



CITY OF CAMPBELL
Community Development Department

October 16, 2015

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **October 27, 2015**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Robson Homes LLC for a Modification (PLN2015-170) to a previously approved and modified Planned Development Permit (PLN2013-337 / PLN2015-48), a Modification (PLN2015-171) to a previously approved and modified Tentative Vesting Subdivision Map (PLN2013-339 / PLN2015-49), a Parking Modification Permit (PLN2015-172), and a Tree Removal Permit (PLN2015-173) to allow an expansion of an approved (two-phase) residential development including the addition of less than ½ acre of property and an increase from 100 units to 118 residential units (90 townhomes and 28 apartment units), a reduction to the required number of on-site parking stalls, and removal of protected tree(s), on properties located at **180, 186, 190, 230, 240, 260, 272, 280, 282, and 290 (portion) Dillon Avenue; 466, 472, 482, and 488 Sam Cava Lane; and 186 Gilman Avenue**, in the P-D (Planned Development) Zoning District. An addendum to the previously adopted Mitigated Negative Declaration will be prepared for this project.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

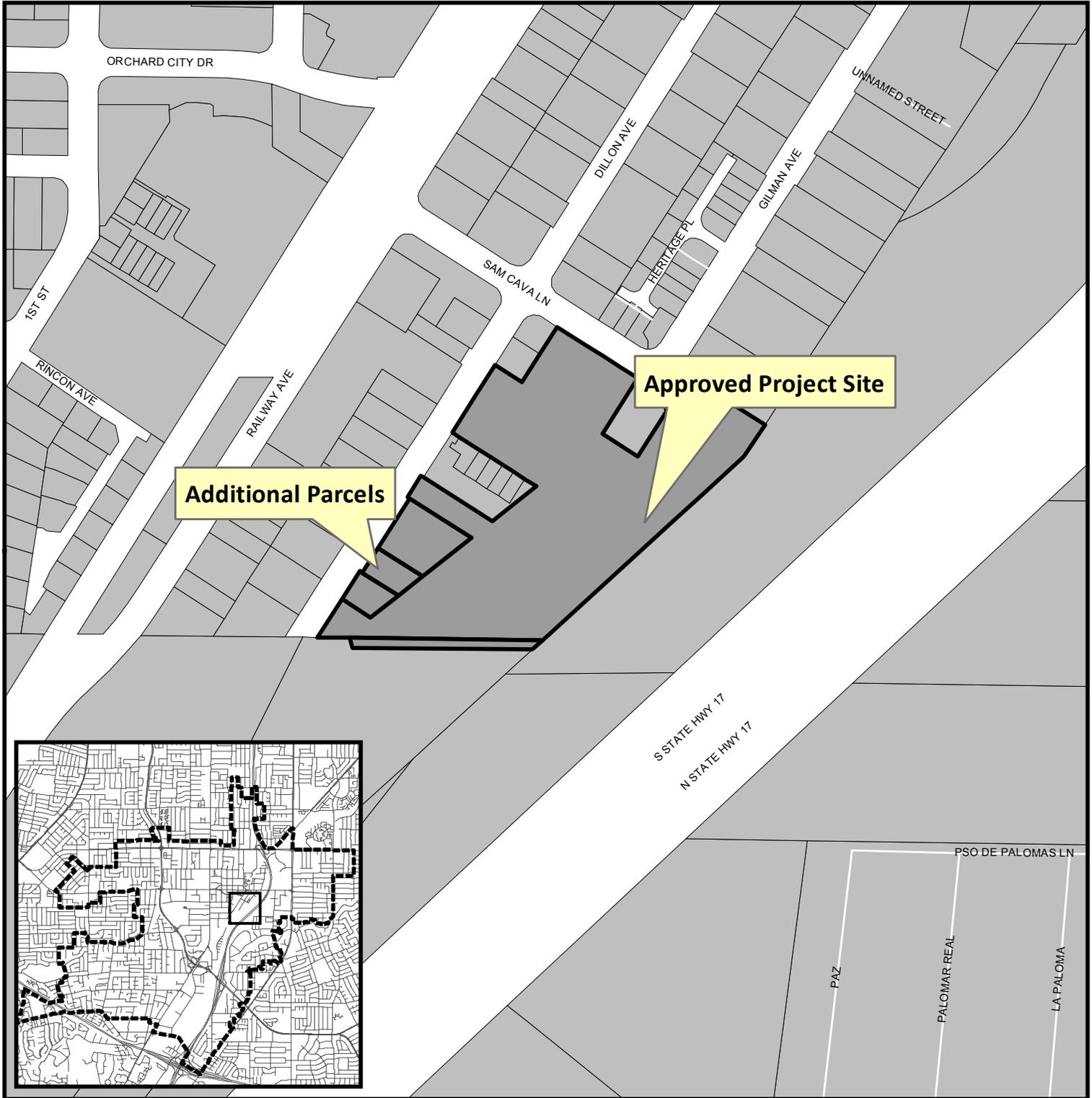
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **280 Dillon Ave et al**

Project Location Map

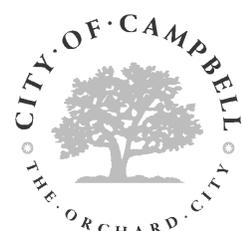
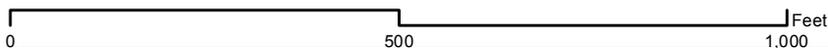


Project Location: 280 Dillon Ave., et. al

Application Type: Mod. to P-D Permit, Mod. to Sub-division Map, Parking Mod. Permit, and TR Permit

Planning File No.: PLN2015-170:173

Description: Expansion of the approved Robson Homes "Dillon Avenue" project



Community Development Department
Planning Division

FORMAL PLANNING SUBMITTAL

280 DILLON AVENUE

CAMPBELL CALIFORNIA

APPLICANT:

ROBSON HOMES
A CALIFORNIA LIMITED LIABILITY COMPANY
2109 THE AMERICAN SUITE 100
SAN JOSE, CA 95131
(408) 942-1927

CONSULTANTS:

CIVIL ENGINEER:

Civil Engineering
1200 W. 14th St., Suite 200
San Jose, CA 95128
(408) 942-1927

LANDSCAPE ARCHITECTURE:

DESIGN FOCUS
LANDSCAPE ARCHITECTURE
A PROFESSIONAL CORPORATION
1000 BAYVIEW DRIVE
SAN JOSE, CA 95128
(408) 942-1927

ARCHITECTURE:

R H A ROBERT HIDEY ARCHITECTS
400 WASHINGTON ROAD, SUITE 100
PUEBLO, CO 81001
(719) 241-1111

PLA JOHN LIEN, ARCHITECT

100 LANTANA WAY
MARTINEZ, CA 94553
(925) 938-1111

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- D2A COVER SHEET
- D2B EXISTING SITE PLAN & TREE REMOVAL PLAN
- D2C GRADING AND DRAINAGE PLAN
- D2D SITE SECTIONS
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- L1.2 LANDSCAPE PLANNING PLAN
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- L1.4 LANDSCAPE DETAILS
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- SH-2 ELEVATIONS, INTERIORS, AND ROOF PLANS
- SH-3 ELEVATIONS

ARCHITECTURAL - TOWNHOMES

- TH-1 GARAGE and 2nd FLOOR PLANS
- TH-2 ELEVATIONS, INTERIORS, AND ROOF PLANS
- TH-3 ELEVATIONS



REQUIREMENT SUMMARY TABLE

- APPROXIMATE NUMBER OF UNITS: 100 (50 APARTMENTS, 50 TOWNHOMES)
- APPROXIMATE GROSS FLOOR AREA: 100,000 SQ. FT.
- APPROXIMATE TOTAL FLOOR AREA: 100,000 SQ. FT.
- APPROXIMATE TOTAL DEVELOPMENT COST: \$10,000,000
- APPROXIMATE TOTAL DEVELOPMENT COST PER UNIT: \$100,000
- APPROXIMATE TOTAL DEVELOPMENT COST PER GROSS FLOOR AREA: \$1,000/SQ. FT.
- APPROXIMATE TOTAL DEVELOPMENT COST PER TOTAL FLOOR AREA: \$1,000/SQ. FT.
- APPROXIMATE TOTAL DEVELOPMENT COST PER TOTAL DEVELOPMENT COST: \$100,000,000

UNBUILDING SQUARE FOOTAGE TABLE

Component	Area (sq. ft.)	Volume (cu. ft.)	Weight (tons)
Foundation	10,000	10,000	100
Walls	20,000	20,000	200
Floors	30,000	30,000	300
Roofs	40,000	40,000	400
Other	50,000	50,000	500
Total	150,000	150,000	1,500

12-Panel Apartment Block

Panel	Area (sq. ft.)	Volume (cu. ft.)	Weight (tons)
1	10,000	10,000	100
2	10,000	10,000	100
3	10,000	10,000	100
4	10,000	10,000	100
5	10,000	10,000	100
6	10,000	10,000	100
7	10,000	10,000	100
8	10,000	10,000	100
9	10,000	10,000	100
10	10,000	10,000	100
11	10,000	10,000	100
12	10,000	10,000	100
Total	120,000	120,000	1,200

12-Panel Apartment Block

Panel	Area (sq. ft.)	Volume (cu. ft.)	Weight (tons)
1	10,000	10,000	100
2	10,000	10,000	100
3	10,000	10,000	100
4	10,000	10,000	100
5	10,000	10,000	100
6	10,000	10,000	100
7	10,000	10,000	100
8	10,000	10,000	100
9	10,000	10,000	100
10	10,000	10,000	100
11	10,000	10,000	100
12	10,000	10,000	100
Total	120,000	120,000	1,200

BAR UNIT ANALYSIS

UNIT #	UNIT PLAN TYPE	AREA
1	1A	1,000
2	1B	1,000
3	1C	1,000
4	1D	1,000
5	1E	1,000
6	1F	1,000
7	1G	1,000
8	1H	1,000
9	1I	1,000
10	1J	1,000
11	1K	1,000
12	1L	1,000
13	1M	1,000
14	1N	1,000
15	1O	1,000
16	1P	1,000
17	1Q	1,000
18	1R	1,000
19	1S	1,000
20	1T	1,000
21	1U	1,000
22	1V	1,000
23	1W	1,000
24	1X	1,000
25	1Y	1,000
26	1Z	1,000
27	1AA	1,000
28	1AB	1,000
29	1AC	1,000
30	1AD	1,000
31	1AE	1,000
32	1AF	1,000
33	1AG	1,000
34	1AH	1,000
35	1AI	1,000
36	1AJ	1,000
37	1AK	1,000
38	1AL	1,000
39	1AM	1,000
40	1AN	1,000
41	1AO	1,000
42	1AP	1,000
43	1AQ	1,000
44	1AR	1,000
45	1AS	1,000
46	1AT	1,000
47	1AU	1,000
48	1AV	1,000
49	1AW	1,000
50	1AX	1,000
51	1AY	1,000
52	1AZ	1,000
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54	1BB	1,000
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57	1BE	1,000
58	1BF	1,000
59	1BG	1,000
60	1BH	1,000
61	1BI	1,000
62	1BJ	1,000
63	1BK	1,000
64	1BL	1,000
65	1BM	1,000
66	1BN	1,000
67	1BO	1,000
68	1BP	1,000
69	1BQ	1,000
70	1BR	1,000
71	1BS	1,000
72	1BT	1,000
73	1BU	1,000
74	1BV	1,000
75	1BW	1,000
76	1BX	1,000
77	1BY	1,000
78	1BZ	1,000
79	1CA	1,000
80	1CB	1,000
81	1CC	1,000
82	1CD	1,000
83	1CE	1,000
84	1CF	1,000
85	1CG	1,000
86	1CH	1,000
87	1CI	1,000
88	1CJ	1,000
89	1CK	1,000
90	1CL	1,000
91	1CM	1,000
92	1CN	1,000
93	1CO	1,000
94	1CP	1,000
95	1CQ	1,000
96	1CR	1,000
97	1CS	1,000
98	1CT	1,000
99	1CU	1,000
100	1CV	1,000
101	1CW	1,000
102	1CX	1,000
103	1CY	1,000
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113	1DI	1,000
114	1DJ	1,000
115	1DK	1,000
116	1DL	1,000
117	1DM	1,000
118	1DN	1,000
119	1DO	1,000
120	1DP	1,000
121	1DQ	1,000
122	1DR	1,000
123	1DS	1,000
124	1DT	1,000
125	1DU	1,000
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204	1GV	1,000
205	1GW	1,000
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223	1HO	1,000
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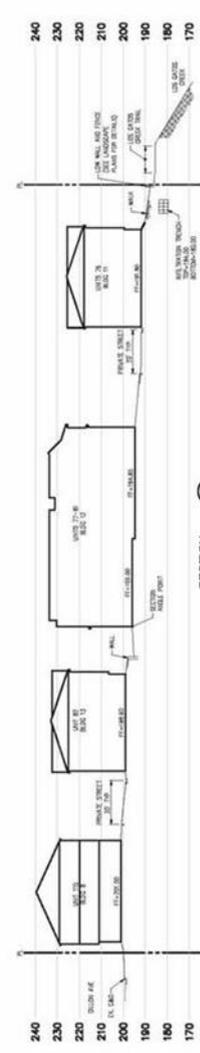
280 DILLON AVENUE
SITE SECTIONS

PREPARED FOR:
ROBSON HOMES
 A CALIFORNIA LIMITED LIABILITY COMPANY
 2185 THE ALAMITOS, SUITE 130
 SAN JOSE, CA 95128

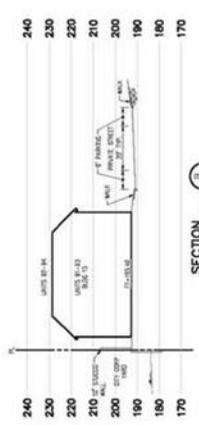
Civil Engineering Associates
 2000 N. 1st Street
 San Jose, CA 95131
 Tel: 408.298.8888
 Fax: 408.298.8889
 www.civil-engineering.com

NO.	DATE	DESCRIPTION
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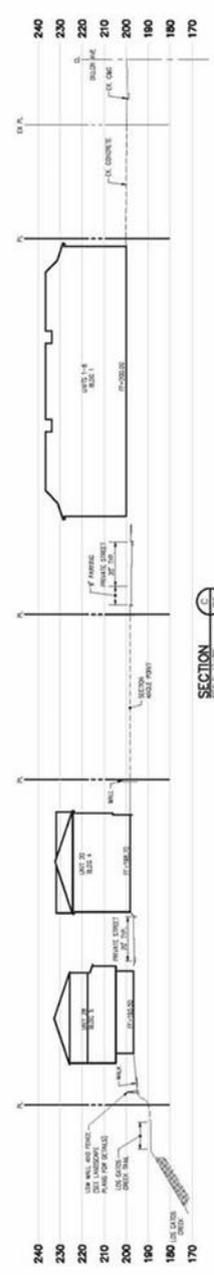
NOTE:
 ELEVATIONS SHOWN ARE BASED ON THE
 FINISHED GRADE FOR THE EXISTING
 PAVED DRIVEWAY TO THE LOT.



SECTION A-A



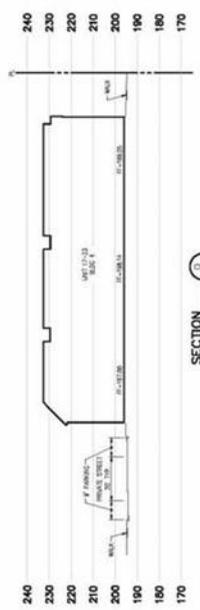
SECTION B-B



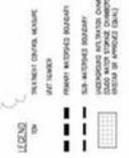
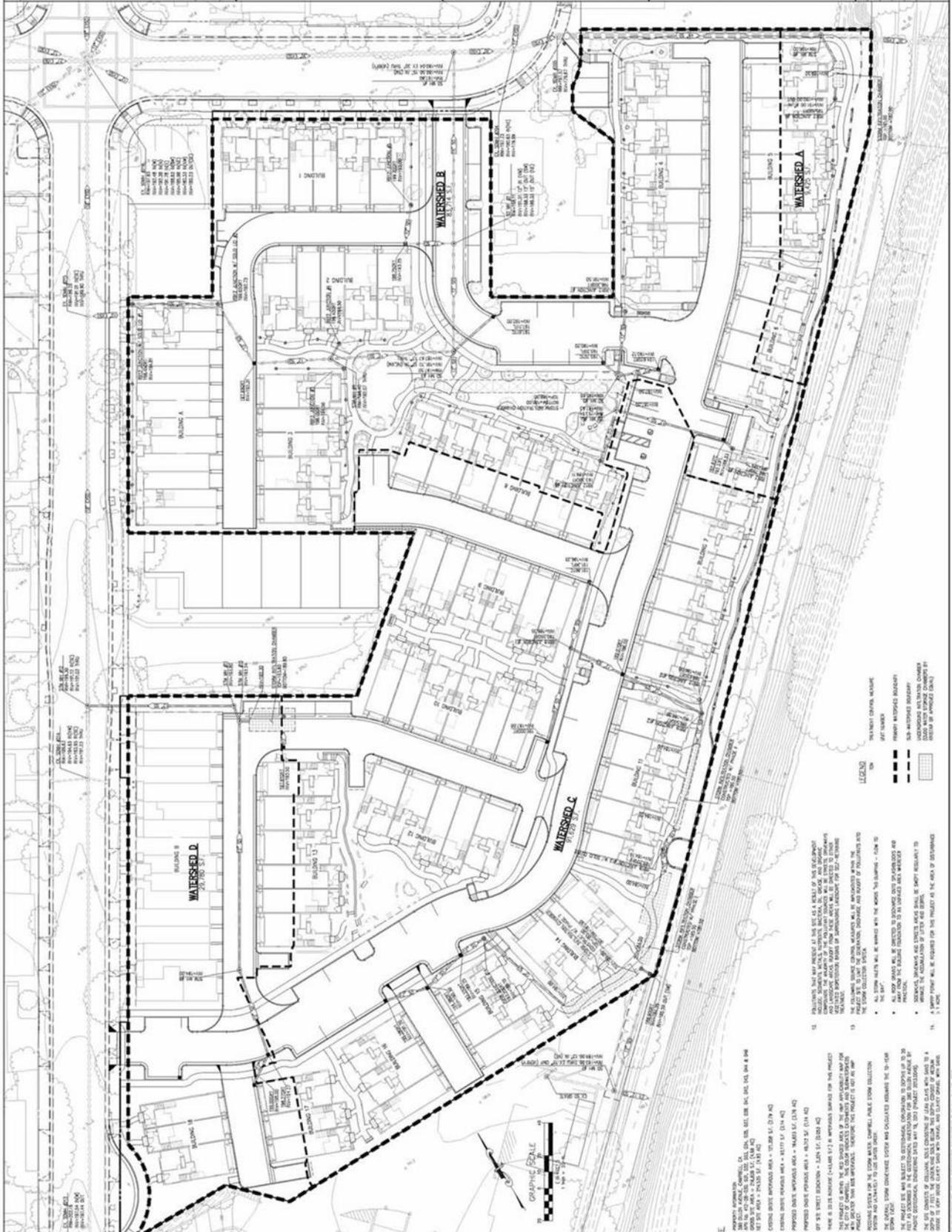
SECTION C-C



SECTION D-D



SECTION E-E



- NOTE
1. PROPERTY INFORMATION:
 - a. SEE SURVEY RECORDS FOR ALL UTILITIES, EASEMENTS, AND ENCUMBRANCES.
 - b. SEE SURVEY RECORDS FOR ALL UTILITIES, EASEMENTS, AND ENCUMBRANCES.
 - c. SEE SURVEY RECORDS FOR ALL UTILITIES, EASEMENTS, AND ENCUMBRANCES.
 2. CONSTRUCTION INFORMATION:
 - a. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CAMPBELL SPECIFICATIONS.
 - b. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CAMPBELL SPECIFICATIONS.
 - c. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CAMPBELL SPECIFICATIONS.
 3. PROPOSED STORMWATER MANAGEMENT:
 - a. THE PROPOSED STORMWATER MANAGEMENT SYSTEM SHALL BE AS SHOWN ON THIS PLAN.
 - b. THE PROPOSED STORMWATER MANAGEMENT SYSTEM SHALL BE AS SHOWN ON THIS PLAN.
 - c. THE PROPOSED STORMWATER MANAGEMENT SYSTEM SHALL BE AS SHOWN ON THIS PLAN.
 4. THERE IS A 10% CHANCE OF EXCESS FLOW IN WETLANDS DURING THE DESIGN LIFE OF THE PROJECT. THE DESIGNER SHALL PROVIDE FOR EXCESS FLOW CAPACITY IN WETLANDS TO PREVENT DAMAGE TO THE WETLANDS DURING EXCESS FLOW EVENTS.
 5. THE DESIGNER SHALL PROVIDE FOR EXCESS FLOW CAPACITY IN WETLANDS TO PREVENT DAMAGE TO THE WETLANDS DURING EXCESS FLOW EVENTS.
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 9. THE DESIGNER SHALL PROVIDE FOR EXCESS FLOW CAPACITY IN WETLANDS TO PREVENT DAMAGE TO THE WETLANDS DURING EXCESS FLOW EVENTS.
 10. THE DESIGNER SHALL PROVIDE FOR EXCESS FLOW CAPACITY IN WETLANDS TO PREVENT DAMAGE TO THE WETLANDS DURING EXCESS FLOW EVENTS.





DESIGN FOCUS
 LANDSCAPE ARCHITECTURE
 & CONSTRUCTION

FOCUS

DESIGN
 PO BOX 485
 BEN LOMOND, CA 95005
 (925) 336-3100

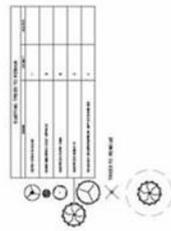
LAYOUT &
 PLANTING
 PLAN

DILTON AVENUE
 CAMPBELL, CA



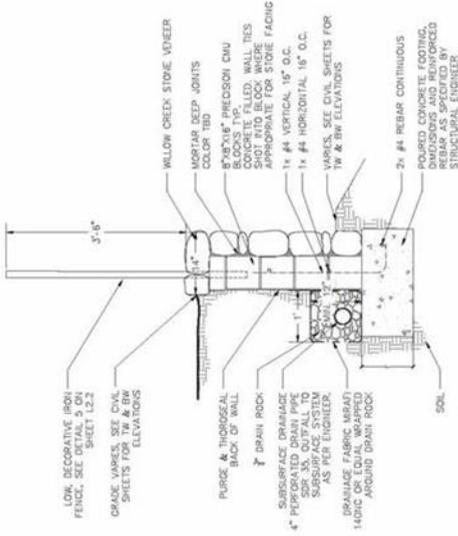
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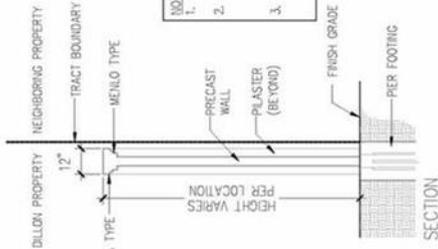
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IRRIGATION POINTS ARE COMPLIANT WITH THE
 LANDSCAPE CONCERNING PROPOSED IN THE CONCERNING
 AND STANDARDS FOR GROUND USE NEAR STREAMS



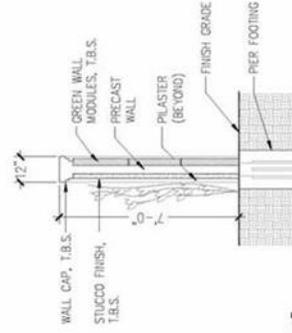
NOTE: BLOCK DIMENSION, REINFORCEMENT,
AND FOOTING AS PER CIVIL ENGINEERING

2 STONE FACED CMU WALL
WITH INTEGRATED FENCE SCALE: 1/2"=1'-0"



NOTES:
1. STRUCTURAL ENGINEERING SUBMITTED BY CONTRACTOR TO BE REVIEWED FOR CONSTRUCTION OF SOUND WALLS & RETAINING WALLS. PROVIDE ANTI-CRAFFT COATING ON ALL WALLS.

1 STUCCO WALL
PRECAST CONCRETE SCALE: 1/2"=1'-0"



NOTES:
1. STRUCTURAL ENGINEERING SUBMITTED BY CONTRACTOR TO BE REVIEWED FOR CONSTRUCTION OF SOUND WALLS & RETAINING WALLS. PROVIDE ANTI-CRAFFT COATING ON ALL WALLS.

3 7" SOUND WALL
WITH LIVING WALL COMPONENT SCALE: 1/2"=1'-0"



EXAMPLE OF LIVING WALL

PLAN SCALE: 1/4"=1'-0"

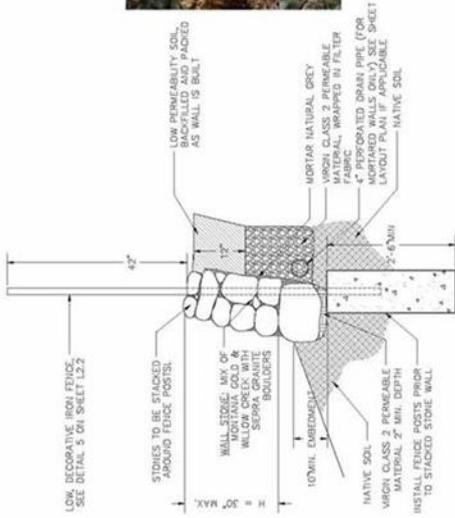
SECTION SCALE: 1/2"=1'-0"

ELEVATION SCALE: 1/2"=1'-0"

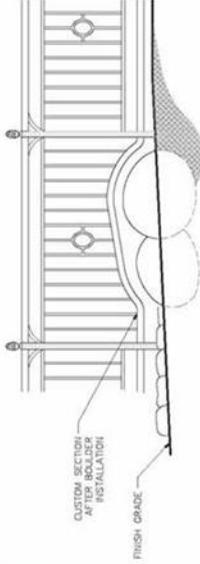
3 7" SOUND WALL
WITH LIVING WALL COMPONENT



EXAMPLE OF DRY STONE WALL



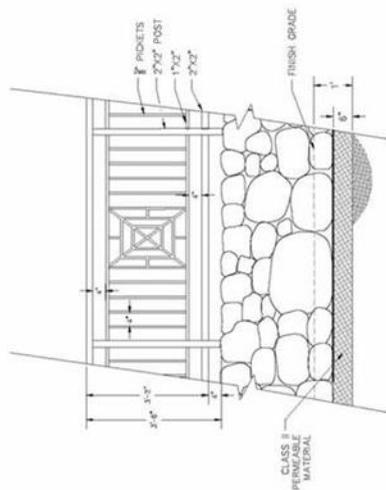
1 STACKED STONE RETAINING WALL WITH INTEGRATED FENCE
SCALE: 1/4"=1'-0"



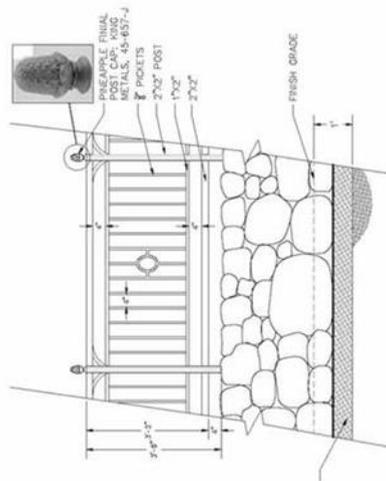
2 FENCE OVER BOULDER
SCALE: 3/4"=1'-0"



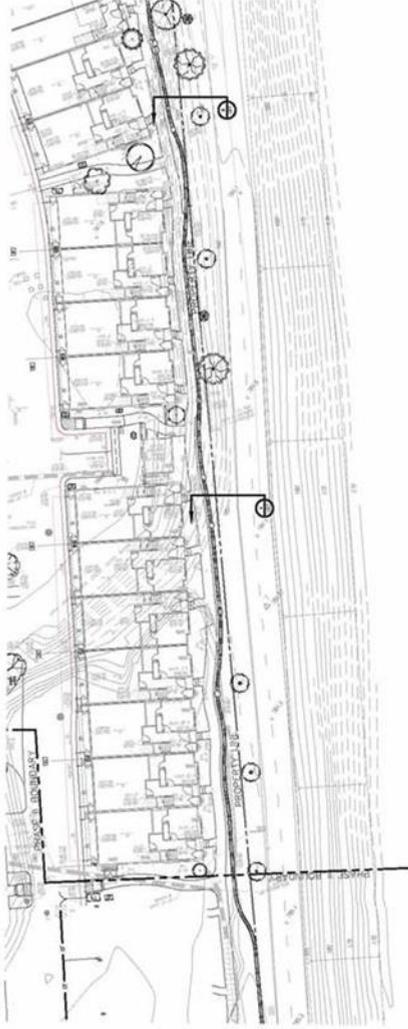
EXAMPLE OF IRON FENCE



3 FRONT SECTION DETAIL OF STONE PLACEMENT WITH FENCE
A STACK STONE RETAINING WALL
SCALE: 3/4"=1'-0"

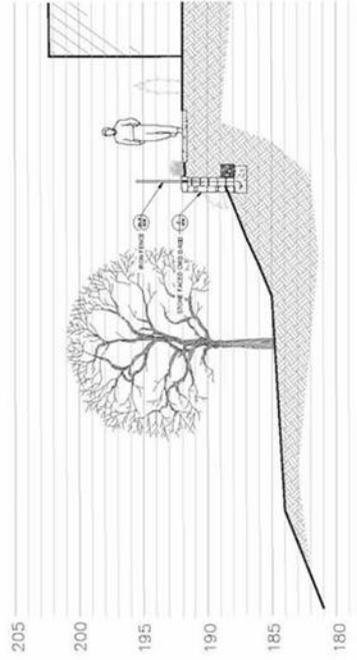


3 FRONT SECTION DETAIL OF STONE PLACEMENT WITH FENCE
B STACK STONE RETAINING WALL
SCALE: 3/4"=1'-0"



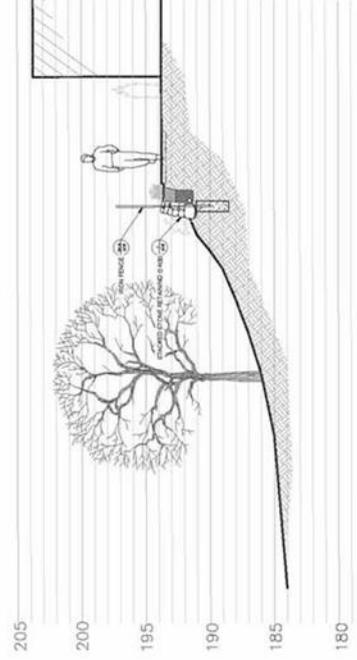
RETAINING WALL PLAN

SCALE: 1"=20'-0"



A RETAINING WALL SECTION
STONE FACED CMU WALL

SCALE: 1/4"=1'-0"



B RETAINING WALL SECTION
STACK STONE WALL

SCALE: 1/4"=1'-0"

OPEN SPACE - 27,943 SQFT



DILON AVENUE
CAMPBELL, CA

OPEN SPACE
PLAN

DESIGN
PO BOX 485
BEN LOMOND, CA 95005
(925) 336-3100

FOCUS

DESIGN FOCUS
LANDSCAPE ARCHITECTURE
& CONSTRUCTION



REVISED: 9/16/2015
DESIGN BY: RJD
DRAWN BY: OW
SCALE: 1/8"=1'-0"

L4
OPEN SPACE PLAN



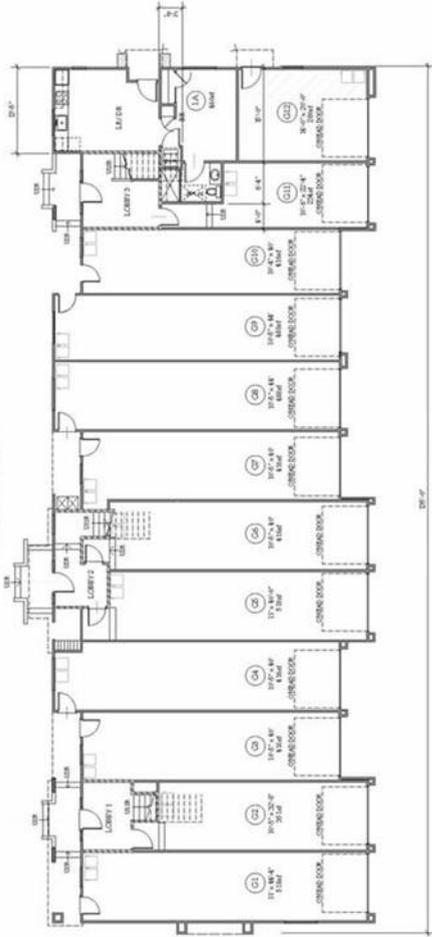
IRRIGATION SYSTEM NOTES

- IRRIGATION SYSTEM IS DESIGNED FOR A MAXIMUM OF 50 C.P.M. AT 60 P.S.I. STATIC PRESSURE. VERIFY PRESSURE OF 60 P.S.I. AT THE POINT OF CONNECTION PRIOR TO BEGINNING THE INSTALLATION OF THE IRRIGATION SYSTEM. NOTIFY OWNERS REPRESENTATIVE OF ANY DISCREPANCIES IN PRESSURE.
- NOTIFY OWNERS REPRESENTATIVE 5 (FIVE) DAYS PRIOR TO INSTALLATION FOR A PRE-INSTALLATION CONFERENCE AND FIELD VISIT TO THE PROJECT. A CONTRACT TEST WILL BE REQUIRED FOR CONTROL WIRE STAKES. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNERS REPRESENTATIVE.
- CONNECT TO 1.5" IRRIGATION WATER METER PROVIDED FOR IN IMMEDIATE VICINITY BY CIVIL SECTION OF CONTRACT. INSTALL BACKFLOW PREVENTION DEVICE IN INCLUSIVE APPROXIMATELY WHERE INDICATED AS DETAILED AND APPROXIMATING CONTACT CITY OF CAMPBELL PLUMBING INSPECTION DEPARTMENT FOR LIST OF CERTIFIED TESTERS.
- INSTALL CONTROLLER IN ENCLOSURE WHERE INDICATED. EXACT LOCATION OF CONTROLLER TO BE DETERMINED AT GROUND BY OWNERS REPRESENTATIVE. 100 A.M.P. ELECTRICAL SUPPLY IS PROVIDED FOR IN IMMEDIATE VICINITY BY ELECTRICAL SECTION OF CONTRACT. MAKE FINAL 100 VOLT ELECTRICAL CONNECTION TO CONTROLLER. USE 100 AMP BREAKER TO PROTECT UPON EXCESSIVE CURRENT. MAXIMUM FLOW RATE STATED IN NOTE NO. 1. INSTALL PER MANUFACTURERS SPECIFICATIONS. CONTROLLER SHALL BE PROGRAMMED TO OPERATE USING 1/2 TO 1/4 INCH DRAINAGE CYCLES. SOIL COUPLER SHALL BE INSTALLED ON EACH AND MANUFACTURERS SPECIFICATIONS. SOIL COUPLER SHALL BE INSTALLED ON EACH AND MANUFACTURERS SPECIFICATIONS. PROGRAM CONTROLLER TO IRRIGATE USING MAXIMUM REPEAT CYCLES OF SHORT DURATION. CARE SHALL BE TAKEN TO PREVENT FLOW OF WATER AND SLOPE SOIL THROUGH DUE TO PROLONGED APPLICATIONS OF WATER. OPERATIONS AND MAINTENANCE MANUALS SHALL BE PROVIDED AND INSTALLED. MANUFACTURERS WRITTEN SPECIFICATIONS, PROVIDE AND INSTALL RAINBOW LANDSCAPE IRRIGATION AND MAINTENANCE REMOTE (LUMBT) HANDHELD DEVICE. INSTALL RAINBOW ETC-LV ET MANAGER ANTENNA ON TOP OF ENCLOSURE PER MANUFACTURERS WRITTEN SPECIFICATIONS. PROVIDE AND INSTALL RAINBOW ETC-LV ET MANAGER ANTENNA ON TOP OF ENCLOSURE PER MANUFACTURERS WRITTEN SPECIFICATIONS. PROVIDE RAINBOW TD-1000 DECODER FOR REMOTE CONTROL VALVES AND SCHEDULED SENSOR DECODER FOR FLOW SENSOR. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- INSTALL ALL EQUIPMENT AS DETAILED. INSTALL R.C.V. 0 TANKS MANUFACTURED BY T. CHRISTY ENT. STANDARD SIZE, 1 1/8" HOT STAMPED BLACK LETTERS ON YELLOW BACKGROUND ON SOLIDWOOD WIRES. LETTERS TO CONFORM TO CONTROL/STATION NUMBERS.
- ALL SPRINKLER HEADS SHALL HAVE INSOR ASSEMBLIES AS DETAILED. INSTALL CHECK VALVES AS SHOWN ON BUBBLER ASSEMBLIES. BUBBLER ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN SPECIFICATIONS. OTHER POINTS WHERE BUBBLING WILL CAUSE DAMAGE OR HAZARD. LEAK SPRINKLER HEADS (SMALL LABELS DEPENDING UPON TRAJECTORY OF SPRAY AND DEGREE OF SLOPE) TO MAINTAIN 1/4" MINIMUM CLEARANCE.
- ADJUST ALL HEADS FOR COMPLETE COVERAGE WITH NO OVERSPRAY, AND THROTTLE FLOW CONTROL AT VALVES FOR OPTIMUM OPERATION. WHEN THROTTLING IS NOT USED TO CONTROL, TESTING OR OVERSPRAY, BACK-OFF MANUAL FLOW CONTROL 1/2 TO 1 1/2 TURNS FROM POINT WHERE CLOSING EFFECTS SPRINKLER COVERAGE.
- ALL PIPE AND WIRING UNDER PAVEMENT SHALL BE INSTALLED AT A THIRTY-SIX (36") DEPTH BELOW GRADE. ALL SUPPLEMENTARY PIPE AND WIRING UNDER PAVEMENT SHALL BE INSTALLED IN P.C. SCHEDULE 40 SLEEVING AND ELECTRICAL CONDUIT. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN SPECIFICATIONS. INSTALL SAND FOR BACKFILL IN VEHICULAR PAVEMENT AREAS TO 6" COVER ABOVE PIPE. SURROUND PIPE WITH SAND IN AREAS WHERE ROCKY TERRAIN IS ENCOUNTERED.
- FLOW CONTROL WIRE SHALL BE RAINBOW 14-2 MAXI. CORRECT WIRING AS DETAILED FOR MANUFACTURERS SPECIFICATIONS. PROVIDE 3" EXCESS CABLE LOOP OF CABLE AT EACH REMOTE CONTROL VALVE. MAX CABLE MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN SPECIFICATIONS. PROVIDE 500 FT. OF EXCESS CABLE FOR EACH 6 DECODER. BUBBLER IS GREATER. INSTALL PER MANUFACTURERS SPECIFICATIONS.

