



CITY OF CAMPBELL
Community Development Department

March 3, 2016

NOTICE OF ADMINISTRATIVE SITE & ARCHITECTURAL REVIEW PERMIT

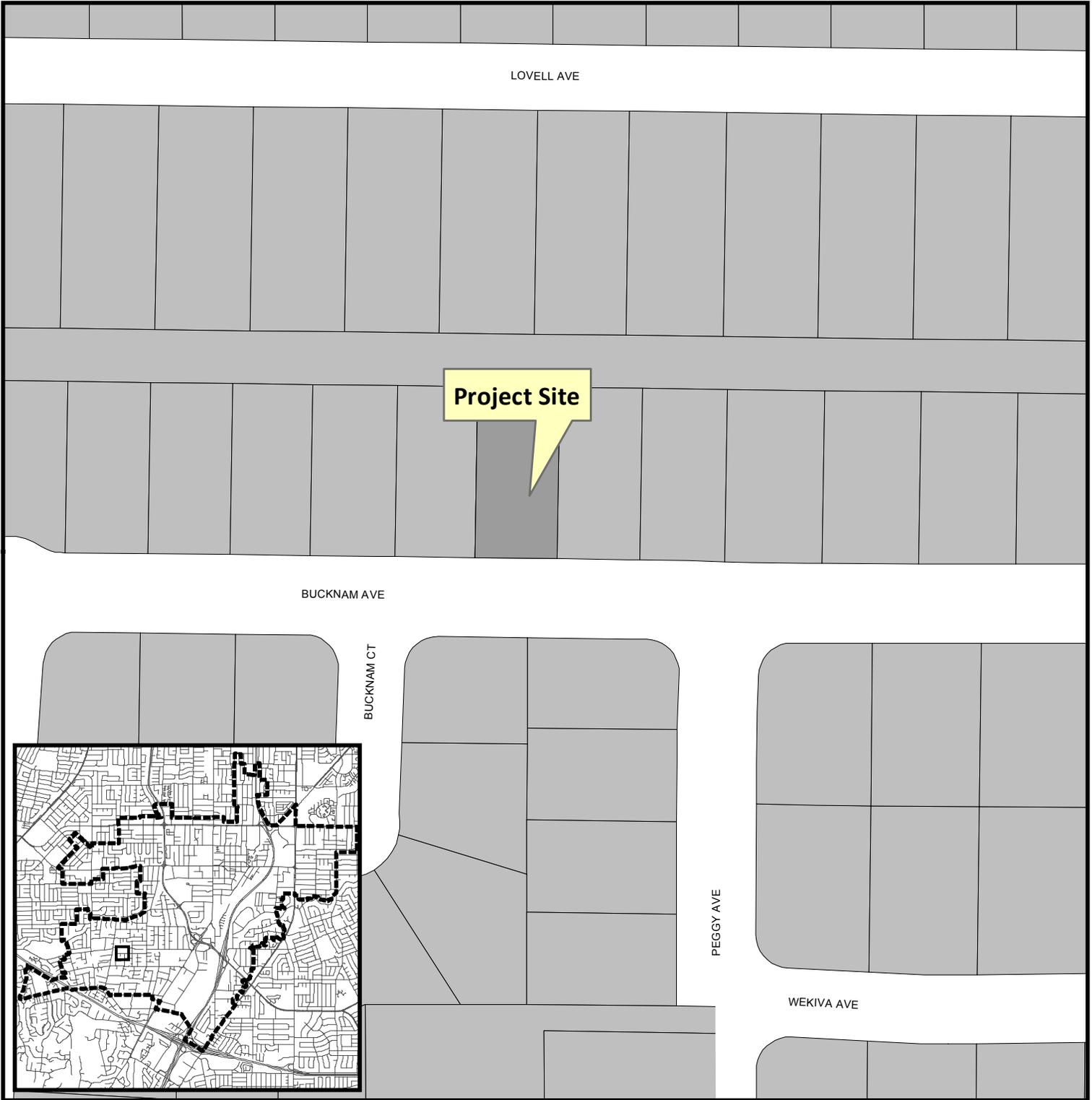
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site & Architectural Review Permit for the following project proposal:

