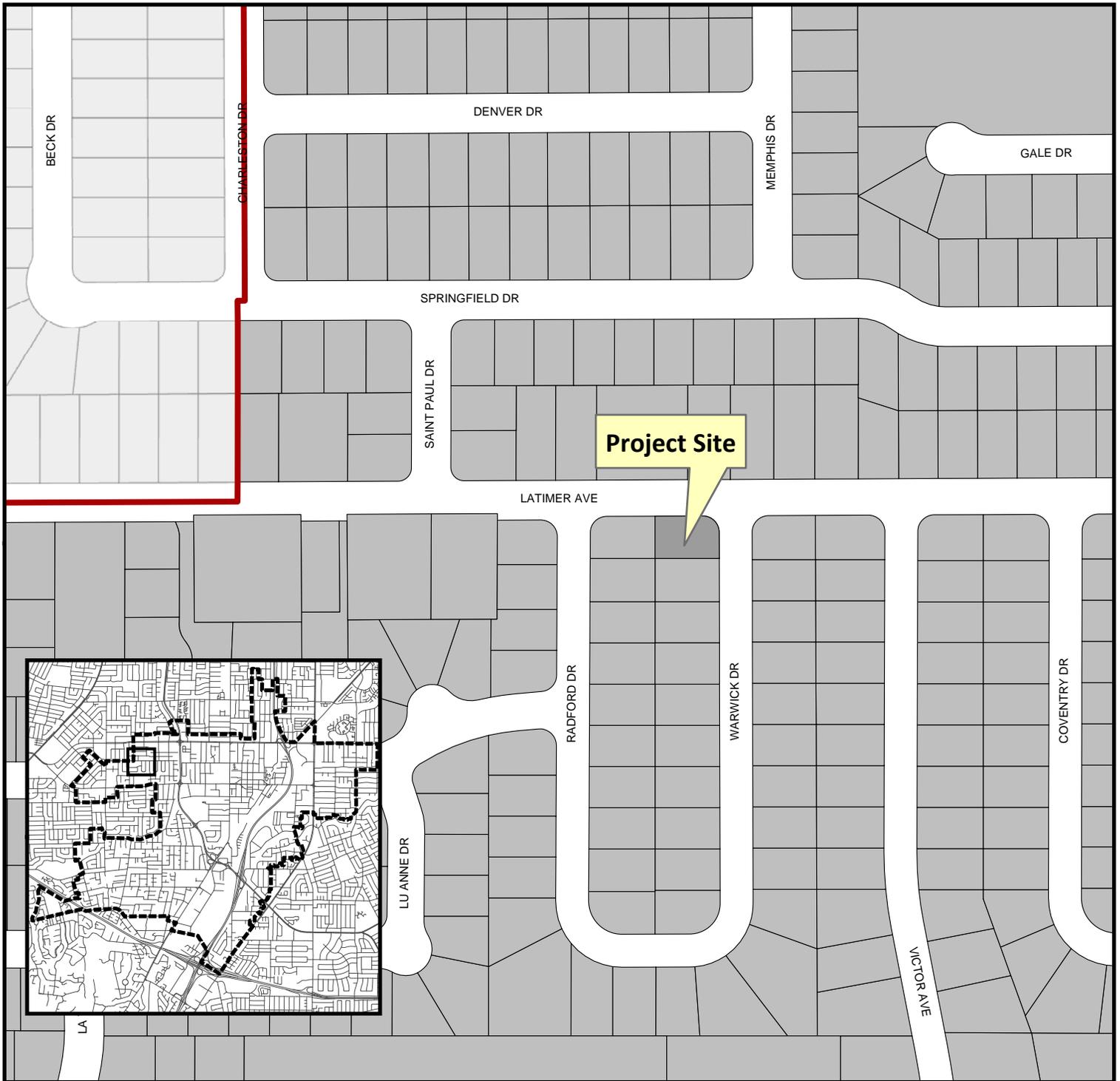
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **283 Warwick Drive**

# Project Location Map

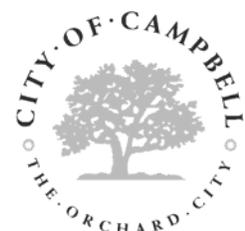
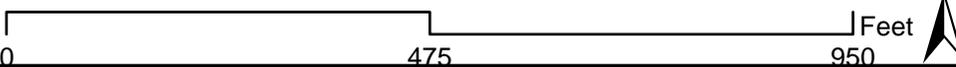


**Project Location:** 283 Warwick Drive

**Application Type:** Site and Arch. Review

**Planning File No.:** PLN2015-369

**Description:** To allow for a new two-story residence (approximately 3,071) reusing portions of the existing structure and resulting in a floor area ratio exceeding 45% (49% proposed).



Community Development Department  
Planning Division

**ABBREVIATIONS**

A	AND	KT.	KITCHEN
Z	ANGLE	LT.	LEFT
@	AT	MAX.	MAXIMUM
⊖	CENTERLINE	MECH.	MECHANICAL
⊕	DIAMETER OR ROUND	MEMB.	MEMBRANE
⊖	POUND OR ROUND	MET.	METAL
EXISTING		MFG.	MANUFACTURER
(E)	BOARD	MNL.	MANHOLE
BTUMBUS	BUTYMBUS	MNS.	MINIMUM
BUILD.	BUILDING	MPL.	MIRROR
BLOCK.	BLOCK	MISC.	MISCELLANEOUS
BLOCKING	BLOCKING	M.O.	MASONRY OPENING
BOI.	BOTTOM	MOTD.	MOUNTED
CAB.	CABINET	MUL.	MULLION
CA.	CASITION	NOI.#	NUMBER
CLG.	CEILING	NOM.	NOMINAL
CLD.	CLOSET	NTS.	NOT TO SCALE
CLR.	CLEAR	O.A.	OVERALL
COL.	COLUMN	DIC	ON CENTER
CONC.	CONCRETE	OD	OUTSIDE DIAMETER
CONN.	CONNECTION	OPNG.	OPENING
CONSTR.	CONSTRUCTION	OPR.	OPPOSITE
CORR.	CORRIDOR	PL.	PLATE
CNTR.	COUNTER	PLAM	PLASTIC LAMINATE
CTR.	CENTER	PLAS.	PLASTER
CTD.	CENTER(DIV SPACE)	PLYWD.	PLYWOOD
DBL.	DOUBLE	PR.	PUR
DET.	DETAIL	PT.	POINT
DIA. Ø	DIAMETER	PL	PROPERTY LINE
DIM.	DIMENSION	PRECAST	PRECAST
D	DIRECTION	PTN	PARTITION
DN.	DOWN	R.	RIBER
DR.	DOOR	RAD.	RADIUS
DS.	DOWN SPOUT	REF.	REFERENCE
DWG.	DRAWING	REFR.	REFRIGERATOR
EA.	EACH	REGR.	REGISTER
E.L.	EXPANSION JOINT	RENF.	REINFORCED
EL.	ELEVATION	REQ.	REQUIRED
ELEC.	ELECTRICAL	RESL.	RESILIENT
EMER.	EMERGENCY	RM	ROOM
ENCL.	ENCLOSURE	ROV	ROUND OPENING
EP.	ELECTRICAL PANEL	RWD.	REDWOOD
EQ.	EQUAL	RWL	RAIN WATER LEADER
EQPT.	EQUIPMENT	S.C.	SOLID CORE
ETR.	EXISTING TO REMAIN	SCHED.	SCHEDULE
EXPO.	EXPOSED	SECT.	SECTION
EXP.	EXPANSION	S	SHELF
EXT.	EXTERIOR	SHR.	SHOWER
FB	FLAT BAR	SHT.	DRAWING
FD	FLOOR DRAIN	SMA.	SMALL
FEND.	FOUNDATION	SFR.	SPLIT FACE BLOCK
FIN.	FINISH	SHT.VM	SHEET VINYL
FL.	FLOOR	SPEC.	SPECIFICATION
FLASK.	FLASHING	SQ.	SQUARE
FLUOR.	FLUORESCENT	SST.	STAINLESS STEEL
FC	FACE OF CONCRETE	SS	SERVICE SINK
FF	FACE OF FINISH	STA.	STATION
FS	FACE OF STUDS	STD.	STANDARD
FK	FIXED	STL.	STEEL
FS	FULL SIZE	STOR.	STORAGE
FT.	FOOT OR FEET	STR.	STRUCTURAL
FTL.	FOOTING	SUSP.	SUSPENDED
FURR.	FURNISHING	SYM.	SYMMETRICAL
GA.	GAUGE	TRO.	TREAD
GALV.	GALVANIZED	TS	TOWEL BAR
GB.	GRAB BAR	TSD	TO BE DETERMINED
GL.	GLASS	TEL.	TOP OF CURB
GND.	GROUND	TEL.	TELEPHONE
GR.	GRADE	TER.	TERRAZZO
GR.	GYP/SUM WALL BOARD	THK.	THICK
GYP.	GYP/SUM	TP	TOP OF PAVEMENT
HCL.	HOLLOW CORE	TV	TELEVISION
HDWL.	HARDWARE	TW	TOP OF WALL
HDWE.	HOLLOW METAL	TYP.	TYPICAL
HORIZ.	HORIZONTAL	UNE.	UNFINISHED
H.R.	HAND RAIL	V.	VERTICAL
HSL.	HOLE	W	WASHER MACHINE
I.D.	INSIDE DIAMETER	W.C.	WATER CLOSET
INSUL.	INSULATION	WD.	WOOD
INT.	INTERIOR	WO	WITHOUT
JT.	JOINT	WV	WATERPROOF
		WT.	WEIGHT