IRRIGATION SYSTEM LEGEND

①	IRRIGATION WATER METER-3/8"	-BY CIVIL SECTION OF CONTRACT-12 FLEX SYSTEM
②	MANUFACTURER BACKFLOW PREVENTION DEVICE	-EPCO-8217-5/8"
③	WATER CONTROL VALVE	-S-3000-1/2"
④	FLOW SENSOR	-RANBRO-75200P*1"
⑤	ELECTRIC CONTROLLER	-RANBRO-ESP-LVD/ETC-LV/LMP-KIT
⑥	IRRIGATION WATER METER-1.5"	-BY CIVIL SECTION OF CONTRACT-PHASE 1 & 2 ON-SITE
⑦	MANUFACTURER BACKFLOW PREVENTION DEVICE	-EPCO-8217-1.5"
⑧	WATER CONTROL VALVE	-S-3000-1/2"
⑨	FLOW SENSOR	-RANBRO-75100P*1.5"
⑩	ELECTRIC CONTROLLER	-RANBRO-ESP-LVD/ESP-LVD-SW/ETC-LV/LMP-KIT
⑪	SOLENOID VALVE	-RANBRO-ESV-1/2"
⑫	SOLENOID VALVE	-RANBRO-ESV-1/2"
⑬	QUICK COUPLER VALVE	-RANBRO-3300C
⑭	SOIL COUPLER	-RANBRO-3300C
⑮	SOIL COUPLER	-RANBRO-3300C
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ⓚ	SOIL	

DILLON AVENUE



PRIVATE STREET



GARAGE FLOOR PLAN

DILLON AVENUE



PRIVATE STREET



SECOND FLOOR PLAN

SQUARE FOOT PARCEL/LOT		
UNIT	FLOOR	LOFT
20 DILLON AVENUE		
1A-11A	GRF	-
2A	GRF	-
2B	GRF	-
2C	GRF	-
2D	GRF	-
2E	GRF	-
2F	GRF	-
2G	GRF	-
2H	GRF	-
2I	GRF	-
2J	GRF	-
2K	GRF	-
FOOTPRINT = 4,689 SF		
20 PRIVATE STREET		
1A-11A	GRF	-
2A	GRF	-
2B	GRF	-
2C	GRF	-
2D	GRF	-
2E	GRF	-
2F	GRF	-
2G	GRF	-
2H	GRF	-
2I	GRF	-
2J	GRF	-
2K	GRF	-
FOOTPRINT = 4,689 SF		
COVERED PARKING		
20 DILLON AVENUE		
4 - 84 UNITS - 11 EACH = 84		
TOTAL UNITS COVERED PARKING = 84		
TOTAL SQUARE COVERED PARKING = 21		
20 PRIVATE STREET		
8 - 84 UNITS - 11 EACH = 84		
TOTAL UNITS COVERED PARKING = 84		
TOTAL SQUARE COVERED PARKING = 21		

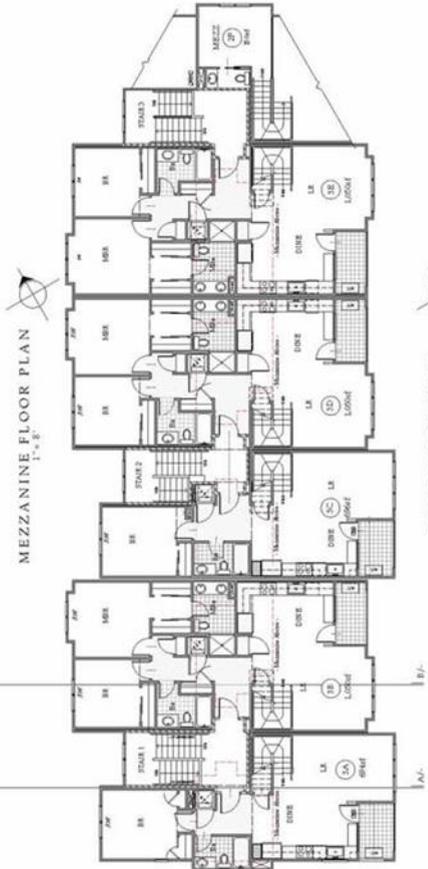
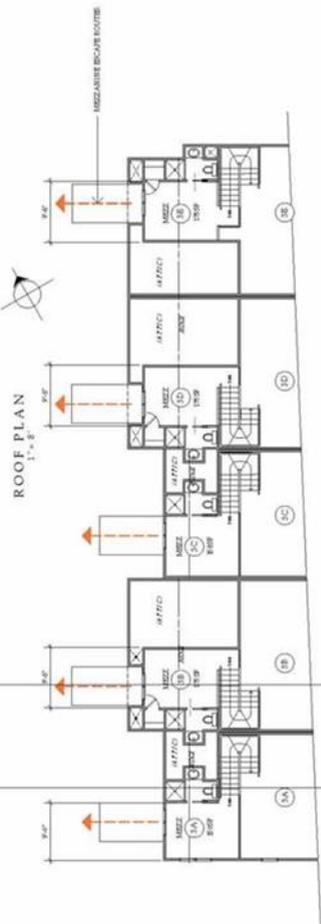
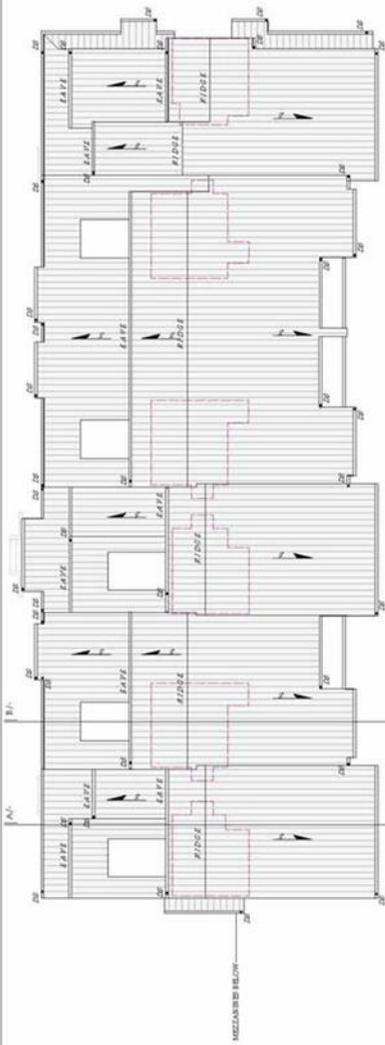
TORN BLANK ARCHITECTS
 111 S. 11TH AVENUE
 SUITE 200
 DENVER, CO 80202
 TEL: 303.733.1111
 WWW.TORNBLANKARCHITECTS.COM

FRANKS DEVELOPMENT
 111 S. 11TH AVENUE
 SUITE 200
 DENVER, CO 80202
 WWW.FRANKSDEV.COM

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 SHEET 104: 99th FLOOR
 SHEET 105: 100th FLOOR

180 MILLION GARBLON SECOND FLOOR PLANS

180 MILLION GARBLON SECOND FLOOR PLANS

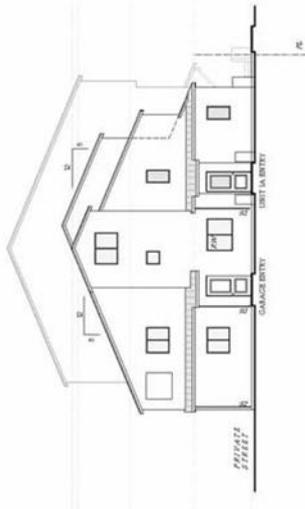


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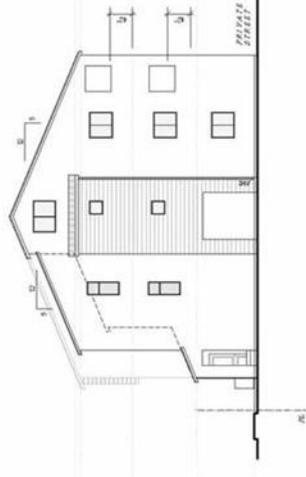
NORTHWEST - DILLON AVENUE
1'-11 1/2"



SOUTHWEST
1'-11 1/2"



SOUTHEAST - PRIVATE STREET
1'-11 1/2"



NORTHEAST
1'-11 1/2"

JOHN HEN
ARCHITECTS
1111 15TH AVENUE
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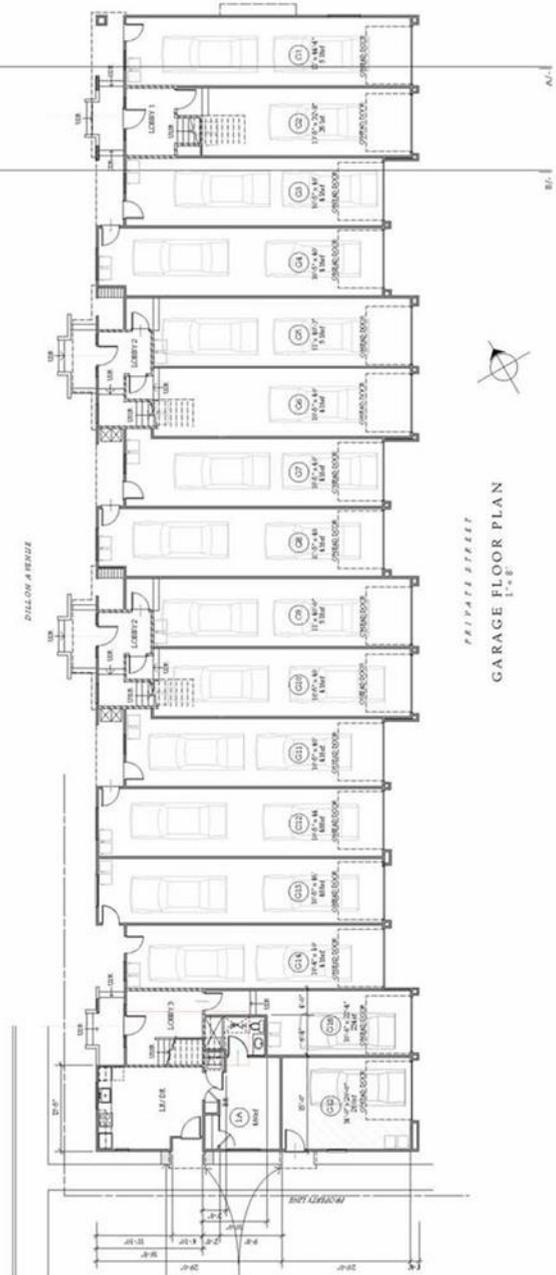
PLANNED
DEVELOPMENT
199 DILLON
ELEVATIONS

199 DILLON
ELEVATIONS

3

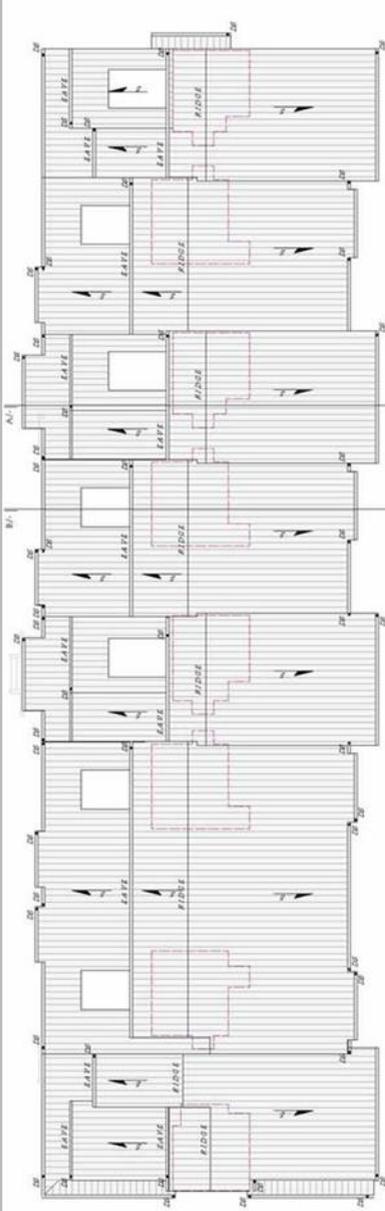


SECOND FLOOR PLAN
 1" = 8'



GARAGE FLOOR PLAN
 1" = 8'

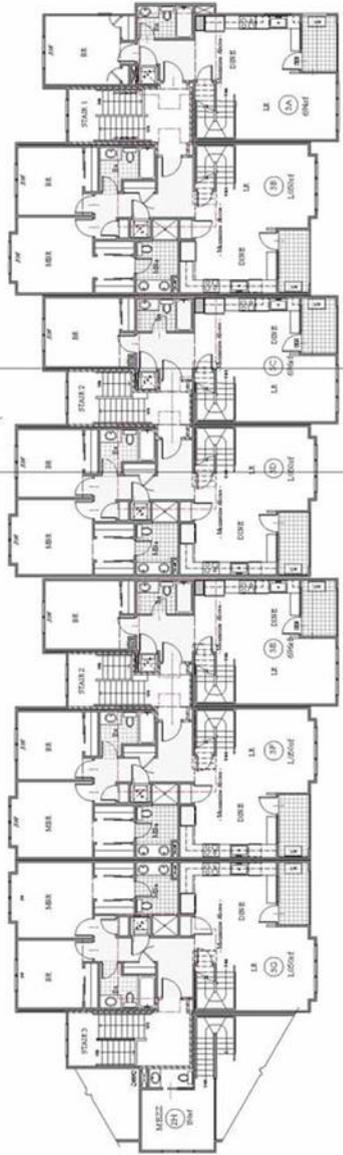
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2SI	88
2SJ	88



ROOF PLAN
 1" = 8'

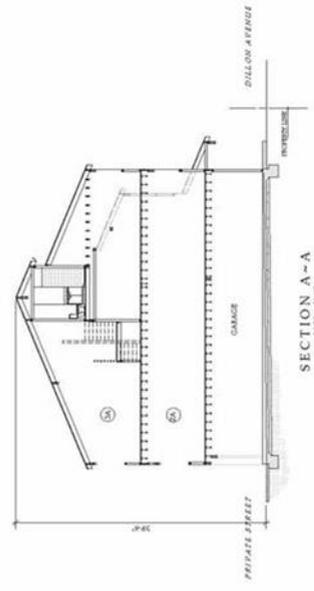
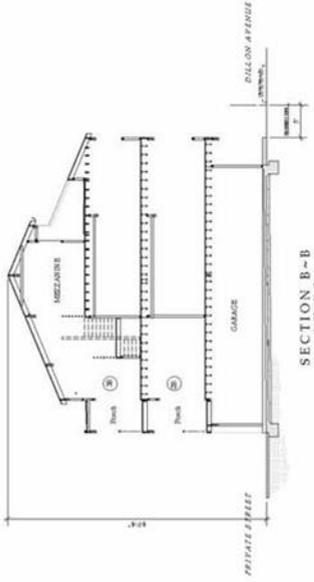


MEZZANINE FLOOR PLAN
 1" = 8'



THIRD FLOOR PLAN
 1" = 8'

SQUARE FOOT SCHEDULE	
230 DILLON APARTMENT	LOFT
UNIT FLOOR AREA	
1A-19A	881
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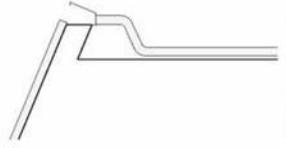
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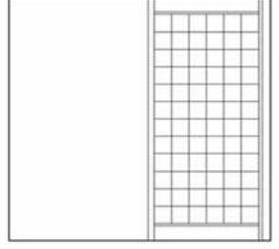
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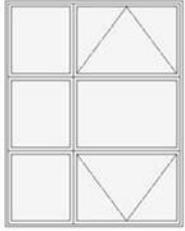
PLASTER - "MISERABLE" (NO KNOCK DOWN)



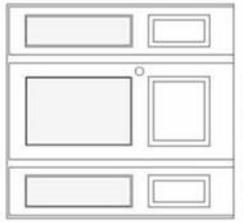
GALVANIZED FASCIA GUTTERS & 2\"/>



IRON FRAMING
 STEEL SUB-FRAME W/ 4\"/>



ALUMINUM FRAME CASSETT WINDOWS



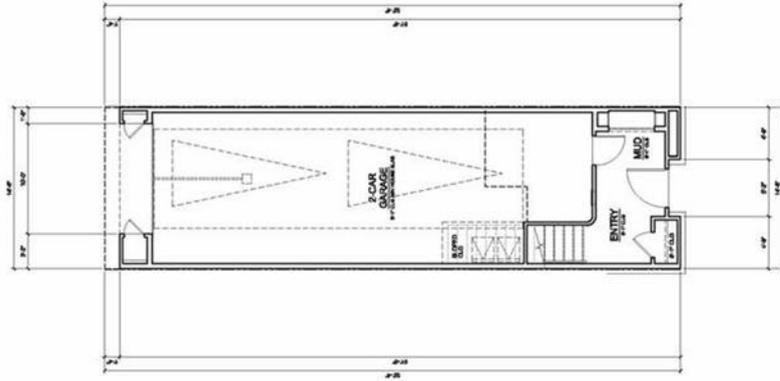
ENTRY DOOR & SIDELIGHTS

PROPOSED MATERIALS & DETAILS
 NO SCALE

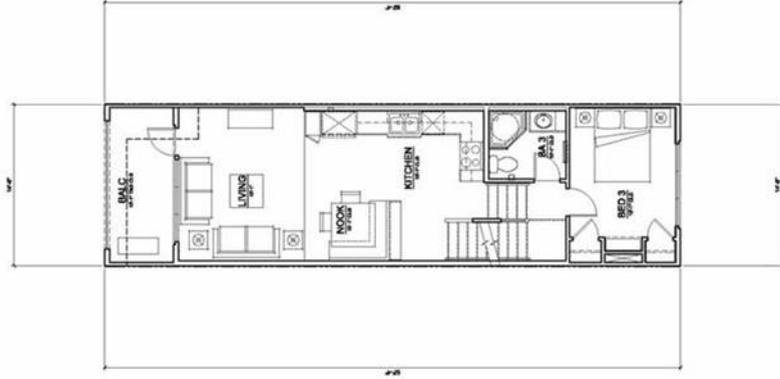
JOHN REIN
 ARCHITECT
 114 C. GILLESPIE AVENUE
 AUSTIN, TEXAS 78704
 512.476.1111

PLANNED
 DEVELOPMENT
 CONSULTING CORPORATION
 10000 W. HUNTERS LANE, SUITE 100
 FORT WORTH, TEXAS 76116

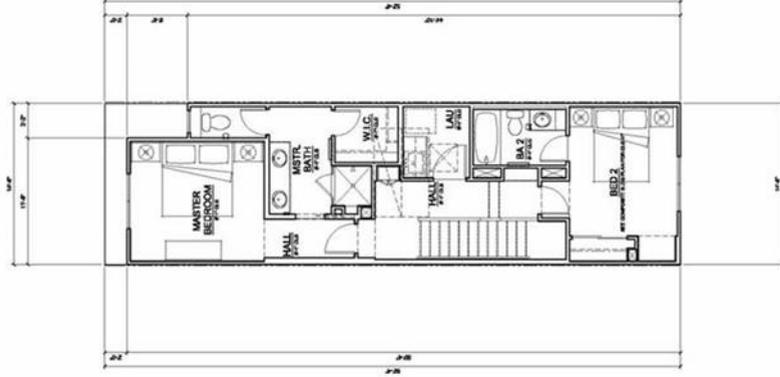
PROPOSED
 MATERIALS
 & DETAILS
 SECTIONS
 A-A & B-B



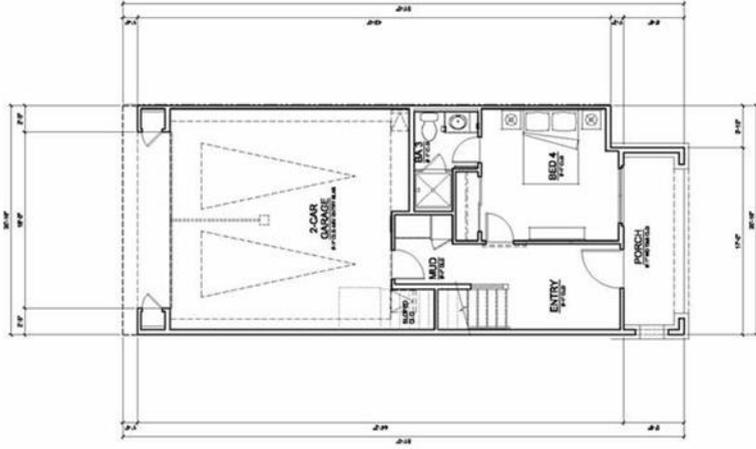
FIRST FLOOR PLAN
133 SQ. FT.



SECOND FLOOR PLAN
672 SQ. FT.
PLAN 1
TOTAL: 1,473 SQ. FT.



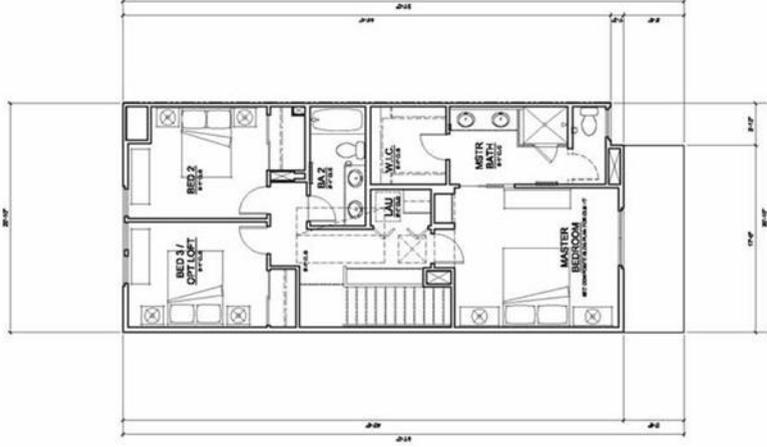
THIRD FLOOR PLAN
668 SQ. FT.



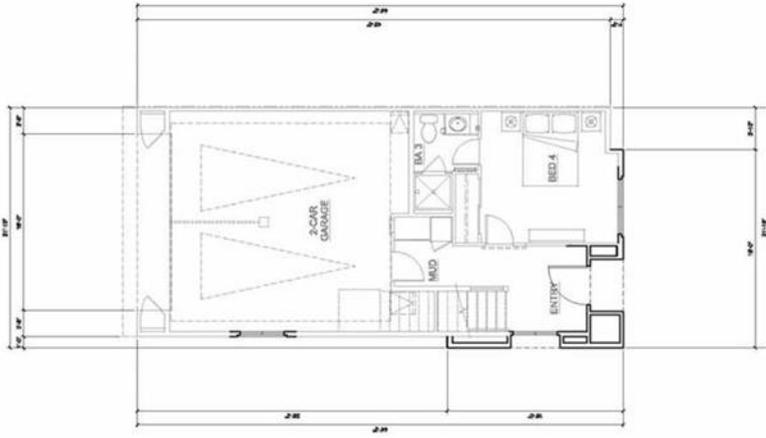
FIRST FLOOR PLAN
403 SQ. FT.



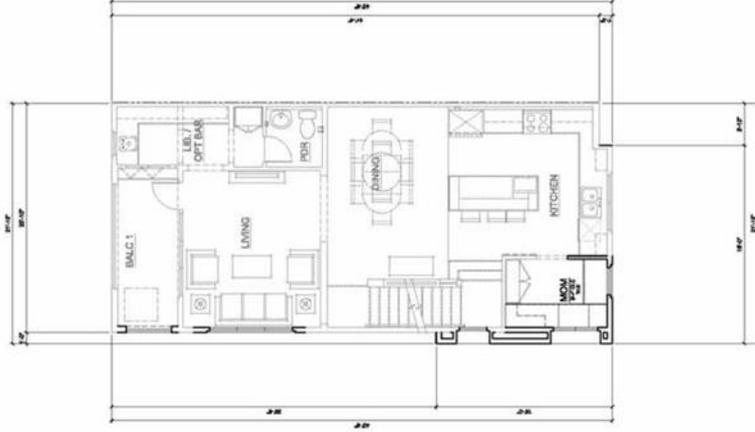
SECOND FLOOR PLAN
854 SQ. FT.
PLAN 2
TOTAL: 2,146 SQ. FT.



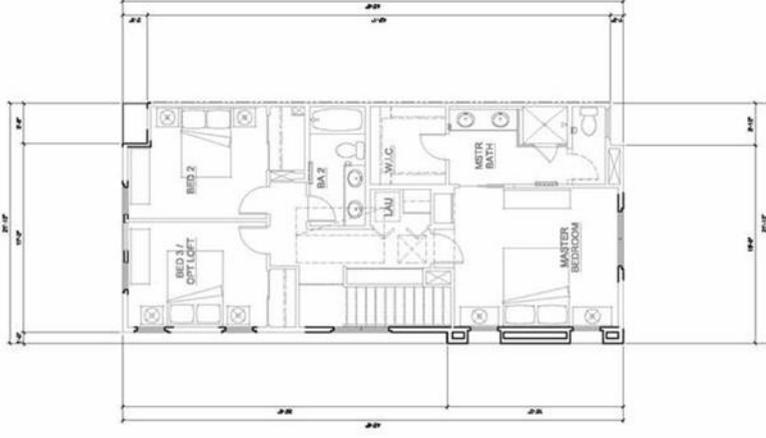
THIRD FLOOR PLAN
889 SQ. FT.



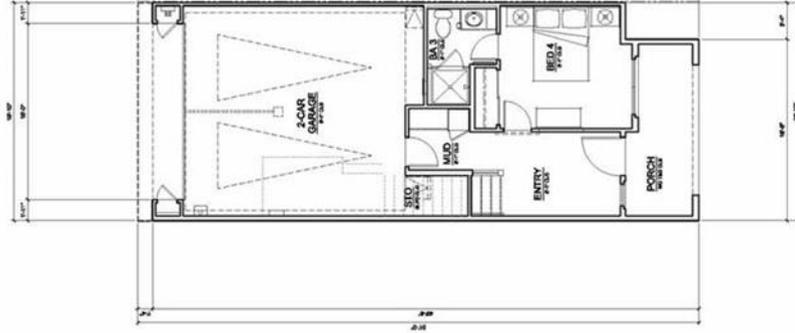
FIRST FLOOR PLAN
379 SQ. FT.



SECOND FLOOR PLAN
854 SQ. FT.
PLAN 2X
TOTAL: 2,122 SQ. FT.



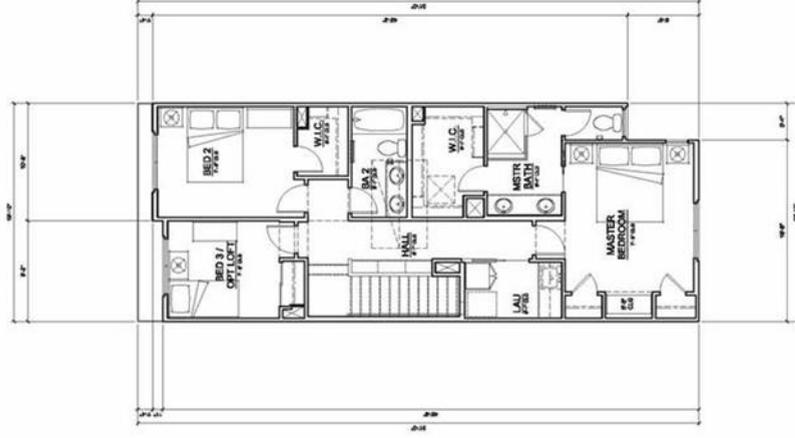
THIRD FLOOR PLAN
889 SQ. FT.



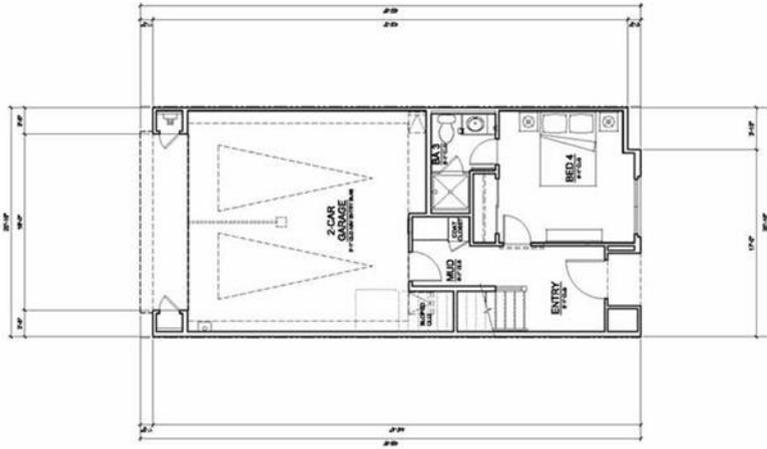
FIRST FLOOR PLAN
368 SQ. FT.



SECOND FLOOR PLAN
879 SQ. FT.
PLAN 3
TOTAL: 2,150 SQ. FT.



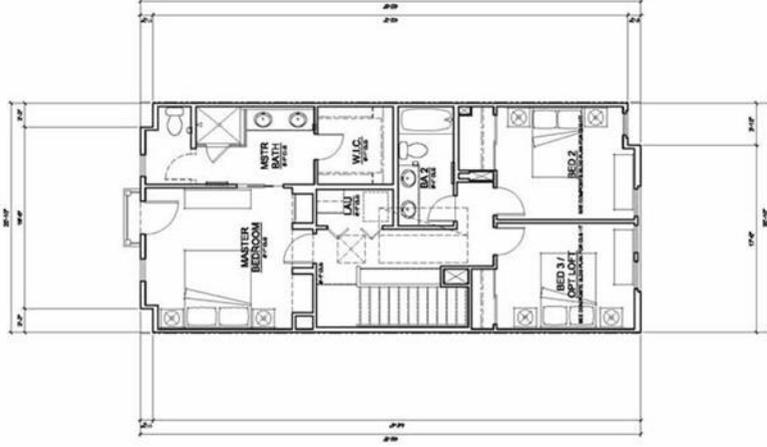
THIRD FLOOR PLAN
903 SQ. FT.



FIRST FLOOR PLAN
379 SQ. FT.

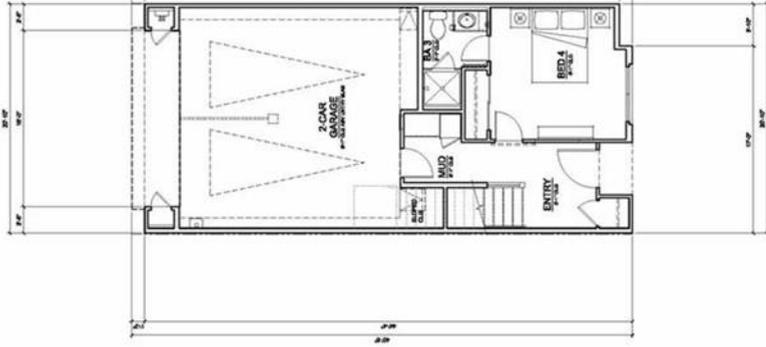


SECOND FLOOR PLAN
818 SQ. FT.
PLAN 4
TOTAL: 2,070 SQ. FT.



THIRD FLOOR PLAN
873 SQ. FT.

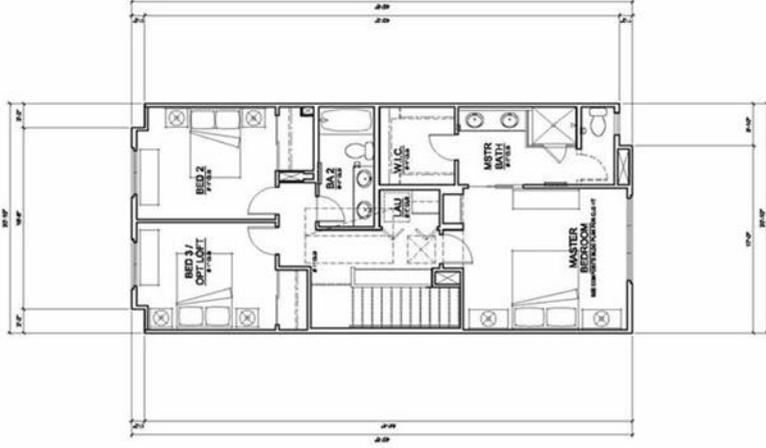
UNIT PLANS
MADISON PARK
CAMPBELL, CA



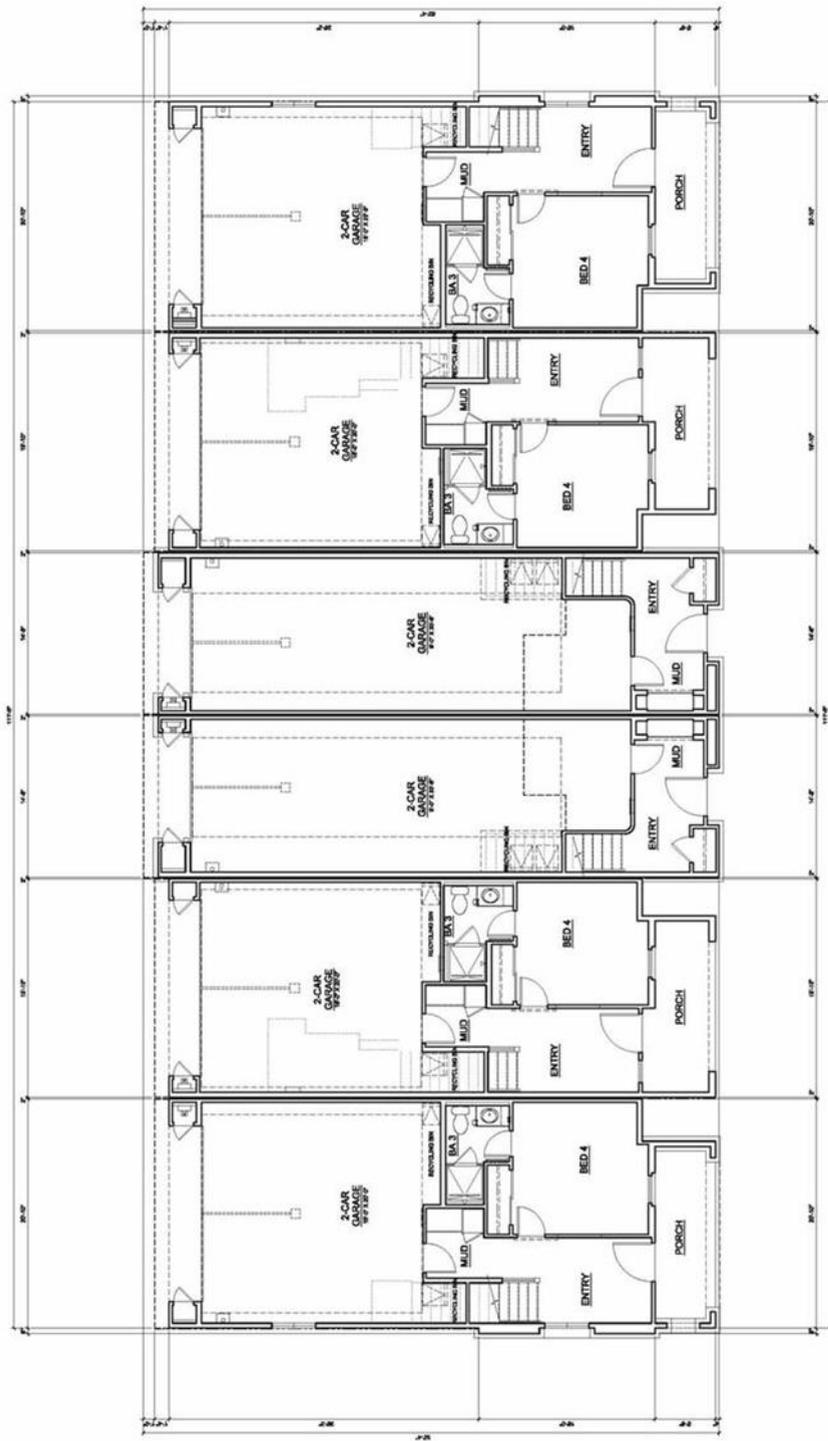
FIRST FLOOR PLAN
389 SQ. FT.



SECOND FLOOR PLAN
818 SQ. FT.
PLAN 5
TOTAL: 2,073 SQ. FT.



