



**CITY OF CAMPBELL**  
Community Development Department

August 4, 2015

**NOTICE OF ADMINISTRATIVE SITE & ARCHITECTURAL REVIEW PERMIT**

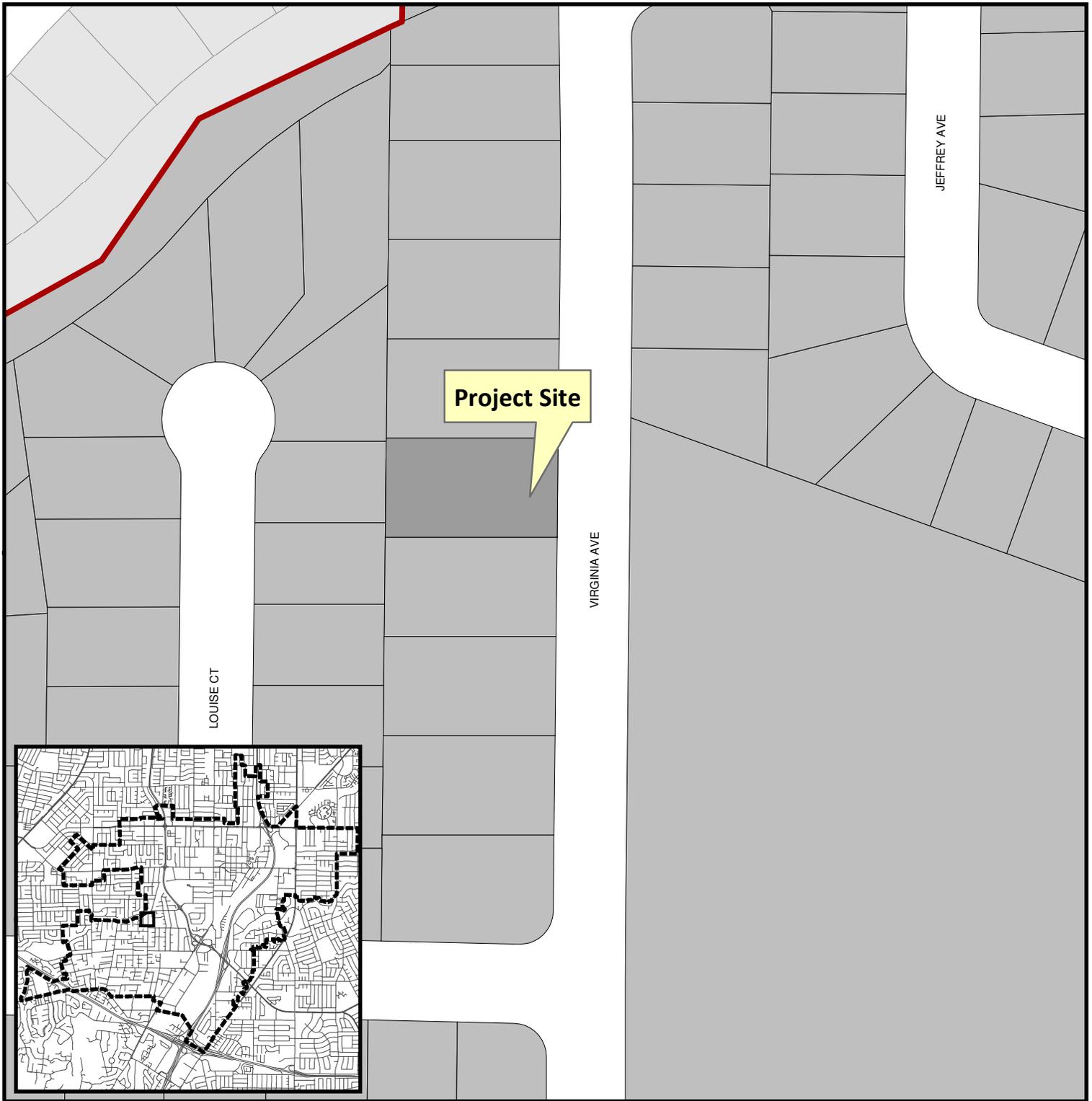
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site & Architectural Review Permit for the following project proposal:

**File No.:** PLN2015-192  
**Applicant:** Benjamin Wu  
**Project Address:** 611 Virginia Ave.  
**Property Owner:** Benjamin Wu  
**Zoning District:** R-1-6 (Single-Family Residential)  
**General Plan:** Low Density Residential  
**Project Description:** Construction of a first-story, 905 square-foot living area and garage addition to an existing single-family residence, including demolition of an existing (1-car) garage.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on August 4, 2015 and ends on August 14, 2015. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **August 14, 2015**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Daniel Fama, Associate Planner, in the Community Development Department, at (408) 866-2193 or by email [danielf@cityofcampbell.com](mailto:danielf@cityofcampbell.com).

# Project Location Map

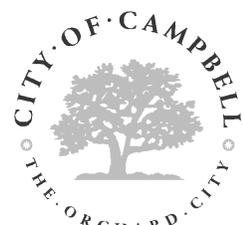
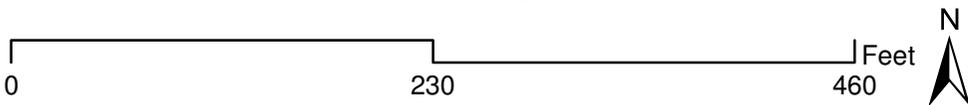


**Project Location:** 611 Virginia Ave.

**Application Type:** Admin. Site and Arch. Review Permit

**Planning File No.:** PLN2015-192

**Description:** Addition to a single-family residence



Community Development Department  
Planning Division

NUMBER	DATE	REVISION

TITLE PAGE

Wu Family Addition  
611 Virginia Ave  
Campbell, CA 95008

DRAWINGS PROVIDED BY:  
Vagione Properties  
12747 Saratoga Glen Ct.  
Saratoga, CA 95078