**SYMBOLS LEGEND**

	1ST FLOOR
	2ND FLOOR
	SET BACK
	PROPERTY LINE
	GRASS
	SIDE WALK
	LANDSCAPE / DIRT
	REMOVE WALL
	WALL - EXISTING TO REMAIN (ETR)
	REMOVE 2, 4, 6, 7 & 8
	WOOD FRAME WALLS (2x4 STUDS @ 16" O.C. 1/2" GYP/SUM BOARD EACH SIDE, OR 2x4 STUD EXTERIOR WALL.
	WOOD FRAMING (ROUGH)
	WOOD BLOCKING

**SYMBOLS LEGEND**

	TRUE NORTH
	REFERRED NORTH
	DIMENSION TO FINISH SURFACE
	DIMENSION TO FACE OF STUDS
	DIMENSION TO CENTER LINE
	DETAIL REFERENCE
	SECTION REFERENCE
	DETAIL IS LOCATED
	DETAIL REFERENCE
	DETAIL SECTION, PLAN OR ELEVATION NUMBER
	ELEVATION VIEW REFERENCE
	ELEVATION LEVEL OR SECTION VIEW REFERENCE IN ELEVATION
	WINDOW SYMBOL. SEE SCHEDULE
	DOOR SYMBOL. SEE SCHEDULE
	HEIGHT ABOVE ELEVATION REFERENCE LEVEL.
	PARTITION TYPE. SEE INTERIOR DETAILS

**SCOPE OF WORK**

ADDITION AND REMODEL TO EXISTING SINGLE STORE HOUSE. ADD SECOND FLOOR, INCLUDING NON-ELECTRICAL, PLUMBING AND SPRINKLERS SYSTEM.

**PLANNING DATA**

HOUSE ADDITION / REMODEL:  
 APN #: 307-52-036  
 ZONE: R1H  
 LOT SIZE: - GROSS SQF (PROPERTY TO & FROM ST) 6,147 NET SQF  
 MAXIMUM LOT COVERAGE (FAR) 40 % 2,458.80 SQF  
 MAXIMUM FLOOR AREA RATIO (FAR) 45 % 2,768.15 SQF  
 ADDITION FLOOR AREA RATIO (FAR) 5 % 307.35 SQF  
 TOTAL FLOOR AREA RATIO (FAR) 50 % 3,073.50 SQF  
 FRONT YARD: 20' 00"  
 GARAGE: NO LESS THAN 25' 00"  
 REAR YARD: 10' 00"  
 SIDE YARD: 10' 00"  
 CORNER LOT STREET YARD SET BACK: 12' 00"  
 PARKING: 2 STANDARD COVERT SPACES  
 LIVING & DINING AREA: 2,540.51 SQF  
 GARAGE AREA: 400.5 SQF  
 NUMBER OF BEDROOMS: 4  
 NUMBER OF STORES: 2 STORES  
 EXISTING FLOOR AREA: 1,959.64 SQF  
 AREA ADDED: 1,113.48 SQF  
 TOTAL: 3,073.12 SQF  
 FLOOR AREA RATIO (FAR) 49.98 %  
 ROOF FRAMING AREA (IF PROPOSED TO BE REMOVED) 54.66% 888.84 SQF  
 EXTERIOR WALLS (I.F.O.F WALL) ARE REMOVED 29.63% 462.24' LF  
 INTERIOR WALLS (I.F.O.F WALL) ARE REMOVED 72.24% 115' 11" LF

**DEVELOPMENT DATA**

DEVELOPMENT DATA	SQUARE FEET		PERCENT OF SITE	
	EXISTING	PROPOSED	EXISTING	PROPOSED
BUILDING COVERAGE	1959.64 SQF	1,980.88 SQF	31.88%	32.23%
LANDSCAPE COVERAGE	3097.86 SQF	2,971.12 SQF	50.40%	48.33%
PAVING COVERAGE	1088.50 SQF	1198 SQF	17.72%	19.44%
FLOOR AREA RATIO: TOTAL BLDG SQF DIVIDED BY NET LOT SIZE	1959.64 SQF	3,073.12 SQF	31.88 %	49.98%



**17 LOCATION MAP**

**DRAWING INDEX**

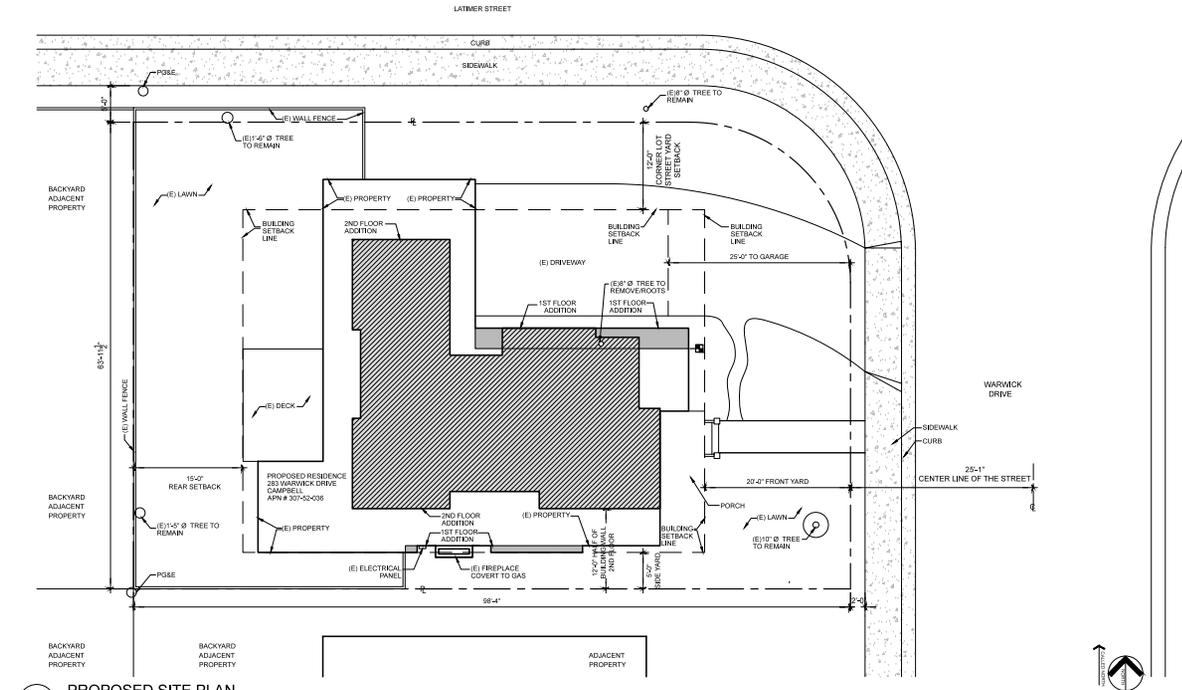
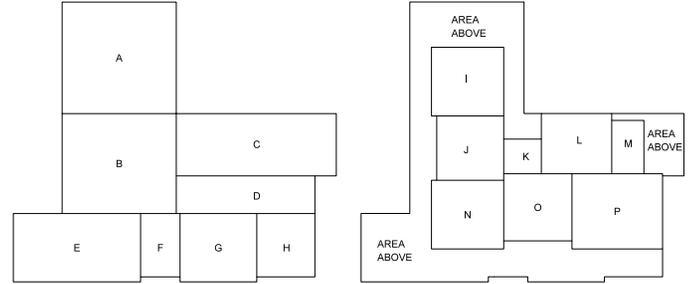
- A0 COVER SHEET & SITE PLAN
- A1 EXISTING PLANS
- A2 DEMOLITION PLANS
- A3 PROPOSED 1ST FLOOR PLAN
- A4 PROPOSED 2ND FLOOR PLAN
- A5 PROPOSED ROOF PLAN
- A6 PROPOSED BUILDING ELEVATIONS
- A7 PROPOSED BUILDING SECTIONS
- A8 DOOR & WINDOW SCHEDULE
- A9 PROPOSED BUILDING COLOR ELEVATION
- A10 PROPOSED BUILDING COLOR ELEVATIONS
- A11 PROPOSED BUILDING COLOR ELEVATIONS

**APPLICABLE CODES**

1. 2013 CALIFORNIA BUILDING CODES
2. 2013 CALIFORNIA ELECTRICAL CODE
3. 2013 CALIFORNIA MECHANICAL CODE
4. 2013 CALIFORNIA PLUMBING CODE
5. 2013 CALIFORNIA GREEN BUILDING CODE
6. 2013 CALIFORNIA FIRE CODE
7. 2013 CALIFORNIA GREEN BUILDING CODES
8. ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS