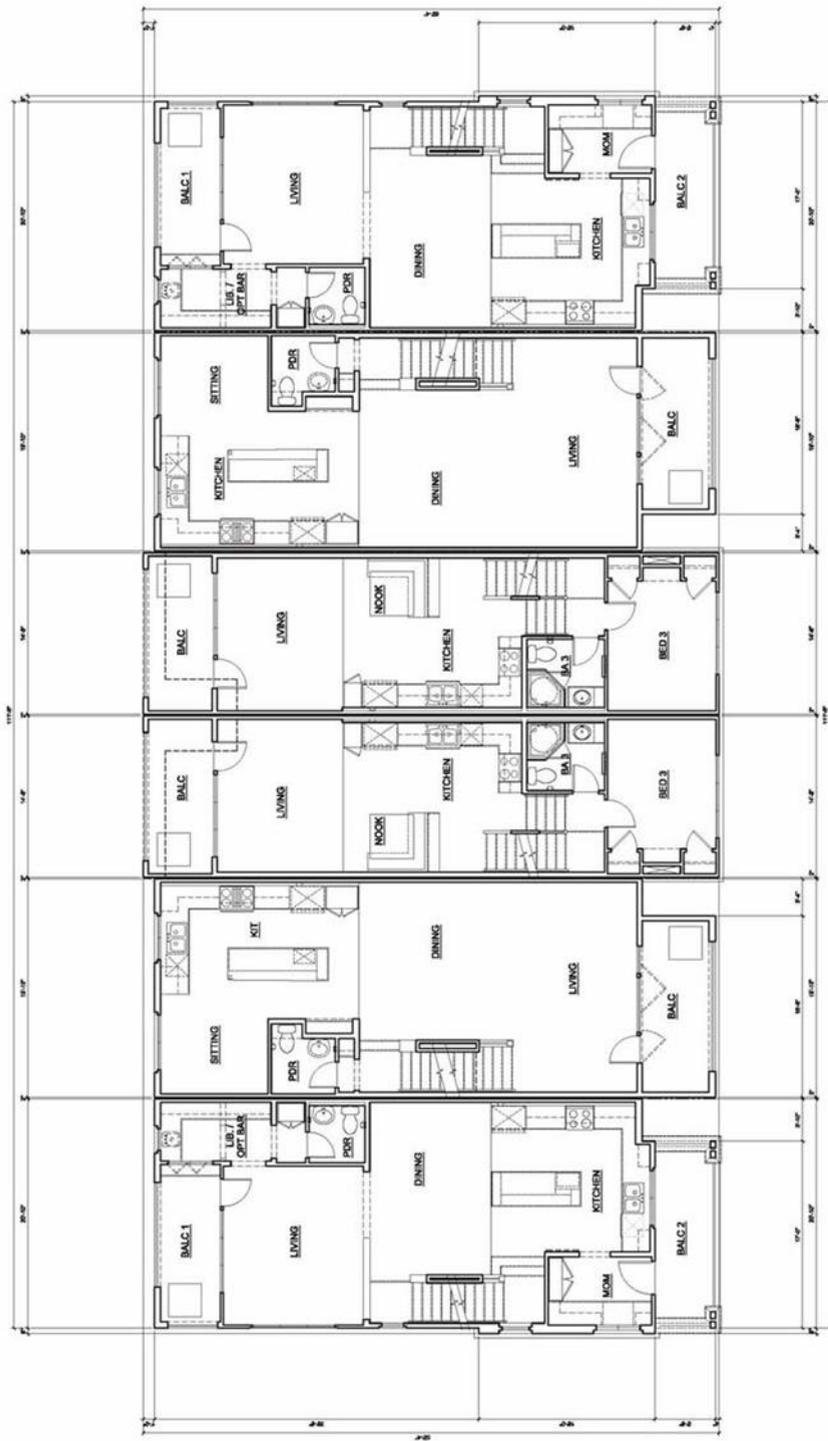
THIRD FLOOR PLAN
890 SQ. FT.



PLAN 2A PLAN 3A PLAN 1A PLAN 1A PLAN 3A PLAN 2A

FIRST FLOOR PLAN
BUILDING 1

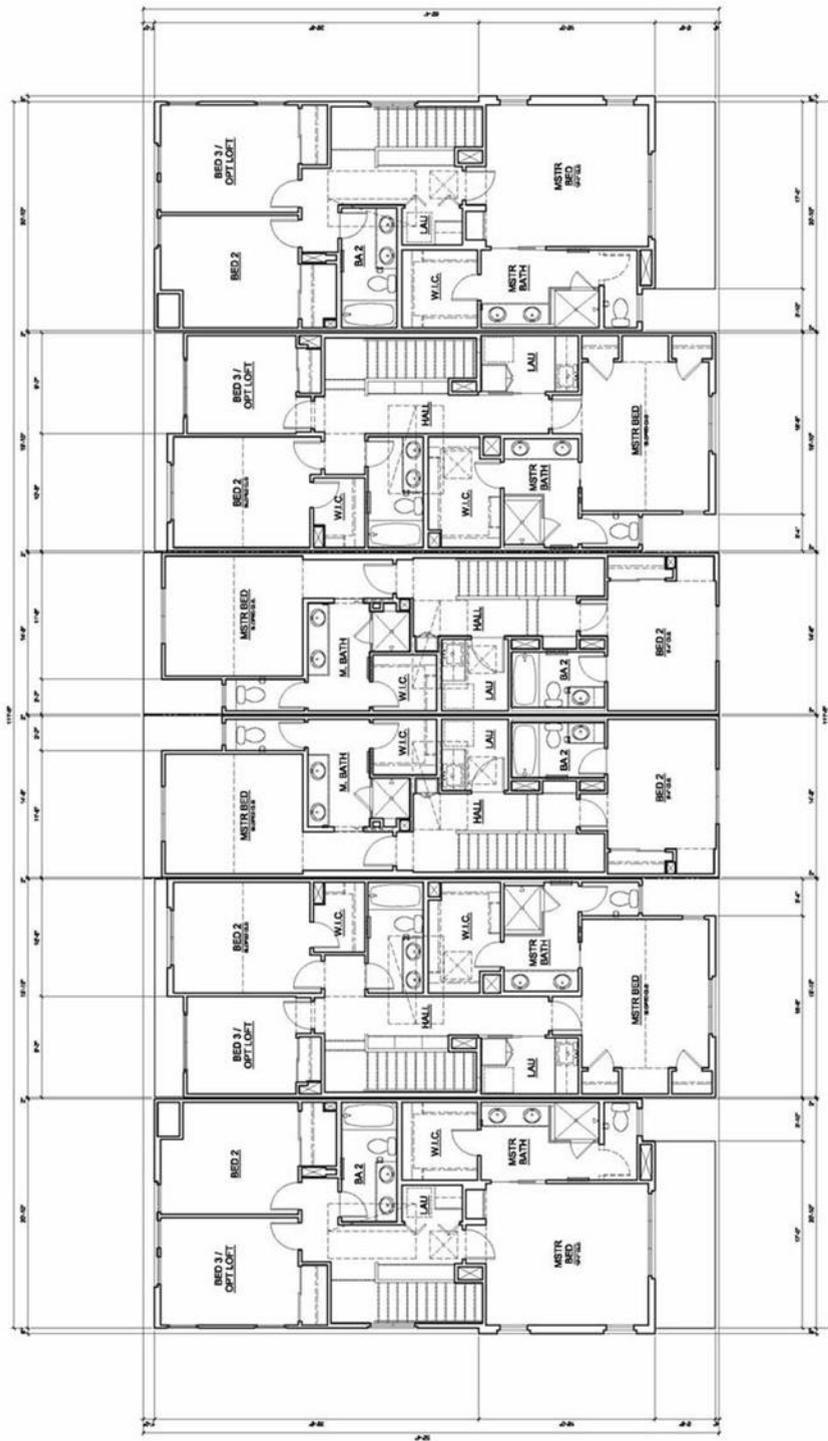
BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 2A PLAN 3A PLAN 1A PLAN 1A PLAN 3A PLAN 2A

SECOND FLOOR PLAN
BUILDING 1

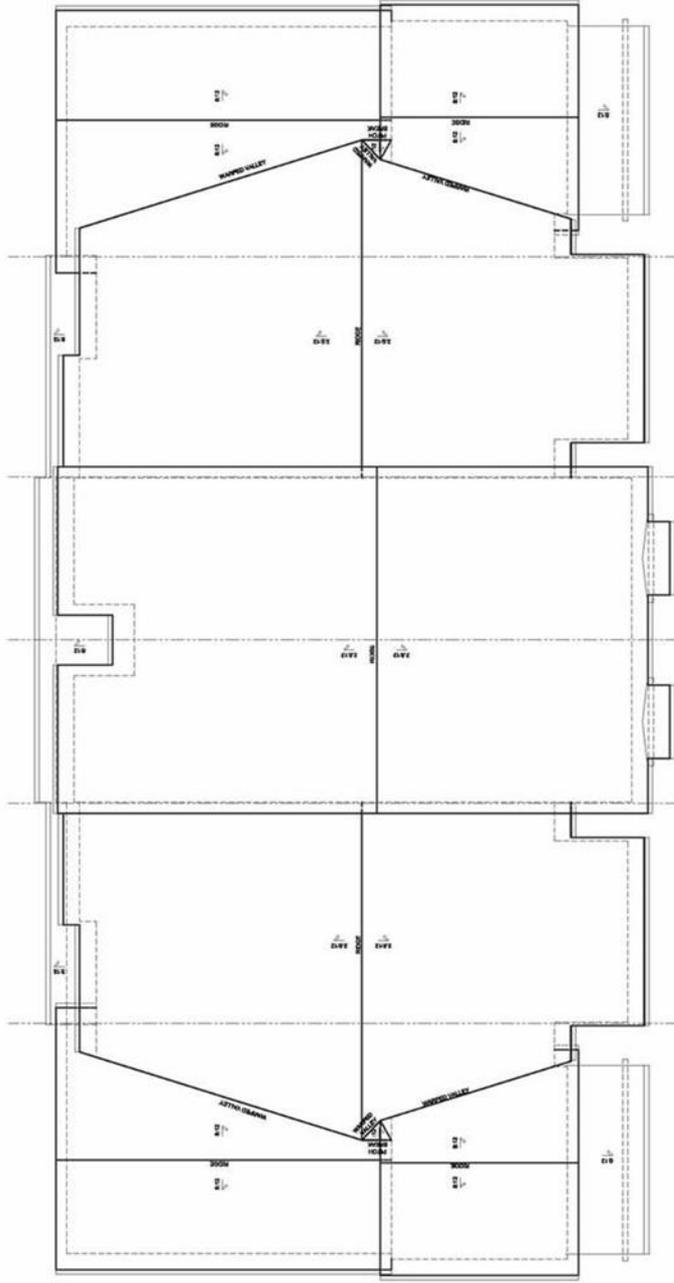
BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 2A PLAN 3A PLAN 1A PLAN 1A PLAN 3A PLAN 2A

THIRD FLOOR PLAN
BUILDING 1

BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 2A

PLAN 3A

PLAN 1A

PLAN 1A

PLAN 3A

PLAN 2A

ROOF PLAN
BUILDING 1



PLAN 2A PLAN 3A PLAN 1A PLAN 1A PLAN 3A PLAN 3A PLAN 1A PLAN 1A PLAN 2A PLAN 2A

FRONT ELEVATION
BUILDING 1

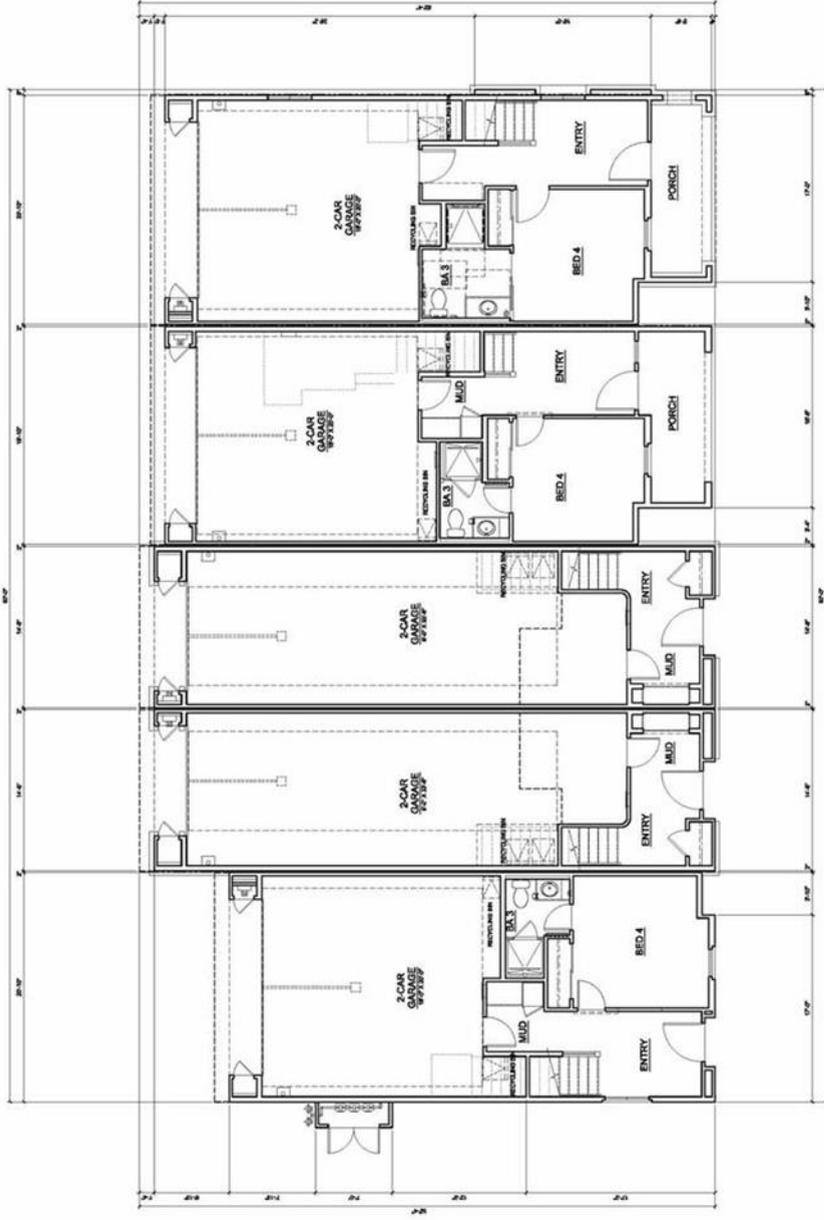


PLAN 2A PLAN 3A PLAN 1A PLAN 1A PLAN 3A PLAN 3A PLAN 1A PLAN 1A PLAN 2A PLAN 2A

REAR ELEVATION
BUILDING 1

- 01. EXTERIOR STUCCO
- 02. BOARD AND BATTEN
- 03. GAT TIMBERLINE SHINGLE ROOFING
- 04. EXPOSED WOOD BATTER TAILS
- 05. WOOD CORNICE
- 06. WOOD TRIM
- 07. WOOD BALCONY
- 08. WOOD FLOORING
- 09. GAT TIMBERLINE SHINGLE ROOFING
- 10. EXPOSED WOOD BATTER TAILS
- 11. 1/2" WOOD TRIM
- 12. WOOD CORNICE

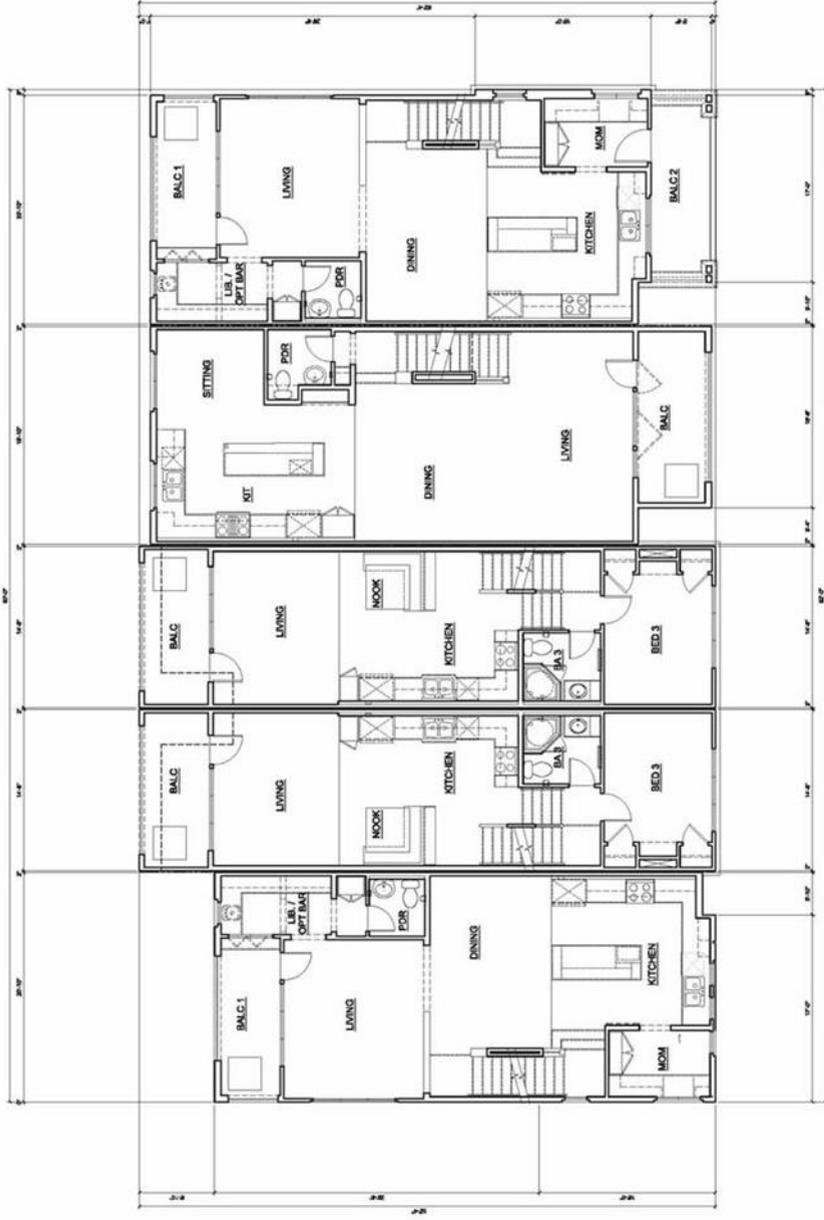
BUILDING ELEVATIONS
MADISON PARK
CAMPBELL, CA



PLAN 2A PLAN 1A PLAN 1A PLAN 1A PLAN 2A

FIRST FLOOR PLAN
BUILDING 2

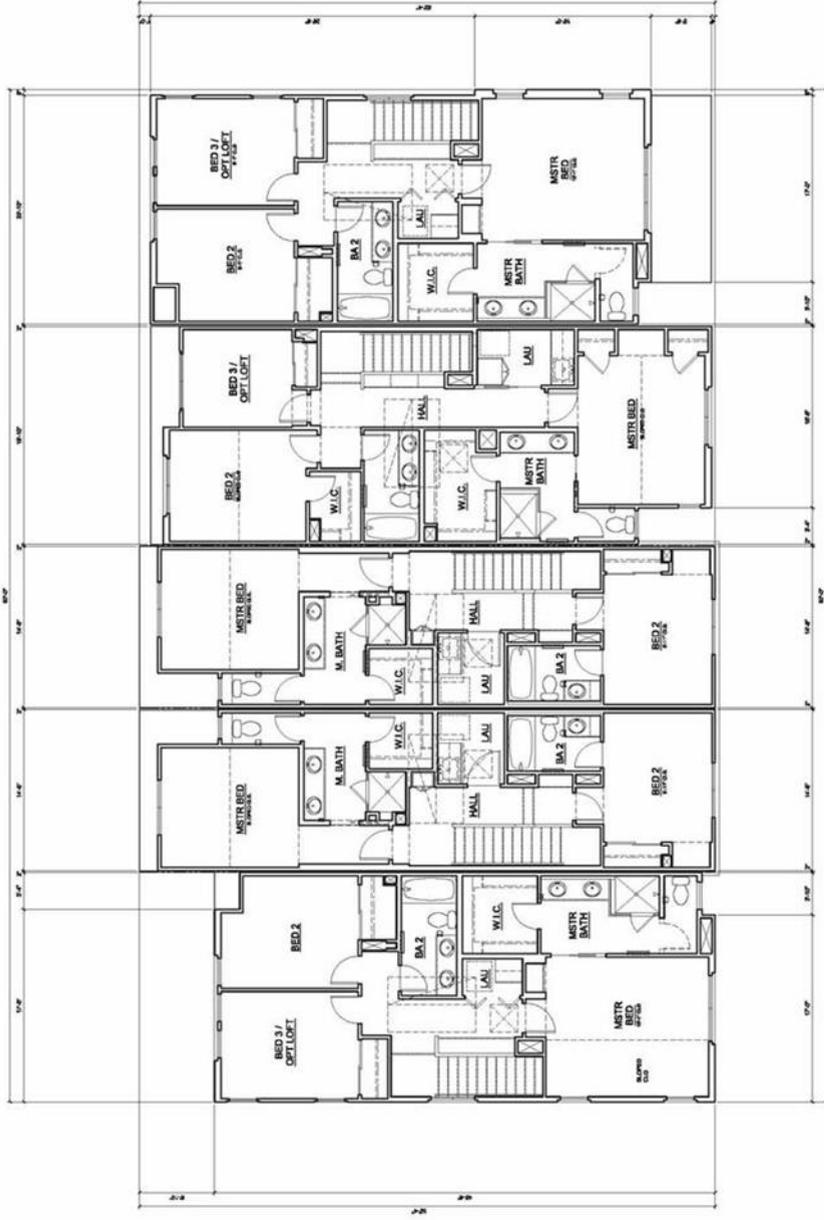
BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 2A PLAN 1A PLAN 1A PLAN 1A PLAN 2A

SECOND FLOOR PLAN
BUILDING 2

BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 2A PLAN 1A PLAN 1A PLAN 3A PLAN 2A

THIRD FLOOR PLAN
BUILDING 2

BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



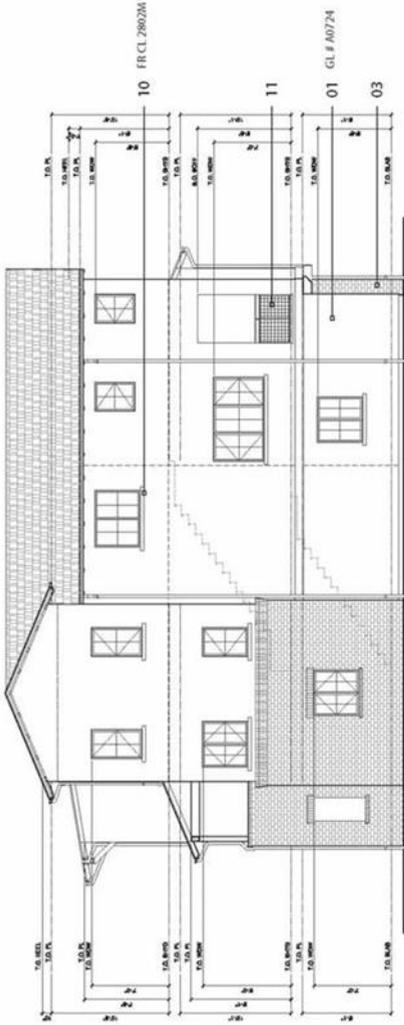
PLAN 2A PLAN 1A PLAN 1A PLAN 3A PLAN 2A
FRONT ELEVATION
BUILDING 2



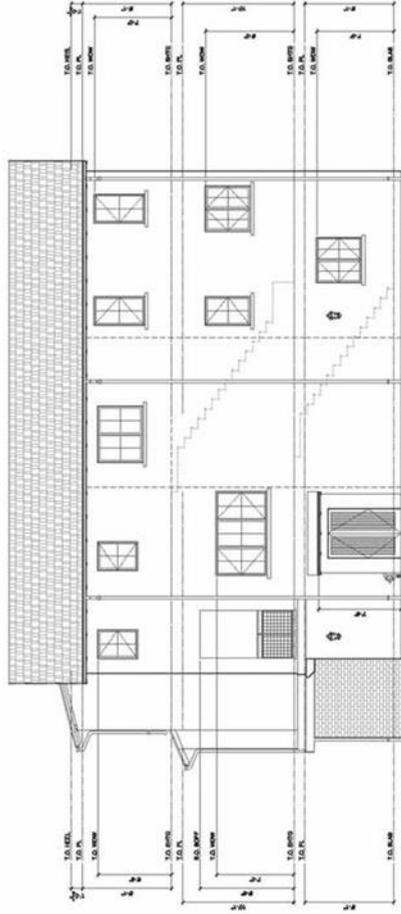
PLAN 2A PLAN 3A PLAN 1A PLAN 1A PLAN 2A
REAR ELEVATION
BUILDING 2

- 01. NATURAL SHADOWLINE WEATHERED WOOD
- 02. BOARD AND BATTEN
- 03. GAT TIMBERLINE SHINGLE ROOFING
- 04. EXPOSED WOOD BARKER TAILS
- 05. WOOD TRIM
- 06. WOOD BALCONY
- 07. STUCCO TRIM
- 08. 1/2" X 1/2" X 1/2" WOOD TRIM
- 09. 1/2" X 1/2" X 1/2" WOOD TRIM
- 10. 1/2" X 1/2" X 1/2" WOOD TRIM
- 11. 1/2" X 1/2" X 1/2" WOOD TRIM
- 12. 1/2" X 1/2" X 1/2" WOOD TRIM

BUILDING ELEVATIONS
MADISON PARK
CAMPBELL, CA



PLAN 2A
RIGHT ELEVATION
BUILDING 2

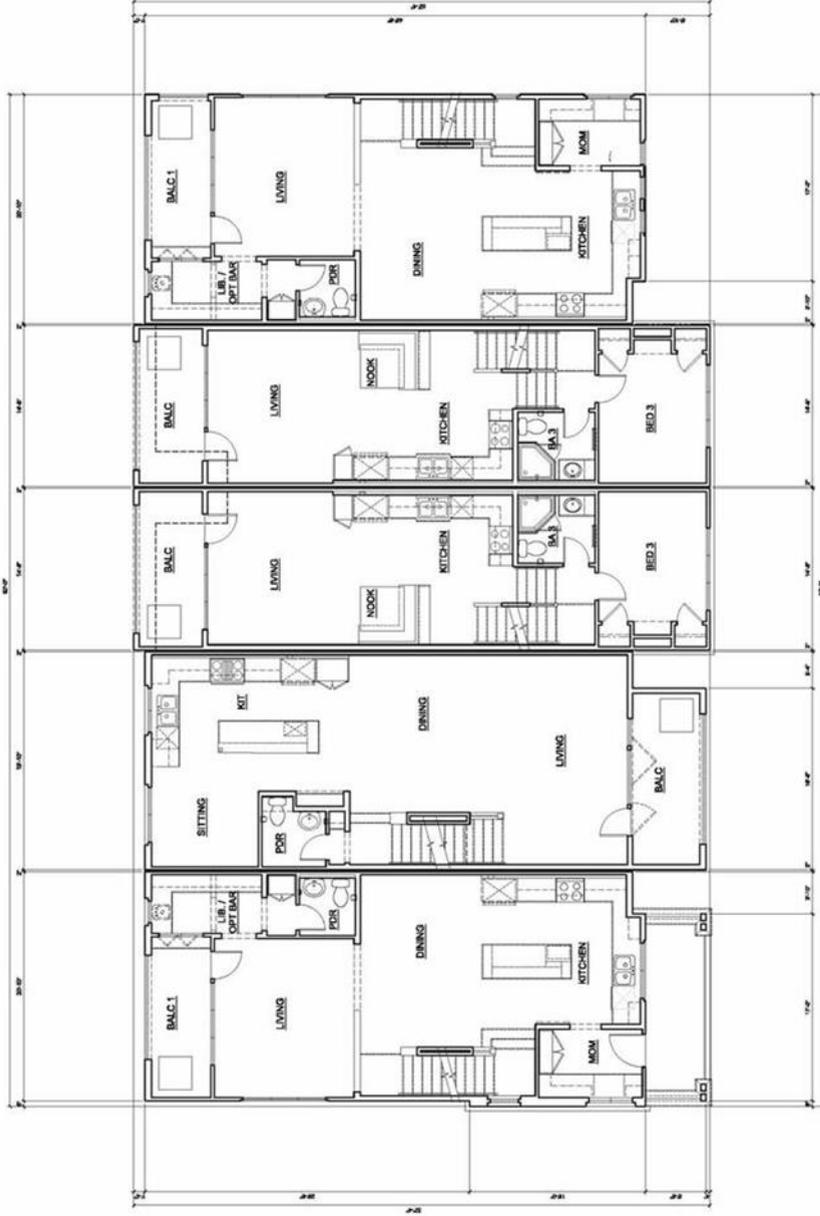


PLAN 2A
LEFT ELEVATION
BUILDING 2

- 01. EXTERIOR STUCCO
- 02. BOARD AND BATTEN
- 03. GAT TIMBERLINE SHINGLE ROOFING
- 04. EXPOSED WOOD BARKER TAILS
- 05. WOOD CORNICE

- 06. WOOD TRIM
- 07. WOOD BALCONY
- 08. GAT TIMBERLINE SHINGLE ROOFING
- 09. EXPOSED WOOD BARKER TAILS
- 10. WOOD CORNICE

BUILDING ELEVATIONS
MADISON PARK
CAMPBELL, CA



PLAN 2A

PLAN 1A

PLAN 1A

PLAN 3A

PLAN 2A

SECOND FLOOR PLAN
BUILDING 3

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA



R H A

ROBERT RIDLEY ARCHITECTS

1000 UNIVERSITY AVENUE, SUITE 1000

BERKELEY, CA 94702

PH: 415.863.1100

FAX: 415.863.1101

WWW.RHA-ARCHITECTS.COM

ROBSON HOMES

1000 UNIVERSITY AVENUE, SUITE 1000
BERKELEY, CA 94702
PH: 415.863.1100
FAX: 415.863.1101
WWW.RHA-ARCHITECTS.COM

PROJECT NUMBER: 0077

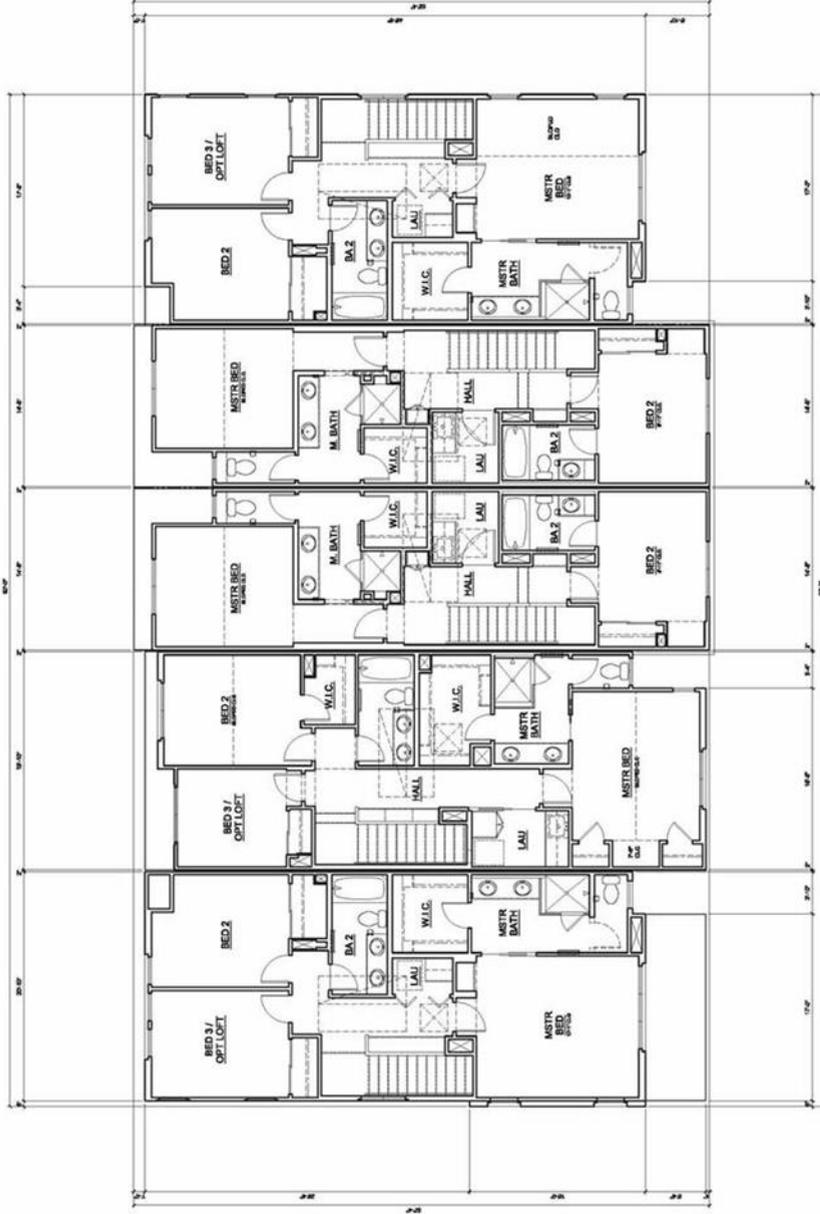
DATE: 11/11/10

SCALE: 1/8" = 1'-0"

PROJECT: MADISON PARK

DATE: 11/11/10

PROJECT: MADISON PARK



PLAN 2A

PLAN 1A

PLAN 1A

PLAN 3A

PLAN 2A

THIRD FLOOR PLAN
BUILDING 3

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA



R H A

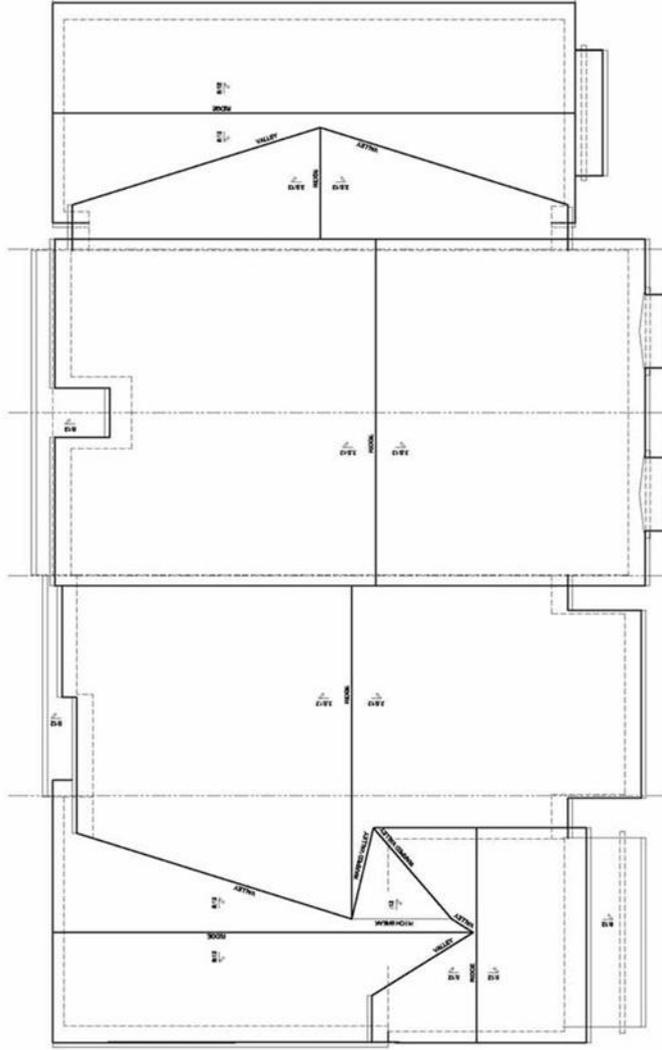
ROBERT RIDLEY ARCHITECTS

PROJECT NUMBER: 0077

DATE: 1/21

ROBSON HOMES

10000 ROBSON WAY, SUITE 100
DUBLIN, CA 94568
TEL: 925.835.1000
WWW.ROBSONHOMES.COM



PLAN 2A

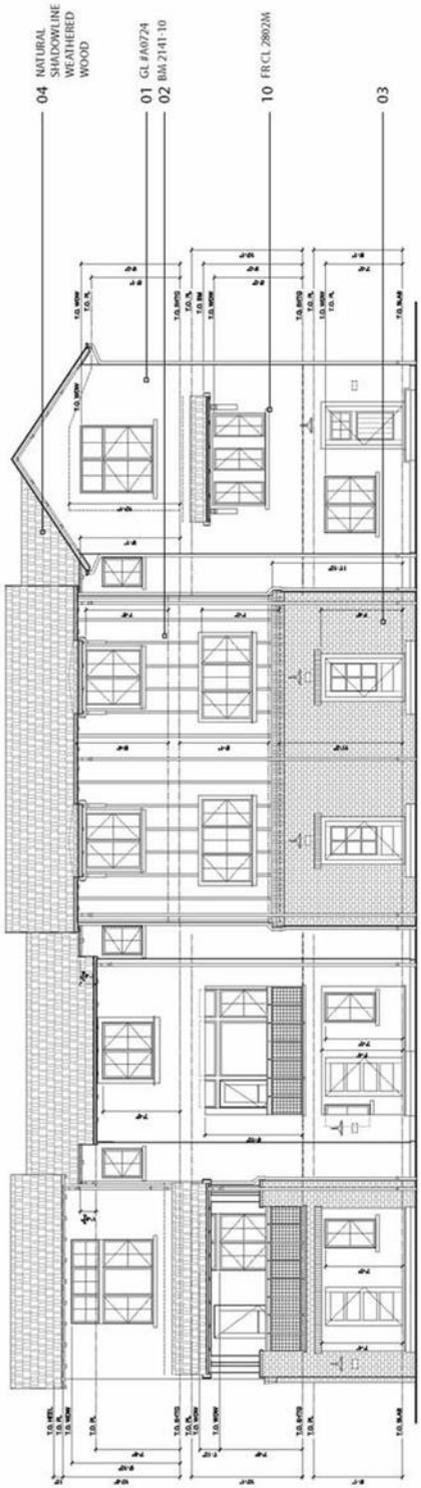
PLAN 1A

PLAN 1A

PLAN 3A

PLAN 2A

ROOF PLAN
BUILDING 3



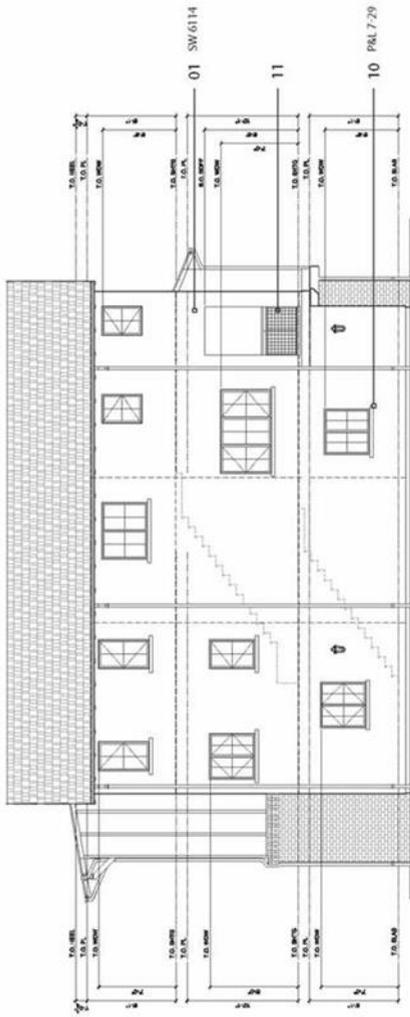
PLAN 2A PLAN 1A PLAN 3A PLAN 1A PLAN 3A PLAN 2A
 FRONT ELEVATION
 BUILDING 3



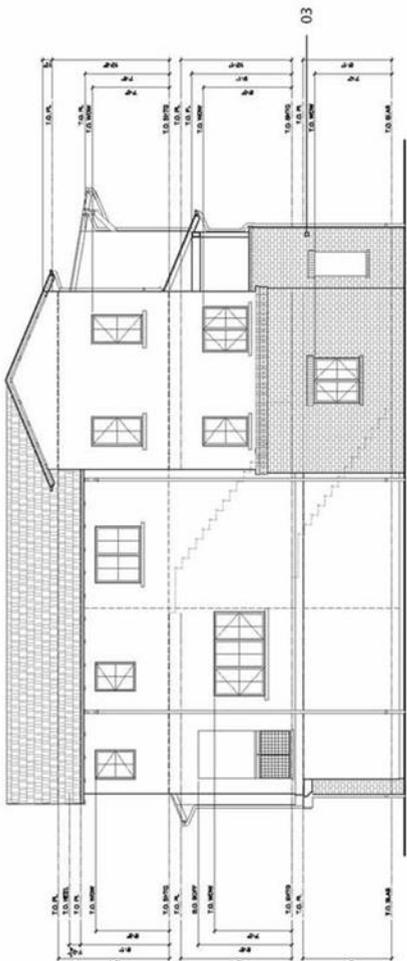
PLAN 2A PLAN 1A PLAN 3A PLAN 1A PLAN 3A PLAN 2A
 REAR ELEVATION
 BUILDING 3

- 01. EXTERIOR STUCCO
- 02. BOARD AND BATTEN
- 03. GAT TIMBERLINE SHINGLE ROOFING
- 04. EXPOSED WOOD BATTER TAILS
- 05. WOOD CORNICE
- 06. WOOD TRIM
- 07. WOOD BALCONY
- 08. WOOD TRIM
- 09. STUCCO TRIM
- 10. 1/2" GALV. WALLING
- 11. GARAGE DOOR
- 12. GARAGE DOOR