File No.:	PLN2016-49
Applicant:	Timothy and Robin Mendolia
Project Address:	1153 Bucknam Ave.
Property Owner:	Timothy and Robin Mendolia
Zoning District:	R-1-8 (Single-Family Residential)
General Plan:	Low Density Residential
Project Description:	Construction of a 663 square-foot single-story addition to the rear of an existing single-family residence with a façade improvement.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on March 3, 2016 and ends on March 14, 2016. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **March 14, 2016**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Daniel Fama, Associate Planner, in the Community Development Department, at (408) 866-2193 or by email danielf@cityofcampbell.com.

Project Location Map

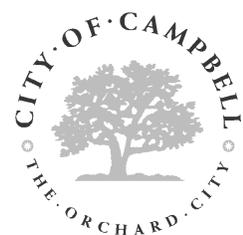
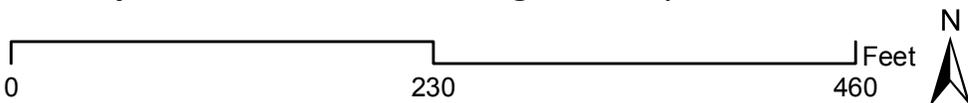


Project Location: 1153 Bucknam Ave.

Application Type: Admin. Site and Arch. Review Permit

Planning File No.: PLN2016-49

Description: Addition to a single-family residence

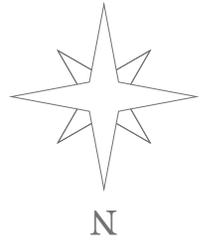


Community Development Department
Planning Division

NO.	DATE	REVISIONS
1	02/17/16	Checked page name to "Proposed Plan" as placed near yard easement, added patio cover to show new addition front yard landscaping, changed garage driveway, and
2		
3		
4		

