



CITY OF CAMPBELL
Community Development Department

November 25, 2015

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **December 8, 2015**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of ARC TEC Inc., for a Site and Architectural Review Permit (PLN2015-270) allow exterior improvements to existing commercial buildings within the Vasona Technology Park, restriping of the parking lot increasing the number of stalls, and creation of new courtyards, and a Tree Removal Permit (PLN2015-322) to allow for the removal of 21 on-site trees, for properties located at **1315 Dell Avenue, 1353 Dell Avenue, 210 E. Hacienda Avenue, and 200 E. Hacienda Avenue**. Staff is recommending that this project be deemed Categorically Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

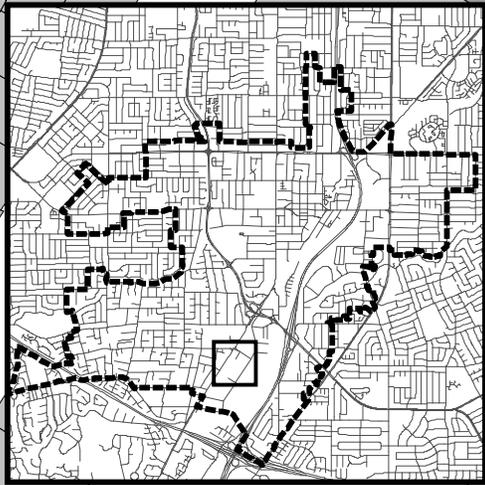
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to address: **Vasona Tech Park**

Project Location Map



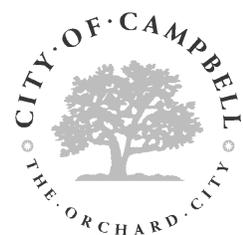
Project Location: Vasona Technology Park

Application Type: S/A Review Permit and Tree Removal Permit

Planning File No.: PLN2015-270,322

Description: Exterior remodel, parking lot improvements, and tree removal

0 550 1,100 Feet



Community Development Department
Planning Division

ARC TFC
 ARCHITECTURAL TECHNOLOGIES
 www.arctfc.com
 1980 Las Merced Street, Suite 200
 San Jose, CA 95131
 P: 408.261.3333 F: 408.261.3388

California
 Professional Seal No. 10000
 Architecture
 1980 Las Merced Street, Suite 200
 San Jose, CA 95131
 P: 408.261.3333 F: 408.261.3388

California
 Professional Seal No. 10000
 Landscape Architecture
 1980 Las Merced Street, Suite 200
 San Jose, CA 95131
 P: 408.261.3333 F: 408.261.3388

California
 Professional Seal No. 10000
 Planning
 1980 Las Merced Street, Suite 200
 San Jose, CA 95131
 P: 408.261.3333 F: 408.261.3388

KVA
 KANSAS ARCHITECTURE
 ARCHITECTURE
 PLANNING
 www.kva.com
 1000 West 10th Street
 Lawrence, KS 66044
 P: 785.843.1234 F: 785.843.1235

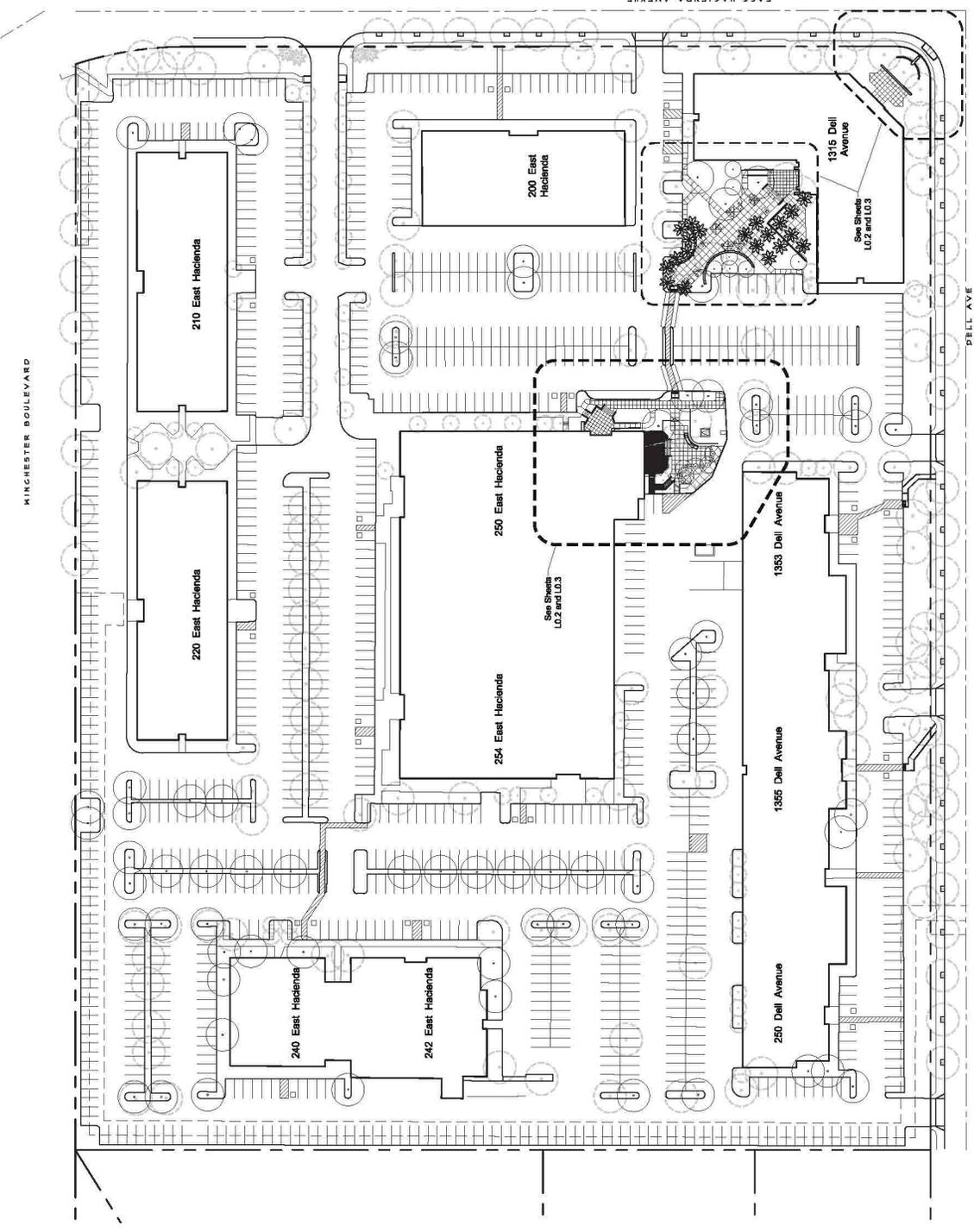


Exterior Improvements for
VASONA TECH PARK
 SITE AND ARCHITECTURAL REVIEW PERMIT
 Campbell, CA 95008