DATE: 7/30/2015  
SCALE:  
SHEET: A1

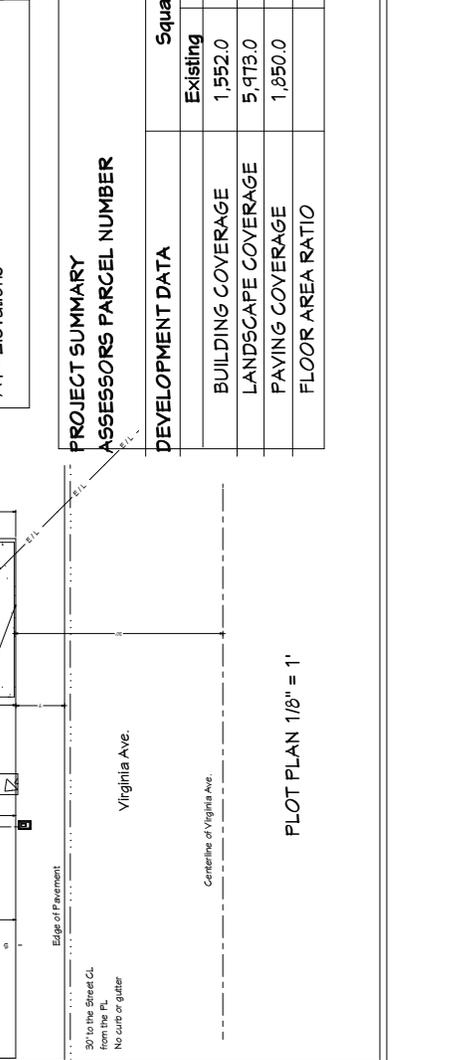
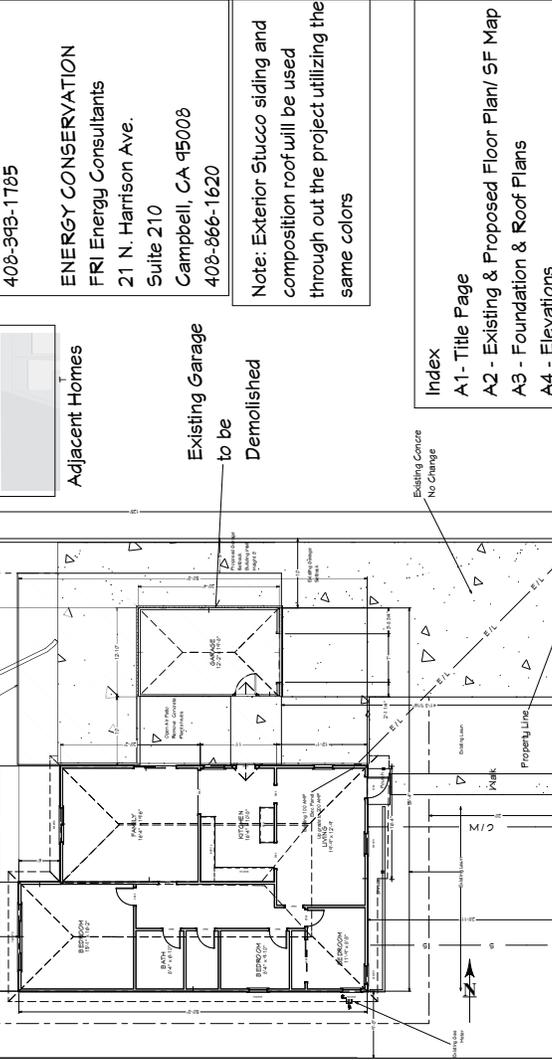
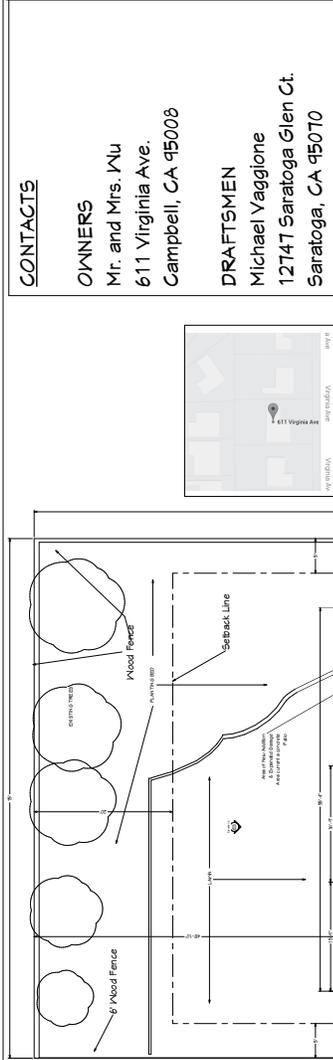
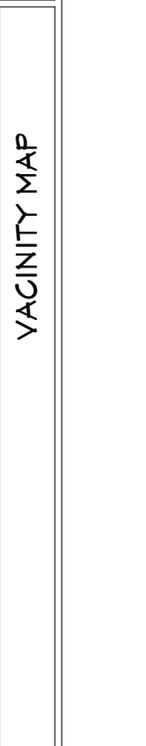
**PROJECT INFORMATION**  
 Project Address: 611 Virginia Ave  
 Assessors Parcel No: 406-01-008  
 Zoning: R-1-6 (San Tomas Area)  
 Lot Area: 9,375 SF  
 Building Area:  
 Existing Resd. 1,552 SF  
 Proposed Addition 483 SF  
 Total Resd 2,035 SF  
 Existing Garage - 273 SF to be demolished  
 New Garage 422 SF  
 Total Proposed Bldg 2,457 SF  
 Floor Area Ratio 26.3% Proposed  
 Lot Coverage 32.6% Proposed (40% Max)  
 Occupancy Group R3/U  
 Construction Type VB, Non-Fire Sprinklered  
 Code References 2013CRC  
 2013 CBC  
 2013 CMC  
 2013 CEC  
 2013 CFC  
 2013 TITLE 24  
 2013 CGBSC