Mendolia Project
 1153 Bucknam ave.
 Campbell, CA 95008
 (408) 506-8151

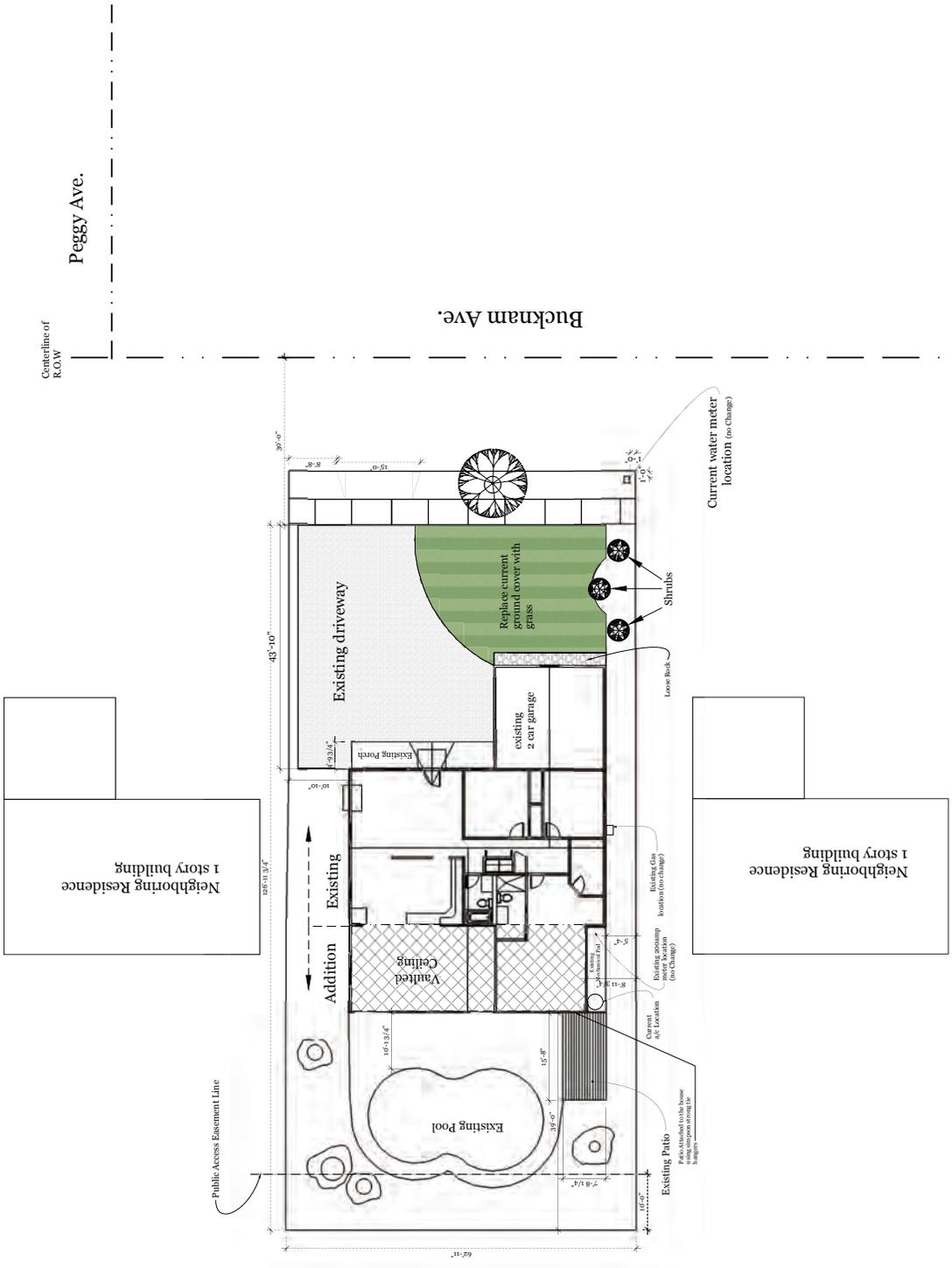
Proposed Site Plan
 1"=10' Scale



APN: 406-15-009

1"=10' Scale

Proposed Site Plan



Centerline of R.O.W

Peggy Ave.

Bucknam Ave.

Neighboring Residence 1 story building

Neighboring Residence 1 story building

Public Access Easement Line

Current water meter location (no change)

Existing Patios

Existing patios to be removed and replaced with new patios as shown on drawing for landscaping.

Building footprint (no change)

Existing Porch

Existing driveway

existing 2 car garage

Replace current ground cover with grass

Shrubs

Lowes Back

Replace Gas meters (no change)