THE CARYLE GROUP
 1980 Las Merced Street, Suite 200
 San Jose, CA 95131
 P: 408.261.3333 F: 408.261.3388

DATE: 08/18/11
 DESCRIPTION: EXTERIOR IMPROVEMENTS
 DRAWING NO.: 1100000001

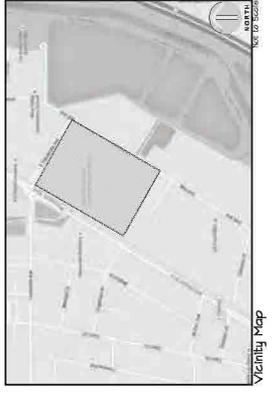
CONCEPTUAL LANDSCAPE PLAN
L0.1
 PROJECT NO.: 1100000001 KVA 11-1100



811
 Call before you dig
 1-800-487-2277

Scale: 1" = 40'-0"

DATE: 08/18/11

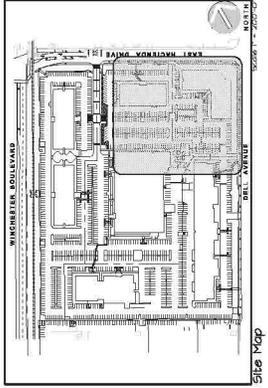
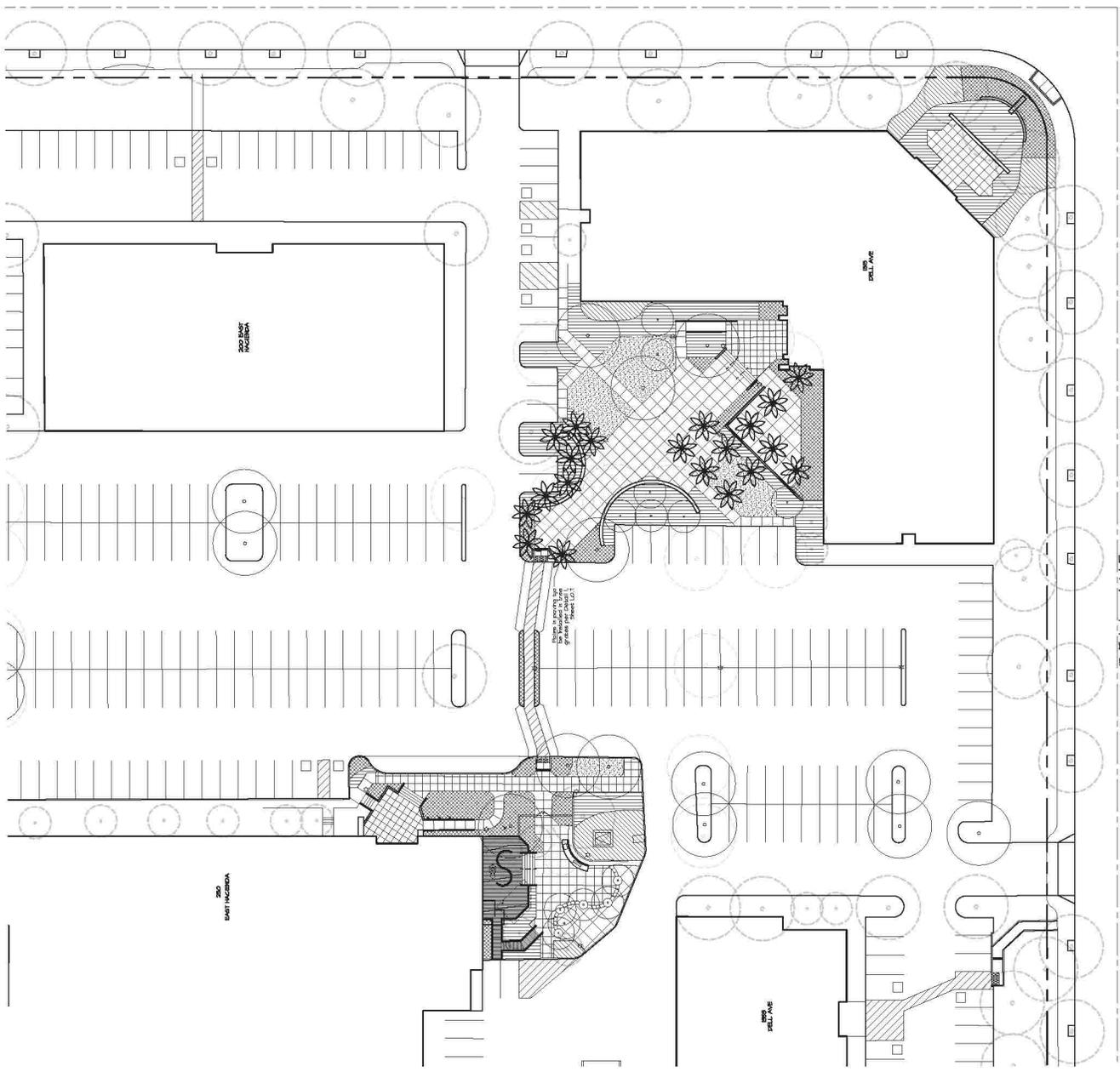


Vicinity Map

PLANTING & IRRIGATION LEGEND - CONCEPT

The following planting information is for general reference only. It is intended to provide a general impression of the proposed landscape design. The final landscape design shall be determined by the landscape architect in consultation with the client and the local jurisdiction. The final landscape design shall be subject to the approval of the local jurisdiction. The final landscape design shall be subject to the approval of the local jurisdiction. The final landscape design shall be subject to the approval of the local jurisdiction.