BUILDING ELEVATIONS
MADISON PARK
 CAMPBELL, CA



PLAN 2A
RIGHT ELEVATION
BUILDING 3



PLAN 2A
LEFT ELEVATION
BUILDING 3

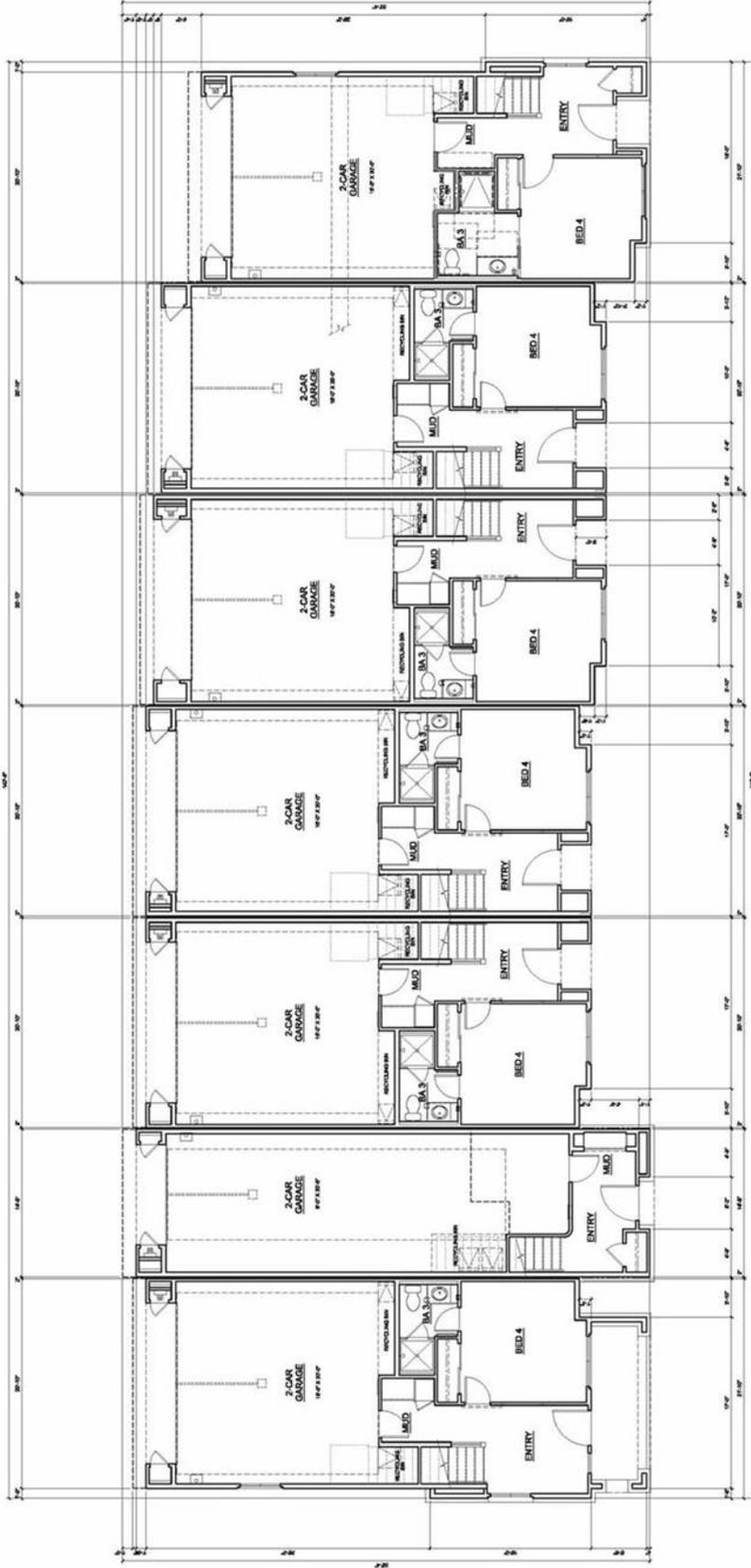
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- 02. BOARD AND BATTEN
- 03. GAT TIMBERLINE SHINGLE ROOFING
- 04. EXPOSED WOOD BATTER TAILS
- 05. WOOD CORNICE
- 06. WOOD TRIM
- 07. WOOD BALCONY
- 08. WOOD BALCONY RAIL
- 09. STUCCO TRIM
- 10. 1/2" GAL PALLIUM
- 11. USABLE PORCH

BUILDING ELEVATIONS
MADISON PARK
CAMPBELL, CA



ROBERT RIDLEY ARCHITECTS

PROJECT NUMBER: 2017
DATE: 1/24



PLAN 2YH PLAN 1B PLAN 2XF PLAN 2XLE PLAN 2XE PLAN 2YG

FIRST FLOOR PLAN
BUILDING 4

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA

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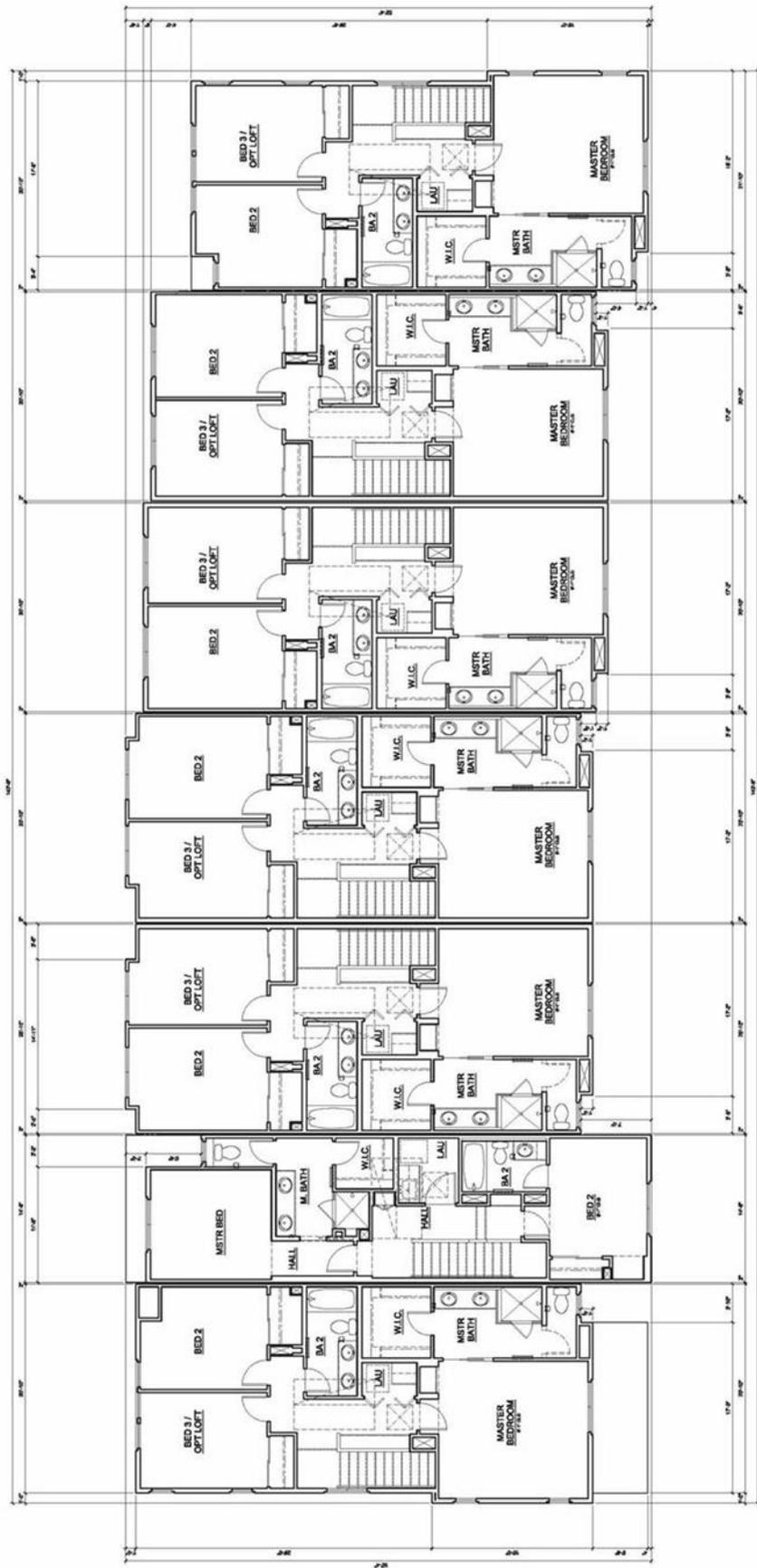
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PLAN 2YH PLAN 1B PLAN 2XF PLAN 2XF PLAN 2XF PLAN 2XLE PLAN 2XE PLAN 2YG

SECOND FLOOR PLAN
BUILDING 4

BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA

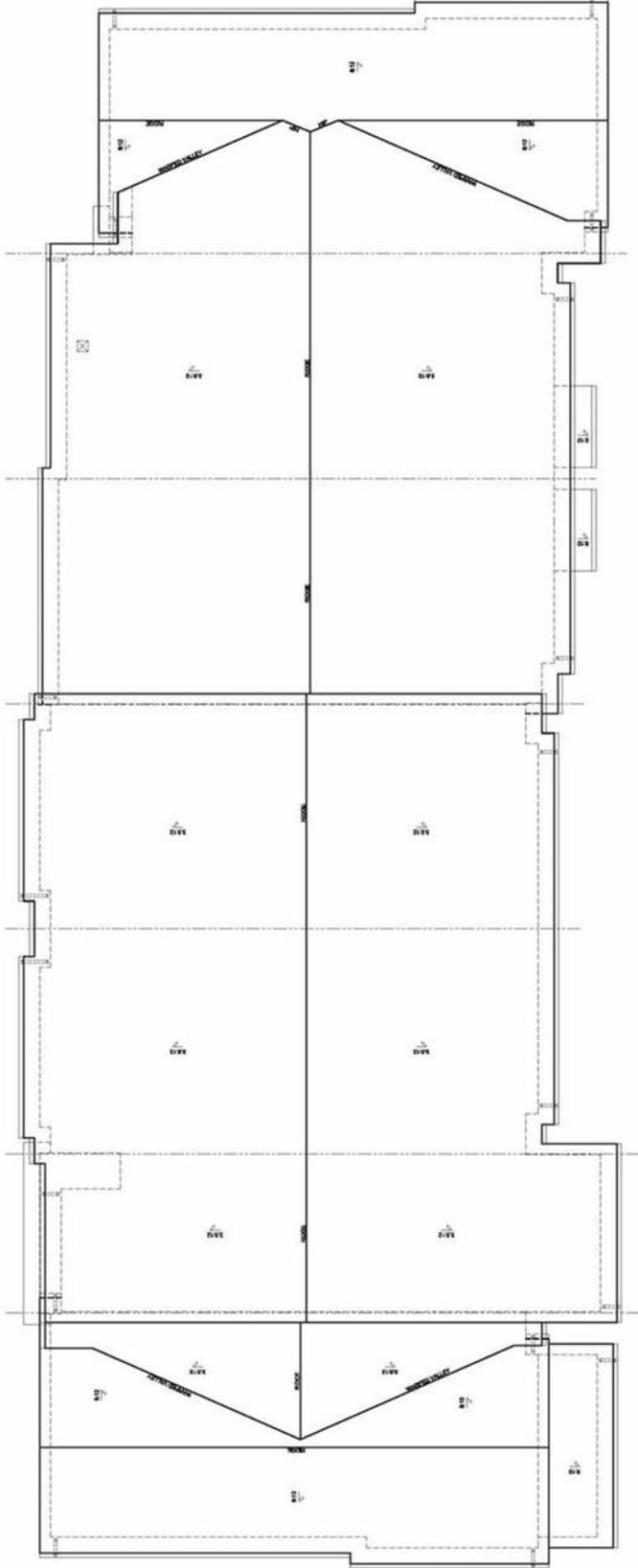


PLAN 2YH PLAN 1B PLAN 2XF PLAN 2XLE PLAN 2XE PLAN 2YG

THIRD FLOOR PLAN
BUILDING 4

BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA





PLAN 2YG

PLAN 2XE

PLAN 2XLE

PLAN 2XF

PLAN 2XF

PLAN 1B

PLAN 2YH

ROOF PLAN
BUILDING 4



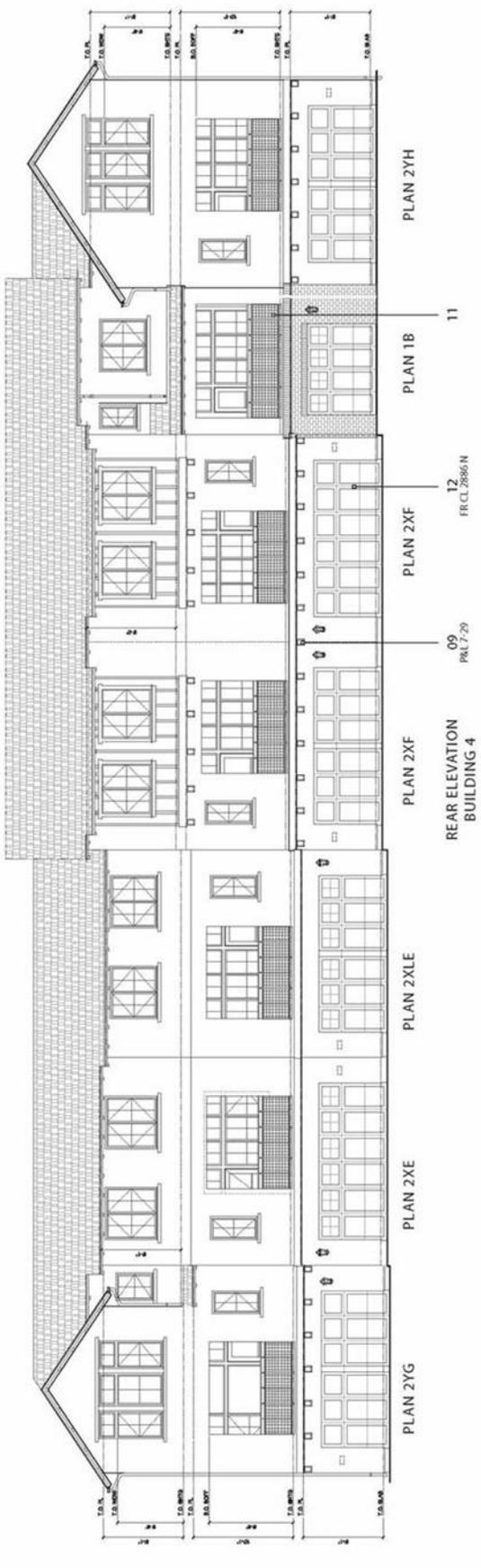
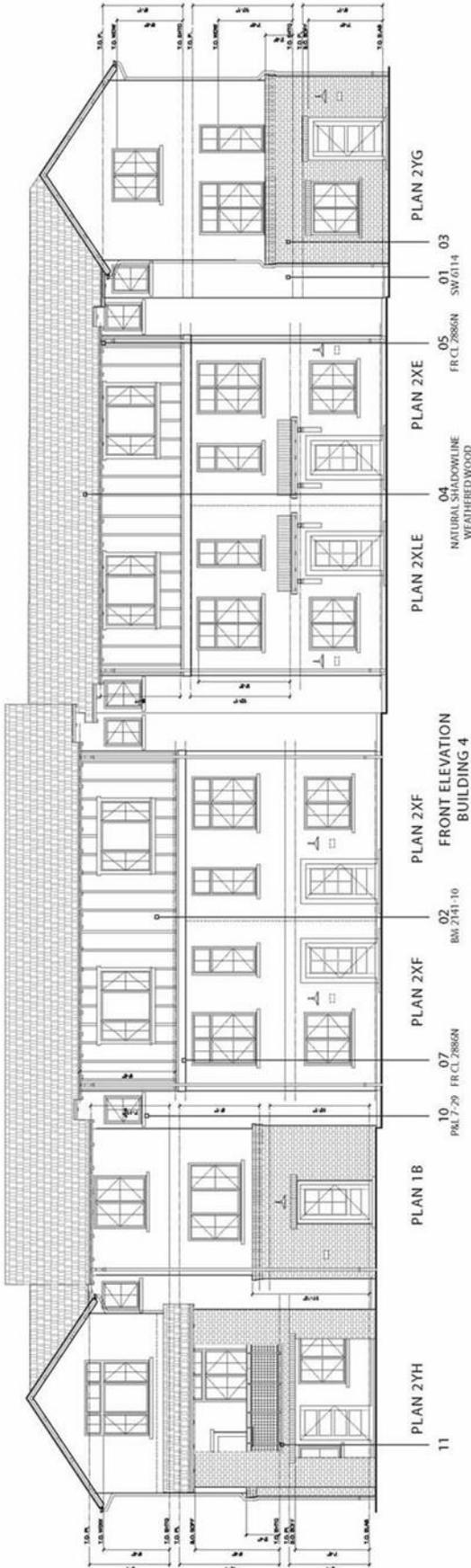
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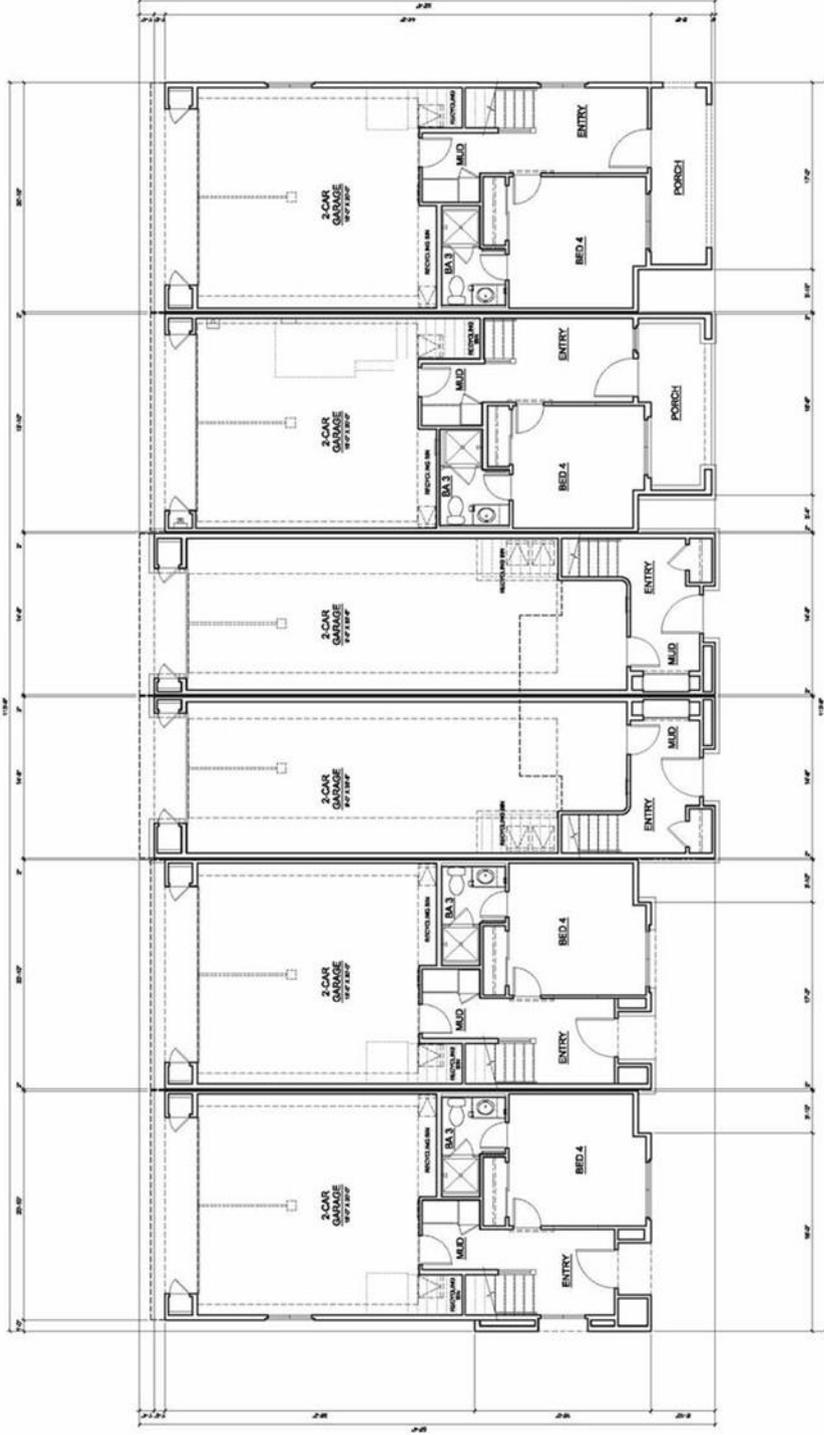
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619.444.1100
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- 01. EXTERIOR STUCCO
- 02. BOARD AND BATTEN
- 03. WOOD TRIM
- 04. GUT TIMBERLINE SHINGLE ROOFING
- 05. EXPOSED WOOD BATTER TAILS
- 06. WOOD TRIM
- 07. WOOD TRIM
- 08. WOOD BALCONY
- 09. WOOD TRIM
- 10. STUCCO TRIM
- 11. 48 PSL WALLING
- 12. GARAGE DOOR



BUILDING ELEVATIONS
MADISON PARK
 CAMPBELL, CA



PLAN 2CX PLAN 2DX PLAN 1A PLAN 1A PLAN 1A PLAN 2B

FIRST FLOOR PLAN
BUILDING 5

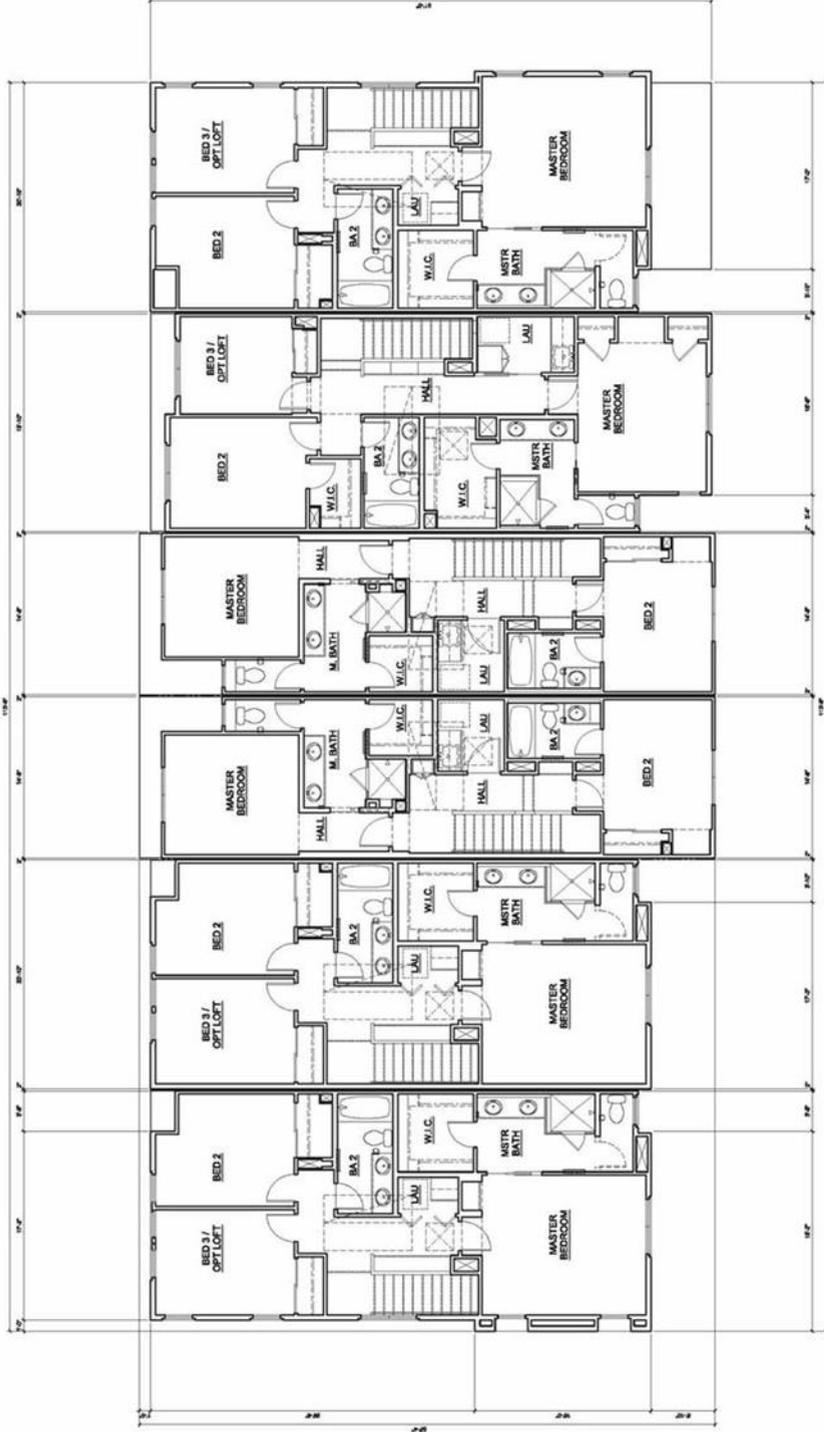
BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 2CX PLAN 2DX PLAN 1A PLAN 1A PLAN 1A PLAN 3B PLAN 2B

SECOND FLOOR PLAN
BUILDING 5

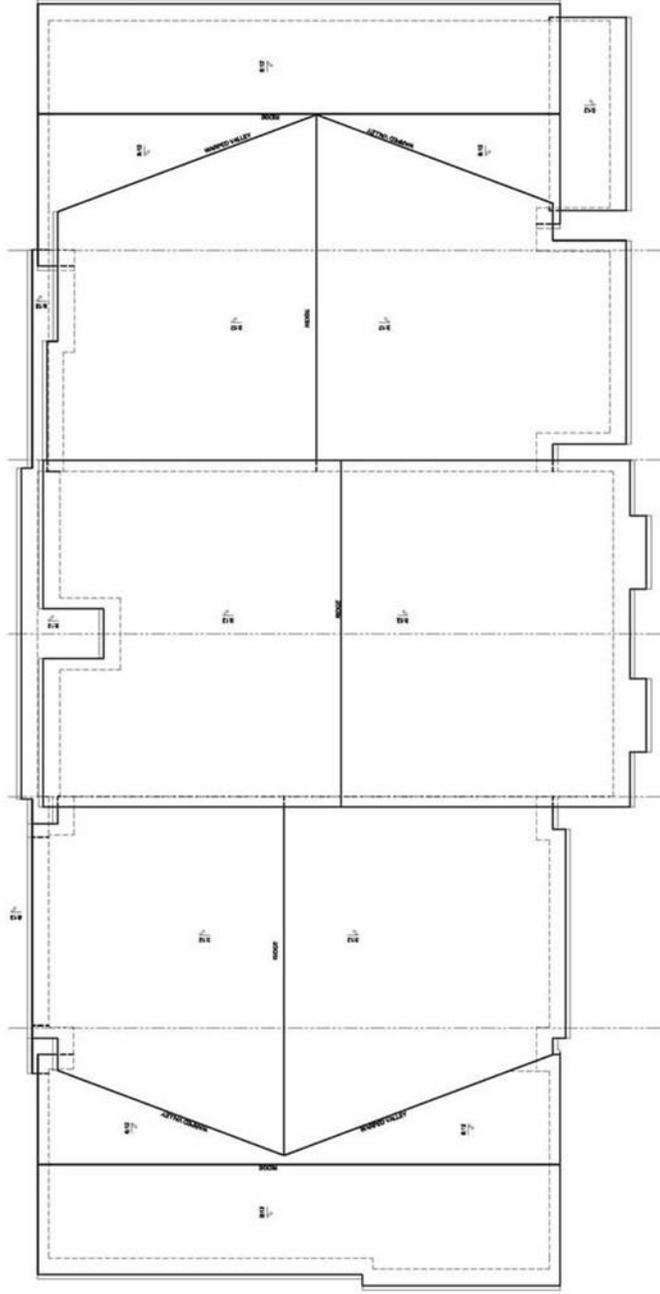
BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 2CX PLAN 2DX PLAN 1A PLAN 1A PLAN 1A PLAN 3B PLAN 2B

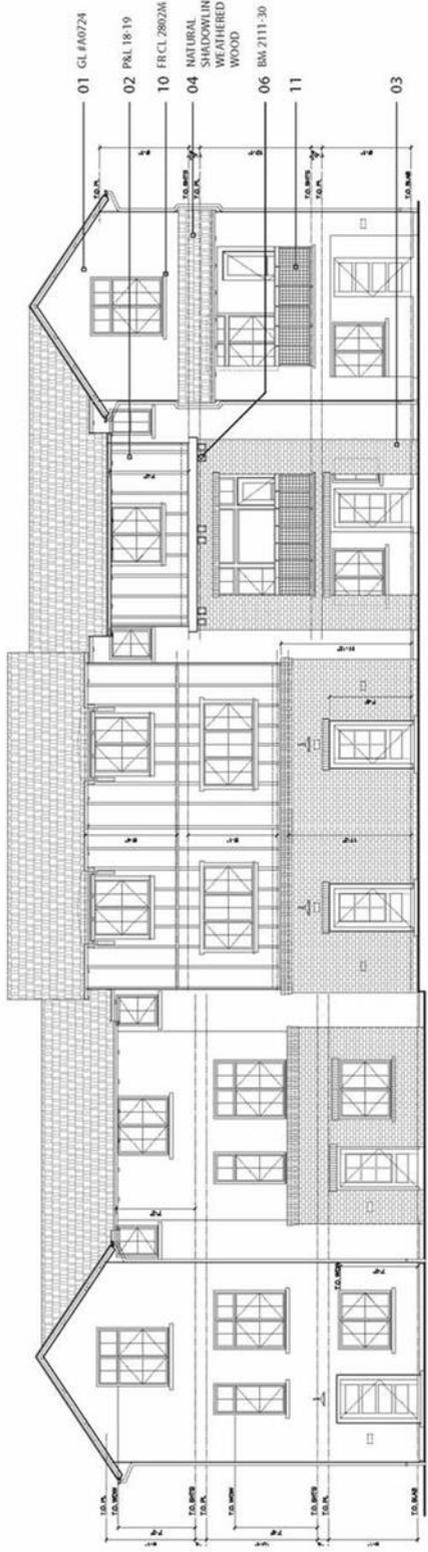
THIRD FLOOR PLAN
BUILDING 5

BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 2CX PLAN 2DX PLAN 1A PLAN 1B PLAN 3B PLAN 2B

ROOF PLAN
BUILDING 5



PLAN 2B

PLAN 3B

PLAN 1A

PLAN 1A

PLAN 2DX

PLAN 2CX

FRONT ELEVATION
BUILDING 5



PLAN 2CX

PLAN 2DX

PLAN 1A

PLAN 1A

PLAN 3B

PLAN 2B

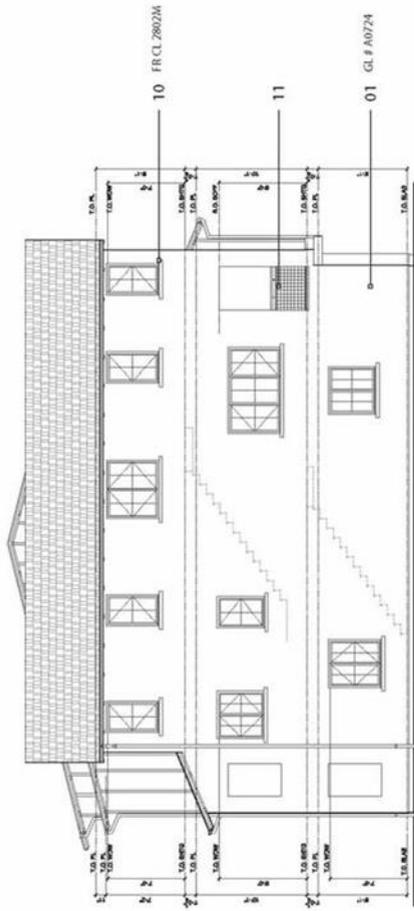
REAR ELEVATION
BUILDING 5

- 01. EXTERIOR STUCCO
- 02. BOARD AND BATTEN
- 03. GUTTER
- 04. GAT TIMBERLINE SHINGLE ROOFING
- 05. EXPOSED WOOD BATTER TAILS
- 06. WOOD CORNICE
- 07. WOOD TRIM
- 08. WOOD BALCONY
- 09. WOOD TRIM
- 10. STUCCO TRIM
- 11. 1/2" GAL VALUING
- 12. GARAGE DOOR

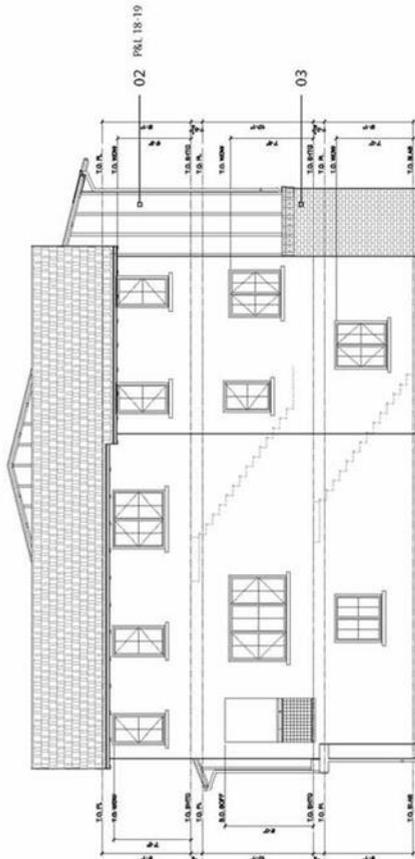


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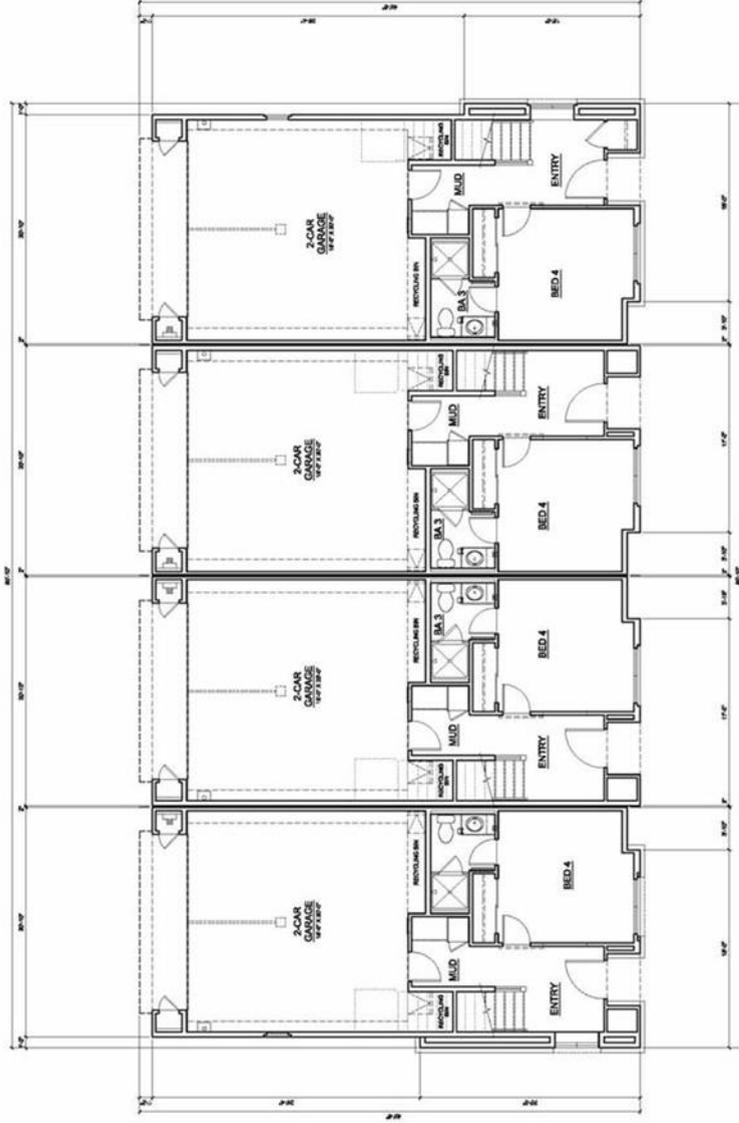
PLAN 2B
RIGHT ELEVATION
BUILDING 5