**FLOOR AREA CALCULATION**

LABEL	DIMENSIONS	AREA	LABEL	AREA
<b>1ST FLOOR</b>				
A	20' 10-1/2" x 20' 4-1/2"	425.16 SQF	M	9' 10-1/2" x 9' 9"
B	20' 10-1/2" x 18' 3"	380.28 SQF	N	13' 2-1/2" x 12' 6-1/2"
C	29' 3" x 11' 4-1/2"	332.16 SQF	O	12' 5-3/4" x 12' 3"
D	25' 4" x 10' 10-1/2"	174 SQF	P	10' 8-3/4" x 13' 8-3/4"
E	23' 5-3/4" x 12' 5-3/4"	296.54 SQF	<b>1ST FLOOR (A-H)</b>	
F	7' 2-1/2" x 11' 6-3/4"	83.28 SQF	<b>2ND FLOOR (I-P)</b>	
G	14' 0-1/4" x 12' 5-3/4"	174.18 SQF	<b>TOTAL FLOOR AREA (A-P)</b>	
H	10' 7-1/2" x 11' 6-3/4"	123.30 SQF	<b>3073.12 SQF</b>	
<b>2ND FLOOR</b>				
I	13' 1-3/4" x 12' 6-1/2"	165.28 SQF	<b>MAXIMUM FLOOR AREA RATIO (FAR)</b>	
J	12' 3" x 11' 9"	143 SQF	<b>EXTRA (FAR)</b>	
K	6' 10-1/2" x 6' 4"	42.54 SQF	<b>5%</b>	
L	12' 10-1/2" x 11' 0"	141.28 SQF	<b>50%</b>	
			<b>3073.50 SQF</b>	
			<b>FLOOR AREA RATIO (FAR)</b>	
			<b>49.98 %</b>	



**5 PROPOSED SITE PLAN**

**Rangel Residence**

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 Campbell, CA 95008

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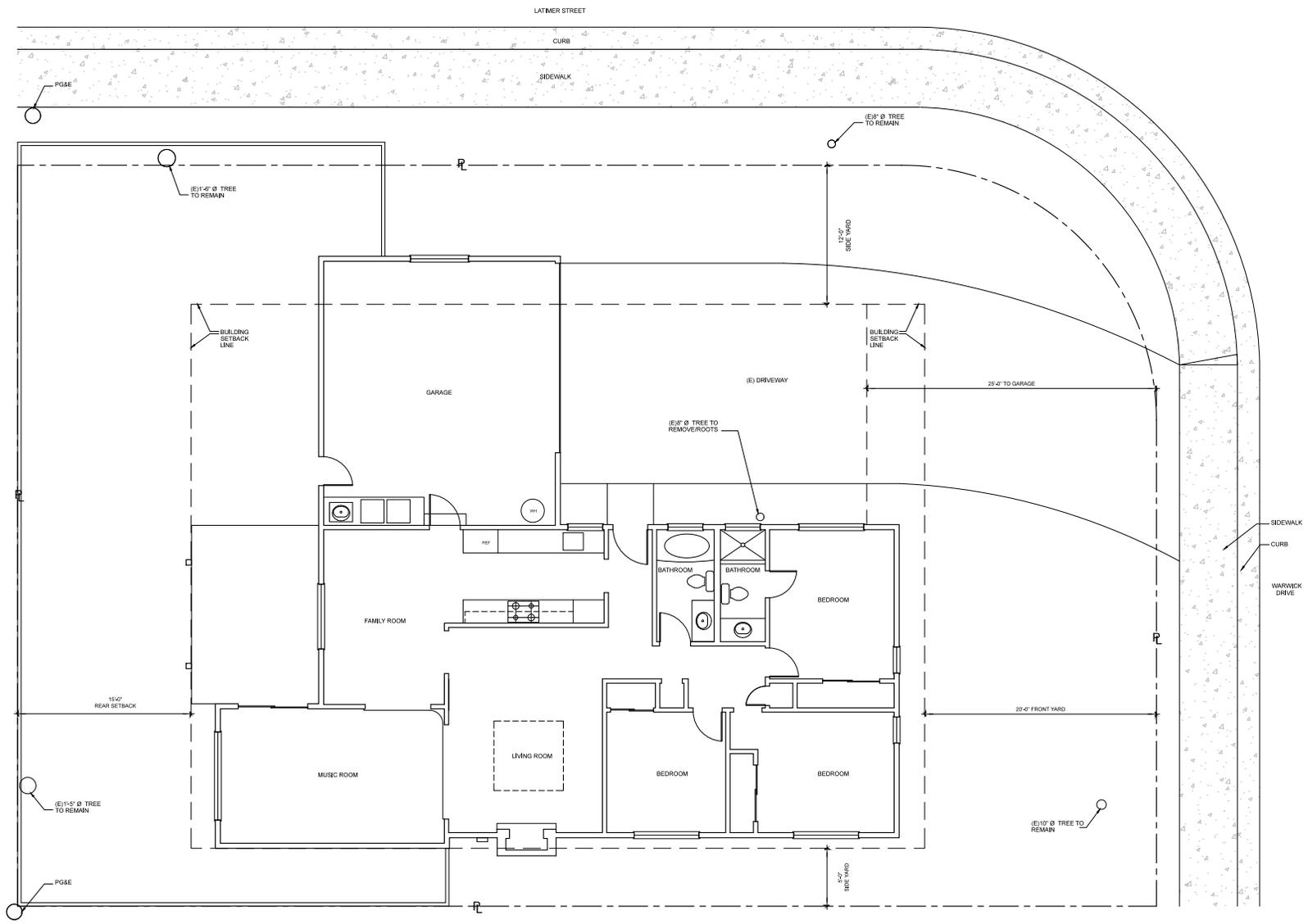
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**REVISIONS**

PROPOSED SITE PLAN  
 ABBREV. & SYMB. LEGEND  
 SCOPE OF WORK  
 DRAWING INDEX  
 FLOOR AREA CALCULATION  
 APPLICABLE CODES  
 PLANNING DATA  
 LOCATION MAP  
 DRAWING NUMBER

**A0**

OF DRAWING(S)  
 PROJECT:  
 RANGEL RESIDENCE  
 DRAWN BY:  
 G. NAVARRETE  
 DESIGNED BY:  
 G. NAVARRETE  
 DATE:  
 November, 2015



25 (E) FLOOR PLAN  
NOTE: SHOWN EXISTING PG&E POSTS

1/4"=1'-0"

# Rangel Residence

283 Warwick Drive  
Campbell, CA 95008

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DESIGNER ASSOC. AIA 304 068 97

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## (E) FLOOR PLAN

DRAWING NUMBER  
**A1**

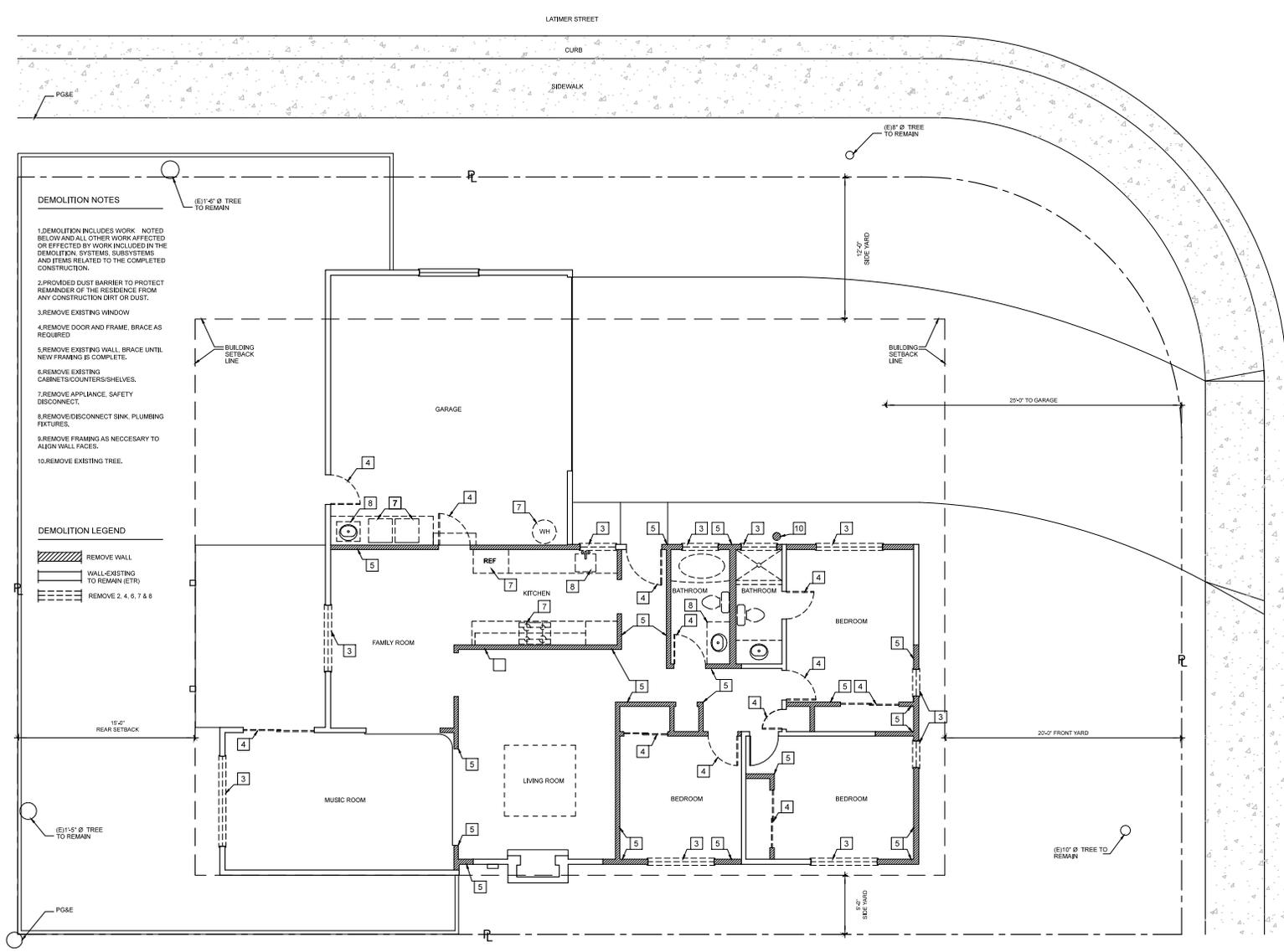
OF DRAWING(S)