- 1. Existing trees to remain - "V" in field
- 2. New trees to be planted - "T" in field
- 3. Existing trees to be removed - "X" in field
- 4. Existing trees to be preserved - "P" in field
- 5. Existing trees to be relocated - "R" in field
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- 100. Existing trees to be preserved - "P" in field



EAST HACIENDA AVENUE

DELL AVE

280 EAST HACIENDA

NEW BUILDING

NEW BUILDING

Site Map



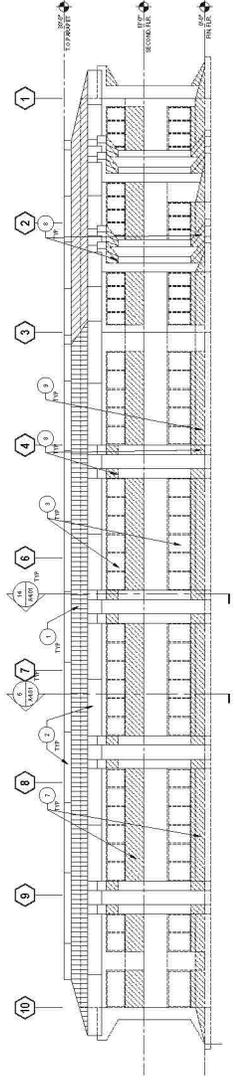
GENERAL NOTES

- A. CONTRACTOR SHALL MAINTAIN THE BUILDING IN A WEATHER-TIGHT CONDITION.
- B. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO ADJACENT PROPERTY PERMITS OR UTILITIES.
- C. EXISTING CONDITIONS SHALL BE PRESERVED AND PROTECTED AS MUCH AS POSSIBLE.
- D. EXISTING CONDITIONS SHALL BE PRESERVED AND PROTECTED AS MUCH AS POSSIBLE.
- E. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- F. BEFORE ANY WORK BEGINS, CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND MATERIALS TO BE DEMOLISHED.
- G. BEFORE ANY WORK BEGINS, CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND MATERIALS TO BE DEMOLISHED.
- H. ALL DEMOLITION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND SHALL BE PROTECTED FROM WEATHER.
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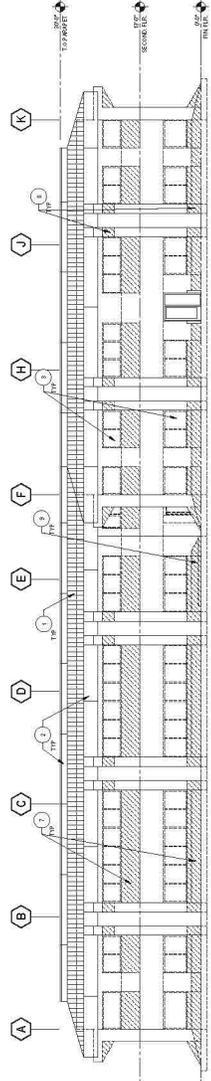
KEYNOTES-DEMOLITION

NOTE: ALL KEYNOTES REFER TO THE DEMOLITION DRAWING.

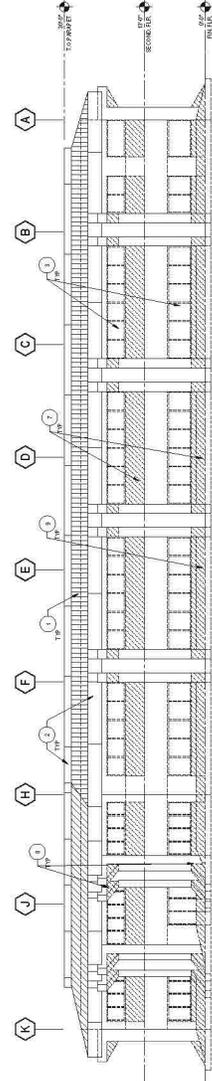
1. DEMOLISH EXISTING ROOFING TO REBAR.
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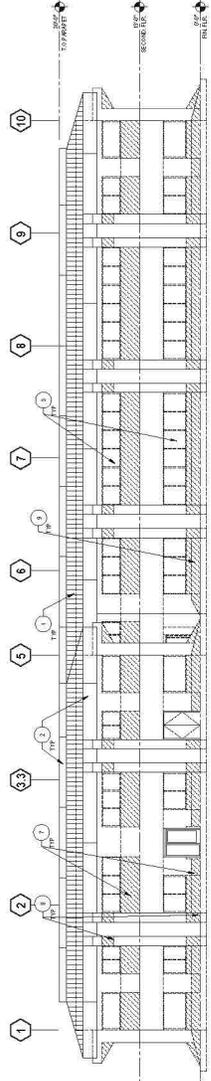
17 EXISTING EAST BUILDING ELEVATION - 1315 DELL AVENUE
 SCALE: 1/8" = 1'-0"



18 EXISTING SOUTH BUILDING ELEVATION - 1315 DELL AVENUE
 SCALE: 1/8" = 1'-0"



19 EXISTING NORTH BUILDING ELEVATION - 1315 DELL AVENUE
 SCALE: 1/8" = 1'-0"



20 EXISTING WEST BUILDING ELEVATION - 1315 DELL AVENUE
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

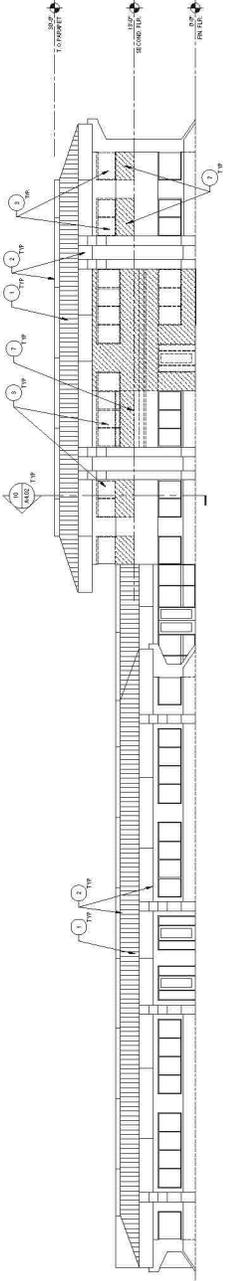
- A. CONTRACTOR SHALL MAINTAIN THE BUILDING IN A NEARLY TIGHT CONDITION.
- B. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO ADJACENT PROPERTY OR PERSONS.
- C. DUST PREVENTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROTECTION AND DUST PREVENTION.
- D. STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- E. REPAIRS OF STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE IN ACCORDANCE WITH THE PROTECTION AND DUST PREVENTION.
- F. REPAIRS OF STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE IN ACCORDANCE WITH THE PROTECTION AND DUST PREVENTION.
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- Z. ALL REPAIRS SHALL BE IN ACCORDANCE WITH THE PROTECTION AND DUST PREVENTION.