**CONTACTS**  
**OWNERS**  
 Mr. and Mrs. Wu  
 611 Virginia Ave.  
 Campbell, CA 95008  
**DRAFTSMEN**  
 Michael Vagione  
 12747 Saratoga Glen Ct.  
 Saratoga, CA 95070  
 408-393-1185  
**ENERGY CONSERVATION**  
 FRI Energy Consultants  
 21 N. Harrison Ave.  
 Suite 210  
 Campbell, CA 95008  
 408-866-1620  
 Note: Exterior Stucco siding and composition roof will be used throughout the project utilizing the same colors

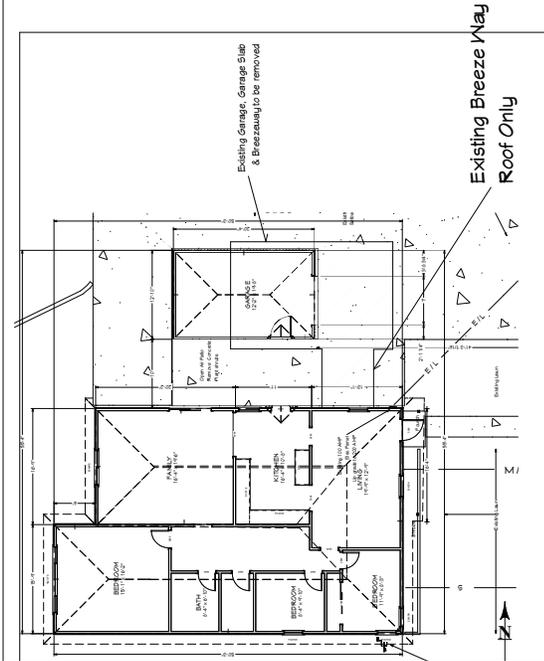
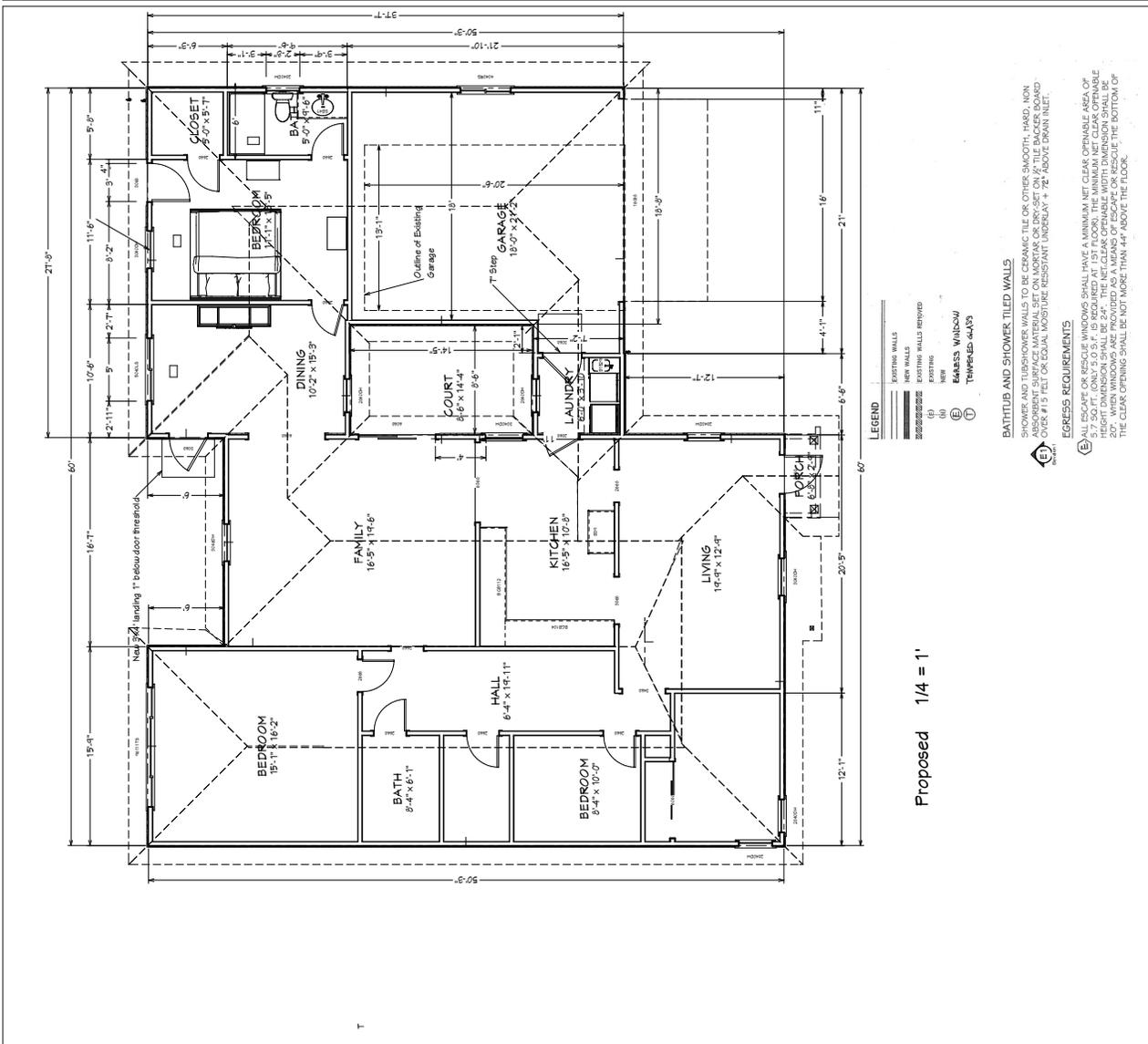
**PROJECT DESCRIPTION**  
 Proposed 1 story addition to an existing 1 story residence to add 1 dining room, 1 laundry room, 1 bedroom w/closet and 1 bathroom. Replace (demolish) one car detached garage with a two car attached garage.  
 No grading or tree removal proposed