PROJECT  
RANGEL RESIDENCE

DRAWN BY: B. MILO  
DESIGNED BY: G. NAVARRETE

DATE:

November, 2015



**DEMOLITION NOTES**

1. DEMOLITION INCLUDES WORK NOTED BELOW AND ALL OTHER WORK AFFECTED OR EFFECTED BY WORK INCLUDED IN THE DEMOLITION. SYSTEMS, SUBSYSTEMS AND ITEMS RELATED TO THE COMPLETED CONSTRUCTION.
2. PROVIDE DUST BARRIER TO PROTECT REMAINDER OF THE RESIDENCE FROM ANY CONSTRUCTION DIRT OR DUST.
3. REMOVE EXISTING WINDOW
4. REMOVE DOOR AND FRAME, BRACE AS REQUIRED
5. REMOVE EXISTING WALL. BRACE UNTIL NEW FRAMING IS COMPLETE.
6. REMOVE EXISTING CABINETS/COUNTERS/SHELVES.
7. REMOVE APPLIANCE. SAFETY DISCONNECT.
8. REMOVE/DISCONNECT SINK, PLUMBING FIXTURES.
9. REMOVE FRAMING AS NECESSARY TO ALIGN WALL FACES.
10. REMOVE EXISTING TREE.

**DEMOLITION LEGEND**

- REMOVE WALL
- WALL-EXISTING TO REMAIN (ETR)
- REMOVE 2, 4, 6, 7 & 8

**Rangel Residence**

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**DEMOLITION FLOOR PLANS**

DRAWING NUMBER

**A2**

OF DRAWING(S)

PROJECT:  
RANGEL RESIDENCE

DRAWN BY: B. MLO  
DESIGNED BY: G. NAVARRETE

DATE:

November, 2015

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1ST FLOOR PLAN

DRAWING NUMBER

**A3**

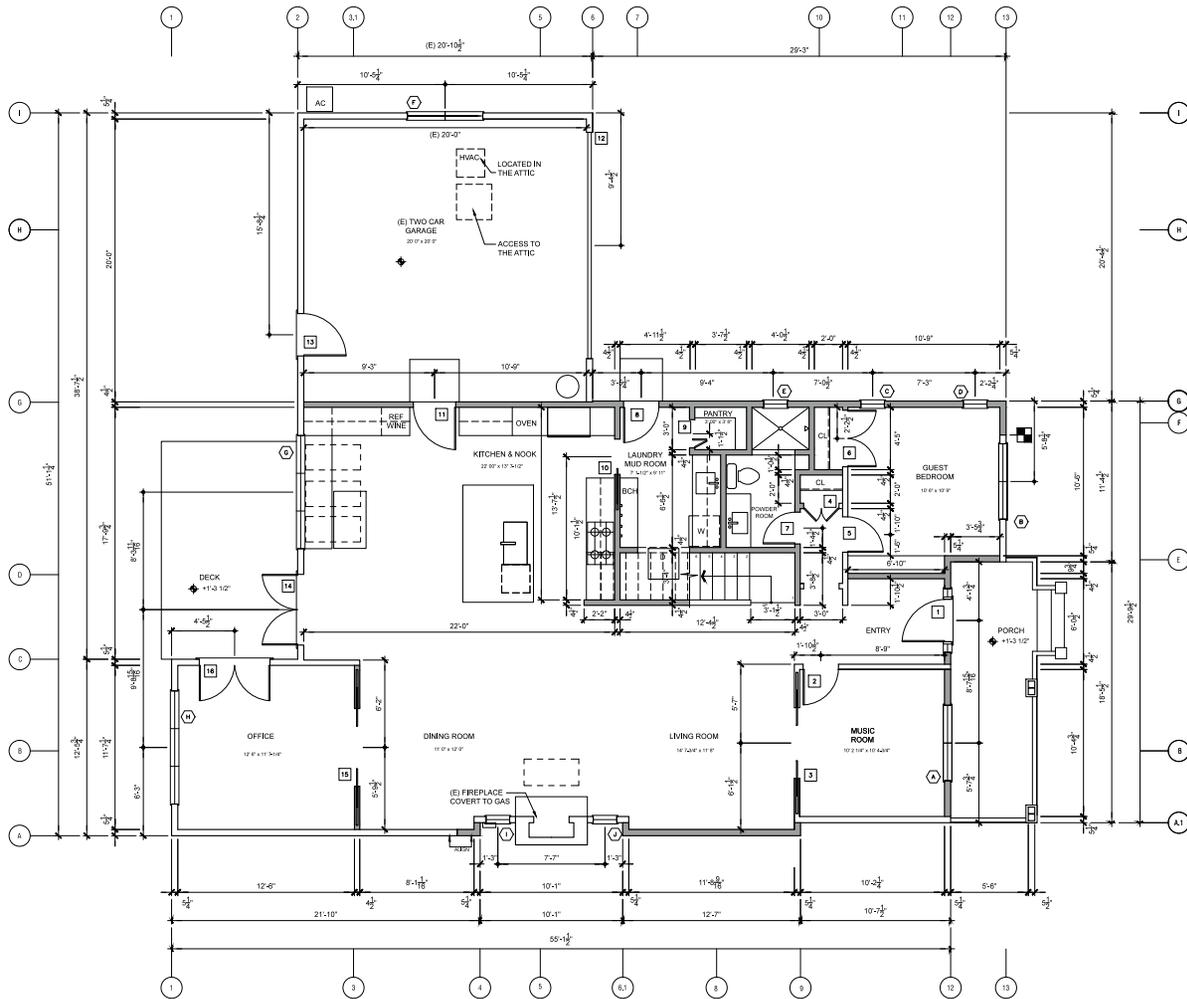
OF DRAWING(S)

PROJECT  
RANGEL RESIDENCE

DRAWN BY: B. MLO DESIGNED BY: G. NAVARRETE

DATE:

November, 2015



## SYMBOLS LEGEND



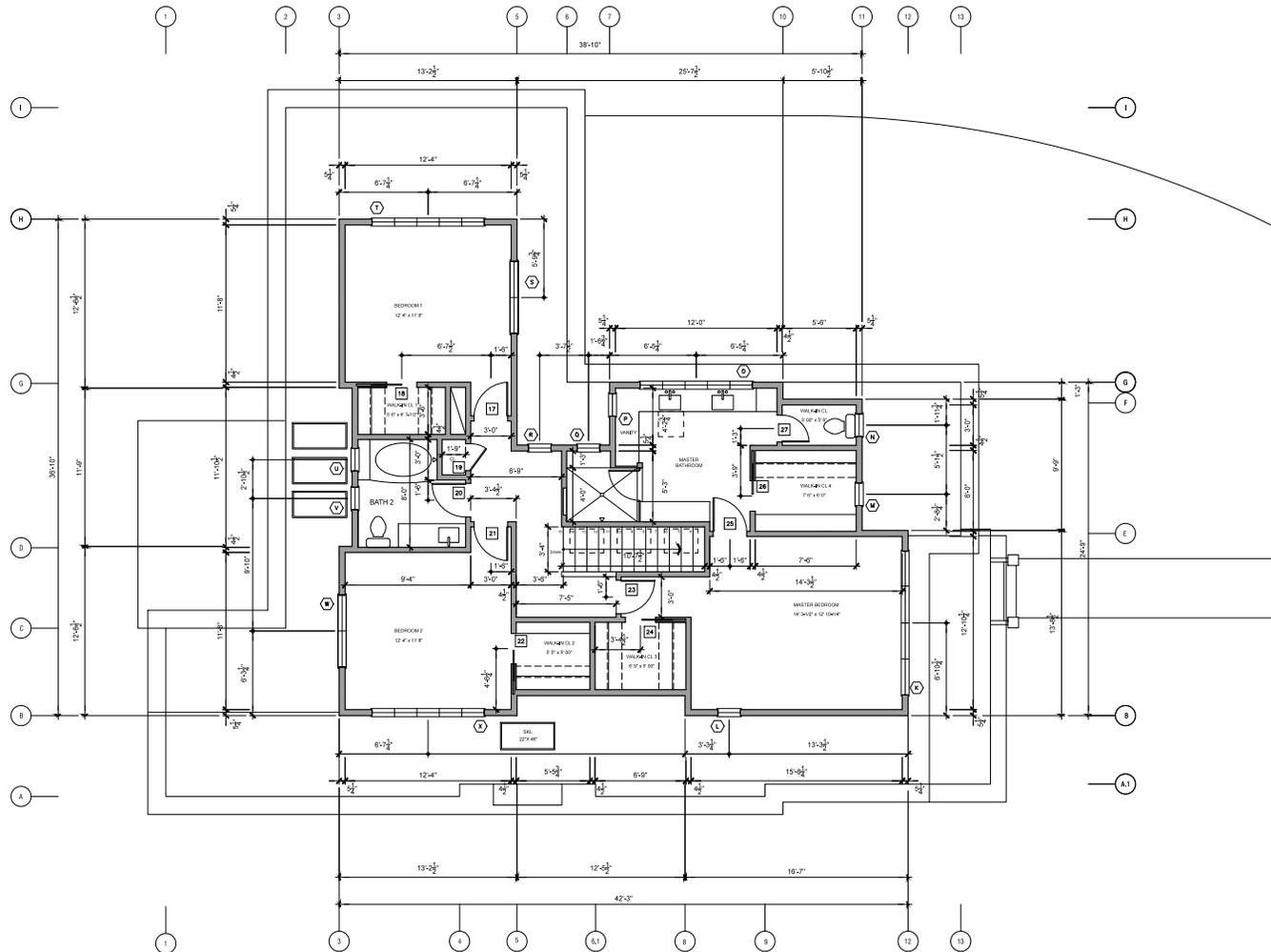
**FIRE SPRINKLER SYSTEM NOTES:**  
INSTALL N.F.P.A. 130 FIRE SPRINKLER SYSTEM COMPLYING WITH LOCAL AMENDMENTS. PROVIDE PERMANENT DRAIN TO SANITARY SEWER FOR ALL SPRINKLER DISCHARGE.  
FIRE SPRINKLER SYSTEM DESIGN TO BE COMPLETED AS A DEFERRED SUBMITTAL AFTER PLANNING APPLICATION APPROVAL IS RECEIVED.

25 1ST FLOOR PLAN

NOTE: DIMENSIONS TO FINISH SURFACE



1/4"=1'-0"



**SYMBOLS LEGEND**

- WALL - EXISTING TO REMAIN (ETR)
- WOOD FRAME WALLS (2x4 STUDS @ 16" O.C. 1/2" GYPSUM BOARD EACH SIDE, OR 2x4 STUD EXTERIOR WALL)

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 INSTALL N.F.P.A. 130 FIRE SPRINKLER SYSTEM COMPLYING WITH LOCAL AMENDMENTS. PROVIDE PERMANENT DRAIN TO SANITARY SEWER FOR ALL SPRINKLER DISCHARGE.  
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**25 2ND FLOOR PLAN**

NOTE: DIMENSIONS TO FINISH SURFACE



1/4"=1'-0"

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**2ND FLOOR PLAN**

DRAWING NUMBER

**A4**

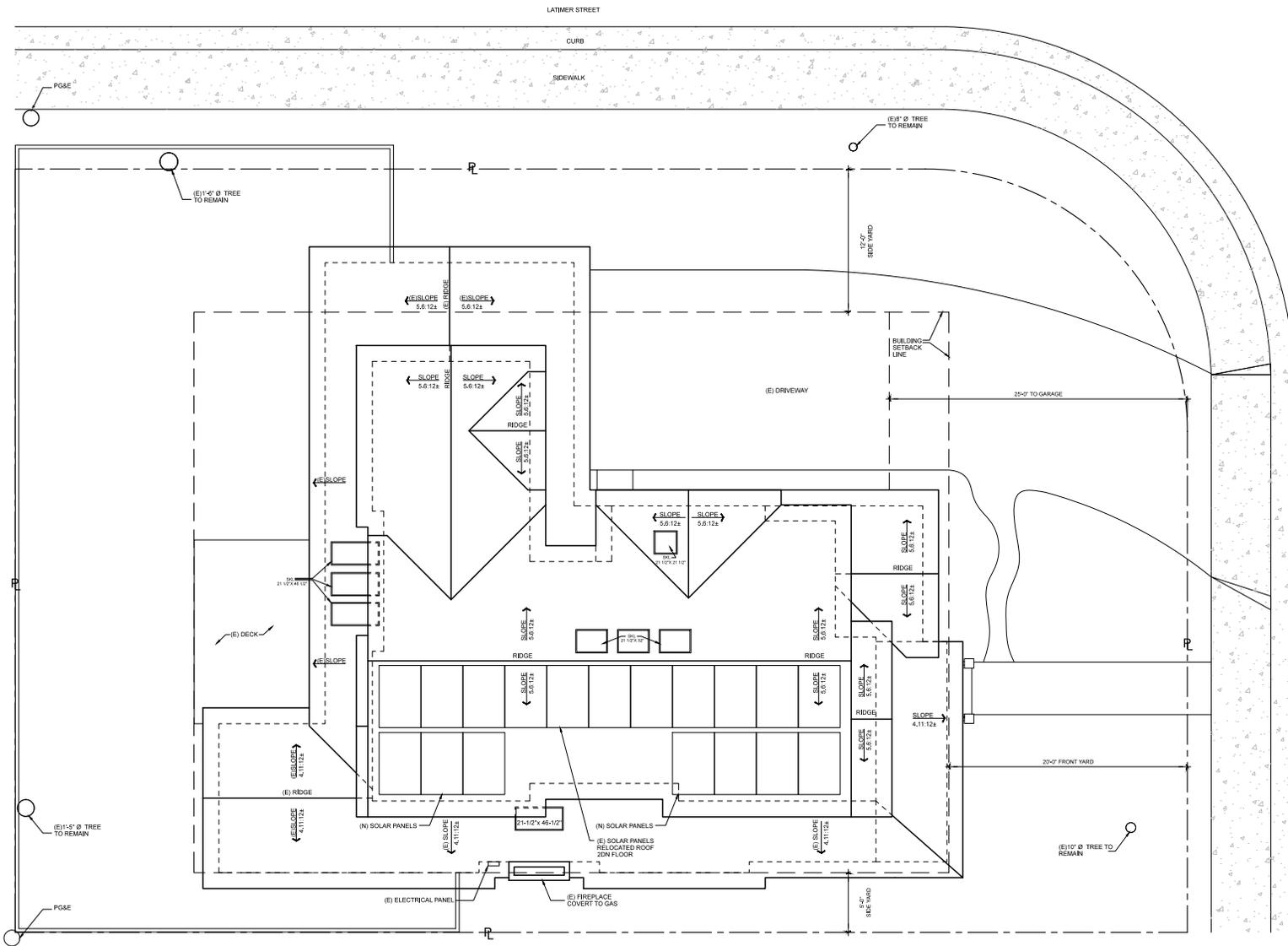
OF DRAWING(S)

PROJECT:  
 RANGEL RESIDENCE

DRAWN BY: E. M.L.O. DESIGNED BY: G. NAVARRETE

DATE

November, 2015



25 ROOF PLAN  
NOTE:



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## ROOF PLAN

DRAWING NUMBER

**A5**

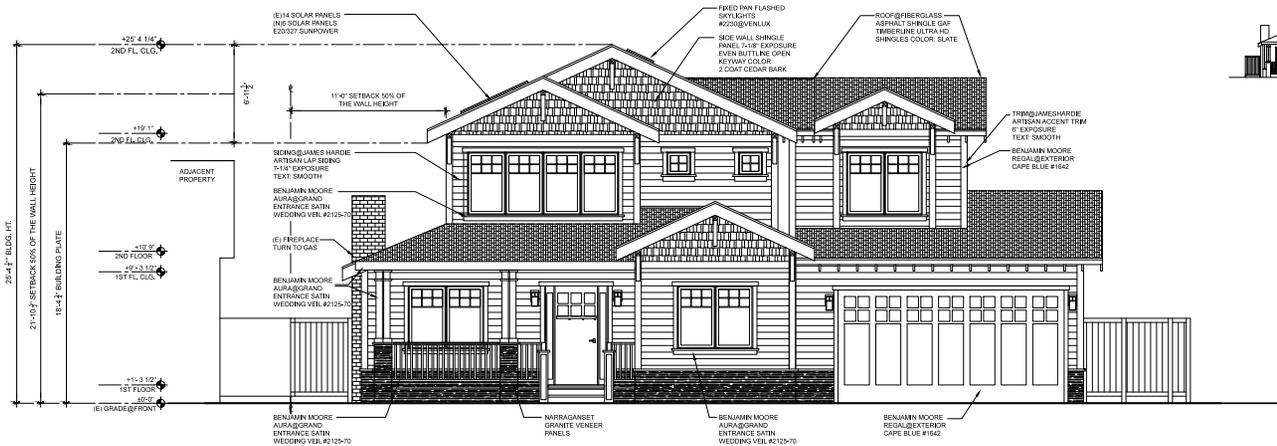
OF DRAWING(S)