KEYNOTES-DEMOLITION

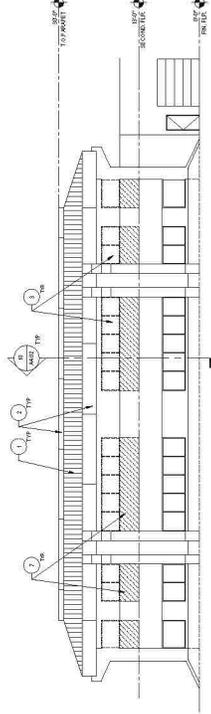
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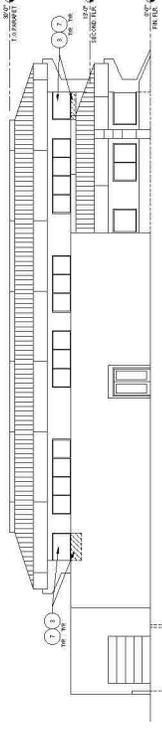
17 EXISTING NORTH ELEVATION - 240 HACIENDA AVENUE
 SCALE: 1/8"=1'-0"



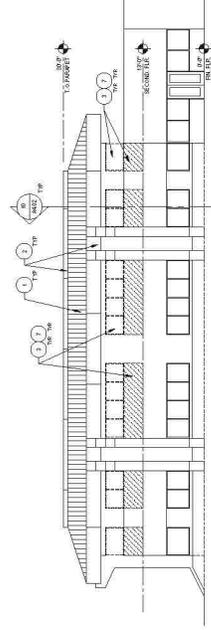
18 EXISTING WEST ELEVATION - 240 HACIENDA AVENUE
 SCALE: 1/8"=1'-0"



10 EXISTING EAST ELEVATION - 240 HACIENDA AVENUE
 SCALE: 1/8"=1'-0"

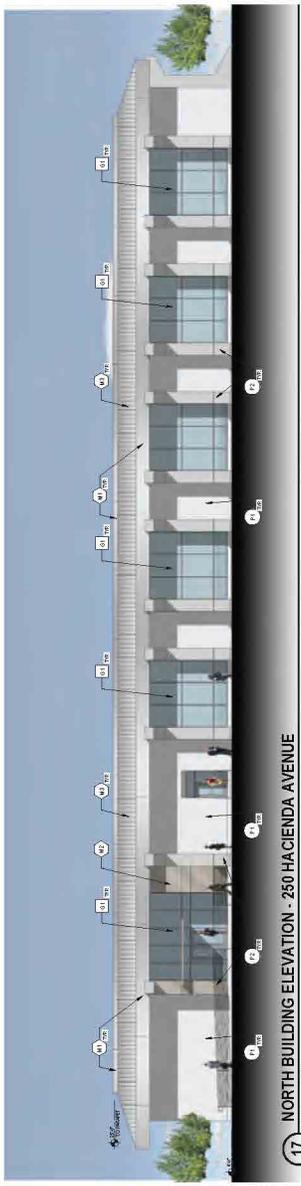


19 EXISTING SOUTH ELEVATION - 240 HACIENDA AVENUE
 SCALE: 1/8"=1'-0"

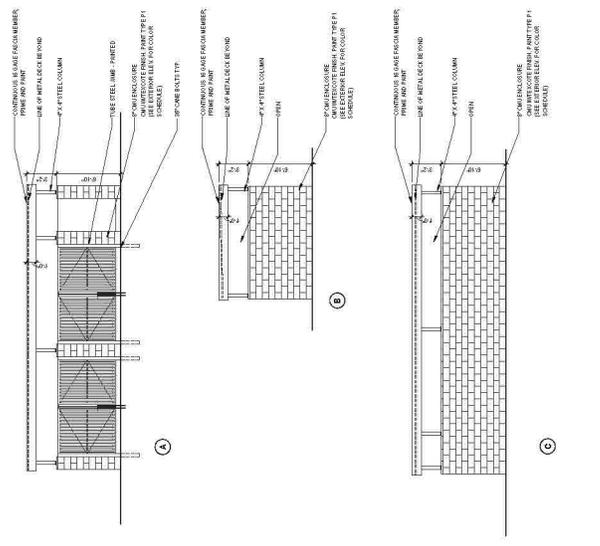


MATERIALS AND FINISHES

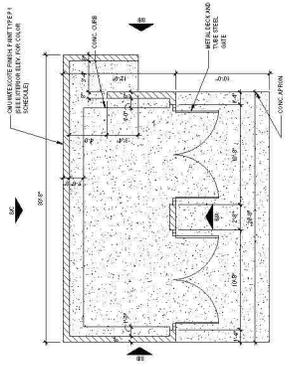
- 11 NEW: GLASS
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 FINISH: CLEAR
- 12 NEW: GLASS (PANELS)
 MANUFACTURER: CLEAR GLASS
 FINISH: CLEAR
- 13 NEW: WALL PANELS
 MANUFACTURER: CLEAR GLASS
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 COLOR: WHITE
- 81 EXISTING: PAINT
 COLOR: WHITE
- 82 EXISTING: PAINT
 COLOR: WHITE
- 83 EXISTING: PAINT
 COLOR: WHITE
- 84 EXISTING: PAINT
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- 85 EXISTING: PAINT
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- 86 EXISTING: PAINT
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- 87 EXISTING: PAINT
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- 88 EXISTING: PAINT
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- 89 EXISTING: PAINT
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- 90 EXISTING: PAINT
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- 91 EXISTING: PAINT
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- 92 EXISTING: PAINT
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- 93 EXISTING: PAINT
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- 94 EXISTING: PAINT
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- 95 EXISTING: PAINT
 COLOR: WHITE
- 96 EXISTING: PAINT
 COLOR: WHITE
- 97 EXISTING: PAINT
 COLOR: WHITE
- 98 EXISTING: PAINT
 COLOR: WHITE
- 99 EXISTING: PAINT
 COLOR: WHITE
- 100 EXISTING: PAINT
 COLOR: WHITE



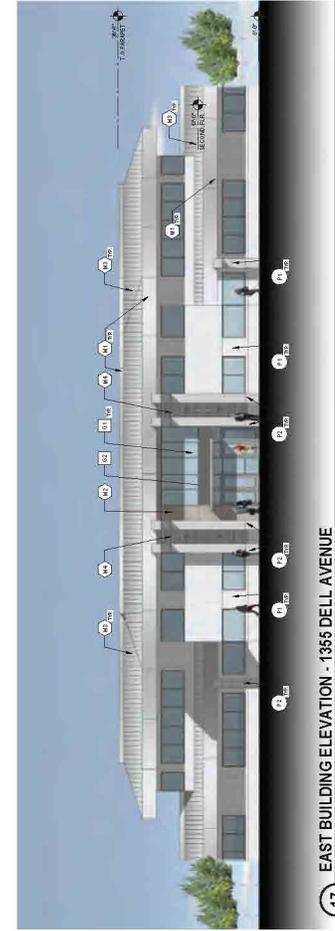
17 NORTH BUILDING ELEVATION - 250 HACIENDA AVENUE
 SCALE: 3/8" = 1'-0"