**PROJECT SUMMARY**  
 ASSESSORS PARCEL NUMBER 406-01-008

DEVELOPMENT DATA	Square Feet		Percent of Site	
	Existing	Proposed	Existing	Proposed
BUILDING COVERAGE	1,552.0	2,035.0	16.5	21.6
LANDSCAPE COVERAGE	5,973.0	5,907.0	63.7	63.0
PAVING COVERAGE	1,950.0	1,025.0	19.8	11.0
FLOOR AREA RATIO			16.5	21.6



PLOT PLAN 1/8" = 1'

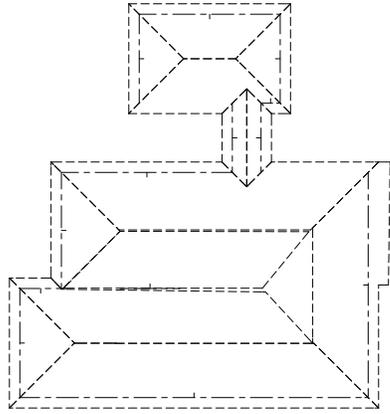


Existing Structure & Demo Plan 1/8" = 1'

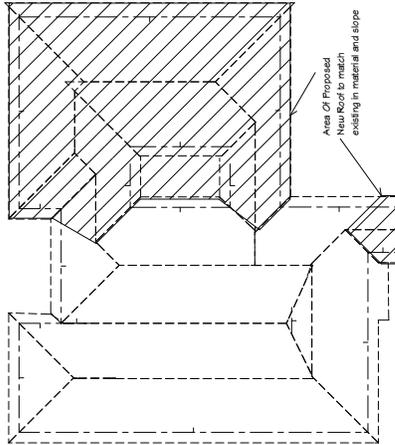
PROPOSED AREA TABLE	AREA P1	27.7 X 15.75 =	436
AREA P2	6.5 X 7.2 =	47	
AREA P3	18.75 X 21.7 =	407	
AREA P4	2.1 X 7.2 =	15	
TOTAL	905 / (EXISTING) 1025 =	49.15%	

ADDITION SQ FOOTAGE CALC 1/8" = 1'