PROJECT:  
RANGEL RESIDENCE

DRAWN BY: B. MILO  
DESIGNED BY: G. NAVARRETE

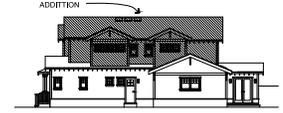
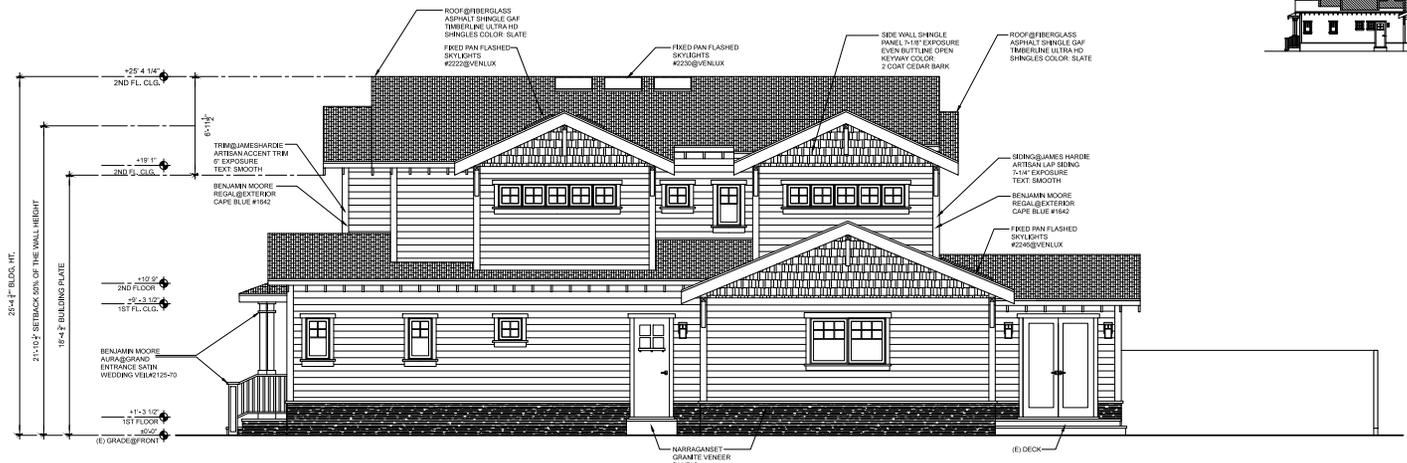
DATE:

November, 2015



23 EAST ELEVATION  
NOTE: DIMENSIONS TO FINISH SURFACE

1/4"=1'-0"



25 NORTH ELEVATION  
NOTE: DIMENSIONS TO FINISH SURFACE

1/4"=1'-0"

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EAST ELEVATION  
NORTH ELEVATION

DRAWING NUMBER

A6

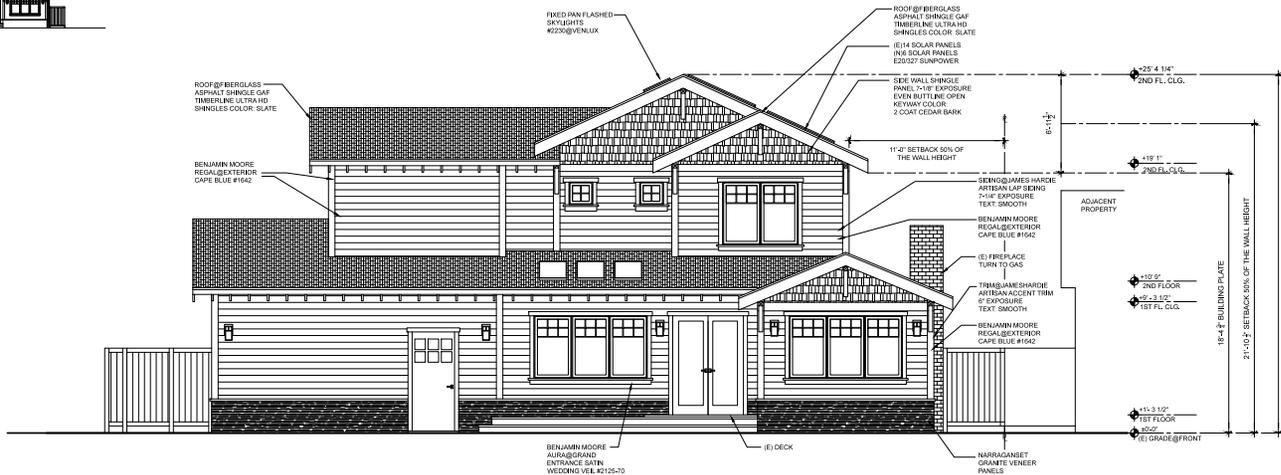
OF DRAWING(S)

PROJECT  
RANGEL RESIDENCE

DRAWN BY: B. MILO  
DESIGNED BY: G. NAVARRETE

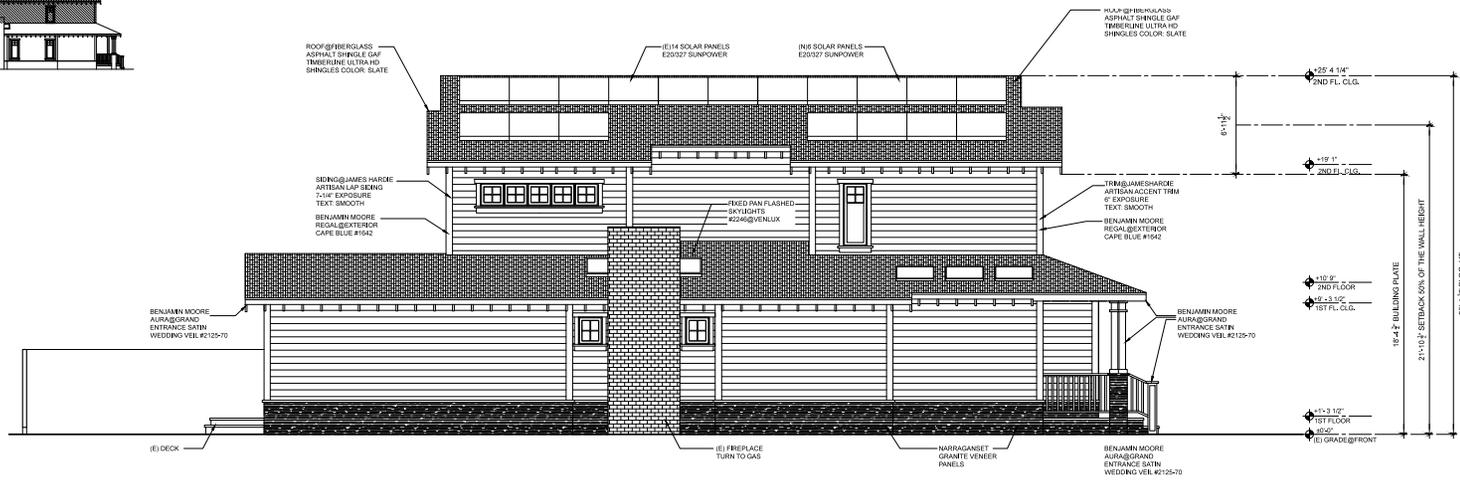
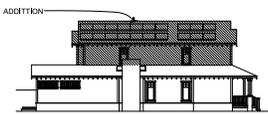
DATE:

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23 WEST ELEVATION  
NOTE: DIMENSIONS TO FINISH SURFACE

1/4"=1'-0"



25 SOUTH ELEVATION  
NOTE: DIMENSIONS TO FINISH SURFACE

1/4"=1'-0"

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## WEST ELEVATION & SOUTH ELEVATION

DRAWING NUMBER

# A7

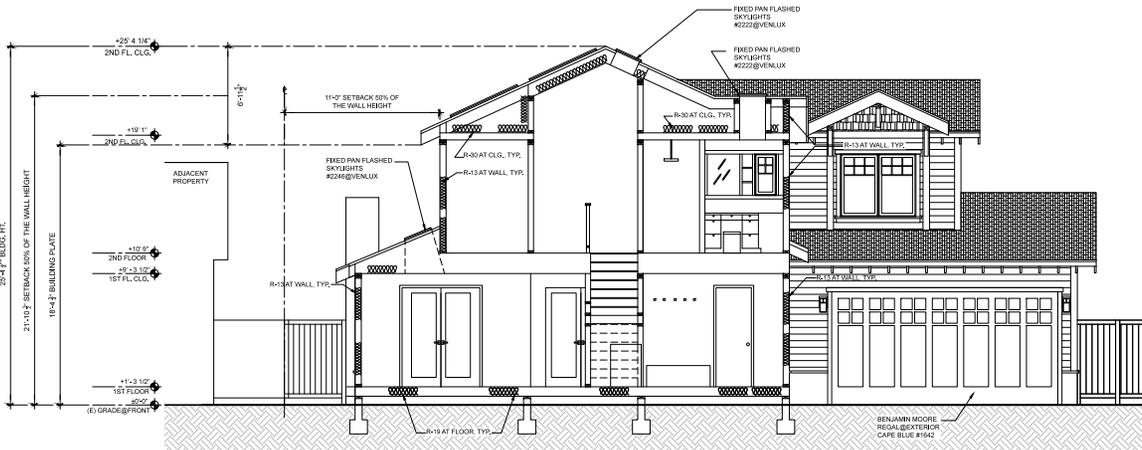
OF DRAWING(S)