8 TRASH ENCLOSURE - ELEVATIONS
 SCALE: 3/8" = 1'-0"



12 TRASH ENCLOSURE - PLAN
 SCALE: 3/8" = 1'-0"



17 EAST BUILDING ELEVATION - 1355 DELL AVENUE

SCALE: 1/8" = 1'-0"

MATERIALS AND FINISHES

- 11 NEW: GLASS
MANUFACTURER: [REDACTED]
FINISH: CLEAR ANODIZED
- 12 NEW: GLASS/PANORAMA
MANUFACTURER: [REDACTED]
FINISH: CLEAR ANODIZED
- 13 NEW: GLASS/PANORAMA
MANUFACTURER: [REDACTED]
FINISH: CLEAR ANODIZED
- 14 EXISTING: PAINT
MANUFACTURER: [REDACTED]
COLOR: [REDACTED]
- 15 EXISTING: PAINT
MANUFACTURER: [REDACTED]
COLOR: [REDACTED]
- 16 EXISTING: PAINT
MANUFACTURER: [REDACTED]
COLOR: [REDACTED]
- 17 EXISTING: PAINT
MANUFACTURER: [REDACTED]
COLOR: [REDACTED]

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Exterior Improvements for
VASONA TECH PARK
SITE AND ARCHITECTURAL REVIEW PERMIT
Campbell, CA 95008

THE CARLISLE GROUP
ARCHITECTS

DATE: 08/08/14
DESCRIPTION: PLANNING PERMIT
FINISHES SUBMITTAL



RENDERED EXTERIOR ELEVATIONS
- 1355 DELL AVENUE

A2.40
PROJECT NO. 14829

GENERAL NOTES

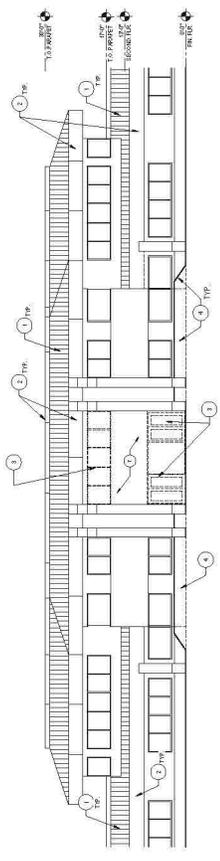
- CONSTRUCTION MANAGEMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND UTILITIES PRIOR TO CONSTRUCTION.
- EXISTING UTILITIES SHALL BE PROTECTED WITH PIPE PROTECTION AND EROSION PREVENTION.
- STRUCTURE SHALL BE PROTECTED WITH PIPE PROTECTION AND EROSION PREVENTION.
- REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- ALL AREAS TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE FINISH OF THE EXISTING CONSTRUCTION.
- ALL AREAS TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE FINISH OF THE EXISTING CONSTRUCTION.
- ALL AREAS TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE FINISH OF THE EXISTING CONSTRUCTION.
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- ALL AREAS TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE FINISH OF THE EXISTING CONSTRUCTION.

KEYNOTES-DEMOLITION

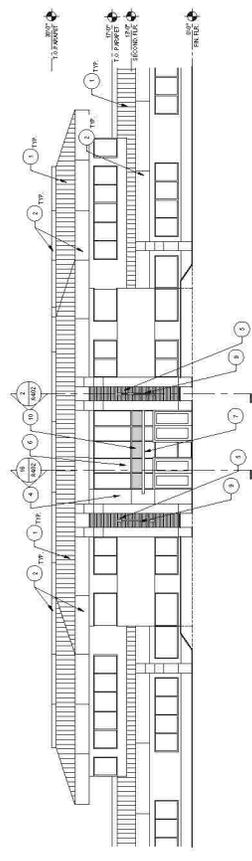
- DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
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- DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

KEYNOTES-NEW CONSTRUCTION

- DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
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- DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.



17 EXISTING PARTIAL BUILDING ELEVATION AT EAST ENTRY - 1355 DELL AVE
 SCALE: 1/8\"/>



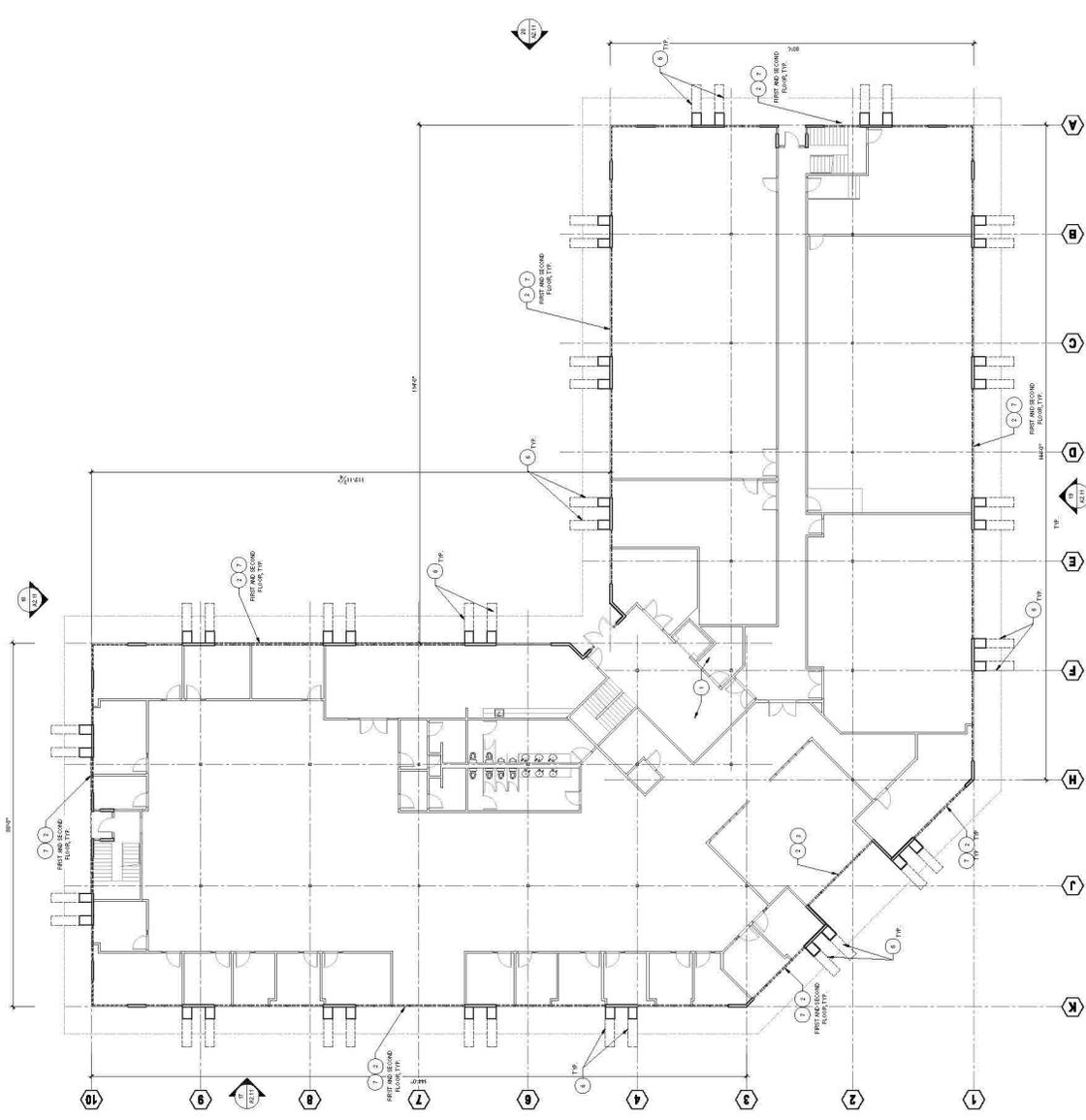
18 PROPOSED PARTIAL BUILDING ELEVATION AT EAST ENTRY - 1355 DELL AVE
 SCALE: 1/8\"/>