PLAN 2CX
LEFT ELEVATION
BUILDING 5

- 01. EXTERIOR STUCCO
- 02. BOARD AND BATTEN
- 03. GAT
- 04. GAT TIMBERLINE SHINGLE ROOFING
- 05. EXPOSED WOOD BATTER TAILS
- 06. WOOD CORNICE

- 07. WOOD TRIM
- 08. WOOD BALCONY
- 09. WOOD TRIM
- 10. STUCCO TRIM
- 11. 1/2" GALV. PAILING
- 12. GARAGE DOOR



PLAN 4A

PLAN 4B

PLAN 4B

PLAN 4B

FIRST FLOOR PLAN
BUILDING 6

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA



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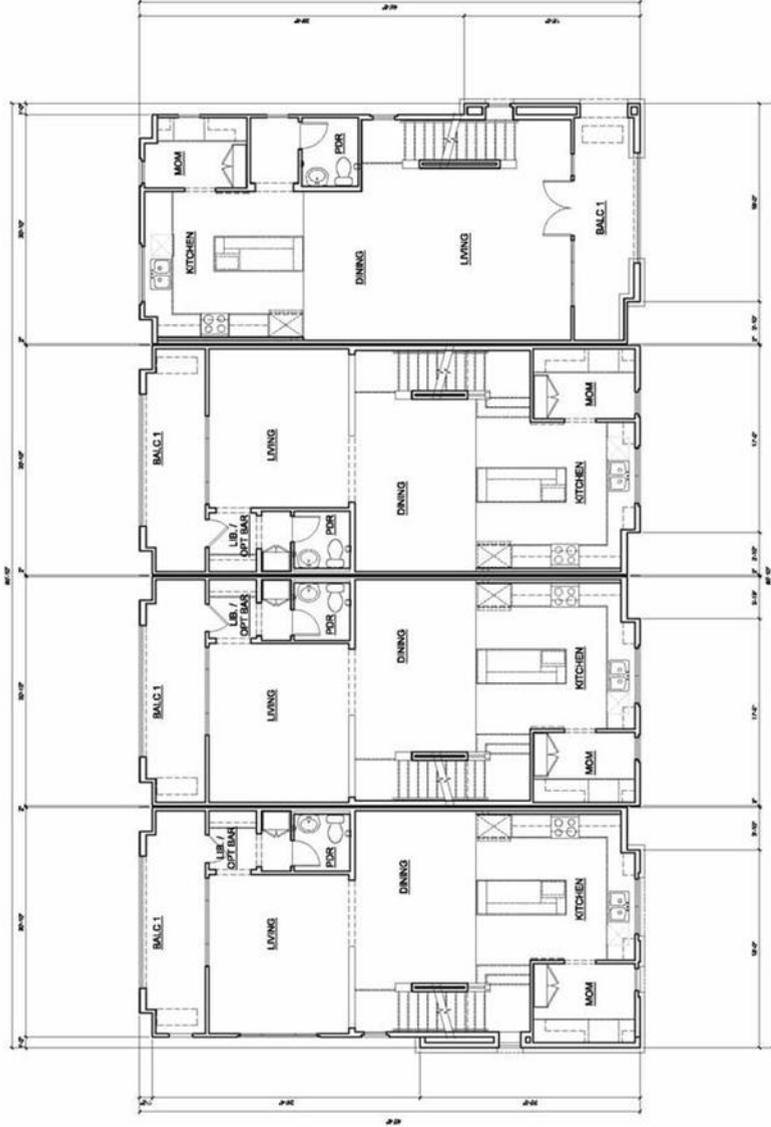
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PLAN 5YB

PLAN 4B

PLAN 4B

PLAN 4A

SECOND FLOOR PLAN
BUILDING 6

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA

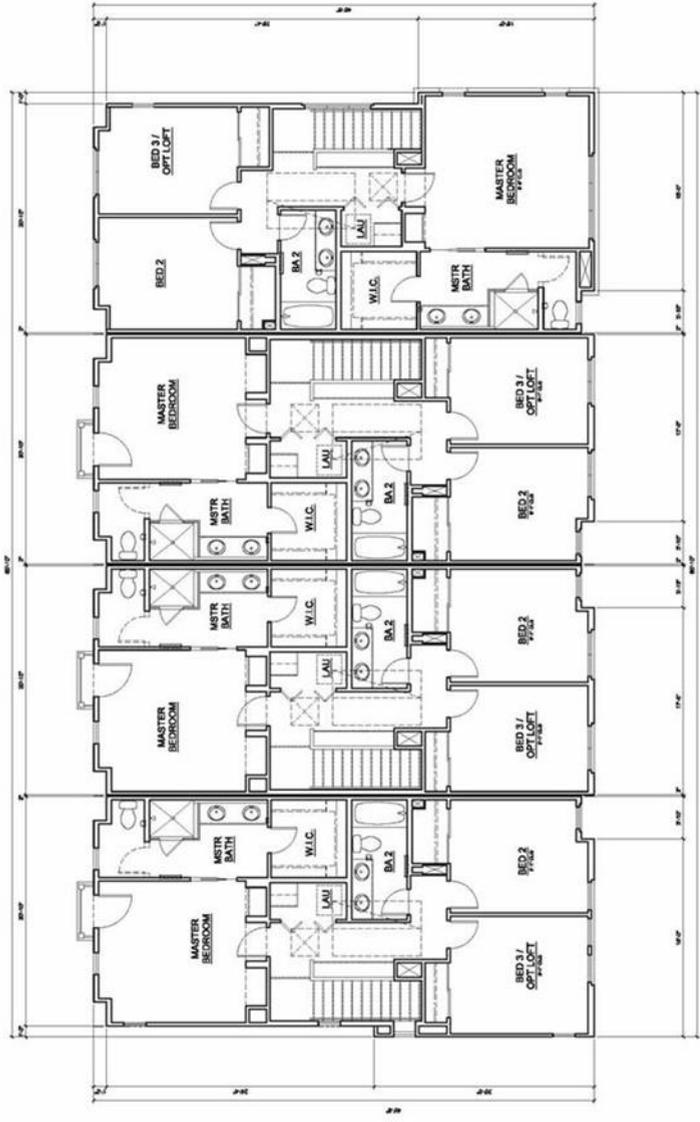


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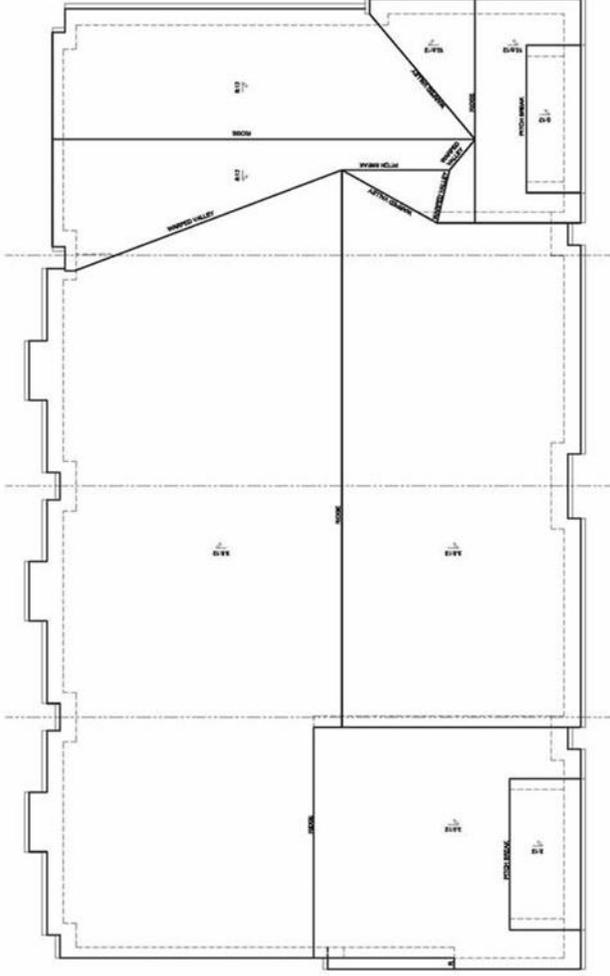
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PLAN 4A PLAN 4B PLAN 4B PLAN 5B

THIRD FLOOR PLAN
BUILDING 6

BUILDING COMPOSITE PLANS
MADISON PARK
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PLAN 4A

PLAN 4B

PLAN 5B

ROOF PLAN
BUILDING 6



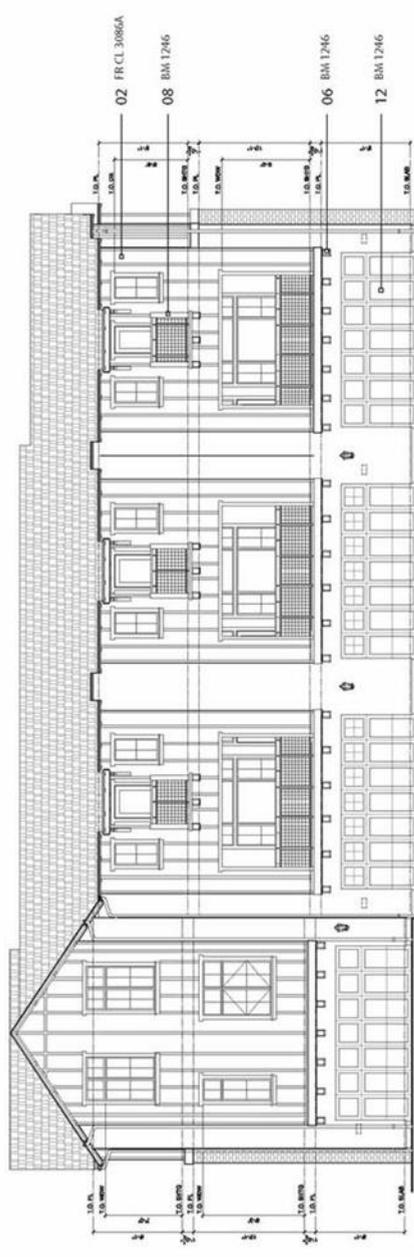
PLAN 5YB

PLAN 4B

PLAN 4B

PLAN 4A

FRONT ELEVATION
BUILDING 6



PLAN 4A

PLAN 4B

PLAN 4B

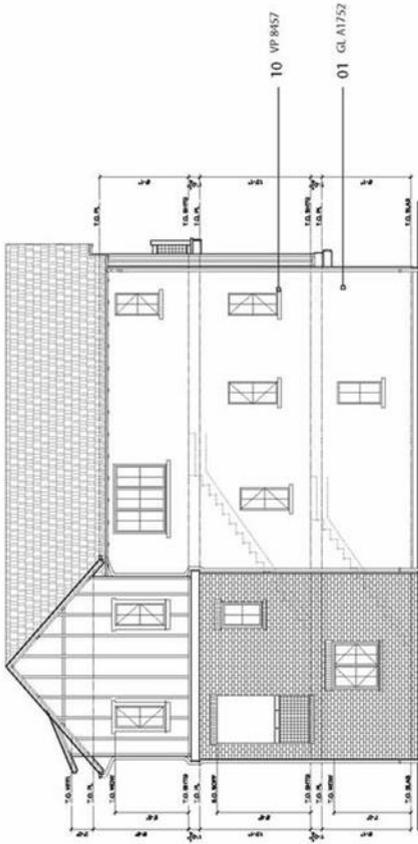
PLAN 5YB

REAR ELEVATION
BUILDING 6

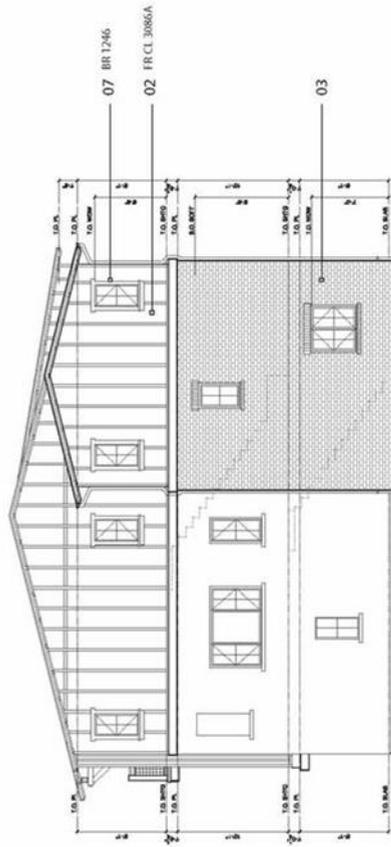
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- 02. BOARD AND BATTEN
- 03. WOOD TRIM
- 04. GAT TIMBERLINE SHINGLE ROOFING
- 05. EXPOSED WOOD BATTER TAILS
- 06. WOOD CORNICE
- 07. WOOD TRIM
- 08. WOOD BALCONY
- 09. WOOD TRIM
- 10. STUCCO TRIM
- 11. 2X6 VAIL WALLING
- 12. GARAGE DOOR

BUILDING ELEVATIONS
MADISON PARK

CAMPBELL, CA



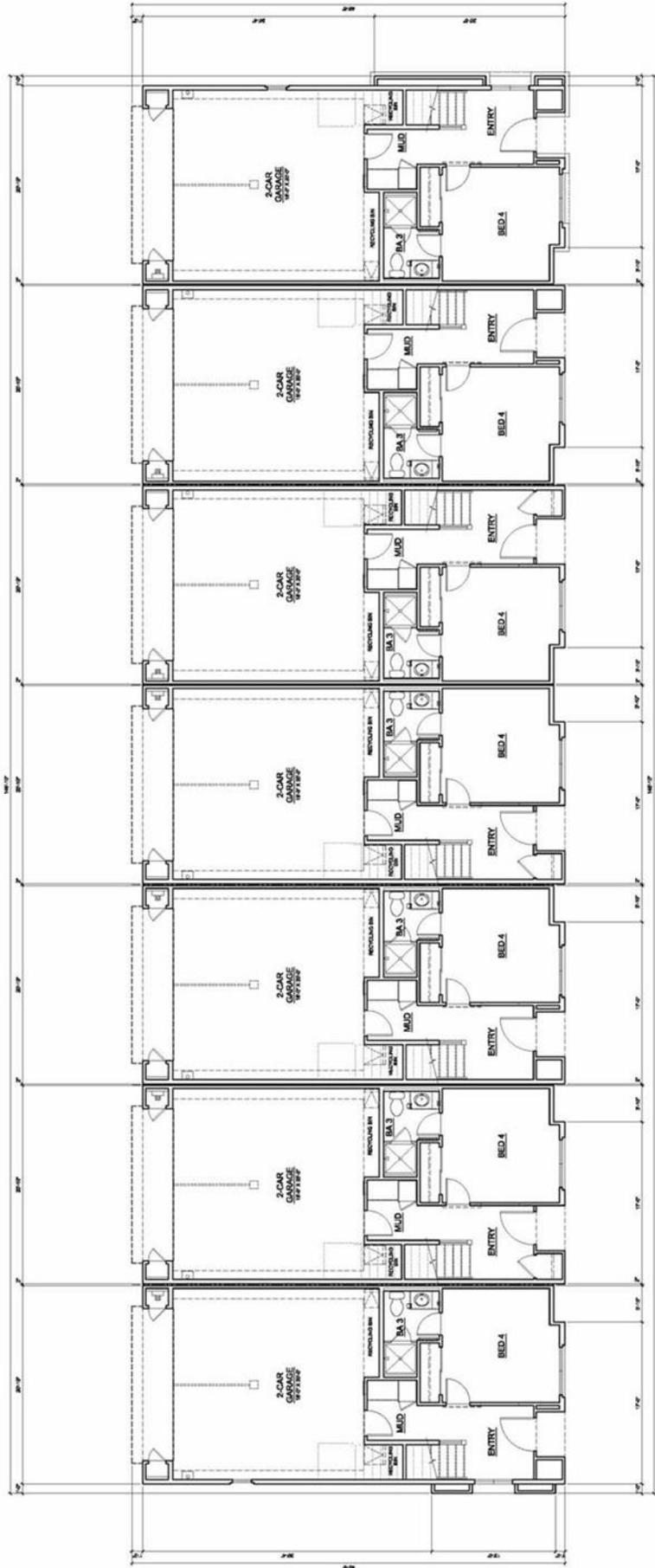
PLAN 5YB
RIGHT ELEVATION
BUILDING 6



PLAN 4A
LEFT ELEVATION
BUILDING 6

- 01. EXTERIOR STUCCO
- 02. BOARD AND BATTEN
- 03. GAF TIMBERLINE SHINGLE ROOFING
- 04. EXPOSED WOOD BARKER TAILS
- 05. WOOD TRIM
- 06. WOOD BALCONY
- 07. WOOD BALCONY
- 08. STUCCO TRIM
- 09. 1/2\"/>

BUILDING ELEVATIONS
MADISON PARK
CAMPBELL, CA



PLAN 4YH PLAN 5D PLAN 4H PLAN 5D PLAN 5D PLAN 5D PLAN 4F PLAN 4G

FIRST FLOOR PLAN
BUILDING 7

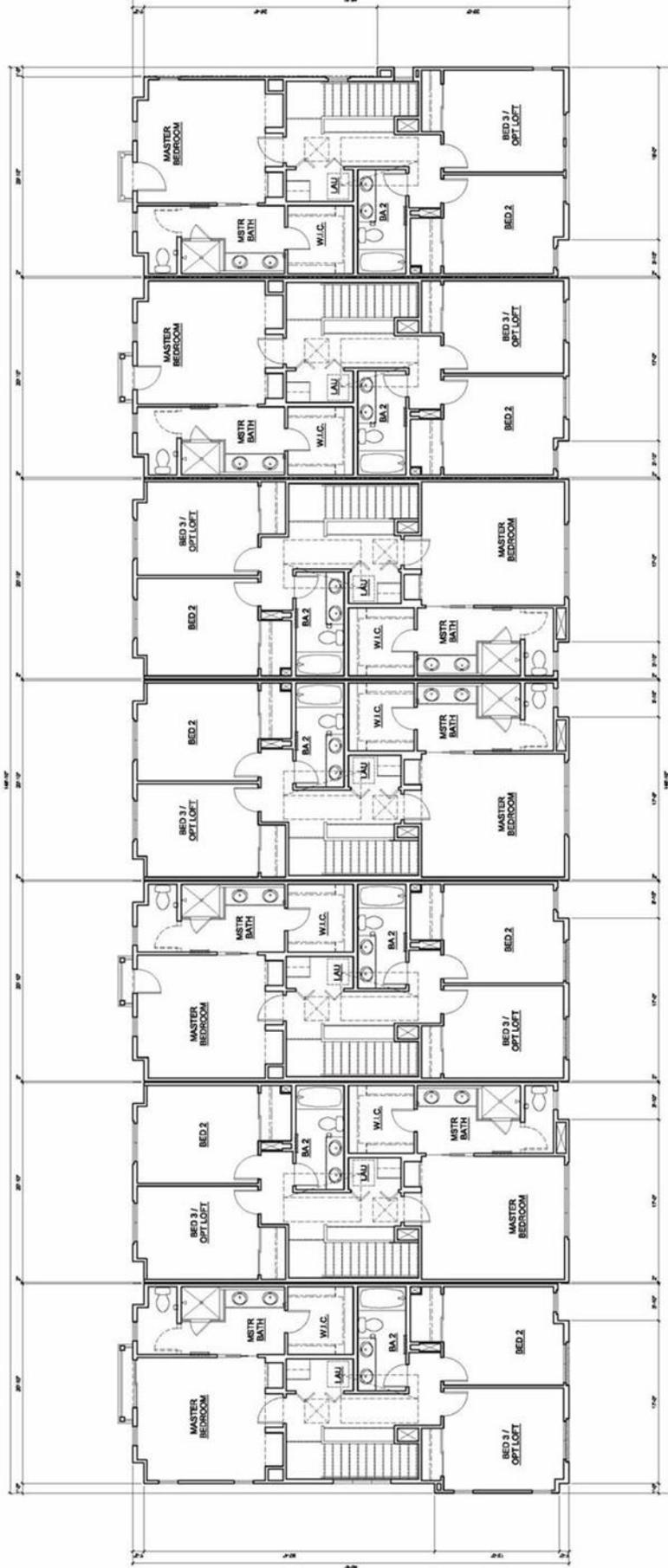
BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 4YH PLAN 5D PLAN 4H PLAN 5D PLAN 5D PLAN 4F PLAN 4G

SECOND FLOOR PLAN
BUILDING 7

BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



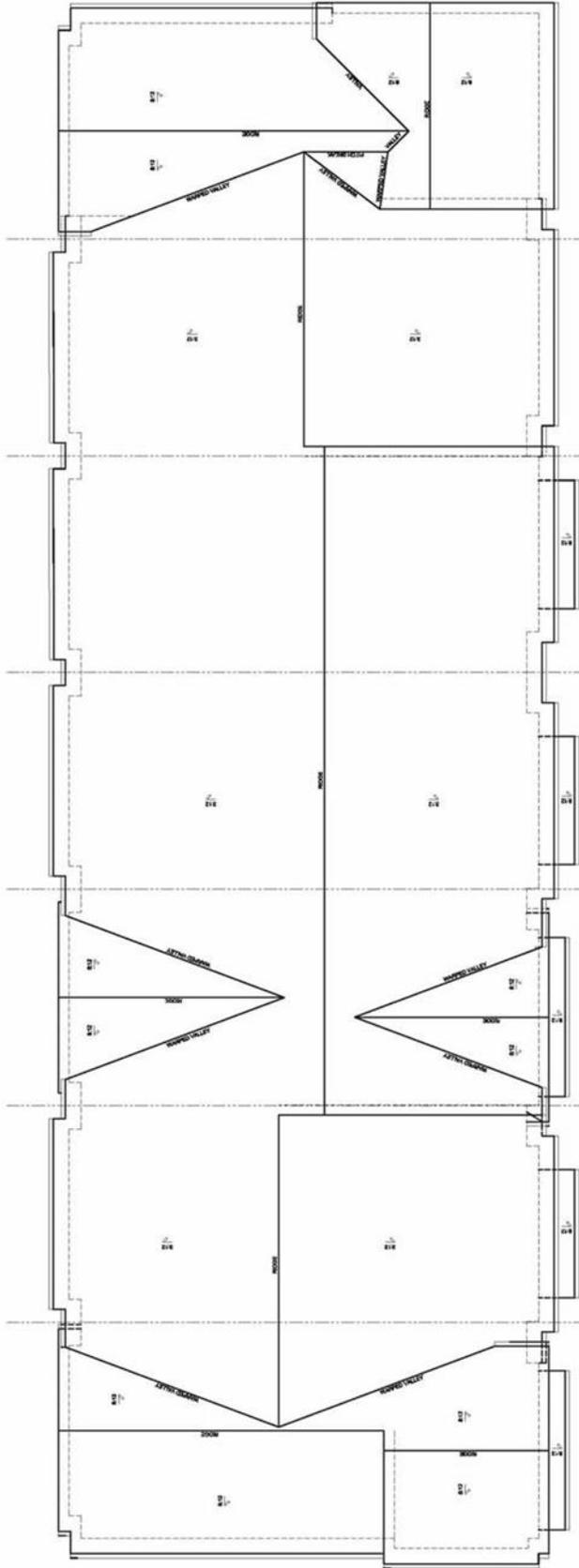
PLAN 4YH PLAN 5D PLAN 4H PLAN 5D PLAN 5D PLAN 4F PLAN 4G

THIRD FLOOR PLAN
BUILDING 7

BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



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PLAN 4YH

PLAN 5D

PLAN 4H

PLAN 5D

PLAN 4F

PLAN 4G

ROOF PLAN
BUILDING 7



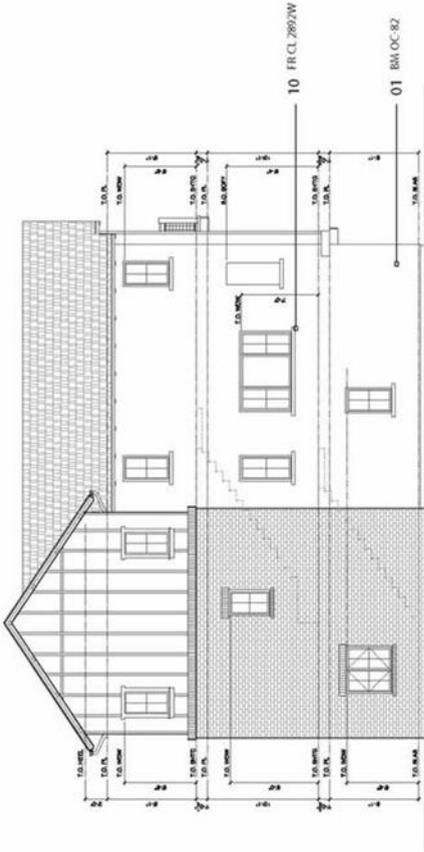
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- 02. BOARD AND BATTEN
- 03. WOOD TRIM
- 04. GUT TIMBERLINE SHINGLE ROOFING
- 05. EXPOSED WOOD BARRIER FALS
- 06. WOOD CORNICE
- 07. WOOD TRIM
- 08. WOOD BALCONY
- 09. WOOD TRIM
- 10. STUCCO TRIM
- 11. 1/2" PINE WALLING
- 12. GARAGE DOOR



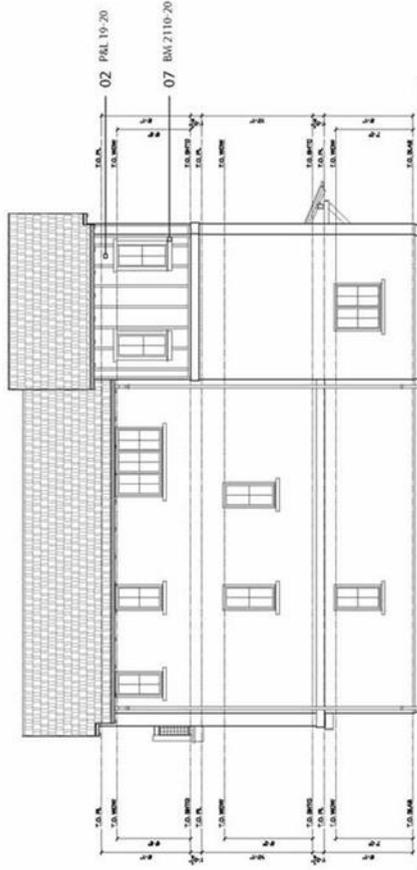
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BUILDING ELEVATIONS
MADISON PARK
CAMPBELL, CA

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PLAN 5B
RIGHT ELEVATION
BUILDING 7



PLAN 4A
LEFT ELEVATION
BUILDING 7

- 01. EXTERIOR FINISH
- 02. BOARD AND BATTEN
- 03. GUTTER
- 04. GUTTER
- 05. EXPOSED WOOD BATTER TAILS
- 06. WOOD TRIM
- 07. WOOD TRIM
- 08. WOOD TRIM
- 09. WOOD TRIM
- 10. WOOD TRIM
- 11. WOOD TRIM
- 12. WOOD TRIM

- 01. EXTERIOR FINISH
- 02. BOARD AND BATTEN
- 03. GUTTER
- 04. GUTTER
- 05. EXPOSED WOOD BATTER TAILS
- 06. WOOD TRIM
- 07. WOOD TRIM
- 08. WOOD TRIM
- 09. WOOD TRIM
- 10. WOOD TRIM
- 11. WOOD TRIM
- 12. WOOD TRIM

BUILDING ELEVATIONS
MADISON PARK

CAMPBELL, CA

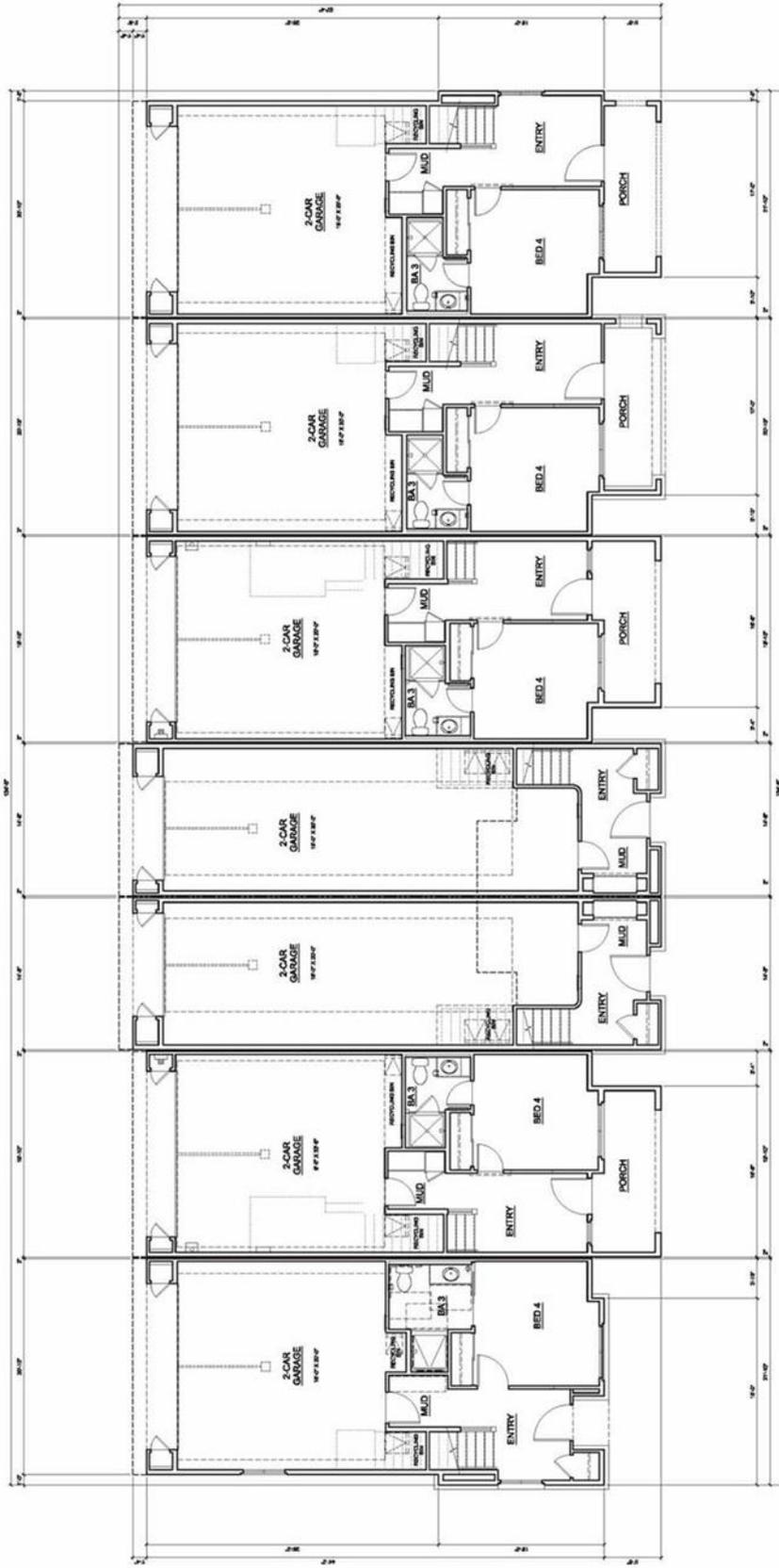
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DATE: 01/11/17
A-48



PLAN 2XG PLAN 3A PLAN 1A PLAN 1A PLAN 3A PLAN 2XB

FIRST FLOOR PLAN
BUILDING 8

BUILDING COMPOSITE PLANS

MADISON PARK

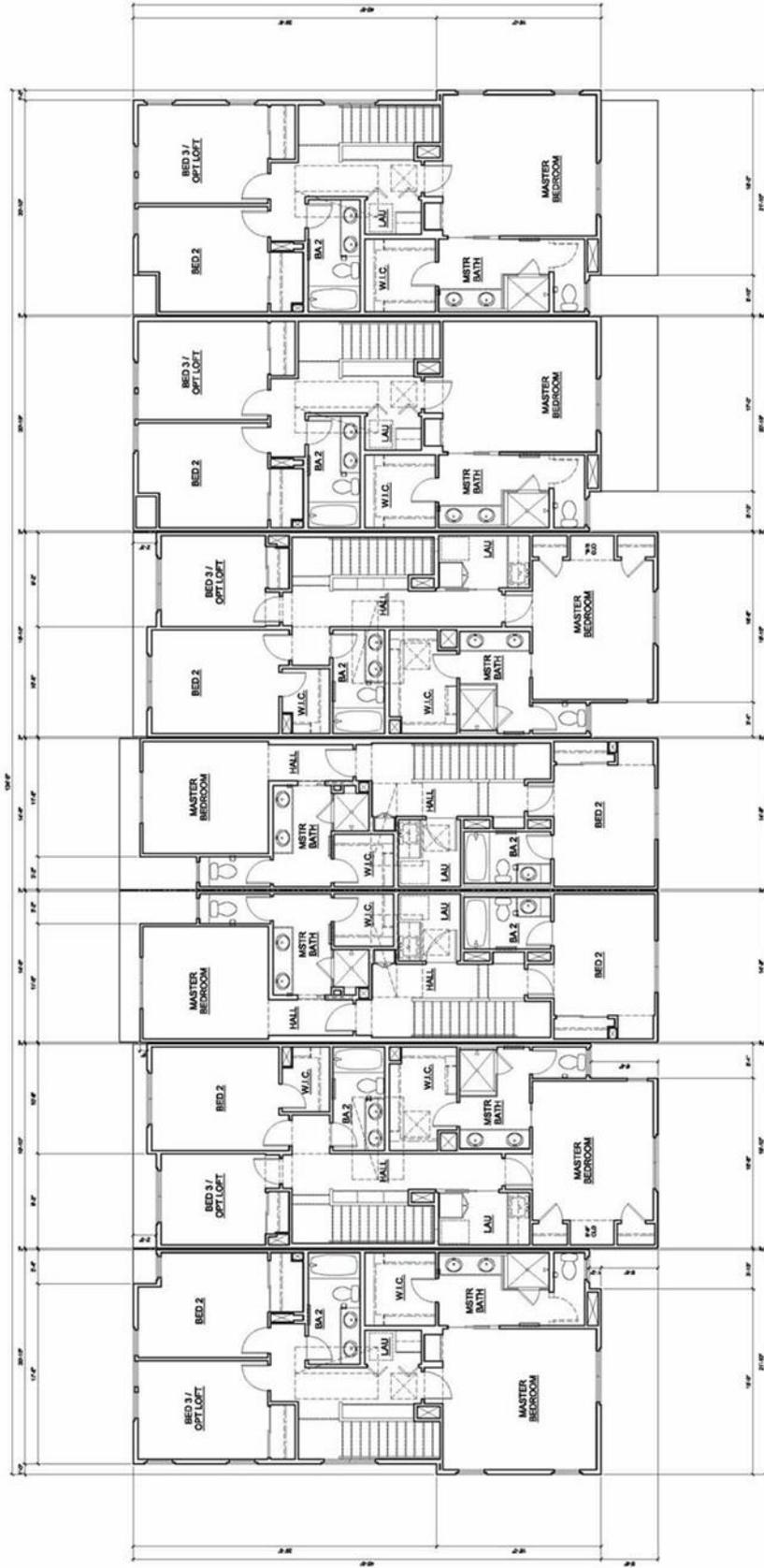
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PLAN 2XG PLAN 3A PLAN 1A PLAN 1A PLAN 1A PLAN 3A PLAN 2XB