PROJECT:  
RANGEL RESIDENCE

DRAWN BY: B. MILO  
DESIGNED BY: G. NAVARRETE

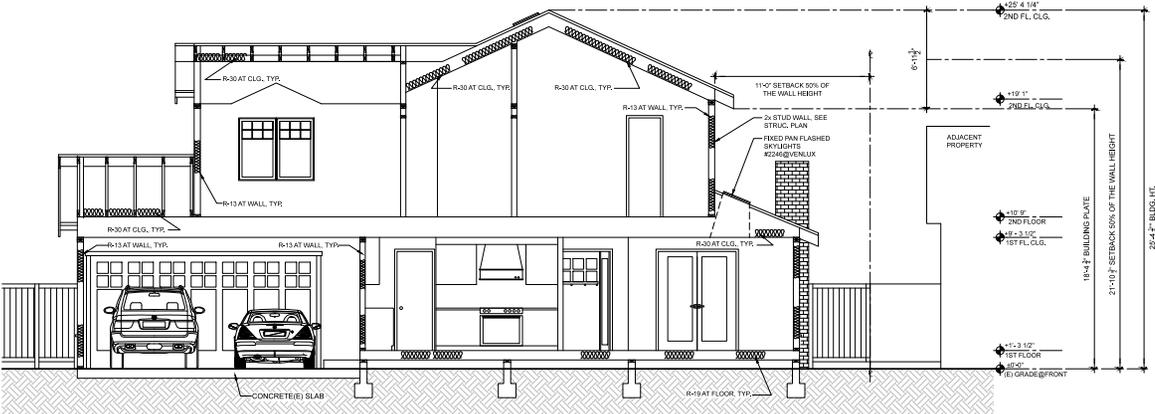
DATE:

November, 2015



25 SECTION B-B  
NOTE: DIMENSIONS TO FINISH SURFACE

1/4"=1'-0"



25 SECTION A-A  
NOTE: DIMENSIONS TO FINISH SURFACE

1/4"=1'-0"

WINDOW SCHEDULE						
#	LOCATION	SIZE	COMPANY	SERIES	DESCRIPTION	STICKING
A	Music Room	2 (2' 8" X 4' 5")	Integrity	CUCA 3254	Temp. Glass	OS
B	Guest Bedroom	2 (2' 8" X 4' 5")	Integrity	CUCA 3254	Temp. Glass	OS
C	Guest Bedroom	2' 0" X 2' 11 1/2"	Integrity	CUCA 2036	Temp. Glass	OS
D	Guest Bedroom	2' 0" X 2' 11 1/2"	Integrity	CUCA 2036	Temp. Glass	OS
E	Bathroom 1	1' 7 1/2" X 1' 8"	Integrity	CUCA 2020		OS
F	Garage	2 (2' 8" X 3' 3 1/2")	Integrity	CUCA 3240		OS
G	Nook	3 (2' 8" X 4' 5")	Integrity	CUCA 3254	Temp. Glass	OS
H	Office	3 (2' 8" X 4' 5")	Integrity	CUCA 3254	Temp. Glass	OS
I	Living Room	1' 11 1/2" X 1' 8"	Integrity	CUCA 2024		OS
J	Living Room	1' 11 1/2" X 1' 8"	Integrity	CUCA 2024		OS
K	Master Bedroom	4 (2' 8" X 4' 5")	Integrity	CUCA 3254		OS
L	Master Bedroom	1' 8" X 4' 5"	Integrity	CUCA 2054		OS
M	Walk-in Closet MB	1' 7 1/2" X 1' 8"	Integrity	CUCA 2020		OS
N	Toilet	1' 7 1/2" X 1' 8"	Integrity	CUCA 2020		OS
O	Master Bathroom	4 (1' 8" X 1' 11 1/2")	Integrity	CUCA 2020		OS
P	Vanity Master Bathroom	1' 8" X 2' 11 1/2"	Integrity	CUCA 2036		OS
Q	Shower Master Bath	1' 7 1/2" X 1' 8"	Integrity	CUCA 2020		OS
R	Hallway	1' 8" X 2' 11 1/2"	Integrity	CUCA 2036		OS
S	Bedroom 1	2 (2' 8" X 4' 5")	Integrity	CUCA 3254		OS
T	Bedroom 1	4 (1' 8" X 1' 8")	Integrity	CUCA 2020		OS
U	Bathroom 2	1' 7 1/2" X 1' 8"	Integrity	CUCA 2020		OS
V	Bathroom 2	1' 7 1/2" X 1' 8"	Integrity	CUCA 2020		OS
W	Bedroom 2	2 (2' 8" X 4' 5")	Integrity	CUCA 3254		OS
X	Bedroom 2	4 (1' 7 1/2" X 1' 8")	Integrity	CUCA 2020		OS

DOOR SCHEDULE							
#	LOCATION	SIZE	COMPANY	DESCRIPTION	SERIES	STICKING	PANEL
1	Entry	3' 0"	Trustile	SD	TS8020	OS	MDF-Mahogany
2	Music Room	2' 6"	Trustile	SD	TS1000	OS	MDF
3	Music Room	5' 0"	Trustile	DD-Pocket Door	FL100	OS	Temp Glass
4	Hall Closet	2' 6"	Trustile	DD	TS1000	OS	MDF
5	Guest Room	2' 6"	Trustile	SD	TS1000	OS	MDF
6	Guest Closet	4' 0"	Trustile	DD	TS1000	OS	MDF
7	Bathroom 1	2' 3"	Trustile	SD	TS1000	OS	MDF
8	Laundry	2' 6"	Trustile	SD	TS1000	OS	MDF
9	Pantry	2' 0"	Trustile	BIFoldD	TS1000	OS	MDF
10	Laundry	2' 6"	Trustile	Pocket Door	TS1000	OS	MDF
11	Kitchen-Garage	3' 0"	Trustile	SD	TS1000	OS	MDF
12	Garage	16' 0"	Trustile	SD	TS1000	OS	MDF
13	Garage-Patio	3' 0"	Trustile	SD	TS1000	OS	MDF
14	Great Room	5' 0"	Trustile	DD	FL100	OS	Temp Glass
15	Office	5' 0"	Trustile	DD-Pocket Door	FL100	OS	Temp Glass
16	Office	5' 0"	Trustile	DD	FL100	OS	Temp Glass
17	Bedroom 1	2' 6"	Trustile	SD	TS1000	OS	MDF
18	Walk-in Closet 1	2' 3"	Trustile	SD	TS1000	OS	MDF
19	Hallway Closet	2' 0"	Trustile	SD	TS1000	OS	MDF
20	Bathroom 2	2' 6"	Trustile	SD	TS1000	OS	MDF
21	Bedroom 2	2' 6"	Trustile	SD	TS1000	OS	MDF
22	Walk-in Closet 2	2' 3"	Trustile	SD-Pocket Door	TS1000	OS	MDF
23	Master Bedroom	2' 6"	Trustile	SD	TS1000	OS	MDF
24	Walk-in Closet 3	2' 3"	Trustile	SD-Pocket Door	TS1000	OS	MDF
25	Master Bathroom	2' 6"	Trustile	SD	TS1000	OS	MDF
26	Walk-in Closet 4	2' 3"	Trustile	SD-Pocket Door	TS1000	OS	MDF
27	Toilet-MB	2' 0"	Trustile	SD	TS1000	OS	MDF

CUCA OS Glad Ultimate Casement  
One Step Sticking with Flat (C) Panel  
Integrity All Ultrax Casement Window  
High-Performance Low E2-272 Glass,  
Satin Nickel Folding Hardware

BFOS OS BL-Fold Out Swing  
MDF MDF/Paint-Grade  
SD Single Door  
DD Double Door  
Glass Clear

10 DOOR & WINDOW SCHEDULE

# Rangel Residence

283 Warwick Drive  
Campbell, CA 95008

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## BUILDING SECTIONS DOOR & WINDOW SCHEDULE