Existing Foundation and Floor Slab to remain



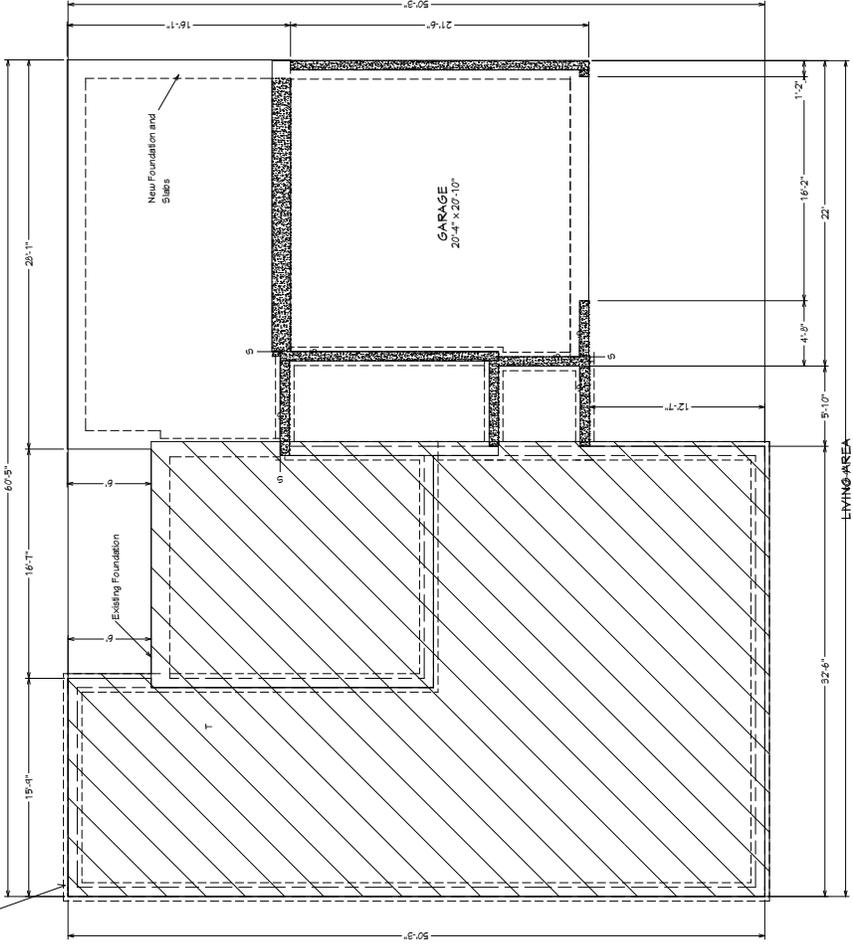
Current Roof Plan 1/8" = 1' 4/12 Pitch



Proposed Roof Plan 1/8" = 1' 4/12 Pitch

GENERAL NOTES

- ALL CONSTRUCTION MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE CURRENT EDITION OF THE CRC, LOCAL CODES, AND THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE.
- CONTRACTORS AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. DIMENSIONS SHALL BE TAKEN FROM THE EXISTING FOUNDATION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE DIMENSIONS.
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Foundation 1/4" = 1'

<p>REVISION TABLE</p> <table border="1"> <thead> <tr> <th>NUMBER</th> <th>DATE</th> <th>REVISION BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NUMBER	DATE	REVISION BY	DESCRIPTION													<p>Foundation Plan</p>	<p>Mu Family Addition 611 Virginia Avenue Campbell, CA 95008</p>	<p>DRAWINGS PROVIDED BY: Vagione Properties 12747 Saratoga Glen Ct. Saratoga, CA 95078</p>	<p>DATE: 7/30/2015</p>	<p>SCALE:  </p>	<p>SHEET: A3</p>
NUMBER	DATE	REVISION BY	DESCRIPTION																			