FLOOR PLAN SYMBOLS LEGEND

- NOTE: NOT ALL SYMBOLS APPLY TO THIS DRAWING
- PARTITION OR WALL (STRIPED)
 - PARTITION OR WALL (SOLID)
 - EXISTING DOOR AND FRAME TO BE DEMOLISHED
 - EXISTING DOOR AND FRAME TO BE RETAINED
 - EXISTING WINDOW AND FRAME TO BE DEMOLISHED
 - EXISTING WINDOW AND FRAME TO BE RETAINED

GENERAL NOTES - FLOOR PLAN

- A. CONDITIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
- B. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
- C. EXISTING CONDITIONS SHALL BE VERIFIED BY VISUAL INSPECTION AND SURVEY. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- D. EXISTING CONDITIONS SHALL BE VERIFIED BY VISUAL INSPECTION AND SURVEY. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- E. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- F. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
- G. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
- H. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
- I. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE REGULATIONS AND ORDINANCES.



KEYNOTES-DEMOLITION

- NOTE: NOT ALL KEYNOTES APPLY TO THIS DRAWING
1. NO DEMOLITION OR IMPROVEMENTS SCOPE IN THE INTERIOR OFFICE SPACE UNITS.
 2. REMOVE EXISTING FLOORING ABOVE EXISTING GULCHES AND FRAMING. PREP FOR RE-FLORING.
 3. REMOVE EXISTING FLOORING ABOVE EXISTING GULCHES AND FRAMING. PREP FOR EXTERIOR GULCHES.
 4. REMOVE EXISTING FLOORING AND CEILING.
 5. REMOVE EXISTING FLOORING AND CEILING.
 6. REMOVE EXISTING FLOORING AND CEILING.
 7. REMOVE EXISTING FLOORING AND CEILING.
 8. REMOVE EXISTING FLOORING AND CEILING.
 9. REMOVE EXISTING FLOORING AND CEILING.
 10. REMOVE EXISTING FLOORING AND CEILING.



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Exterior Improvements for
VASONA TECH PARK
SITE AND ARCHITECTURAL REVIEW PERMIT
Campbell, CA 95008

THE CARLISLE GROUP
ARCHITECTS

DATE: 08/08/14
DESCRIPTION: PLUMBING SHEET 1
PLUMBING CONTRACT



DEMOLITION JOB PLAN
1315 DELLEVILLE

A3.11

PROJECT NO: 14320

FLOOR PLAN SYMBOLS LEGEND



GENERAL NOTES - FLOOR PLAN

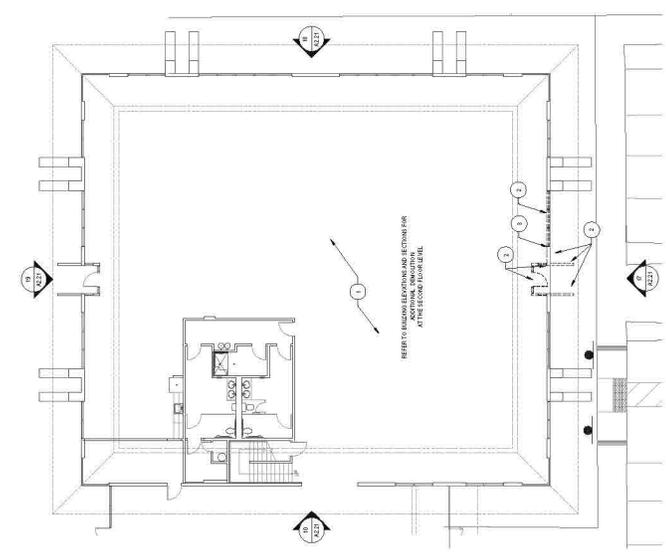
1. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN ALL INFORMATION CONTAINED HEREIN.
2. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
4. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
5. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
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9. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
10. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

KEYNOTES-DEMOLITION

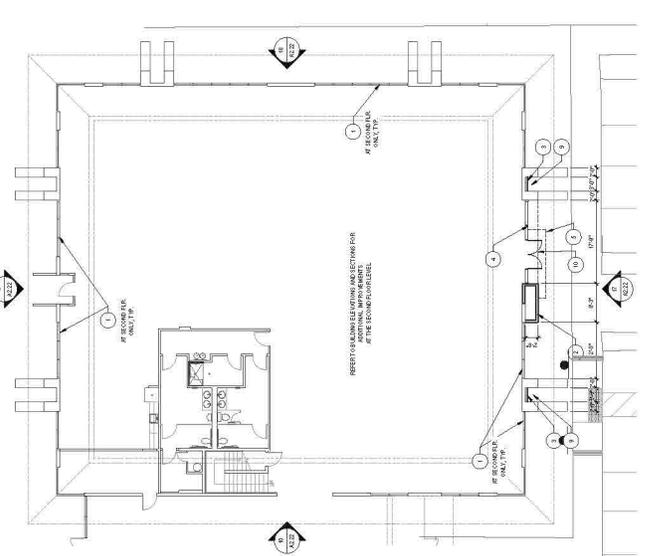
- NOTE: NOT ALL KEYNOTES LISTED APPLY TO THIS DRAWING.
1. NO DEMOLITION OR IMPROVEMENTS TO BE MADE IN THE INTERIOR OF THIS SPACE.
 2. REMOVE EXISTING CORE AND EXISTING GLAZING AND FINISHES. PREP FOR RELOCATION.
 3. REMOVE EXISTING CORE AND EXISTING GLAZING AND FINISHES. PREP FOR RELOCATION.
 4. REMOVE EXISTING CORE AND EXISTING GLAZING AND FINISHES. PREP FOR RELOCATION.
 5. REMOVE EXISTING CORE AND EXISTING GLAZING AND FINISHES. PREP FOR RELOCATION.
 6. REMOVE EXISTING CORE AND EXISTING GLAZING AND FINISHES. PREP FOR RELOCATION.
 7. REMOVE EXISTING CORE AND EXISTING GLAZING AND FINISHES. PREP FOR RELOCATION.
 8. REMOVE EXISTING CORE AND EXISTING GLAZING AND FINISHES. PREP FOR RELOCATION.
 9. REMOVE EXISTING CORE AND EXISTING GLAZING AND FINISHES. PREP FOR RELOCATION.
 10. REMOVE EXISTING CORE AND EXISTING GLAZING AND FINISHES. PREP FOR RELOCATION.