THIRD FLOOR PLAN
BUILDING 8

BUILDING COMPOSITE PLANS

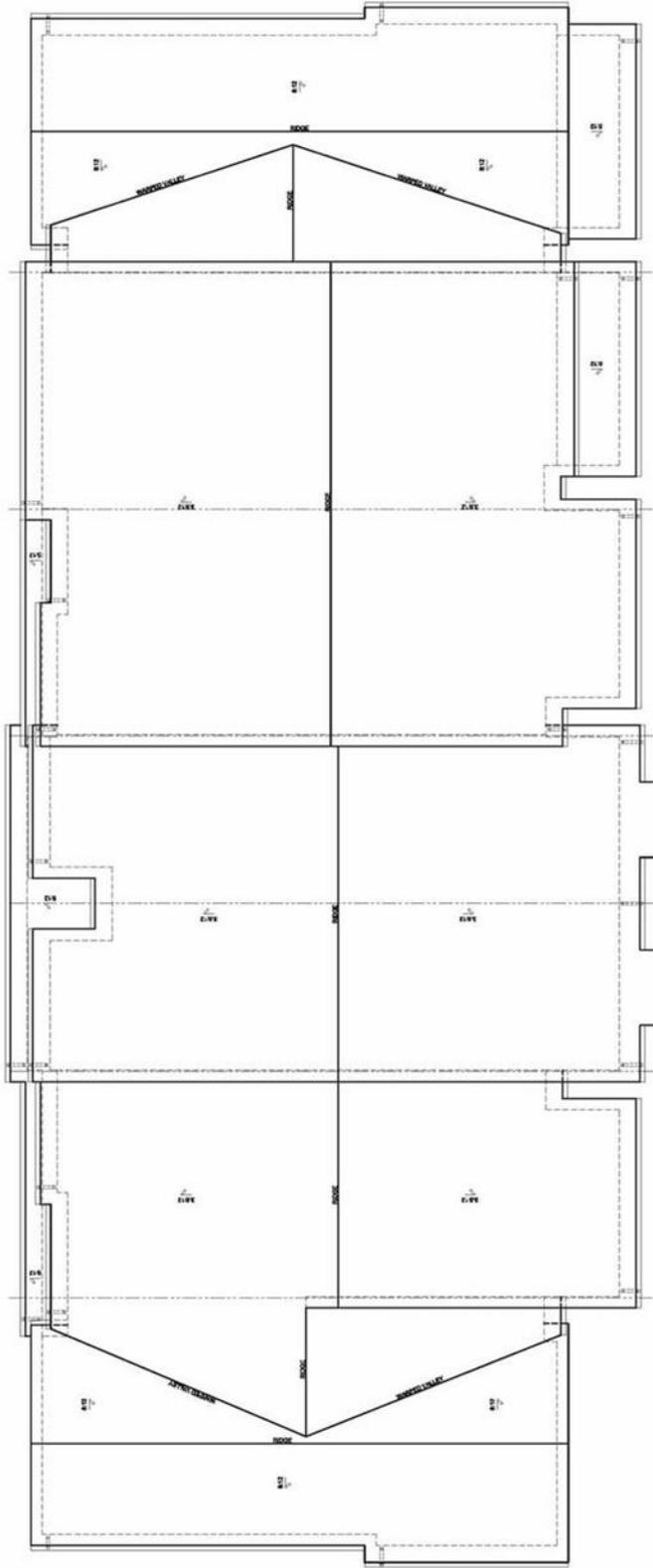
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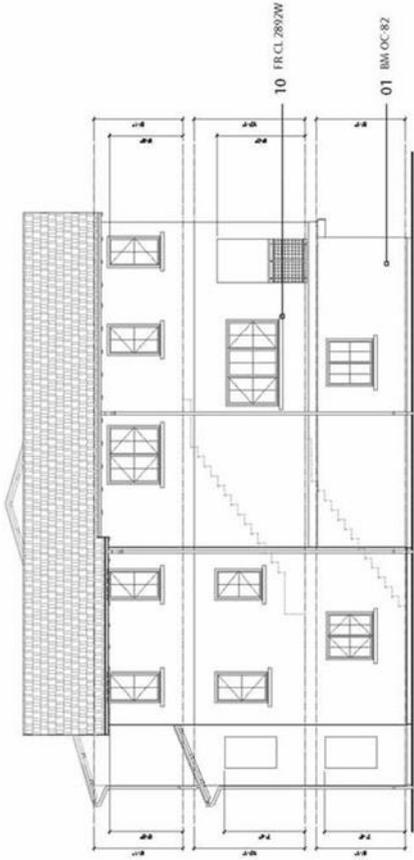
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SCALE 1/8"
PROJECT NUMBER: 0077
DATE: 11/11/11
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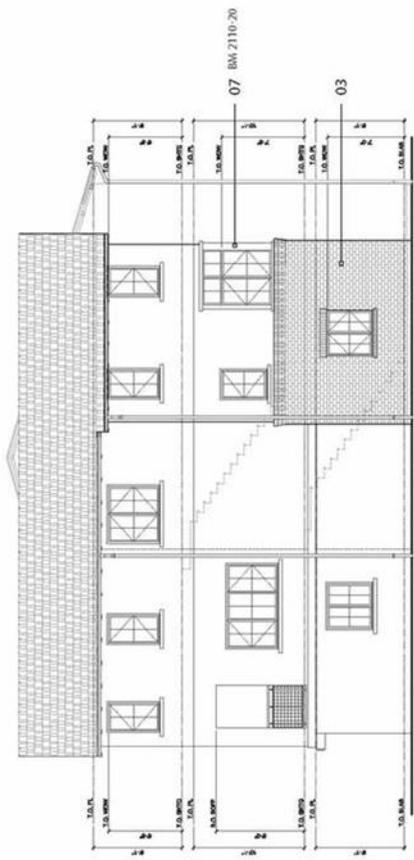


PLAN 2XG PLAN 3A PLAN 1A PLAN 1A PLAN 3A PLAN 2XB PLAN 2G PLAN 2XB

ROOF PLAN
BUILDING 8



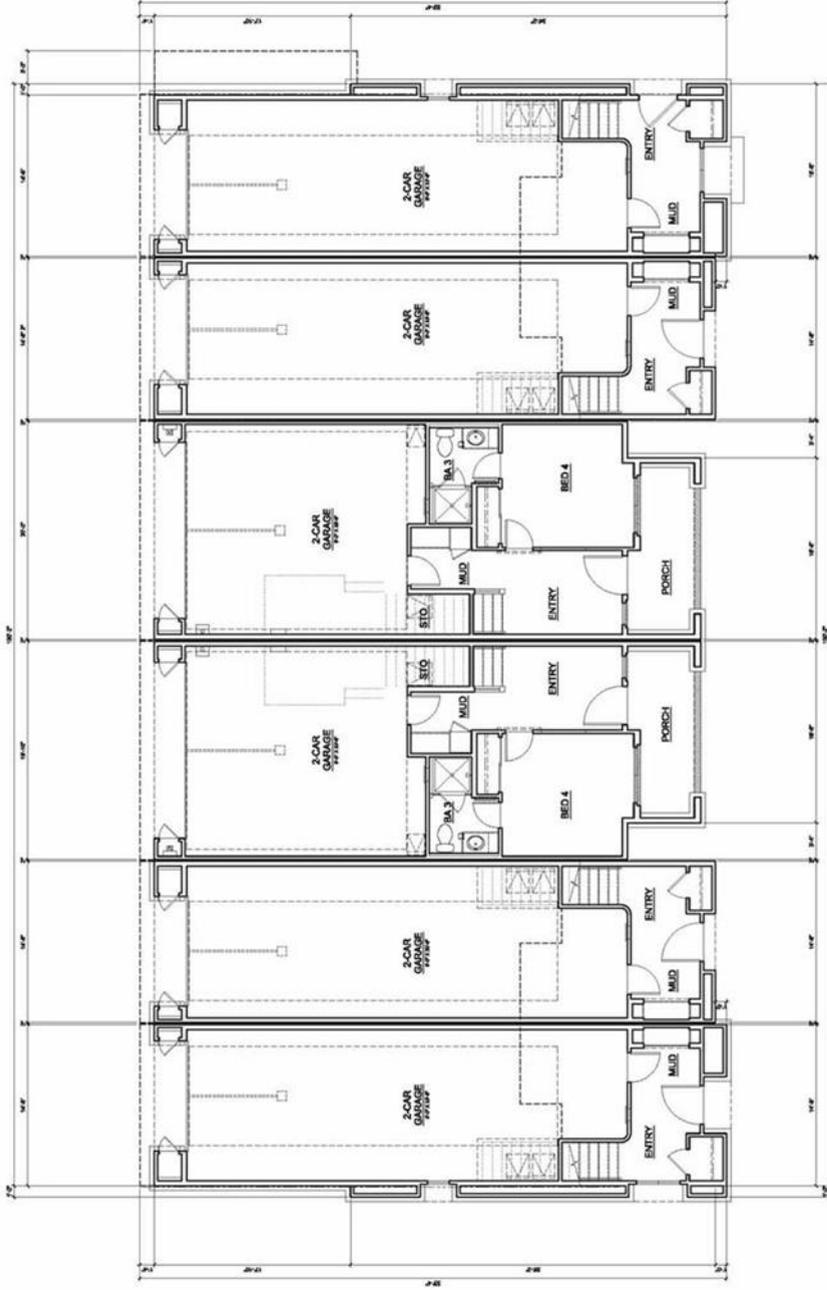
PLAN 2XB
RIGHT ELEVATION
BUILDING 8



PLAN 2XG
LEFT ELEVATION
BUILDING 8

- 01. EXTERIORS FINISH
- 02. BOARD AND BATTEN
- 03. GAT
- 04. GAT TIMBERLINE SHINGLE ROOFING
- 05. EXPOSED WOOD BATTER TAILS
- 06. WOOD CORNICE
- 07. WOOD TRIM
- 08. WOOD BALCONY
- 09. WOOD BALCONY RAILING
- 10. STUCCO TRIM
- 11. 1/2" GAL PALLING
- 12. GARAGE DOOR

BUILDING ELEVATIONS
MADISON PARK
CAMPBELL, CA



PLAN 1A-1 PLAN 1D PLAN 3B PLAN 3B PLAN 1D PLAN 1A-2

FIRST FLOOR PLAN
BUILDING 9/10

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA

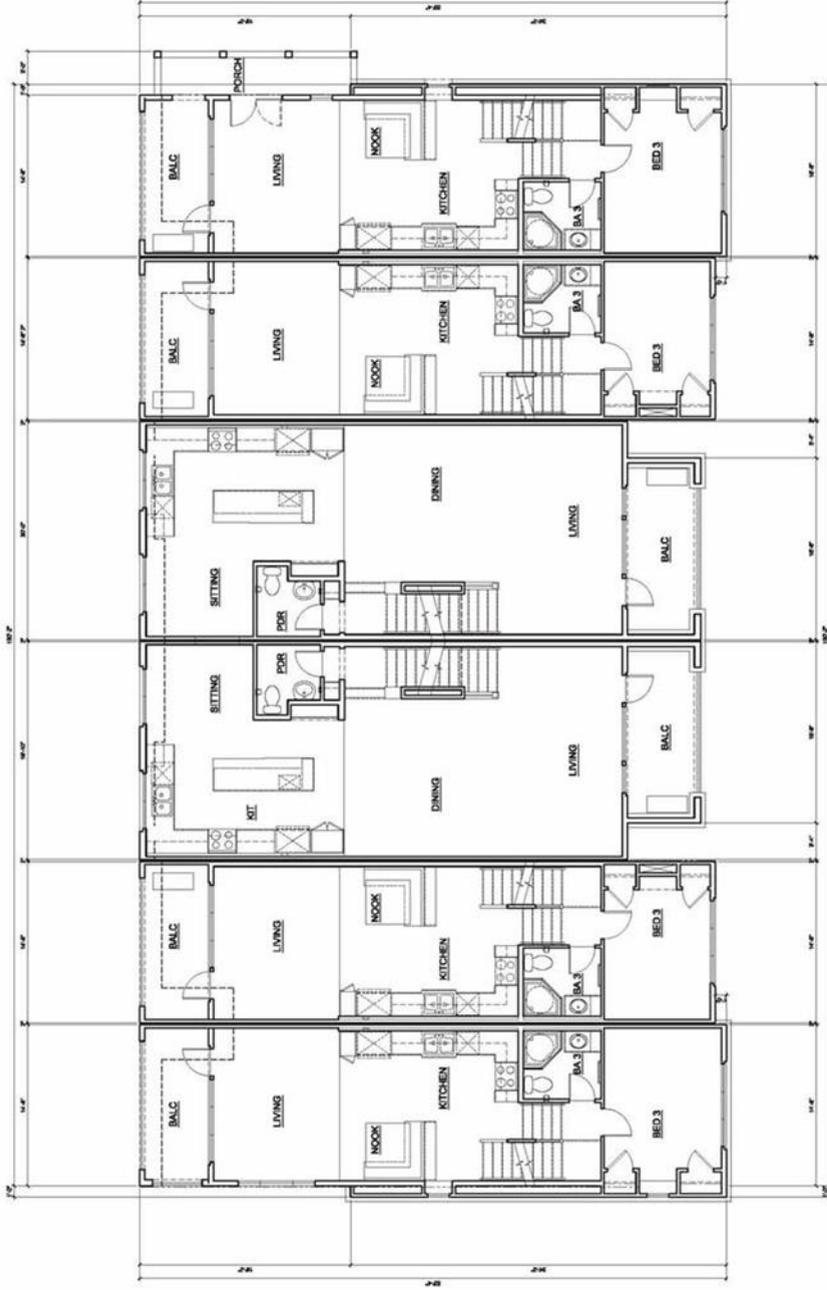


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PLAN 1A-1 PLAN 1D PLAN 3B PLAN 3B PLAN 1D PLAN 1A-2

SECOND FLOOR PLAN
BUILDING 9/10

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA

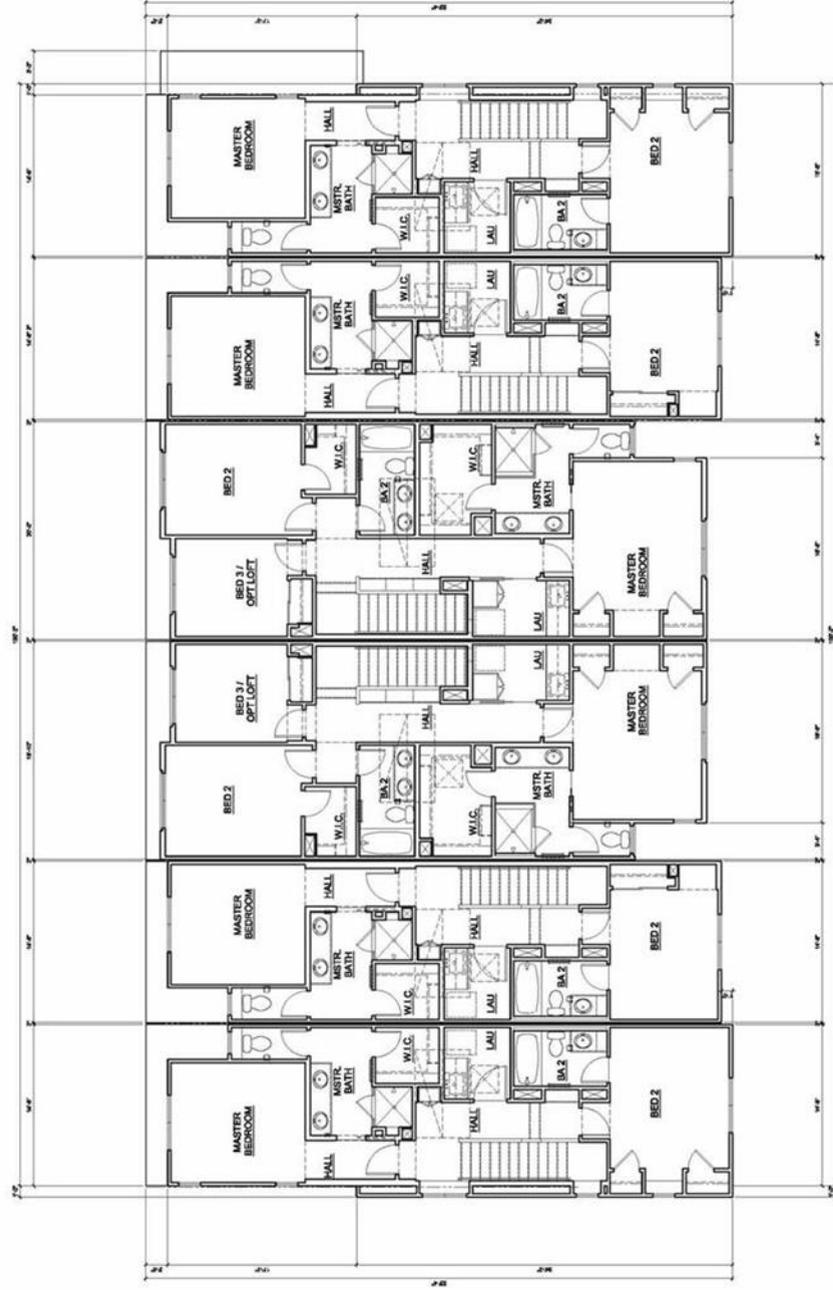


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PLAN 1A-1 PLAN 1D PLAN 3B PLAN 3B PLAN 1D PLAN 1A-2

THIRD FLOOR PLAN
BUILDING 9/10

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA



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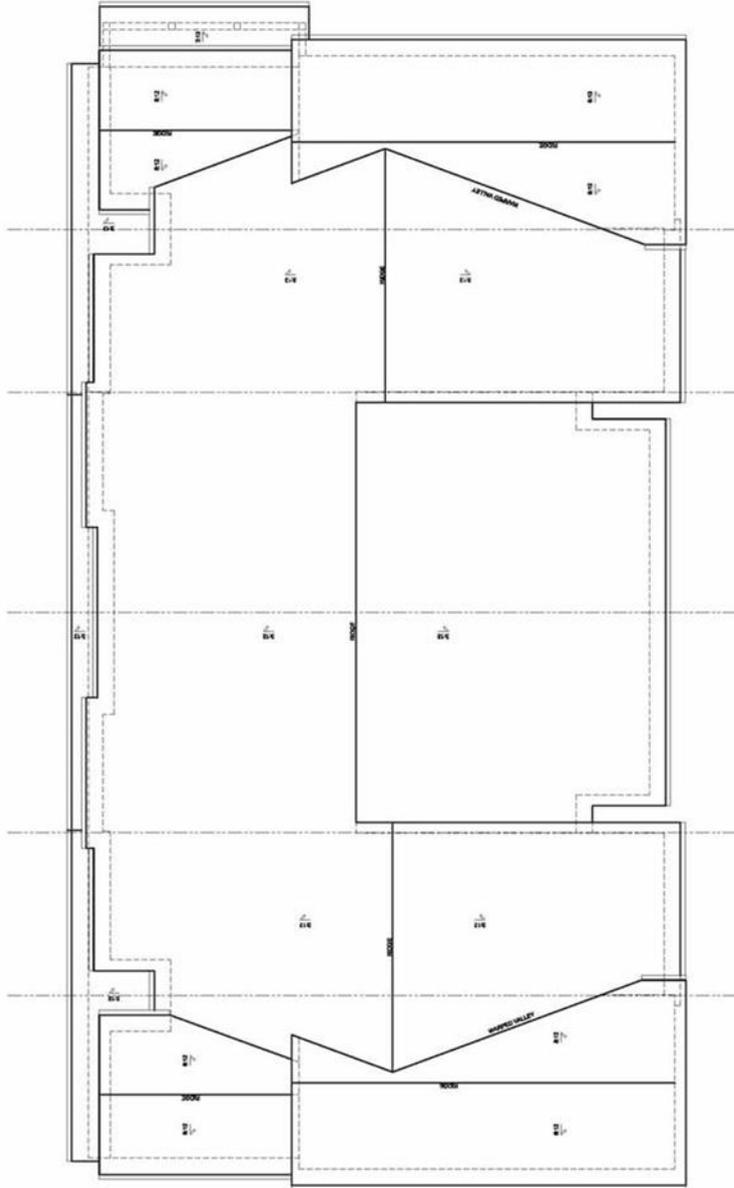
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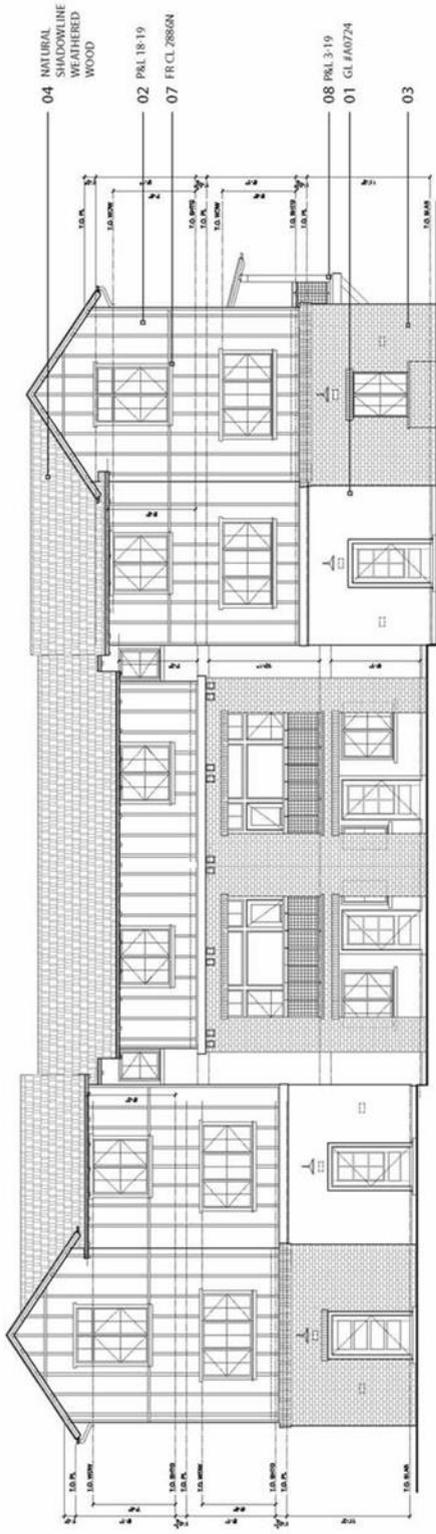
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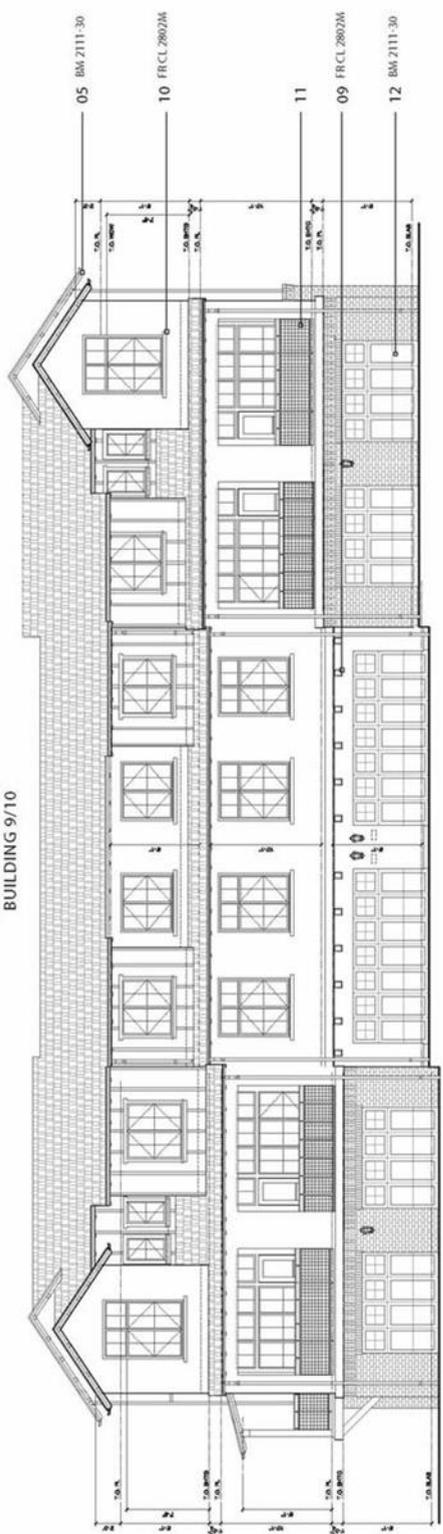


PLAN 1A-1 PLAN 1D PLAN 3B PLAN 3B PLAN 1D PLAN 1A-2 PLAN 1A-2

ROOF PLAN
BUILDING 9/10



PLAN 1A-1 PLAN 1D PLAN 3B PLAN 3B PLAN 1D PLAN 1A-2
FRONT ELEVATION
BUILDING 9/10



PLAN 1A-2 PLAN 1D PLAN 3B PLAN 3B PLAN 1D PLAN 1A-1
REAR ELEVATION
BUILDING 9/10

- 01. EXTERIOR STUCCO
- 02. BOARD AND BATTEN
- 03. GAT TIMBERLINE SHINGLE ROOFING
- 04. EXPOSED WOOD BATTER TAILS
- 05. WOOD CORNICE
- 06. WOOD TRIM
- 07. WOOD BALCONY
- 08. WOOD TRAIL
- 09. STUCCO TRIM
- 10. 1/2" PLY WALLING
- 11. USABLE PORCH

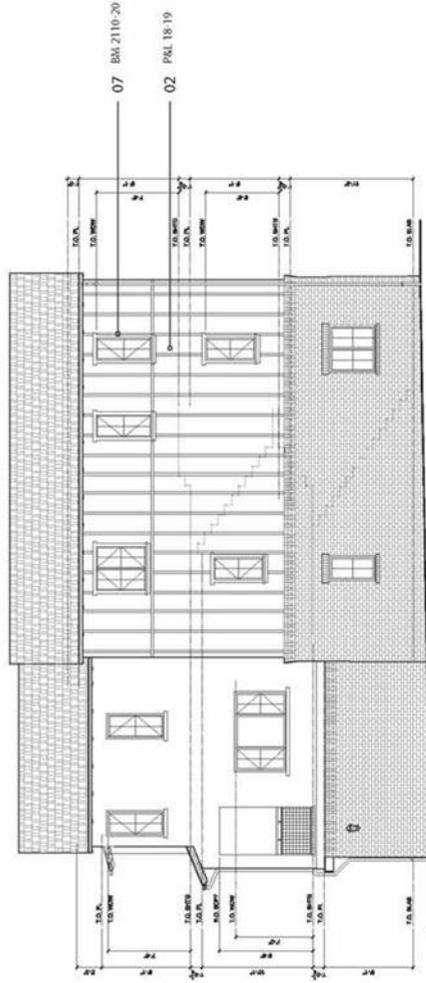


BUILDING ELEVATIONS
MADISON PARK
 CAMPBELL, CA

ROBSON HOMES
 10000 ROBSON AVENUE, SUITE 100
 DUBLIN, CA 94568
 TEL: 925.885.8800
 WWW.ROBSONHOMES.COM



PLAN 1A -2
RIGHT ELEVATION
BUILDING 9/10



PLAN 1A -1
LEFT ELEVATION
BUILDING 9/10

- 01. EXTERIOR STUCCO
- 02. BOARD AND BATTEN
- 03. GAT TIMBERLINE SHINGLE ROOFING
- 04. EXPOSED WOOD BATTER TAILS
- 05. WOOD CORNICE

- 07. WOOD TRIM
- 08. WOOD BALCONY
- 09. WOOD TRIM
- 10. STUCCO TRIM
- 11. 1/2" GAL. W/LLING
- 12. USABLE PORCH

BUILDING ELEVATIONS

MADISON PARK

CAMPBELL, CA



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ROBERT RIDLEY ARCHITECTS

PROJECT NUMBER: 2017

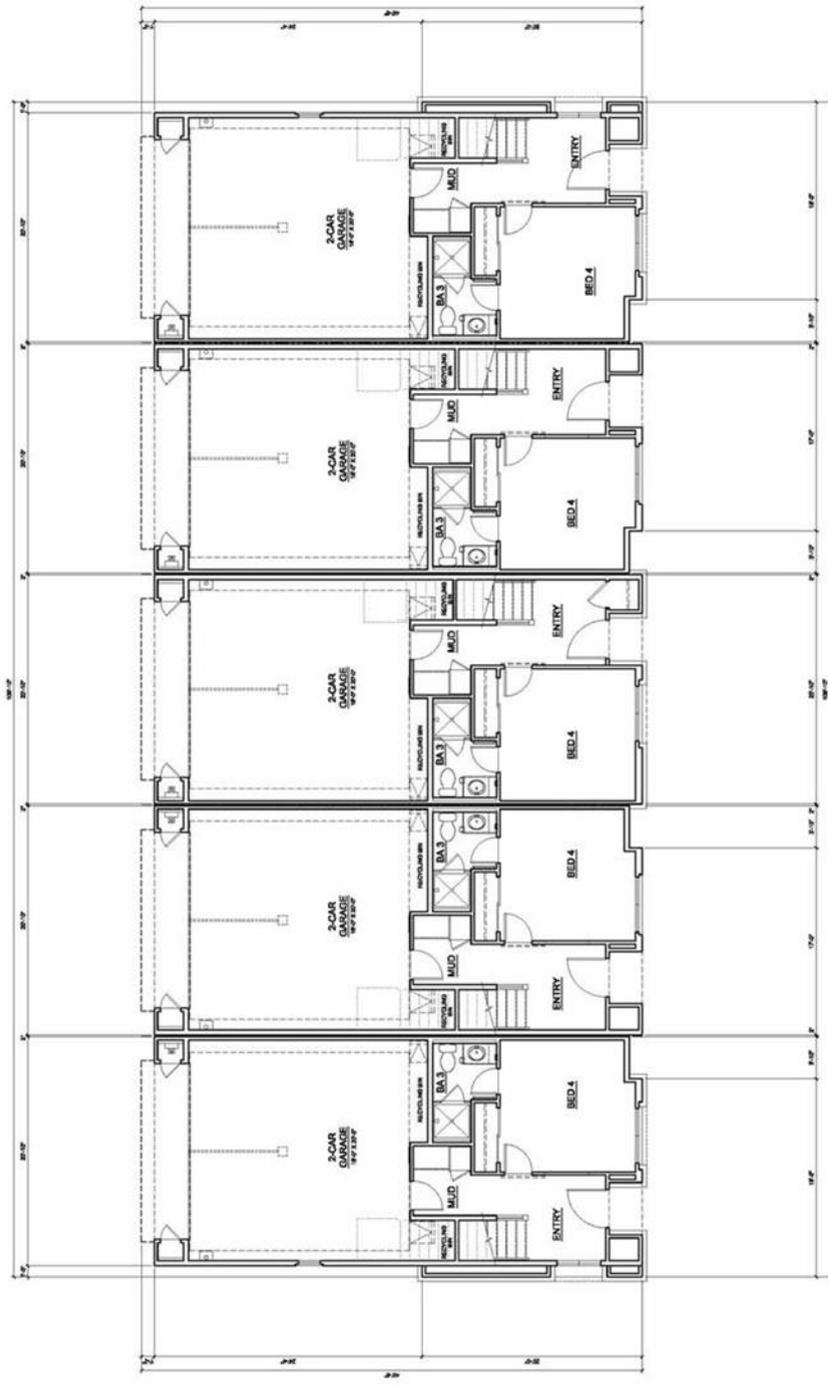
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SCALE: 1/8"=1'-0"

1A-10

ROBSON HOMES

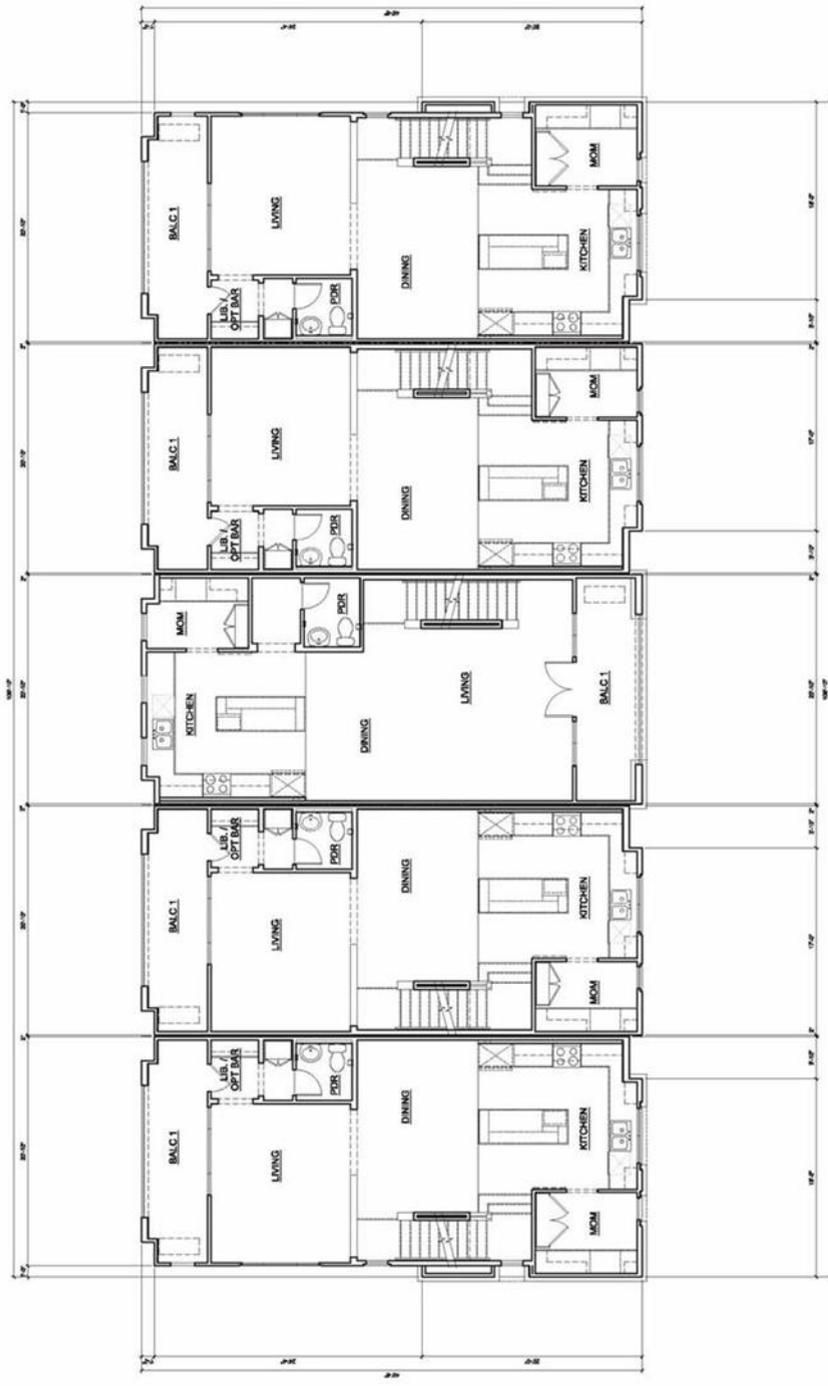
10000 ROBSON DRIVE, SUITE 100
DUBLIN, CA 94568
TEL: 925.835.1000
WWW.ROBSONHOMES.COM



PLAN 4G PLAN 4C PLAN 5C PLAN 4C

FIRST FLOOR PLAN
BUILDING 11

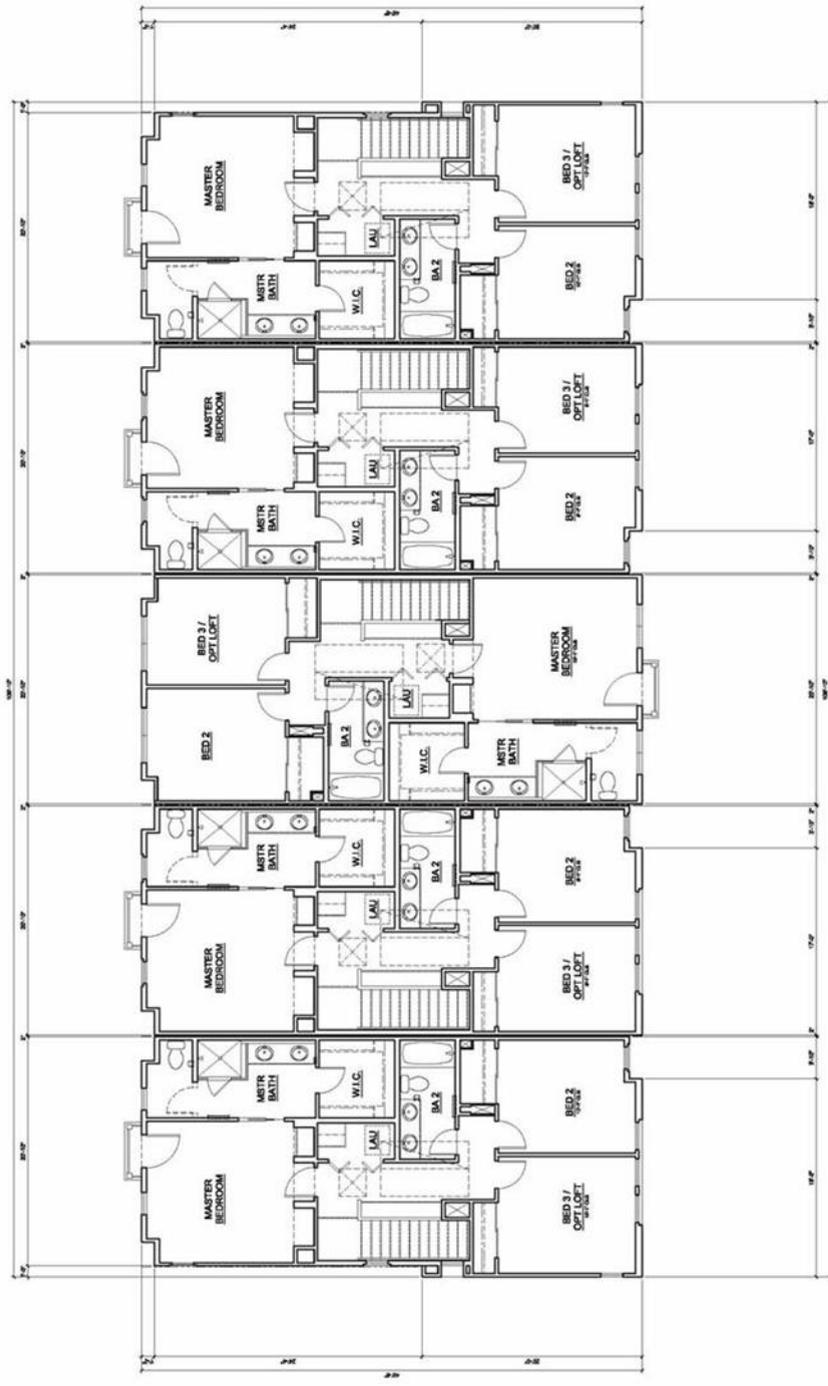
BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 4G PLAN 4C PLAN 5C PLAN 4C PLAN 4G

SECOND FLOOR PLAN
BUILDING 11

BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 4G PLAN 4C PLAN 5C PLAN 4C PLAN 4G

THIRD FLOOR PLAN
BUILDING 11

BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 4G PLAN 4C PLAN 5C PLAN 4C