Current A/C location

Current A/C location

Existing Pool

Vaulted Ceiling

Addition

Existing Porch

Existing driveway

existing 2 car garage

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Shrubs

Lowes Back

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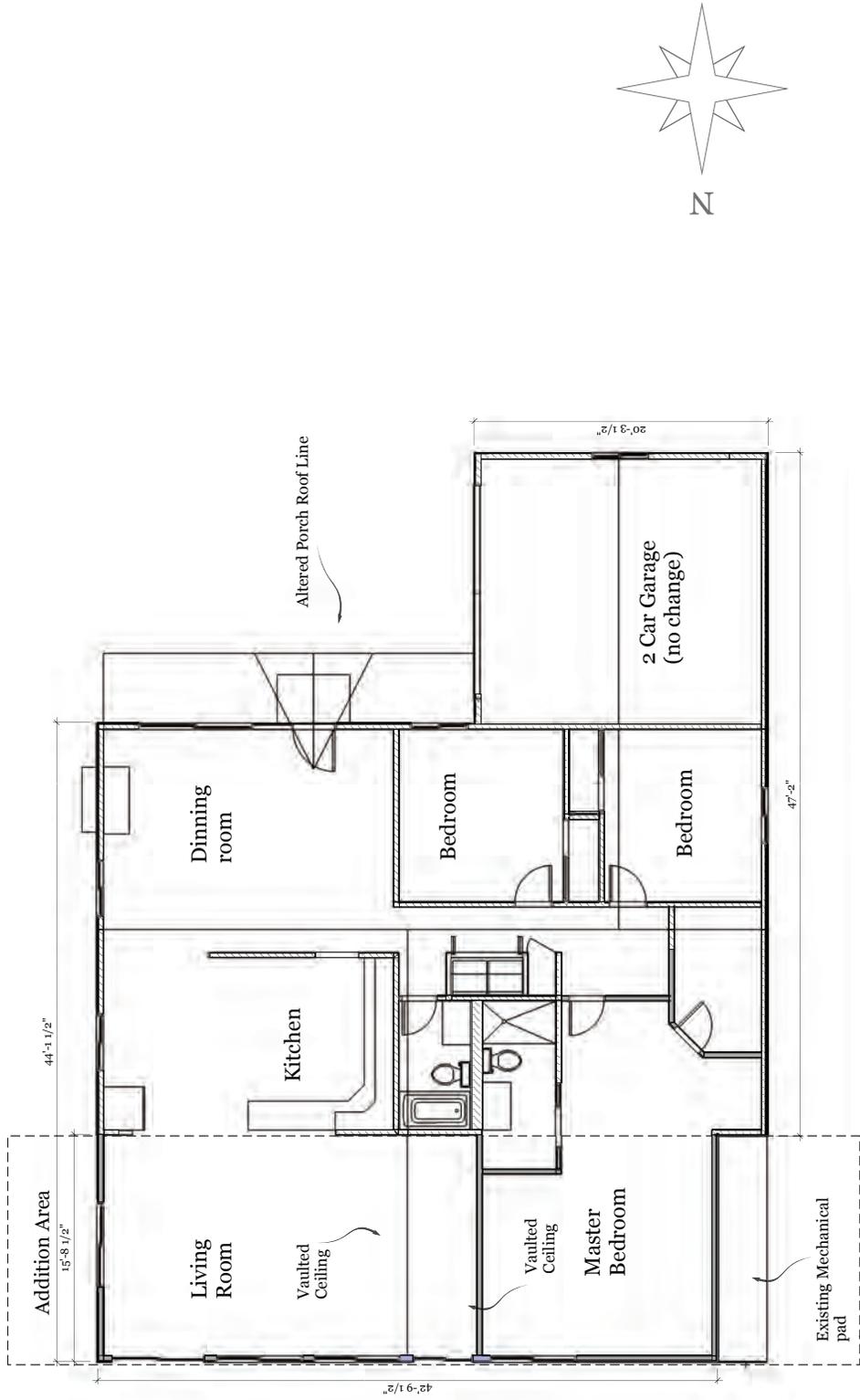
Existing Pool

Vaulted Ceiling

Addition

Mendolia Project
1153 Bucknam ave.
Campbell, CA 95008
(408) 506-8151

NO.	DATE	REVISIONS
1	02/17/16	Checked page name to "Proposed Floor Plan" placed new yard elements added paths and changed to show new "Altered Porch Roof Line" changed to existing configuration.
2		
3		
4		



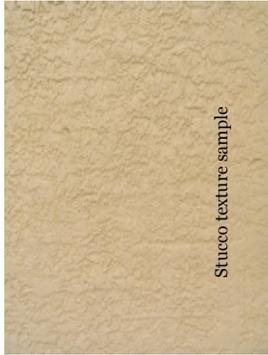
Proposed Floor Plan

1288 sq. ft. living area
353 sq. ft. Garage

Wall Legend:

- Existing Walls
- New wall

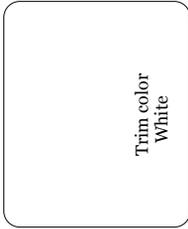
Existing Living Area	1288 sq. ft.
Addition	663 sq. ft.
Total Living Area	1952 sq. ft.
Existing Garage	375 sq. ft.