KEYNOTES-NEW CONSTRUCTION

- NOTE: NOT ALL KEYNOTES LISTED APPLY TO THIS DRAWING.
1. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 2. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 3. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
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 7. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 8. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 9. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 10. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.



10 PARTIAL DEMOLITION PLAN AT NORTH ENTRY - 240 HACIENDA AVE
SCALE: 1/8"=1'-0"



12 PARTIAL IMPROVEMENT PLAN AT NORTH ENTRY - 240 HACIENDA AVE
SCALE: 1/8"=1'-0"

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VASONA TECH PARK
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A3.13
 PROJECT NO. 14320

DEMOLITION AND IMPROVEMENT
 FLOOR PLANS - 240 HACIENDA

FLOOR PLAN SYMBOLS LEGEND

NOTE: NOT ALL SYMBOLS APPLY TO THIS DRAWING

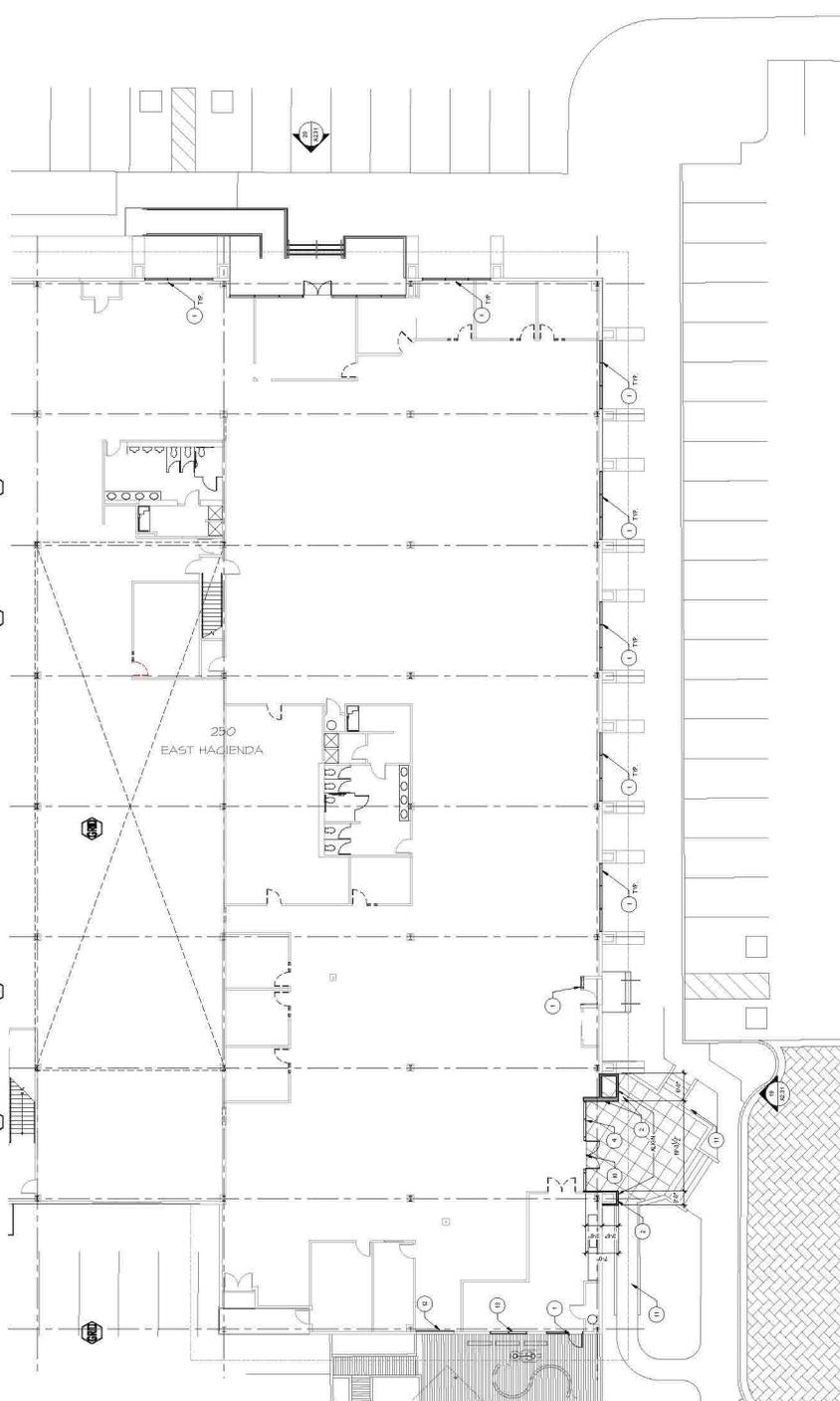
- EXTERIOR WALL OF PARTITION SYSTEM
- EXTERIOR FLOOR AND FRAME TO BE REMOVED
- EXTERIOR FLOOR AND FRAME TO BE RECONSTRUCTED
- PARTITION OR WALL UNLIMITED
- FORMING AND DETAIL FLOOR AREA

GENERAL NOTES - FLOOR PLAN

- A. CONSTRUCTION SHALL MAINTAIN THE RELATIONSHIP TO ARCHITECTURAL CONDITION.
- B. ACCURACY OF ALL DIMENSIONS SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
- C. EXISTING PARTITION WALLS SHALL BE REMOVED IN ACCORDANCE WITH THE PROVISIONS AND FINISHES OF THE PERMIT.
- D. EXISTING PARTITION WALLS SHALL BE RECONSTRUCTED IN ACCORDANCE WITH THE PERMIT.
- E. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- F. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PERMIT AND ALL APPLICABLE CODES AND REGULATIONS.
- G. PREPARE EXISTING OVERHEAD ELECTRICAL AND PLUMBING SYSTEMS FOR ADDITIONAL INFORMATION.
- H. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PERMIT AND ALL APPLICABLE CODES AND REGULATIONS.
- I. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PERMIT AND ALL APPLICABLE CODES AND REGULATIONS.
- J. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PERMIT AND ALL APPLICABLE CODES AND REGULATIONS.
- K. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PERMIT AND ALL APPLICABLE CODES AND REGULATIONS.
- L. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PERMIT AND ALL APPLICABLE CODES AND REGULATIONS.