FRONT ELEVATION
BUILDING 11

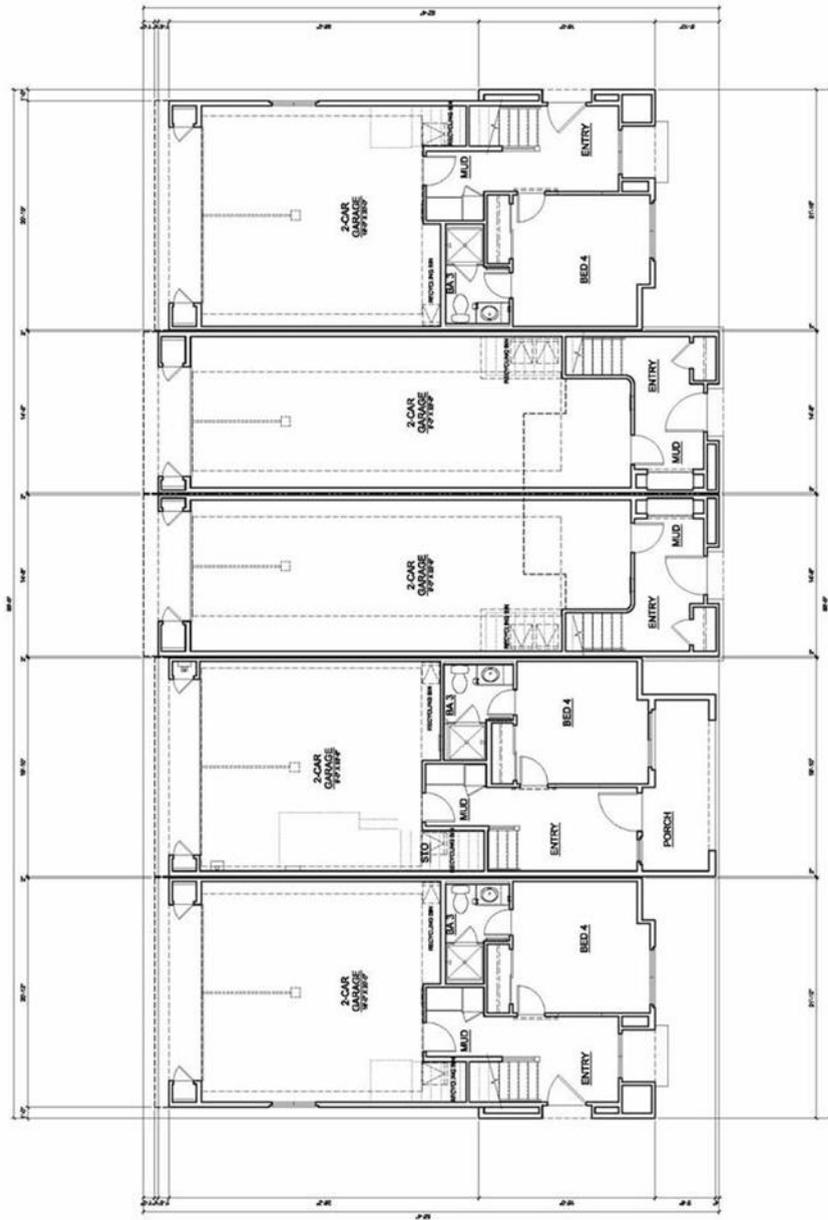


PLAN 4G PLAN 4C PLAN 5C PLAN 4G

REAR ELEVATION
BUILDING 11

- 01. EXTERIOR STUCCO
- 02. BOARD AND BATTEN
- 03. GUT
- 04. GUT TIMBERLINE SHINGLE ROOFING
- 05. EXPOSED WOOD BATTER PANELS
- 06. WOOD CORNER
- 07. WOOD TRIM
- 08. WOOD BALCONY
- 09. WOOD TRIM
- 10. STUCCO TRIM
- 11. 1/2\"/>

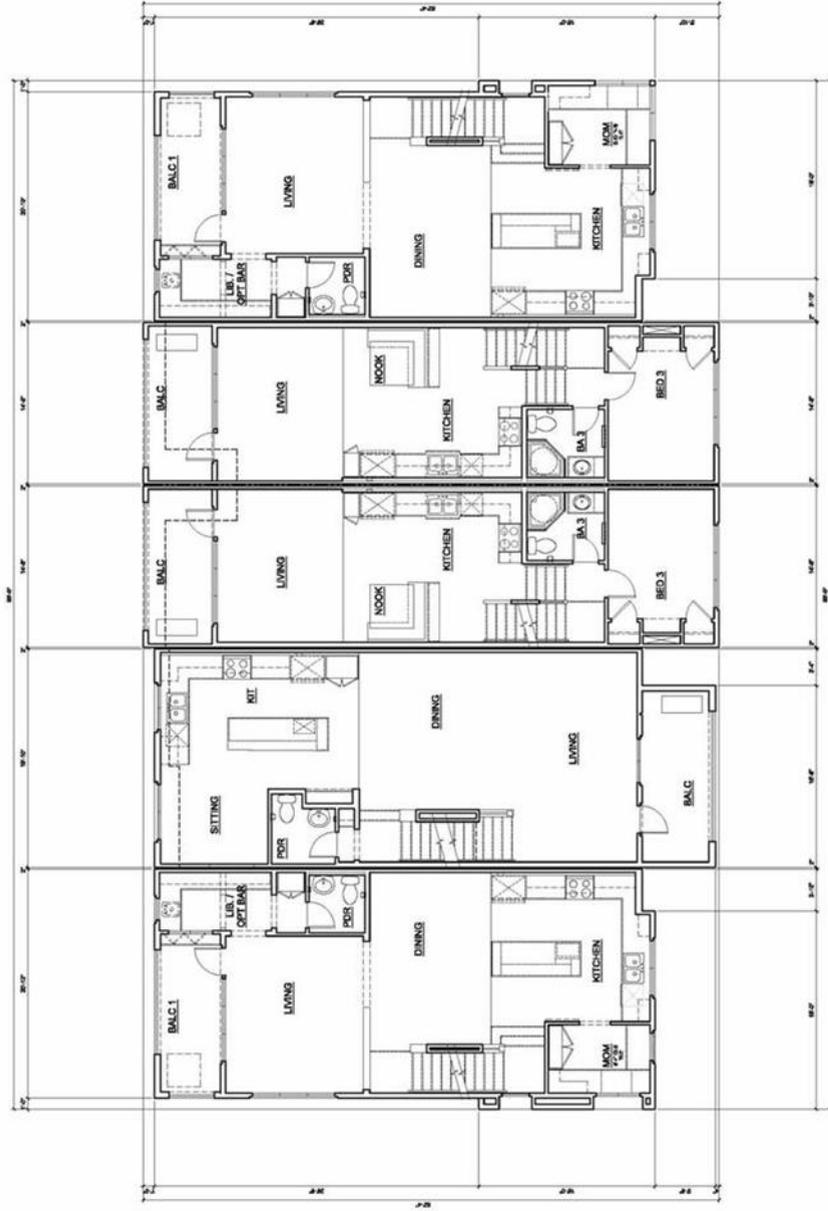
BUILDING ELEVATIONS
MADISON PARK
CAMPBELL, CA



PLAN 2CX PLAN 3A PLAN 1A PLAN 1A PLAN 1A PLAN 2CX-1

FIRST FLOOR PLAN
BUILDING 12

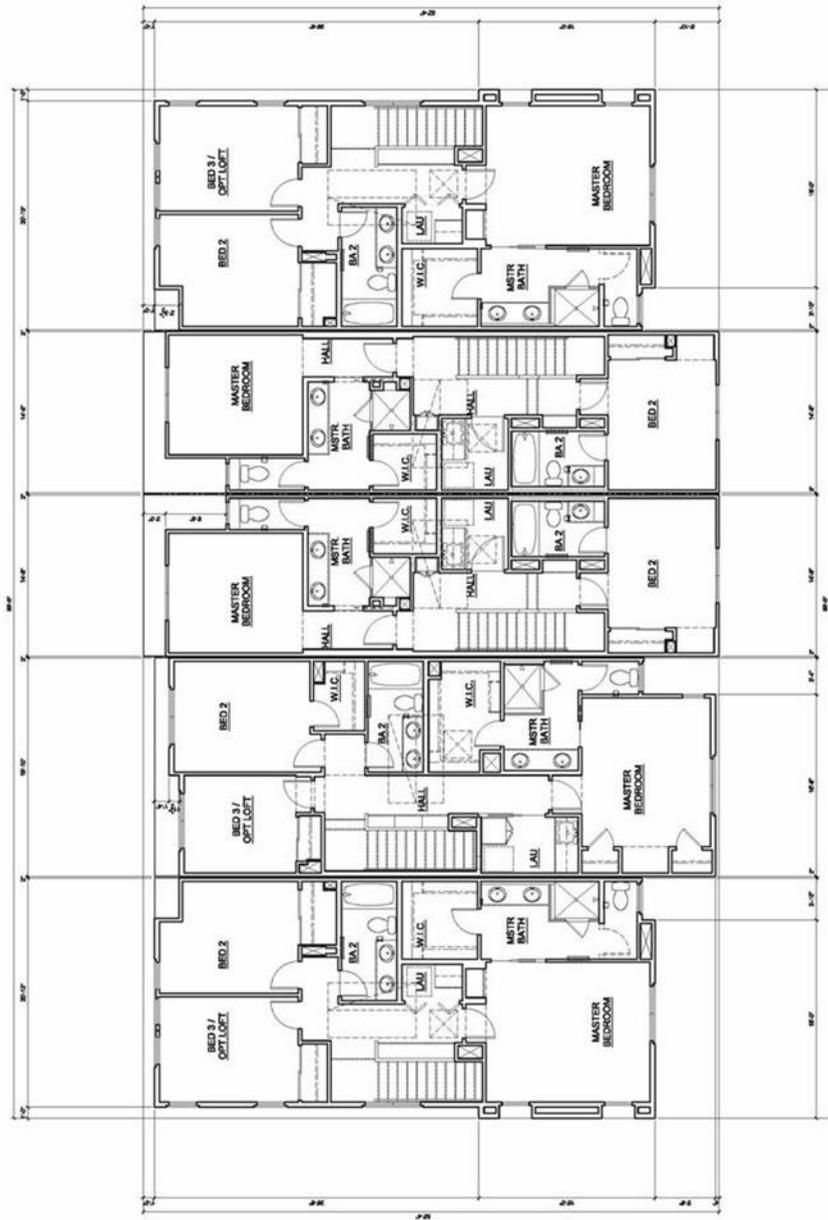
BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 2CX PLAN 3A PLAN 1A PLAN 1A PLAN 2CX-1

SECOND FLOOR PLAN
BUILDING 12

BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 2CX PLAN 3A PLAN 1A PLAN 1A PLAN 2CX-1

THIRD FLOOR PLAN
BUILDING 12

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA



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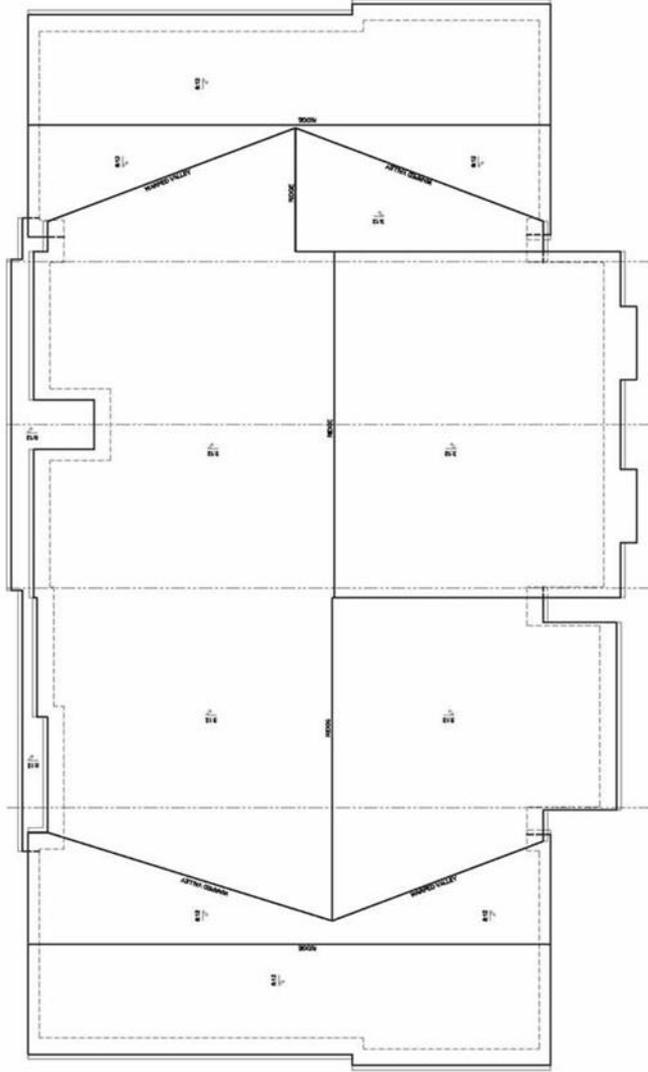
PH: 415.863.1100

FAX: 415.863.1101

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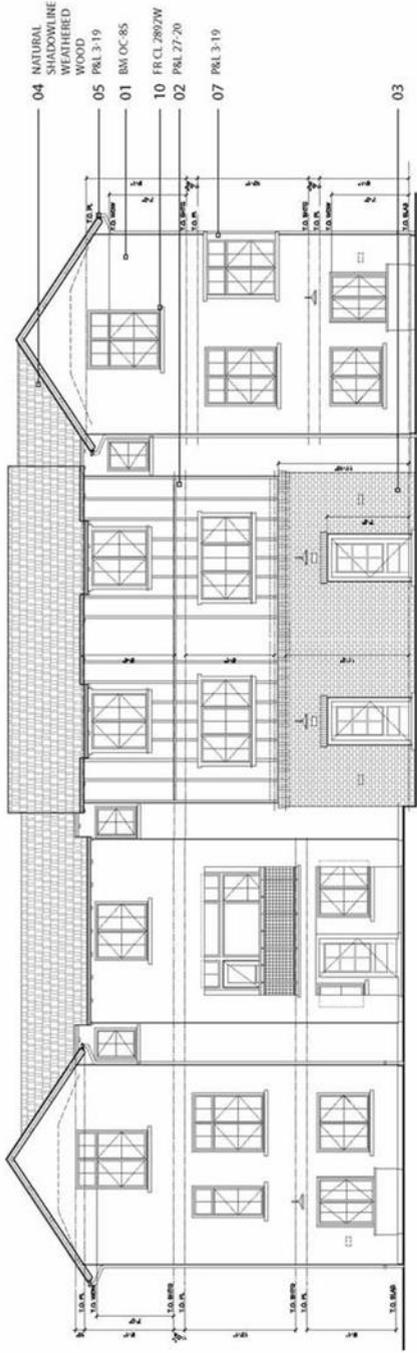
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1000 UNIVERSITY AVENUE, SUITE 1000
BERKELEY, CA 94702
PH: 415.863.1100
FAX: 415.863.1101
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PLAN 2CX PLAN 3A PLAN 1A PLAN 1A PLAN 2CX-1

ROOF PLAN
BUILDING 12



PLAN 2CX-1

PLAN 1A

PLAN 1A

PLAN 3A

PLAN 2CX

FRONT ELEVATION
BUILDING 12



PLAN 2CX-1

PLAN 1A

PLAN 3A

PLAN 1A

PLAN 3A

PLAN 2CX

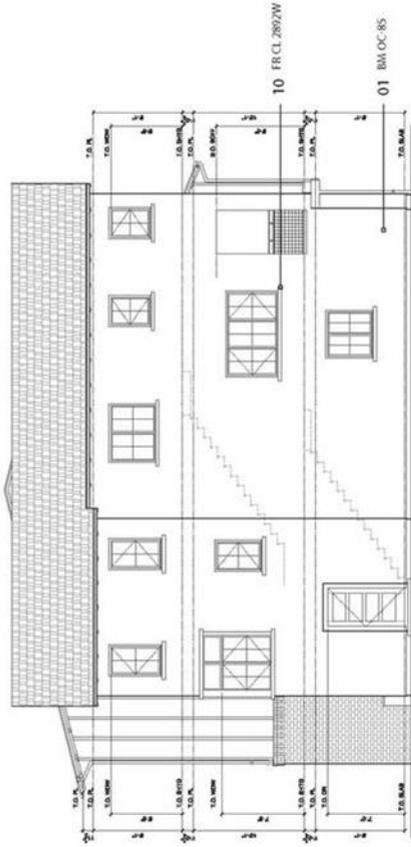
REAR ELEVATION
BUILDING 12

- 01. EXTERIOR STUCCO
- 02. BOARD AND BATTEN
- 03. BRICK
- 04. GAT TIMBERLINE SHINGLE ROOFING
- 05. EXPOSED WOOD BATTER TAIS
- 06. WOOD CORNICE
- 07. WOOD TRIM
- 08. WOOD BALCONY
- 09. BRICK
- 10. STUCCO TRIM
- 11. BRICK WALLING
- 12. GARAGE DOOR

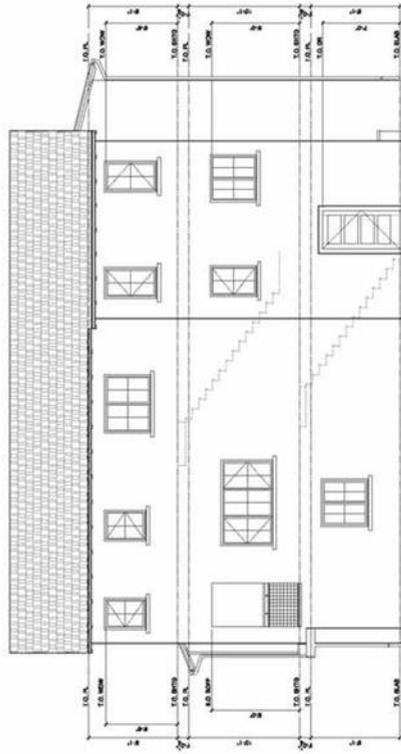
BUILDING ELEVATIONS

MADISON PARK

CAMPBELL, CA



PLAN 2CX-1
RIGHT ELEVATION
BUILDING 12



PLAN 2CX
LEFT ELEVATION
BUILDING 12

- 01. EXTERIOR STUCCO
- 02. BOARD AND BATTEN
- 03. GAT TIMBERLINE SHINGLE ROOFING
- 04. EXPOSED WOOD BATTER TAILS
- 05. WOOD CORNICE
- 06. WOOD TRIM
- 07. WOOD BALCONY
- 08. WOOD FLOOR
- 09. WOOD FLOOR
- 10. STUCCO TRIM
- 11. 1/2" PINE WALLING
- 12. GARAGE PORCH

BUILDING ELEVATIONS

MADISON PARK

CAMPBELL, CA

ROBSON HOMES

10000 ROBSON DRIVE, SUITE 100
DUBLIN, CA 94568
TEL: (925) 885-1000
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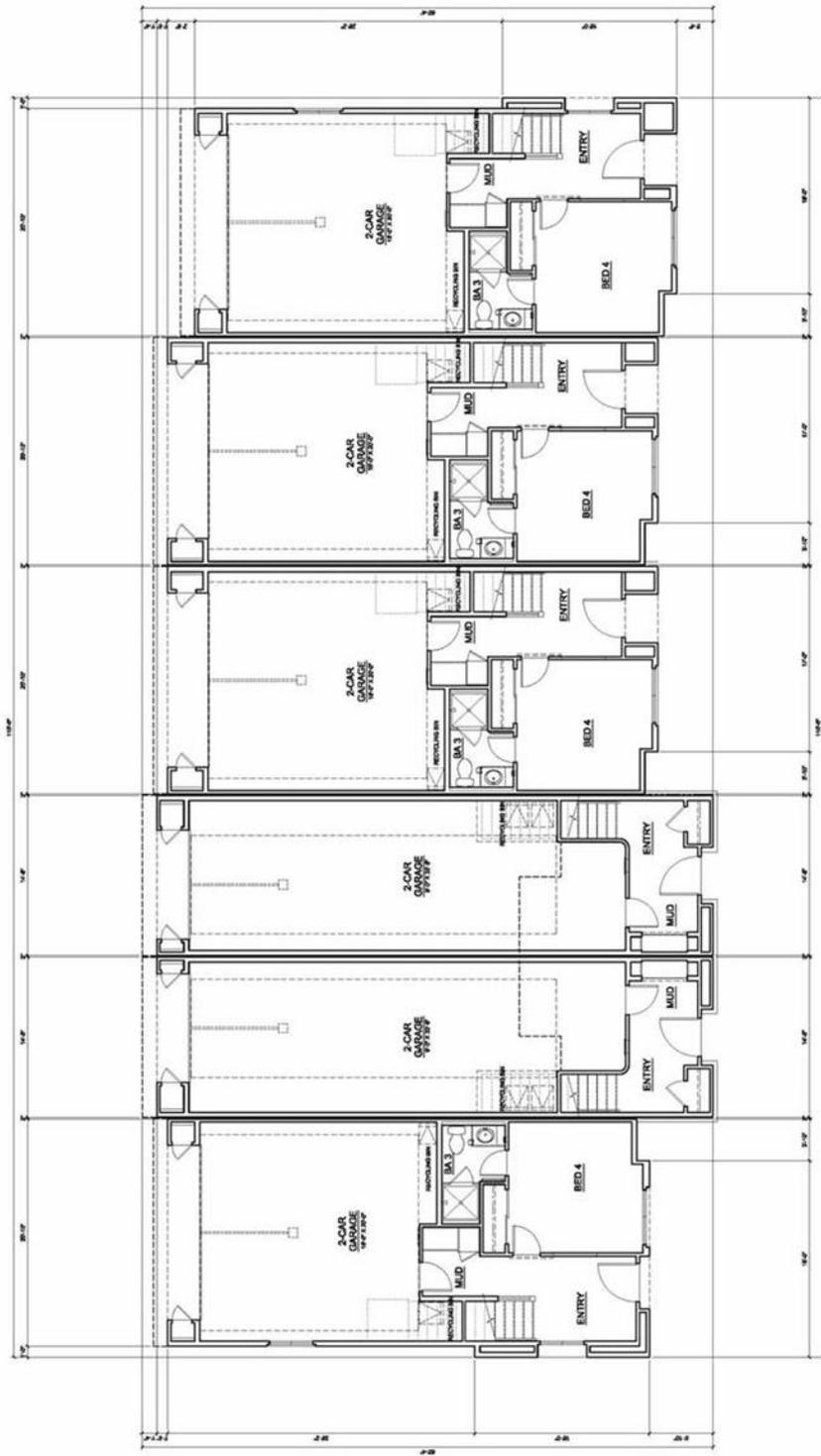
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PROJECT NUMBER: 201710

DATE: 10/17/17

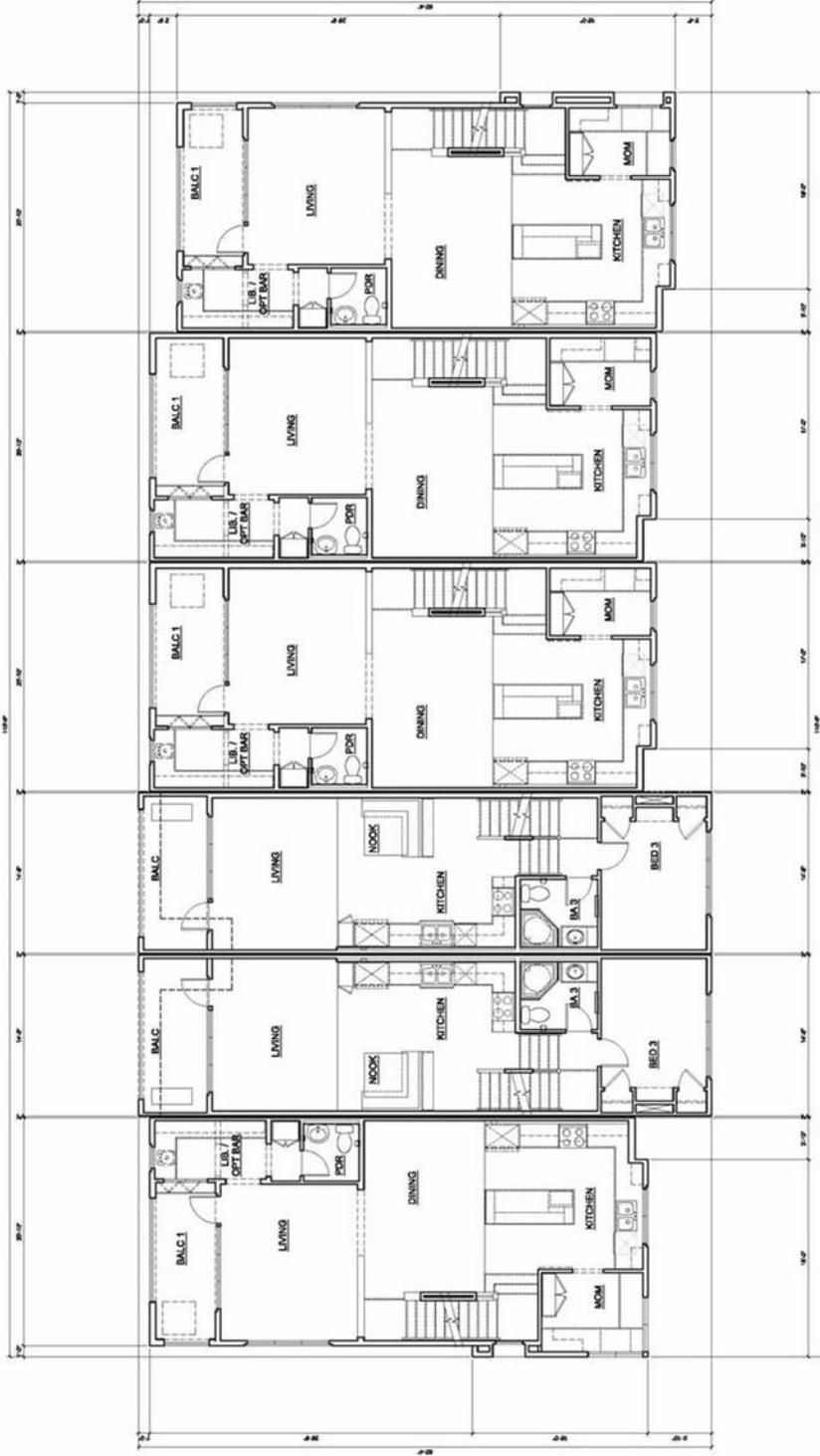
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PLAN 2XH-1 PLAN 1A PLAN 1A PLAN 2XE PLAN 2XE PLAN 2XE PLAN 2XC

FIRST FLOOR PLAN
BUILDING 13

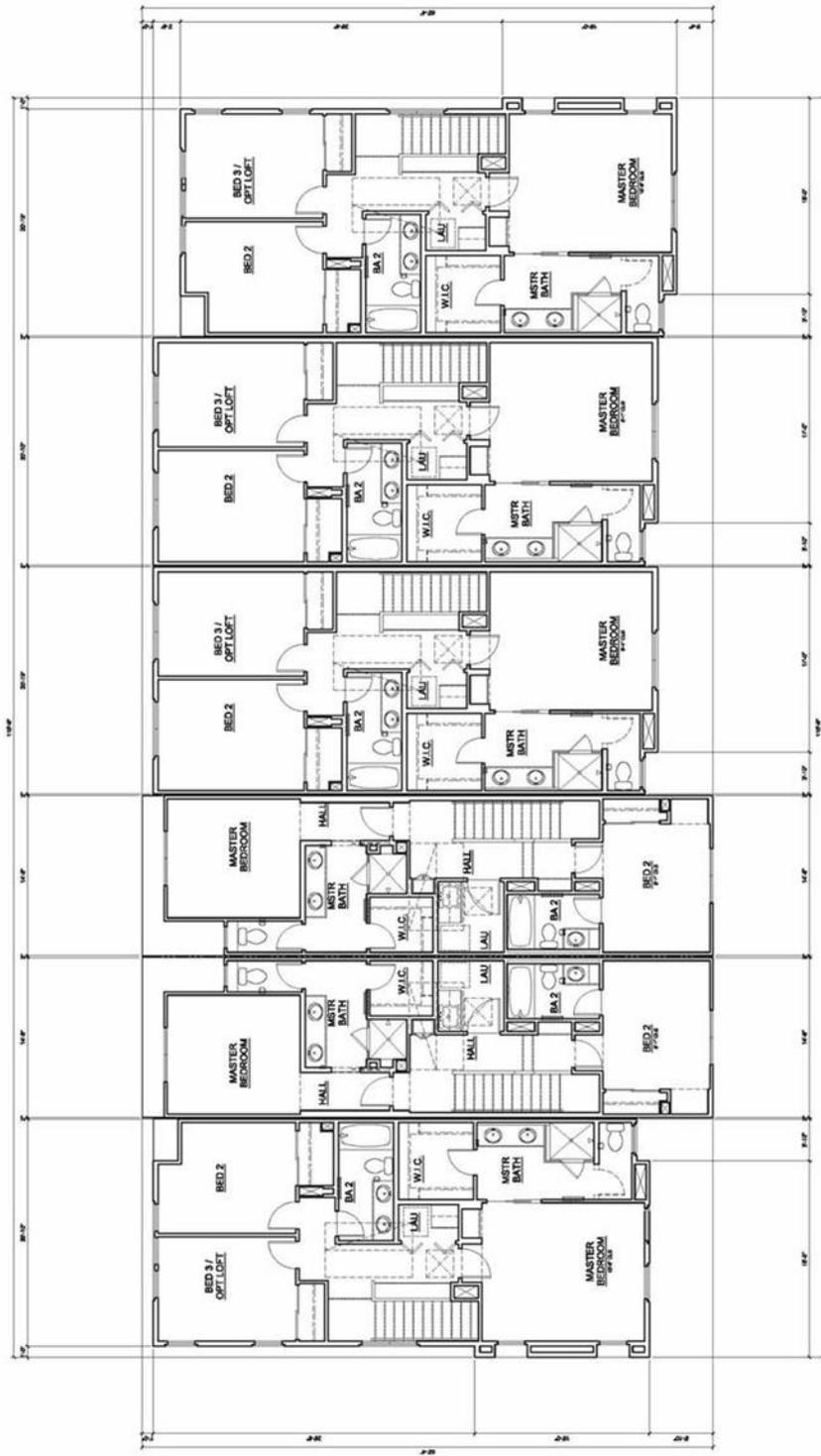
BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 2XH-1 PLAN 1A PLAN 1A PLAN 1A PLAN 2XC

SECOND FLOOR PLAN
BUILDING 13

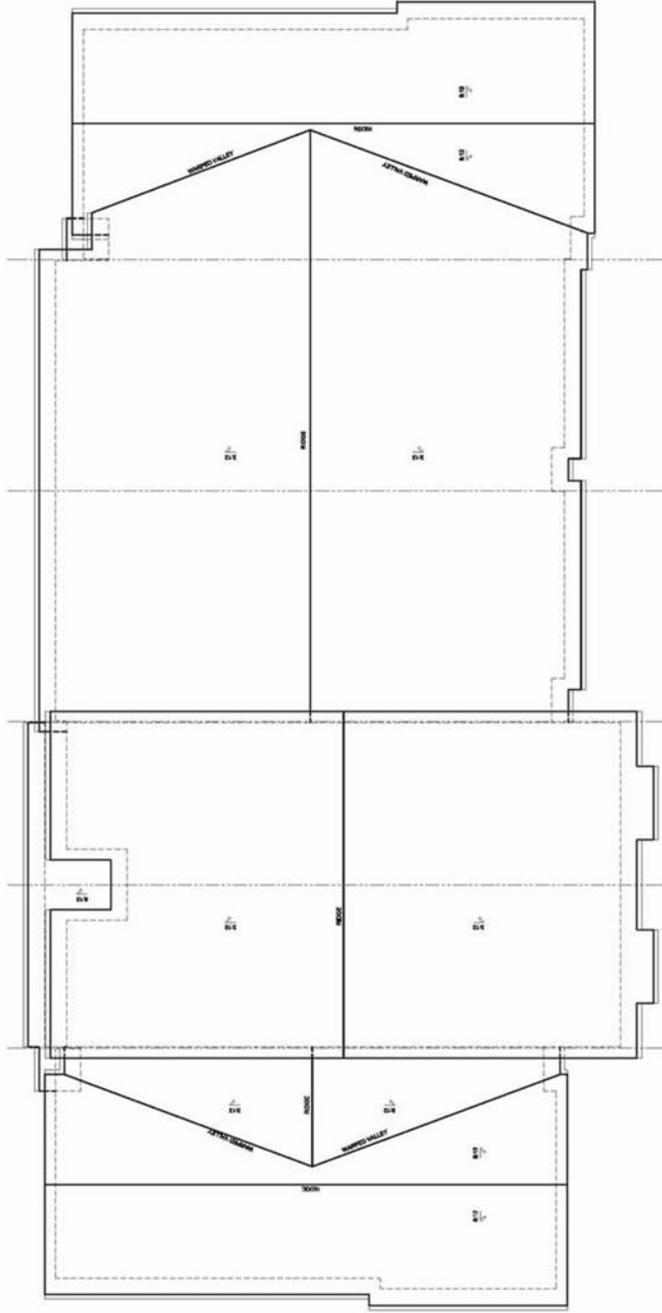
BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 2XH-1 PLAN 1A PLAN 1A PLAN 1A PLAN 2XE PLAN 2XE PLAN 2XC

THIRD FLOOR PLAN
BUILDING 13

BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 2XH-1 PLAN 1A PLAN 1A PLAN 2XE PLAN 2XE PLAN 2XE PLAN 2XC

ROOF PLAN
BUILDING 13



PLAN 2XC

PLAN 2XE

PLAN 2XE

PLAN 1A

PLAN 1A

PLAN 2XH-1

FRONT ELEVATION
BUILDING 13



PLAN 2XC

PLAN 2XE

PLAN 1A

PLAN 1A

PLAN 2A

PLAN 2XH-1

REAR ELEVATION
BUILDING 13

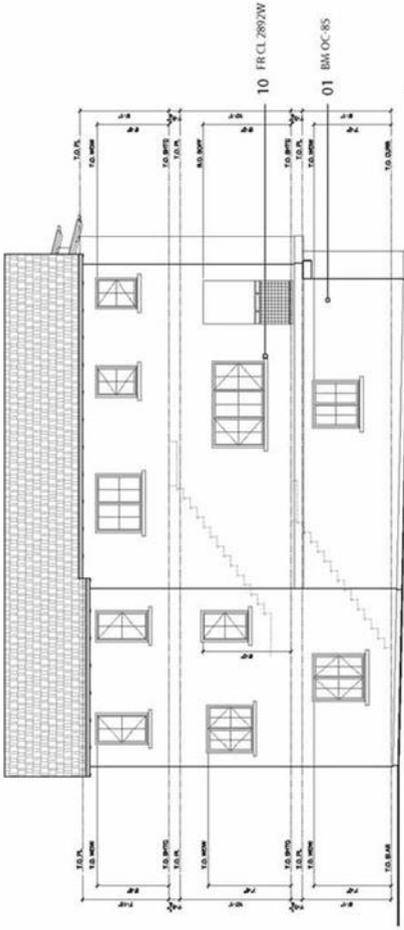
- 01. EXTERIOR STUCCO
- 02. BOARD AND BATTEN
- 03. WOOD TRIM
- 04. NATURAL SHADOWLINE WEATHERED WOOD
- 05. EXPOSED WOOD BATTER TAILS
- 06. WOOD TRIM
- 07. WOOD TRIM
- 08. WOOD BALCONY
- 09. GAT TIMBERLINE SHINGLE ROOFING
- 10. FRCL 2892W
- 11. 1/2" PLY WALLING
- 12. GARAGE DOOR



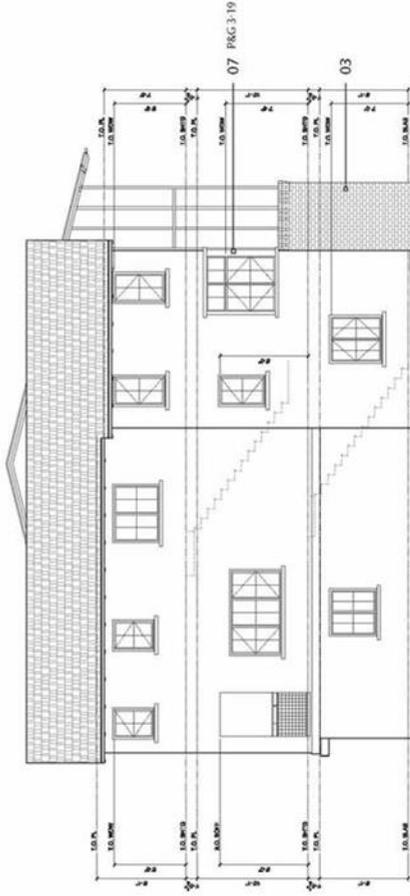
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BUILDING ELEVATIONS
MADISON PARK
CAMPBELL, CA