Stucco texture sample



Base paint color

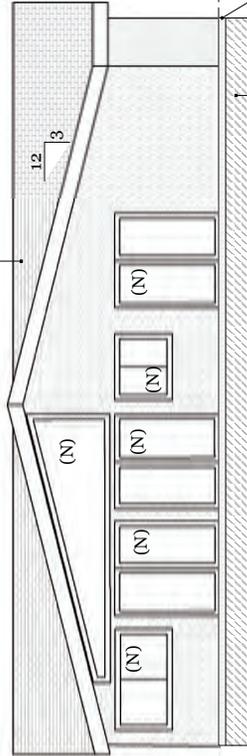


Trim color
White

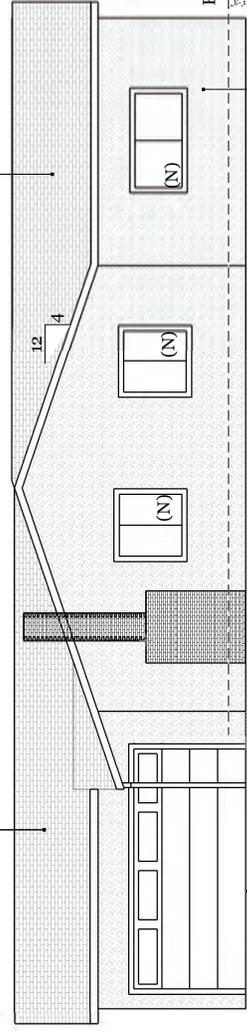
Addition exterior will have stucco to match existing structure

(N) Class "A" Composition Shingle Roofing Per Manuf. Specs & Roof Sheathing-Opt. Throughout

(N) Class "A" Composition Shingle Roofing Per Manuf. Specs & Roof Sheathing-Opt. Throughout



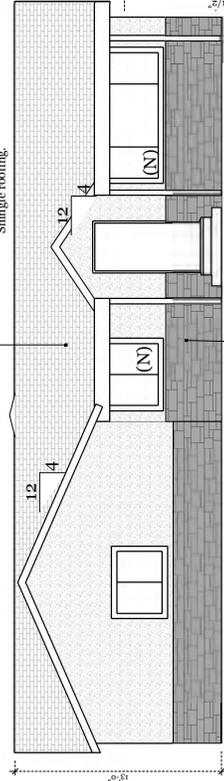
Rear Elevation
1/4" = 1'



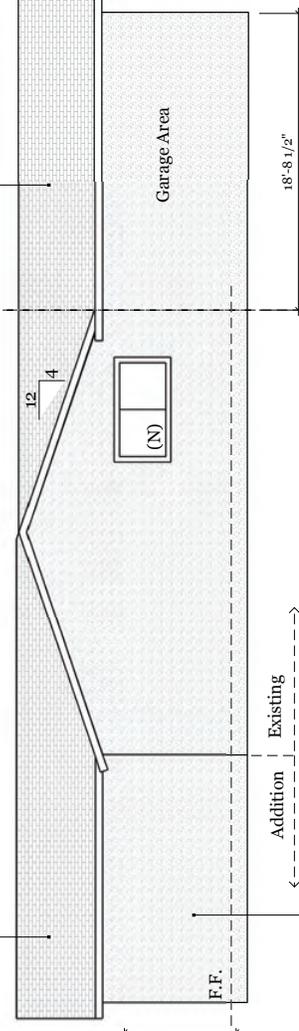
Right Elevation
1/4" = 1'

(N) Class "A" Composition Shingle Roofing

(N) Class "A" Composition Shingle Roofing Per Manuf. Specs & Roof Sheathing-Opt. Throughout



Front Elevation
1/4" = 1'



Left Elevation
1/4" = 1'

Roof Pitch:
Existing 4:12
Addition 3:12

Exterior Elevations

1/4" = 1' Scale

Mendolia Project
1153 Bucknam Ave.
Campbell, CA 95008

(408) 506-8151

REVISIONS

NO.	DATE	REVISIONS
1	02/17/16	Checked page numbers for "Proposed" and "Existing" and added notes to existing configurations.
2		
3		
4		