KEYNOTES-NEW CONSTRUCTION

- NOTE: NOT ALL KEYNOTES APPLY TO THIS DRAWING.
1. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
 2. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
 3. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
 4. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
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 9. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
 10. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
 11. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
 12. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
 13. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
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 15. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
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 17. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
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 39. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
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 41. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
 42. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
 43. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
 44. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
 45. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
 46. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
 47. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
 48. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
 49. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.
 50. METAL UNFINISHED ALUMINUM WINDOW FRAME WITH LOWELET FINE GLASS.



19 PARTIAL IMPROVEMENT PLAN AT NORTH AND WEST SIDE - 250 HACIENDA AVE
SCALE: 3/32" = 1'-0"

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Exterior Improvements for
VASONA TECH PARK
SITE AND ARCHITECTURAL REVIEW PERMIT
Campbell, CA 95008



THE CARLISLE GROUP
DATE: 08/08/14
DESCRIPTION: PLUMBING MECHANICAL
PLUMBING ELECTRICAL



IMPROVEMENT FLOOR PLAN
250 E HACIENDA
A3.15
PROJECT NO. 14320

KEYNOTES-DEMOLITION

- NOTE: METAL REINFORCEMENT SHALL BE REINFORCED BY APPLY TO THIS DRAWING.
- 1. DEMOLITION SHALL BE PERFORMED IN THE INTERIOR SPACES UNLESS OTHERWISE NOTED.
 - 2. REMOVE EXISTING DOORS AND PARTITIONS, GLASS AND FRAMING. PREP FOR REPLACEMENT.
 - 3. REMOVE EXISTING PARTITIONS AND PARTITIONS, GLASS AND FRAMING. PREP FOR REPLACEMENT.
 - 4. REMOVE EXISTING PARTITIONS AND PARTITIONS, GLASS AND FRAMING. PREP FOR REPLACEMENT.
 - 5. REMOVE EXISTING PARTITIONS AND PARTITIONS, GLASS AND FRAMING. PREP FOR REPLACEMENT.
 - 6. REMOVE EXISTING PARTITIONS AND PARTITIONS, GLASS AND FRAMING. PREP FOR REPLACEMENT.
 - 7. REMOVE EXISTING PARTITIONS AND PARTITIONS, GLASS AND FRAMING. PREP FOR REPLACEMENT.
 - 8. REMOVE EXISTING PARTITIONS AND PARTITIONS, GLASS AND FRAMING. PREP FOR REPLACEMENT.
 - 9. REMOVE EXISTING PARTITIONS AND PARTITIONS, GLASS AND FRAMING. PREP FOR REPLACEMENT.
 - 10. REMOVE EXISTING PARTITIONS AND PARTITIONS, GLASS AND FRAMING. PREP FOR REPLACEMENT.

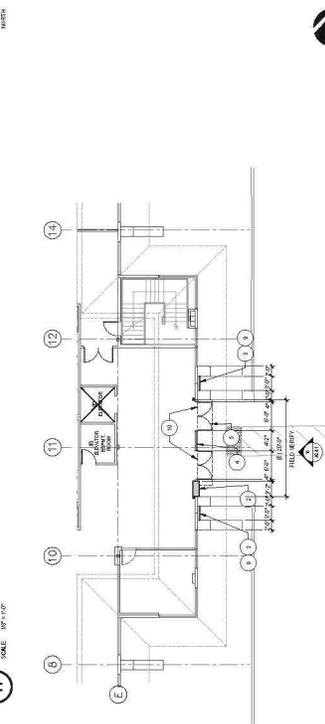
FLOOR PLAN SYMBOLS LEGEND

- NOTE: METAL REINFORCEMENT SHALL BE REINFORCED BY APPLY TO THIS DRAWING.
- 1. EXISTING WALL OR PARTITION TO REMAIN (PARTITION)
 - 2. EXISTING DOOR AND FRAME TO REMAIN
 - 3. EXISTING DOOR AND FRAME TO BE DEMOLISHED
 - 4. EXISTING DOOR AND FRAME TO BE DEMOLISHED
 - 5. EXISTING DOOR AND FRAME TO BE DEMOLISHED
 - 6. EXISTING DOOR AND FRAME TO BE DEMOLISHED
 - 7. EXISTING DOOR AND FRAME TO BE DEMOLISHED
 - 8. EXISTING DOOR AND FRAME TO BE DEMOLISHED
 - 9. EXISTING DOOR AND FRAME TO BE DEMOLISHED
 - 10. EXISTING DOOR AND FRAME TO BE DEMOLISHED

GENERAL NOTES - FLOOR PLAN

- A. CONTRACTOR SHALL VERIFY THE BUILDING SHALL BE DEMOLISHED TO CONSTRUCTION PERMITS.
- B. CONTRACTOR SHALL VERIFY ALL DEMOLITION SHALL BE PERFORMED TO PREVENT DAMAGE TO ADJACENT AREAS.
- C. EXISTING PARTITIONS SHALL BE DEMOLISHED IN ACCORDANCE WITH THE DEMOLITION SPECIFICATIONS AND DEMOLITION SPECIFICATIONS.
- D. STRUCTURAL, GRID IS EXISTING. VERIFY DIMENSIONS AND ELEVATIONS.
- E. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- F. WHERE A PARTITION HAS BEEN IDENTIFIED AS EXISTING WALL, PARTITION OR PARTITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE OF THE PARTITION.
- G. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE DEMOLITION SPECIFICATIONS AND DEMOLITION SPECIFICATIONS.
- H. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE DEMOLITION SPECIFICATIONS AND DEMOLITION SPECIFICATIONS.
- I. EXISTING PARTITIONS SHALL BE DEMOLISHED TO CONSTRUCTION PERMITS. MARK THE EXISTING OF FLOOR FINISH IN THE EXISTING CONSTRUCTION.

17 PARTIAL DEMOLITION PLAN AT EAST ENTRY - 1355 DELL AVE
SCALE: 1/8" = 1'-0"



18 PARTIAL IMPROVEMENT PLAN AT EAST ENTRY - 1355 DELL AVE
SCALE: 1/8" = 1'-0"



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