ROBSON HOMES



PLAN 2XC
RIGHT ELEVATION
BUILDING 13



PLAN 2XH-1
LEFT ELEVATION
BUILDING 13

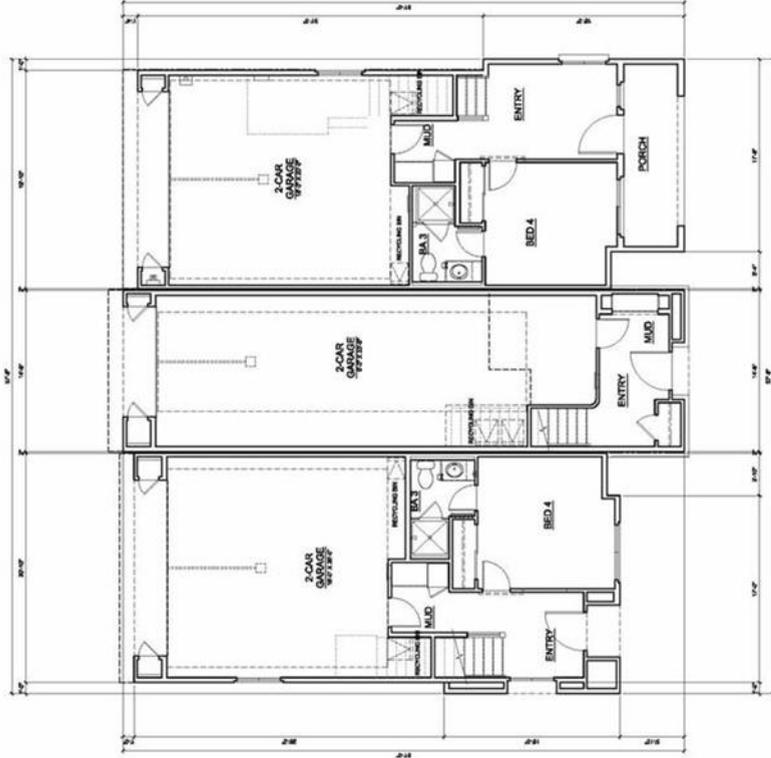
- 01. EXTERIOR FINISH
- 02. BOARD AND BATTEN
- 03. GAT TIMBERLINE SHINGLE ROOFING
- 04. EXPOSED WOOD BATTER TAILS
- 05. WOOD CORNICE
- 06. WOOD TRIM
- 07. WOOD BALCONY
- 08. WOOD BALCONY
- 09. WOOD BALCONY
- 10. STUCCO TRIM
- 11. 1/2" PINE WALLING
- 12. GARAGE DOOR

BUILDING ELEVATIONS
MADISON PARK
CAMPBELL, CA



ROBERT RIDLEY ARCHITECTS
PROJECT NUMBER: 2017
DATE: 1/15/18
A-75

ROBSON HOMES
10000 ROBSON AVENUE, SUITE 100
DUBLIN, CA 94568
TEL: 925.835.8800
WWW.ROBSONHOMES.COM



PLAN 3AY

PLAN 1B

PLAN 2CX

FIRST FLOOR PLAN
BUILDING 14

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA



R H A

ROBERT RIDLEY ARCHITECTS
1000 UNIVERSITY AVENUE
SAN FRANCISCO, CA 94103
415.775.1173

ROBSON HOMES

1000 UNIVERSITY AVENUE
SAN FRANCISCO, CA 94103
415.775.1173



PLAN 3AY

PLAN 1B

PLAN 2CX

SECOND FLOOR PLAN
BUILDING 14

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA

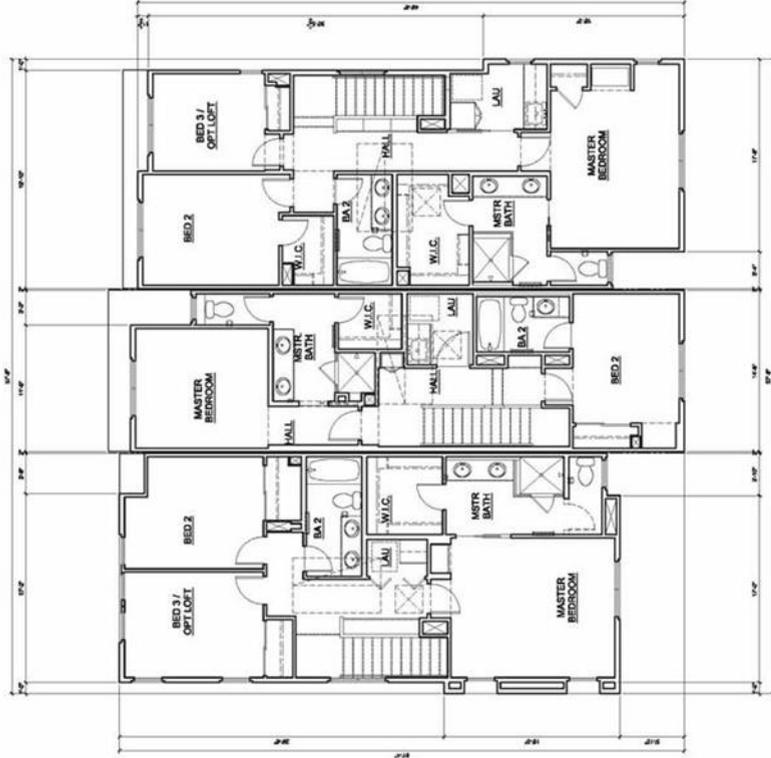


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ROBERT RIDLEY ARCHITECTS
1000 UNIVERSITY AVENUE
SAN FRANCISCO, CA 94102
415.774.1100

ROBSON HOMES

1000 UNIVERSITY AVENUE
SAN FRANCISCO, CA 94102
415.774.1100



PLAN 3AY

PLAN 1B

PLAN 2CX

THIRD FLOOR PLAN
BUILDING 14

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA

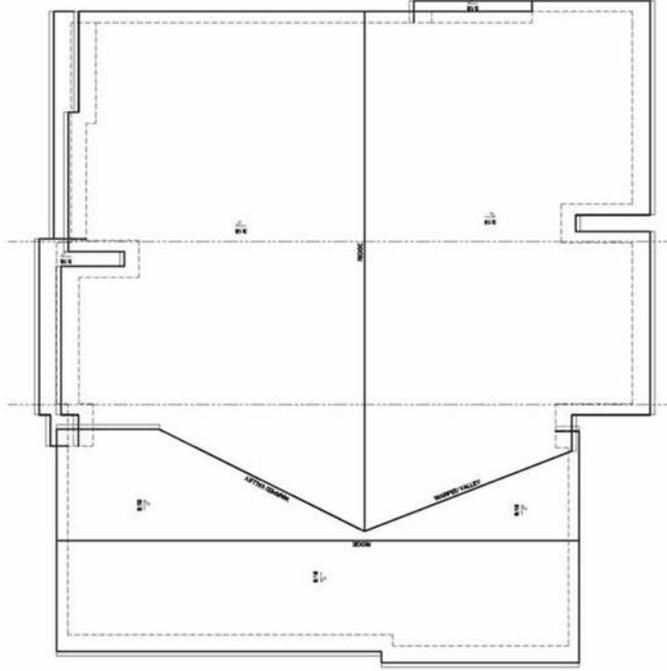


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ROBERT RIDLEY ARCHITECTS
PROJECT NUMBER: 0077
DATE: 08/11/11
A-01

ROBSON HOMES

10000 S. DEER CREEK AVENUE
SUITE 100
DALLAS, TEXAS 75243
TEL: 972.382.1000
WWW.ROBSONHOMES.COM



PLAN 3AY

PLAN 1B

PLAN 2CX

ROOF PLAN
BUILDING 14



PLAN 1B

PLAN 3AY

PLAN 2CX

FRONT ELEVATION
BUILDING 14



PLAN 3AY

PLAN 1B

PLAN 2CX

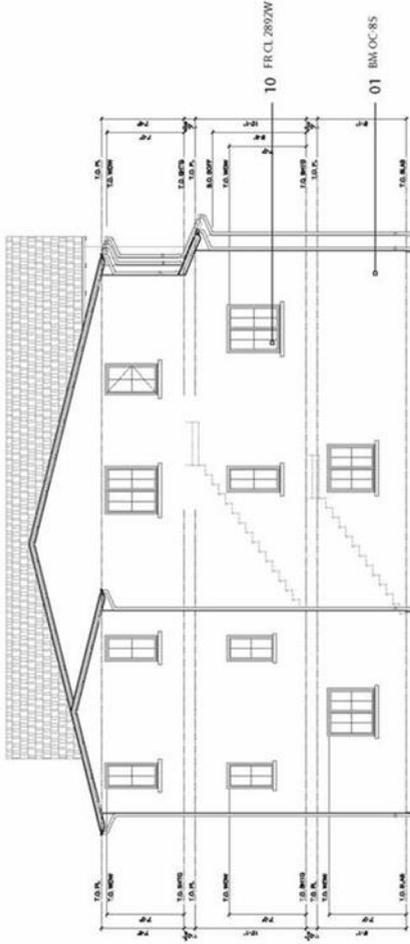
REAR ELEVATION
BUILDING 14

- 01. EXTERIOR STUCCO
- 02. BOARD AND BATTEN
- 03. GAT TIMBERLINE SHINGLE ROOFING
- 04. EXPOSED WOOD BARRIER FALS
- 05. WOOD CORNICE
- 06. WOOD TRIM
- 07. WOOD BALCONY
- 08. STUCCO TRIM
- 09. STUCCO TRIM
- 10. 1/2" JAIL WALLING
- 11. 1/2" JAIL WALLING
- 12. 1/2" JAIL WALLING

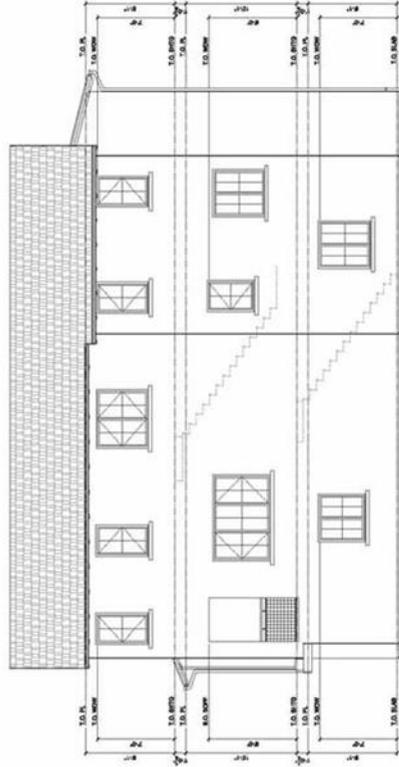


BUILDING ELEVATIONS
MADISON PARK
CAMPBELL, CA

ROBSON HOMES



PLAN 3AY
RIGHT ELEVATION
BUILDING 14



PLAN 2CX
LEFT ELEVATION
BUILDING 14

- 01. EXTERIOR FINISH
- 02. BOARD AND BATTEN
- 03. GAT
- 04. GAT TIMBERLINE SHINGLE ROOFING
- 05. EXPOSED WOOD BARRIER FALS
- 06. WOOD COMEL
- 07. WOOD TRIM
- 08. WOOD BALCONY
- 09. WOOD BALCONY
- 10. STUCCO TRIM
- 11. 2" X 4" SILL
- 12. 1" WOOD COMEL

- 07. WOOD TRIM
- 08. WOOD BALCONY
- 09. WOOD BALCONY
- 10. STUCCO TRIM
- 11. 2" X 4" SILL
- 12. 1" WOOD COMEL

BUILDING ELEVATIONS
MADISON PARK
CAMPBELL, CA

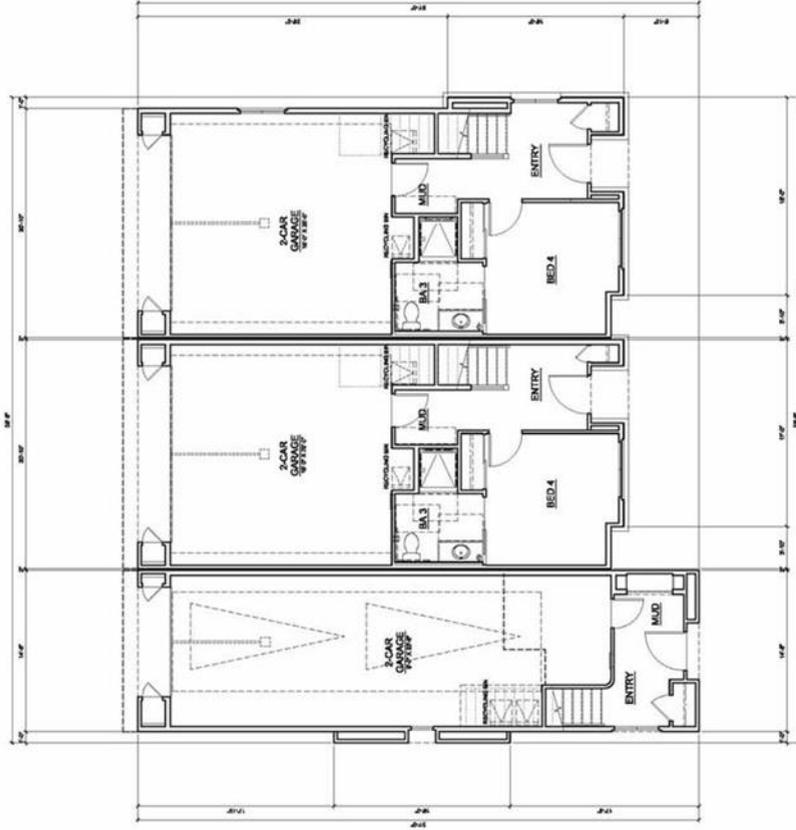


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PROJECT NUMBER: 2021-001
DATE: 10/20/21
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DUBLIN, CA 94568
TEL: 925.885.8800
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PLAN 1CY

PLAN 2XGL

PLAN 2XG

FIRST FLOOR PLAN
BUILDING 15/16

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA



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ROBERT RIDLEY ARCHITECTS
1000 UNIVERSITY AVENUE
SAN FRANCISCO, CA 94103
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RHA

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SAN FRANCISCO, CA 94103
415.774.1100



PLAN 2XG

PLAN 2XGL

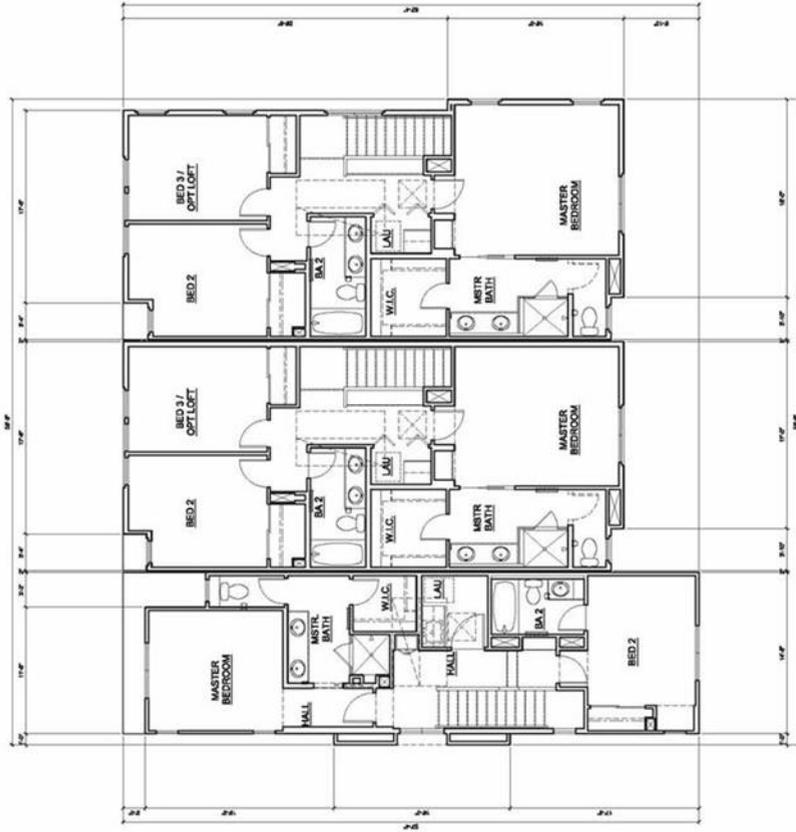
PLAN 1CY

SECOND FLOOR PLAN
BUILDING 15/16

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA



PLAN 2XG

PLAN 2XGL

PLAN 1CY

THIRD FLOOR PLAN
BUILDING 15/16

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA



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ROBERT RIDLEY ARCHITECTS

1000 UNIVERSITY AVENUE, SUITE 1000

BERKELEY, CA 94702

PH: 415.863.1100

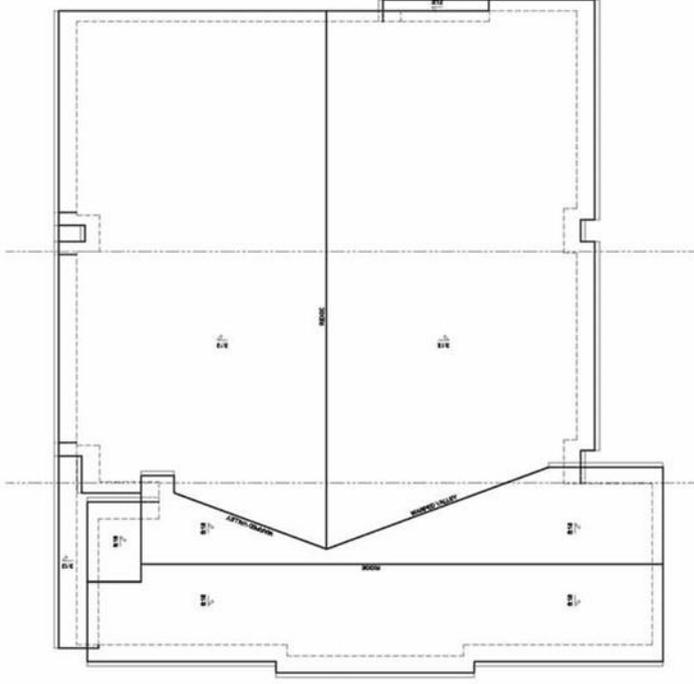
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PLAN 1CY

PLAN 2XGL

PLAN 2XG

ROOF PLAN
BUILDING 15/16



PLAN 2XGL

PLAN 2XGL

PLAN 1CY

FRONT ELEVATION
BUILDING 15/16



PLAN 1CY

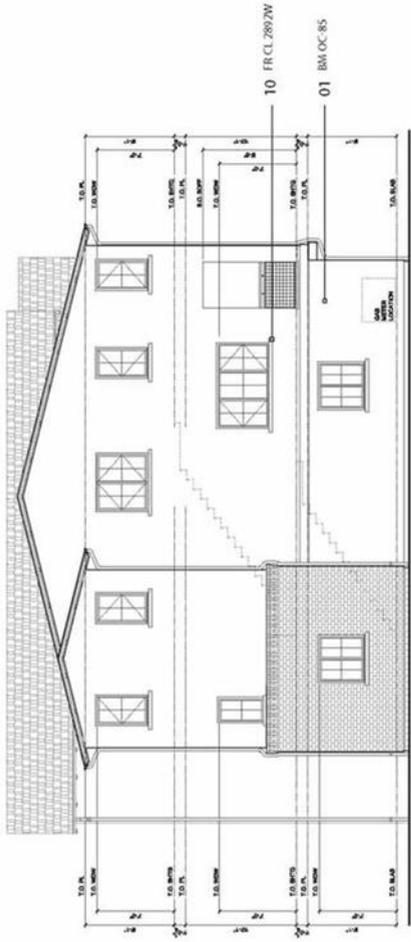
PLAN 2XGL

PLAN 2XGL

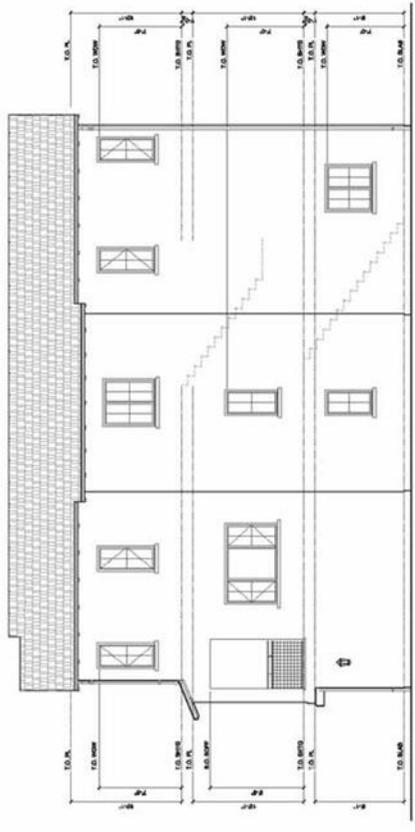
REAR ELEVATION
BUILDING 15/16

- 01 EXTERIOR FINISH
- 02 BOARD AND BATTEN
- 03 GUT TIEBACKING SHINGLE ROOFING
- 04 EXPOSED WOOD BARRIER FALS
- 05 WOOD CORNEL
- 06 WOOD TRIM
- 07 WOOD BALCONY
- 08 STUCCO TRIM
- 09 EXPOSED WOOD BARRIER FALS
- 10 GARAGE DOOR

BUILDING ELEVATIONS
MADISON PARK
CAMPBELL, CA



PLAN 2XG L
RIGHT ELEVATION
BUILDING 15/16



PLAN 1CY
LEFT ELEVATION
BUILDING 15/16

- 01. EXTERIOR FINISH
- 02. BOARD AND BATTEN
- 03. GUTTER
- 04. GUTTER
- 05. EXPOSED WOOD BATTER TAILS
- 06. WOOD PANEL

- 07. WOOD TRIM
- 08. WOOD BALCONY
- 09. WOOD BALCONY
- 10. STUCCO TRIM
- 11. BRICK WALLING
- 12. GARAGE DOOR

BUILDING ELEVATIONS
MADISON PARK
CAMPBELL, CA



PLAN 1CY PLAN 1E PLAN 2XG

FIRST FLOOR PLAN
BUILDING 17

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA



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BERKELEY, CA 94702

TEL: 415.841.1111

FAX: 415.841.1112

WWW.RHA-ARCHITECTS.COM

DATE: 08/11/11

PROJECT NUMBER: 11001

1/01

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1000 UNIVERSITY AVENUE

BERKELEY, CA 94702

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FAX: 415.841.1112

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DATE: 08/11/11

PROJECT NUMBER: 11001

1/01



PLAN 1CY PLAN 1E PLAN 2XG

SECOND FLOOR PLAN
BUILDING 17

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA

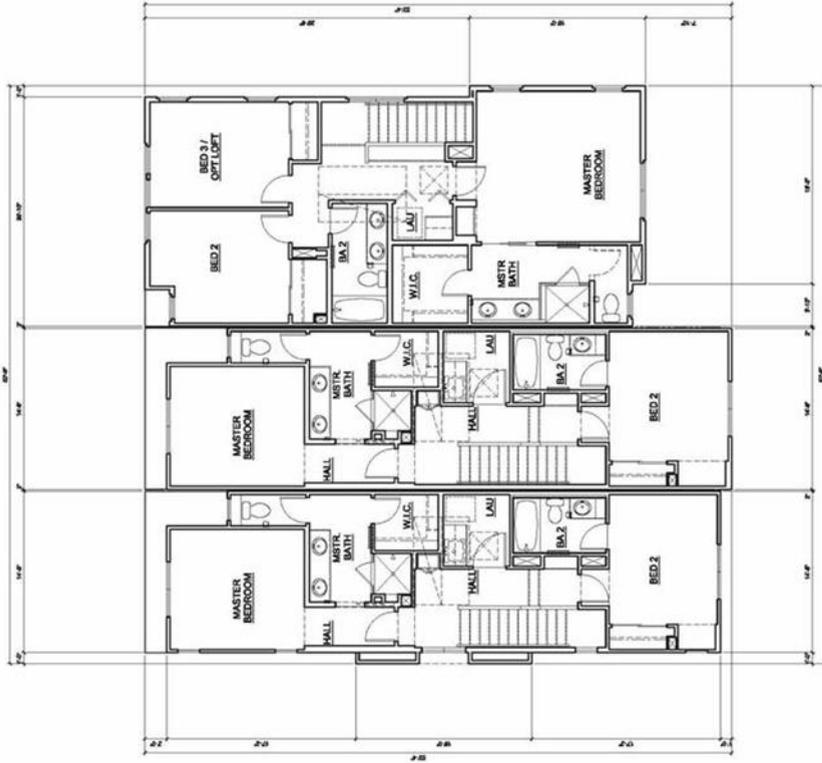


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SAN FRANCISCO, CA 94107
415.774.1100
A-92

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SAN FRANCISCO, CA 94107
415.774.1100



PLAN 1CY PLAN 1E PLAN 2XG

THIRD FLOOR PLAN
BUILDING 17

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA



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ROBERT RIDLEY ARCHITECTS

1000 UNIVERSITY AVENUE

BERKELEY, CA 94702

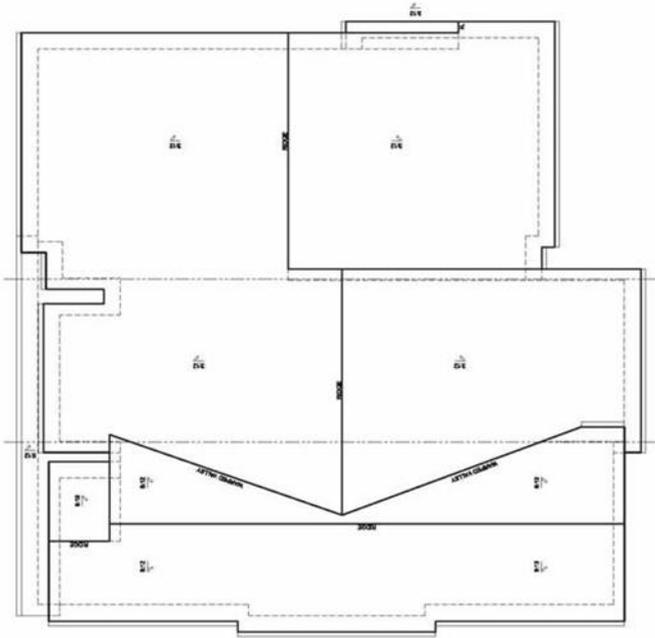
PH: 415.841.1111

FAX: 415.841.1112

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1000 UNIVERSITY AVENUE
BERKELEY, CA 94702
PH: 415.841.1111
FAX: 415.841.1112
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PLAN 1CY PLAN 1E PLAN 2XG

ROOF PLAN
BUILDING 17



PLAN 1E PLAN 2XG

FRONT ELEVATION
BUILDING 17



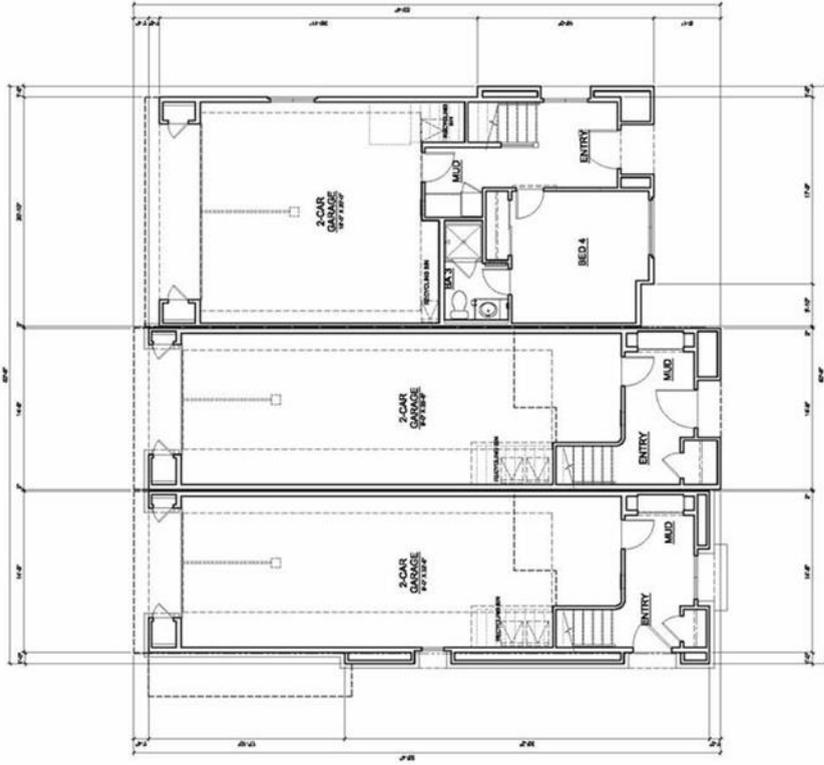
PLAN 1E PLAN 1CY

REAR ELEVATION
BUILDING 17

- 01. EXTERIOR FINISH
- 02. BOARD AND BATTEN
- 03. GUTTER
- 04. GUTTER FLASHING
- 05. EXPOSED WOOD BATTEN TAPE
- 06. WOOD TRIM
- 07. WOOD TRIM
- 08. WOOD TRIM
- 09. WOOD TRIM
- 10. STUCCO TRIM
- 11. 1/2" X 1" WOOD TRIM
- 12. 1/2" X 1" WOOD TRIM
- 13. 1/2" X 1" WOOD TRIM
- 14. 1/2" X 1" WOOD TRIM
- 15. 1/2" X 1" WOOD TRIM
- 16. 1/2" X 1" WOOD TRIM
- 17. 1/2" X 1" WOOD TRIM
- 18. 1/2" X 1" WOOD TRIM
- 19. 1/2" X 1" WOOD TRIM
- 20. 1/2" X 1" WOOD TRIM

BUILDING ELEVATIONS

MADISON PARK
CAMPBELL, CA



PLAN 1C PLAN 1E PLAN 2XE-1

FIRST FLOOR PLAN
BUILDING 18

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA



R H A

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SUNNYVALE, CA 94086
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ROBSON HOMES

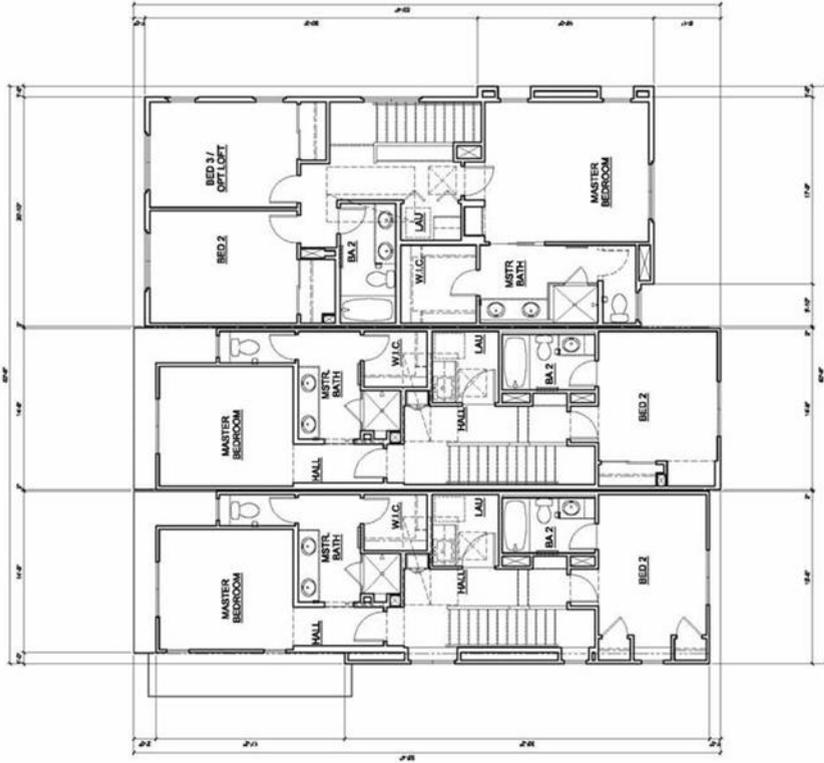
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PLAN 1C PLAN 1E PLAN 2XE-1

SECOND FLOOR PLAN
BUILDING 18

BUILDING COMPOSITE PLANS
MADISON PARK
CAMPBELL, CA



PLAN 1C PLAN 1E PLAN 2XE-1

THIRD FLOOR PLAN
BUILDING 18

BUILDING COMPOSITE PLANS

MADISON PARK

CAMPBELL, CA

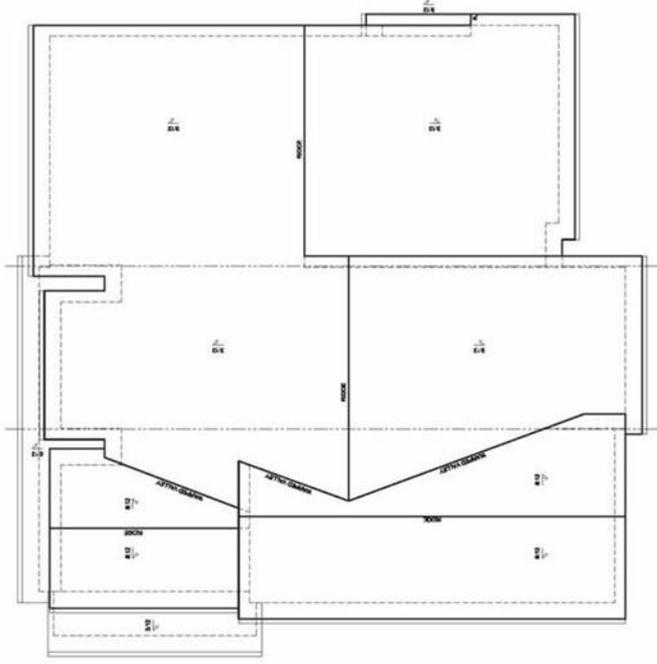


R H A

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ROBSON HOMES

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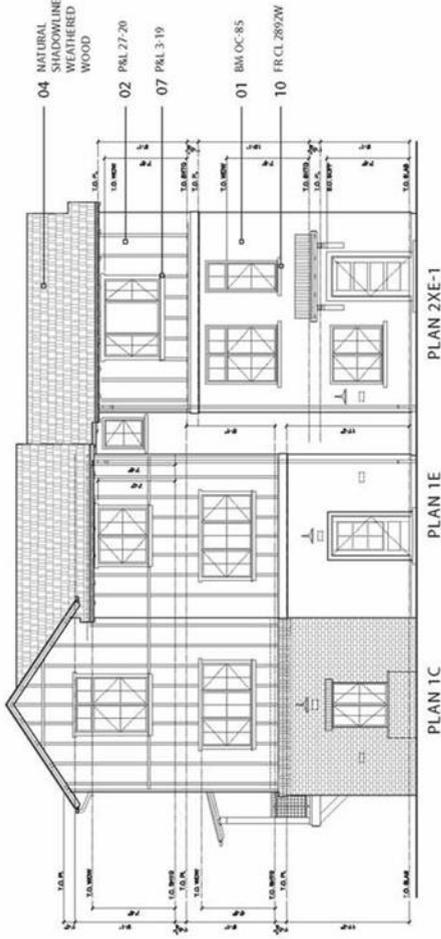


PLAN 1C

PLAN 1E

PLAN 2XE-1

ROOF PLAN
BUILDING 18



FRONT ELEVATION
BUILDING 18



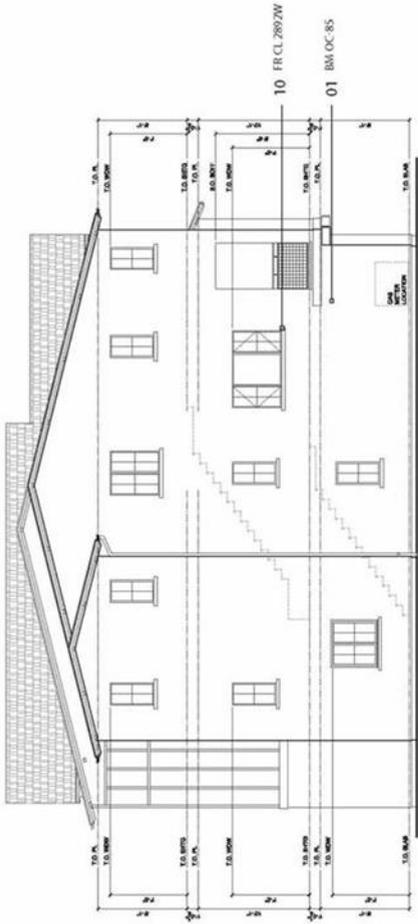
REAR ELEVATION
BUILDING 18

- 01. EXTERIOR FINISH
- 02. BOARD AND BATTEN
- 03. GAT TIMBERLINE SHINGLE ROOFING
- 04. EXPOSED WOOD BARRIER FALS
- 05. WOOD CORNEL
- 06. WOOD TRIM
- 07. WOOD BALCONY
- 08. WOOD RAILING
- 09. STYCOO TRIM
- 10. EXPOSED WOOD BARRIER FALS
- 11. WOOD CORNEL
- 12. WOOD CORNEL

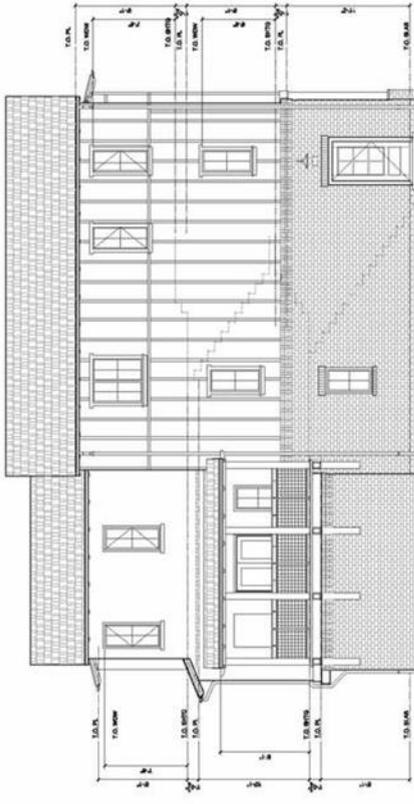
BUILDING ELEVATIONS

MADISON PARK

CAMPBELL, CA



PLAN 2XE-1
RIGHT ELEVATION
BUILDING 18



PLAN 1C
LEFT ELEVATION
BUILDING 18

- 01. EXTERIOR STUCCO
- 02. BOARD AND BATTEN
- 03. GUTTER
- 04. GUTTER FLASHING
- 05. EXPOSED WOOD BARKER TAILS
- 06. WOOD CORNICE
- 07. WOOD TRIM
- 08. WOOD BALCONY
- 09. WOOD BALCONY
- 10. STUCCO TRIM
- 11. BRICK WALLING
- 12. GARAGE DOOR

BUILDING ELEVATIONS
MADISON PARK
CAMPBELL, CA



ROBERT RIDEY ARCHITECTS
PROJECT NUMBER: 2022
A-102