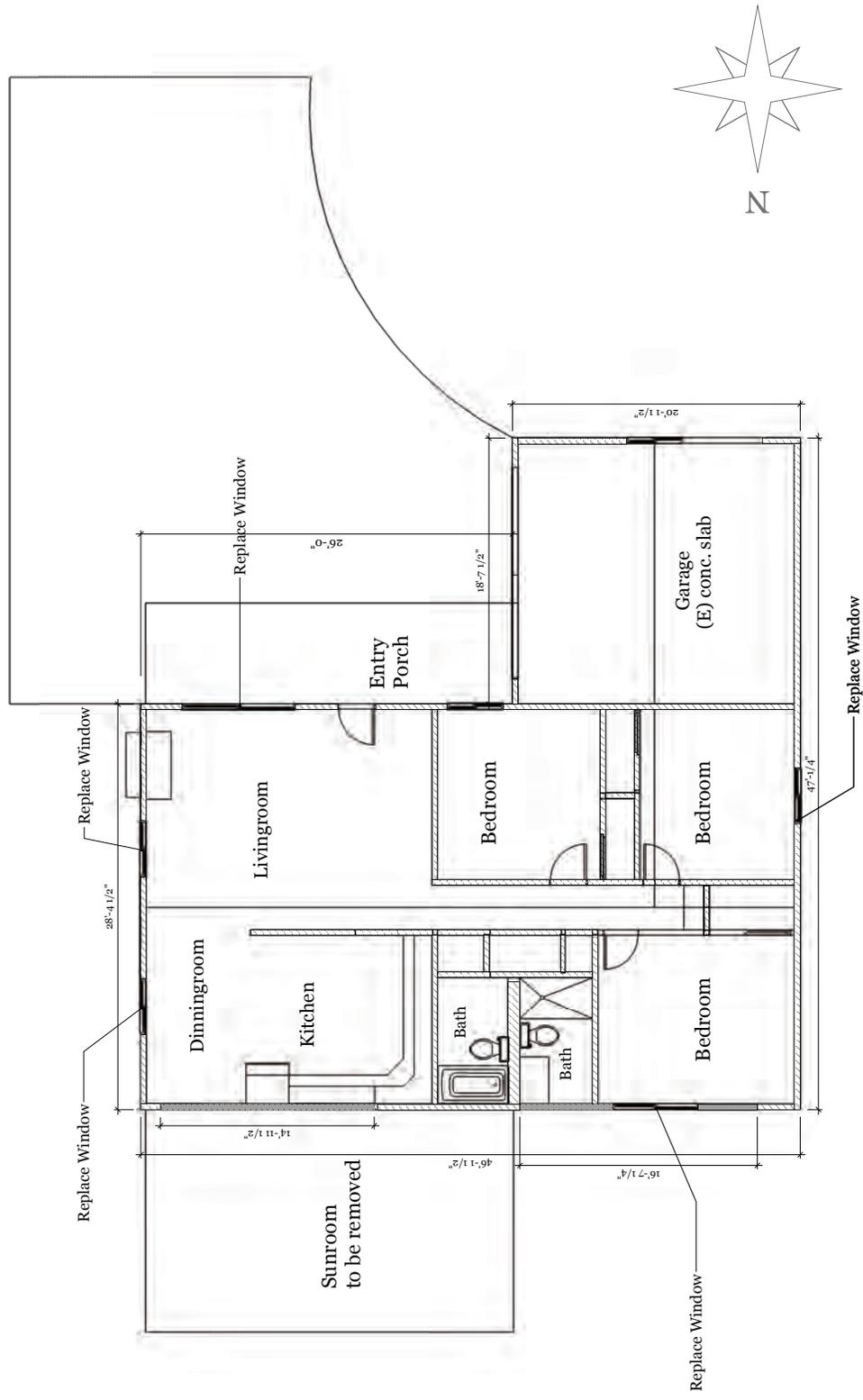
A

03

NO.	DATE	REVISIONS
1	02/17/16	Checked paper name to "Proposed Demolition Plan", updated new yard elements added, added notes to ensure new "Existing" lines are correct to existing conditions.
2		
3		
4		