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

Elevations

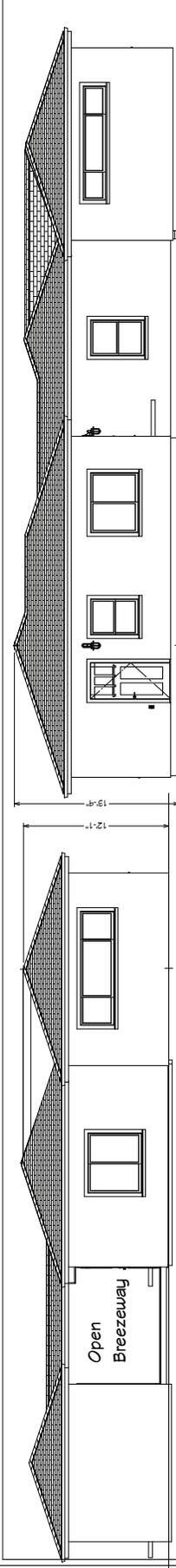
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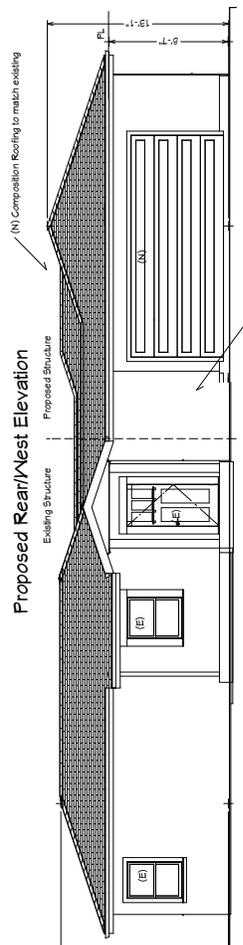
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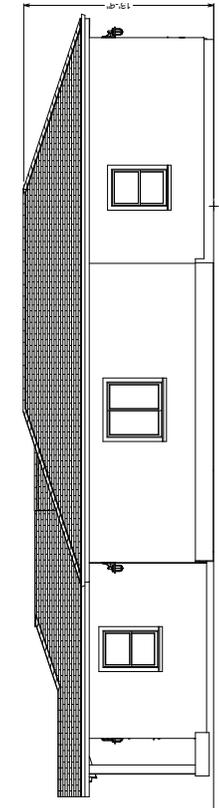
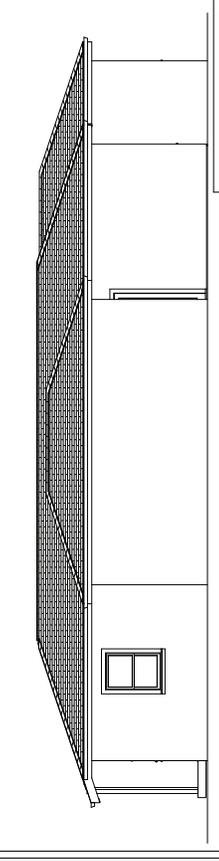
Existing Rear/West Elevation 1/4" = 1'



Proposed Rear/West Elevation

Existing Street/East View

Proposed Street/East Elevation 1/4"=1'

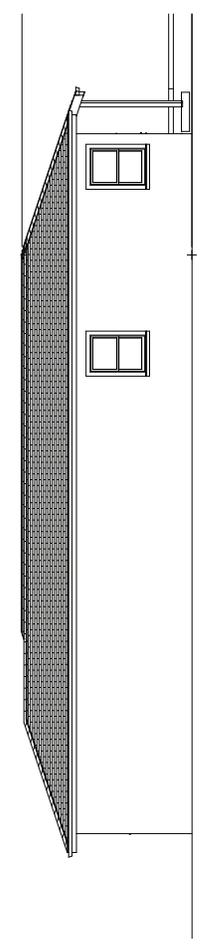


Existing Right Side/ North Elevation

Proposed Right Side/ North Elevation

Note: Exterior Stucco siding and composition roof will be used through out the project utilizing the same colors

Landscaping will not be changed. Project will remove only existing Hard Scape



Existing and Left Side/ South Proposed Elevations - No Changes

Note: Proposed expansion will use matching Composition Roof Materials, Matching Stucco and Trim finish and match colors to the existing structure.