DRAWING NUMBER

A8

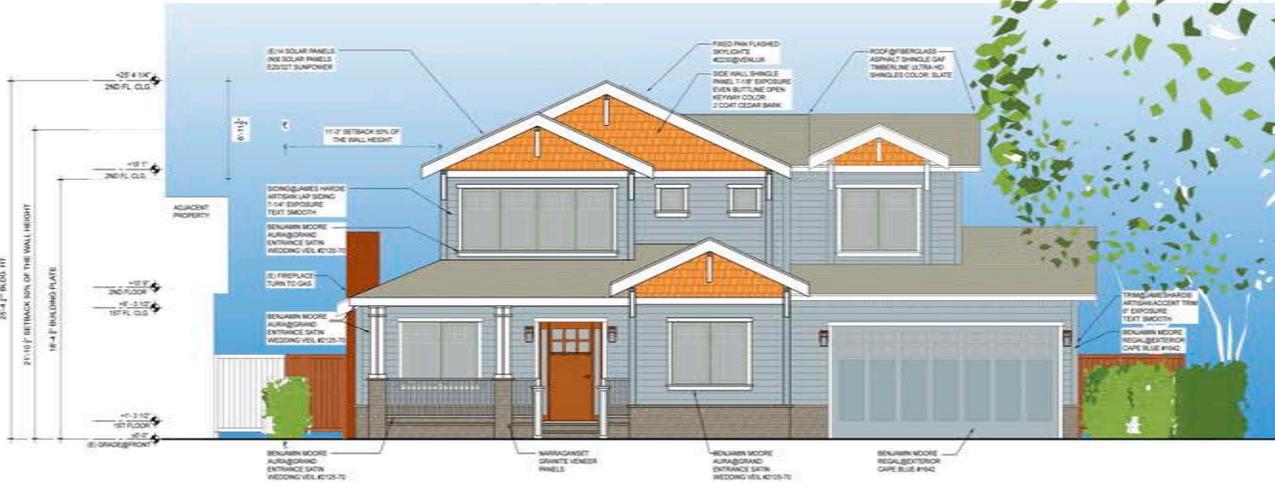
OF DRAWING(S)

PROJECT  
RANGEL RESIDENCE

DRAWN BY: B. MILO  
DESIGNED BY: G. NAVARRETE

DATE:

November, 2015



23 EAST ELEVATION  
NOTE: DIMENSIONS TO FINISH SURFACE

1/4"=1'-0"



25 NORTH ELEVATION  
NOTE: DIMENSIONS TO FINISH SURFACE

1/4"=1'-0"

# Rangel Residence

283 Wilanick Drive  
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### EAST ELEVATION NORTH ELEVATION

DRAWING NUMBER

# A9

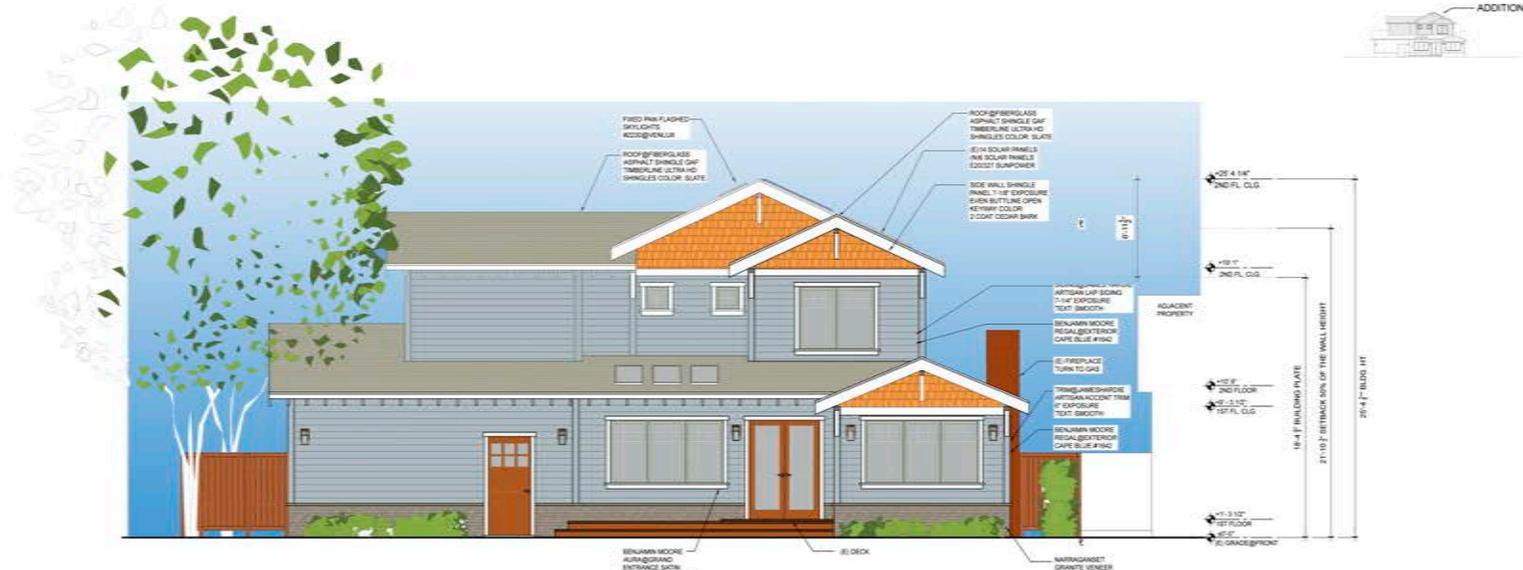
OF DRAWINGS

PROJECT  
RANGEL RESIDENCE

DRAWN BY: S. MILO  
DESIGNED BY: G. NAVARRETE

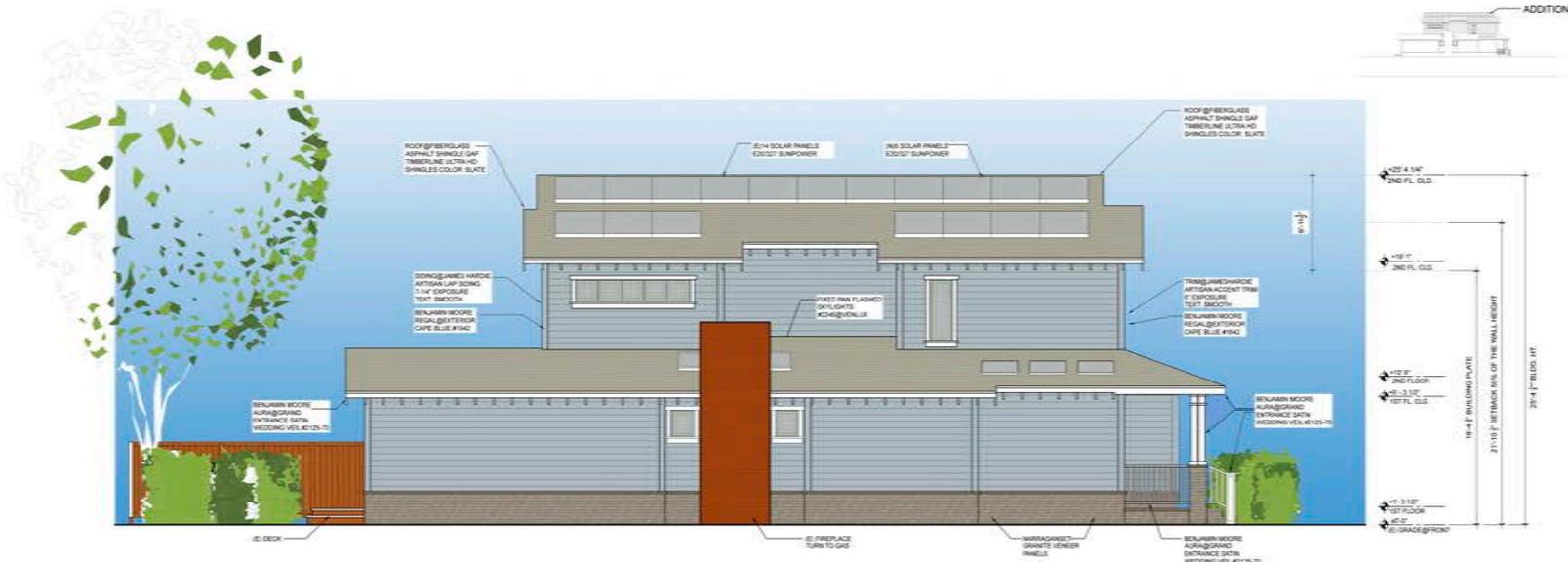
DATE:

November, 2015



23 WEST ELEVATION  
NOTE: DIMENSIONS TO FINISH SURFACE

1/4"=1'-0"



25 SOUTH ELEVATION  
NOTE: DIMENSIONS TO FINISH SURFACE

1/4"=1'-0"



# Rangel Residence

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## WEST ELEVATION & SOUTH ELEVATION

DRAWING NUMBER

**A10**

OF DRAWINGS

PROJECT  
RANGEL RESIDENCE

DRAWN BY: B. MILO  
DESIGNED BY: G. NAVARRETE

DATE:

November, 2015



23 EAST ELEVATION  
NOTE: DIMENSIONS TO FINISH SURFACE

3/16"=1'-0"



25 NORTH ELEVATION  
NOTE: DIMENSIONS TO FINISH SURFACE

3/16"=1'-0"

## Rangel Residence

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EAST ELEVATION &  
NORTH ELEVATION

DRAWING NUMBER

**A11**

OF DRAWINGS

PROJECT  
RANGEL RESIDENCE

DRAWN BY: DESIGNED BY:  
B. MILO G. NAVARRETE

DATE:

November, 2015