Mendolia Project
1153 Bucknam ave.
Campbell, CA 95008
(408) 506-8151

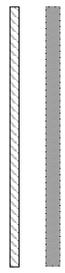
Original layout/Demolition Plan
1/4" = 1' Scale



Existing Floor / Demolition Plan

1288 sq. ft. living area
353 sq. ft. Garage

Wall Legend:



Existing Exterior Walls	Existing Exterior Walls (to be removed)	Existing Interior Walls	Existing Interior Walls (to be removed)	Existing Roof Area	(to be removed)
186' 3" L.F.	31' 7" L.F. (17%)	135' 5" L.F. (17%)	0' 0" L.F. (0%)	0 %	0 %

Per Title 18-building codes & Regulations
Chapter 1832:
Determination of Scope of Work

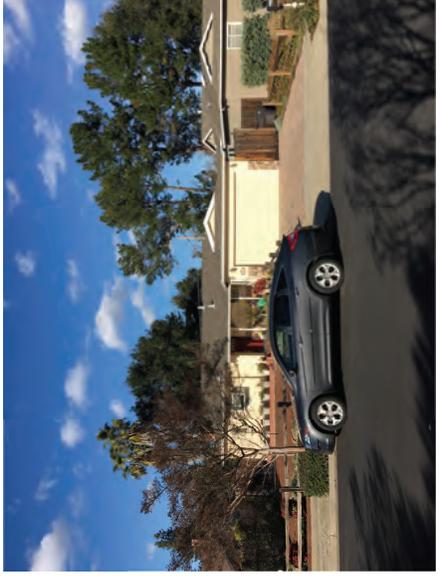
Note:
ALL CALCULATIONS ABOVE INCLUDE DOOR AND
WINDOWS TO BE REMOVED FOR EXTERIOR AND INTERIOR



1159 Buckram Avenue

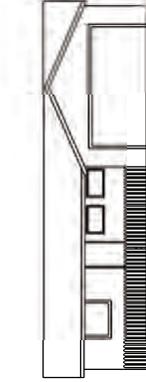


1153 Buckram Avenue

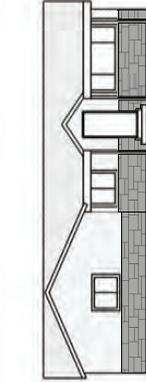


1147 Buckram Avenue

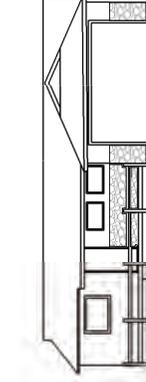
Existing StreetScape Photos



1159 Buckram Avenue



1153 Buckram Avenue



1147 Buckram Avenue

Proposed StreetScape Photos

Scale: 1/8" = 1'0'

Streetscape Elevation

1/8" = 1' Scale

Mendolia Project
1153 Buckram ave.
Campbell, CA 95008

(408) 506-8151

REVISIONS	
1	02/17/16 Client gave name to "Proposed the Final" 23 pages new yard elements added, patio, deck, and contract to show "New" landscape, changed garage, driveway, and contract to match completion.
2	02/17/16
3	02/17/16
4	02/17/16

Electrical Symbol List



Wall MNT. LED or Fluorescent Outdoor Fixture

Note:
Exterior light fixtures shall be Suitable for Damp Locations



Brand: Laurel Designs

Downlighting Type: Wall Mount

Frame Material: Metal

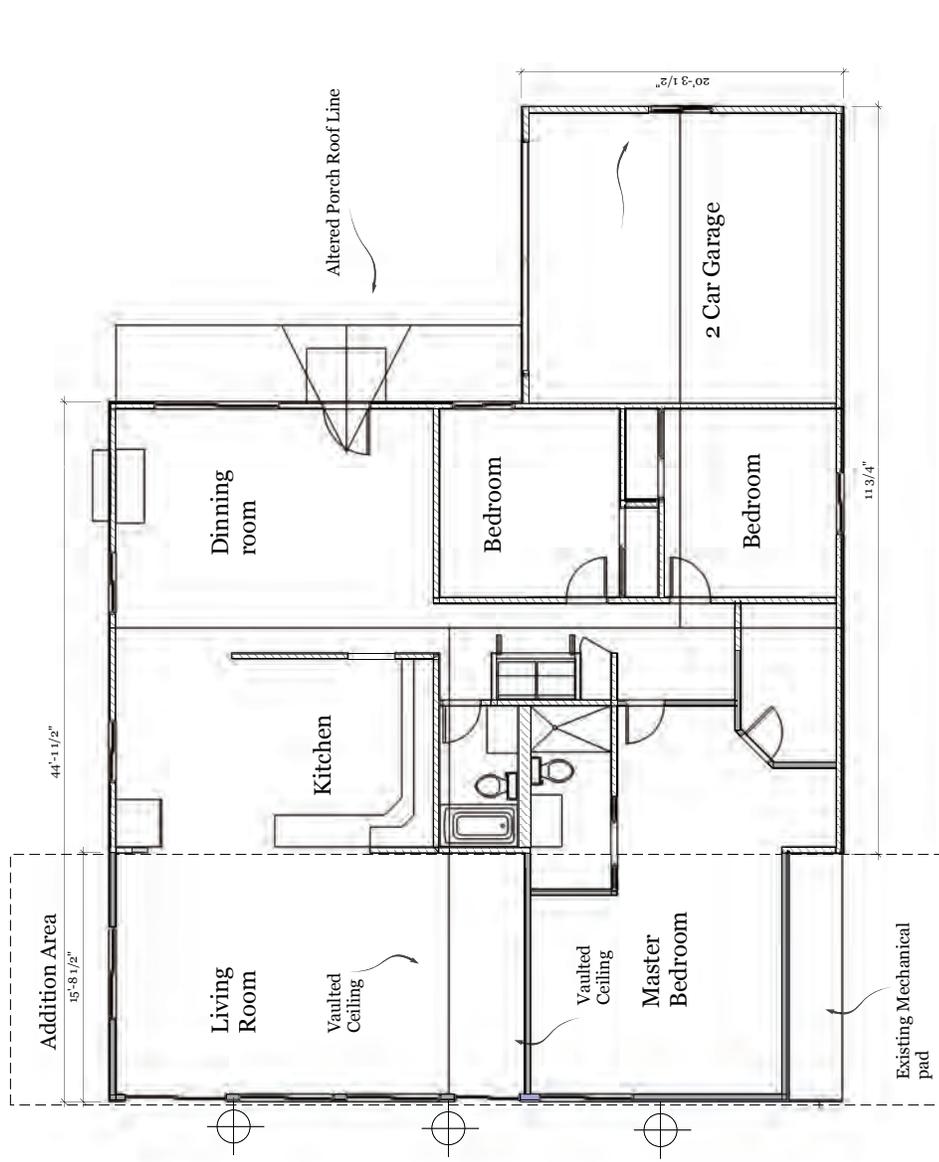
Height: 17.86 in.

Length: 10.38 in.

Model: ABEJA-S

Weight: 4.84 lb.

Width: 7.75 in.



Proposed New Exterior lighting Plan

Scale: 1/8" = 1'0"

Proposed New Exterior Lighting
1/4" = 1' Scale

Mendolia Project
1153 Bucknam ave.
Campbell, CA 95008
(408) 506-8151

REVISIONS	DATE	DESCRIPTION
1	02/27/16	Change page name to "Proposed New Exterior Lighting Plan" and update title block to include project name, address, and contact information.
2		
3		
4		