



**CITY OF CAMPBELL**  
**Community Development Department**

May 29, 2015

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **June 9, 2015**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Payman Farzaneh for a Site and Architectural Review Permit (PLN2014-313) to allow the construction of a two-story single-family residence on property located at **1365 Juanita Way** in the R-1-10 (Single Family Residential) Zoning District. Staff is recommending that this project be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

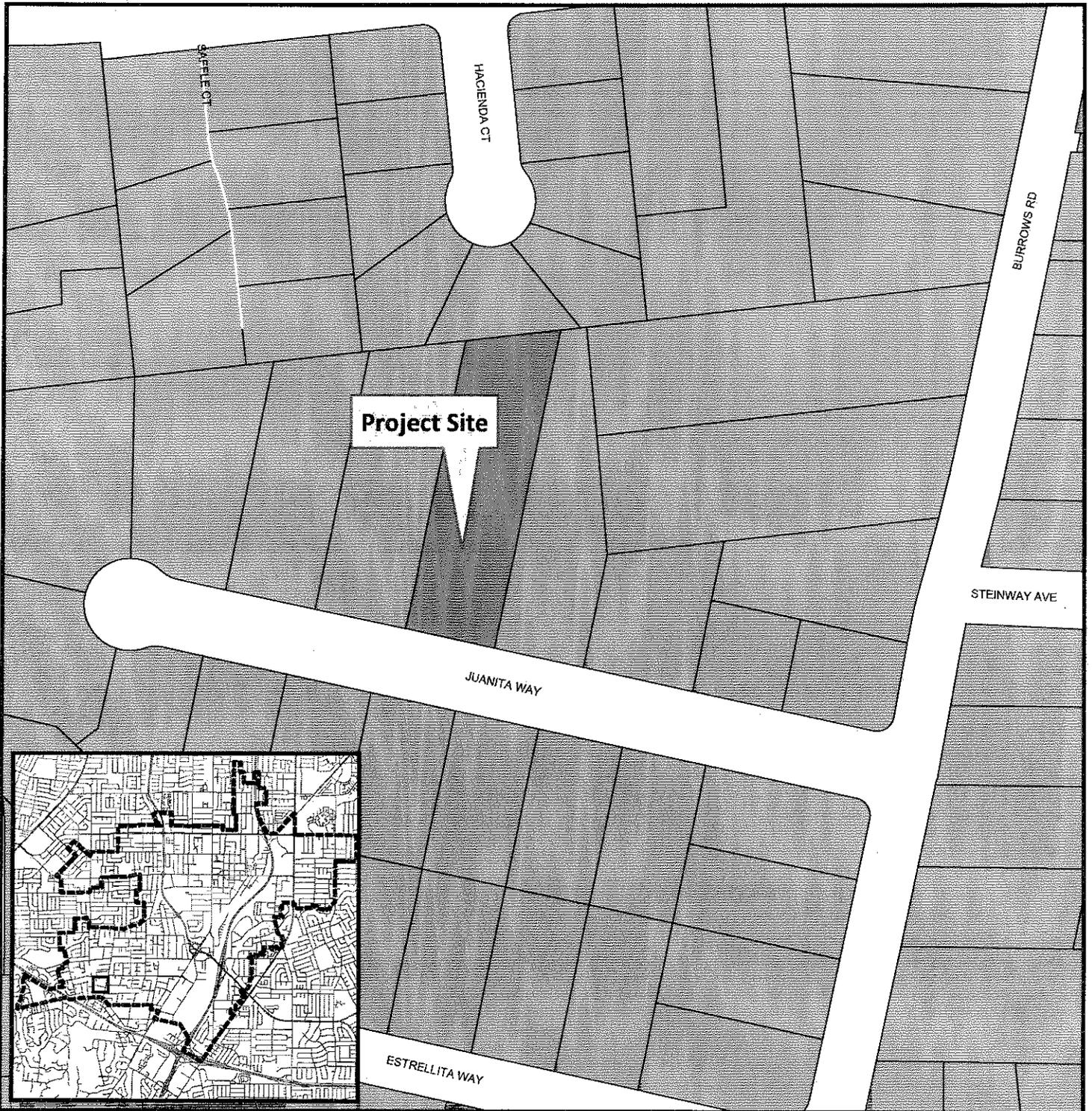
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

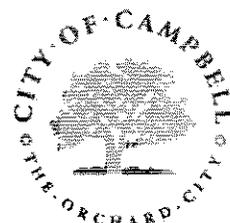
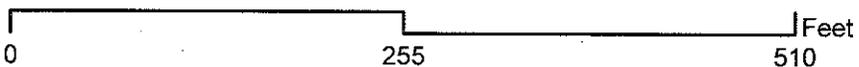
**PLANNING COMMISSION**  
**CITY OF CAMPBELL**  
**PAUL KERMOYAN**  
**SECRETARY**

**PLEASE NOTE:** When calling about this Notice,  
please refer to: **1365 Juanita Way**

# Project Location Map



**Project Location:** 1365 Juanita Way  
**Application Type:** Site and Arch. Review Permit  
**Planning File No.:** PLN2014-262  
**Description:** New Single-Family Residence



Community Development Department  
Planning Division

# NEW SINGLE FAMILY HOME FARZANEH'S RESIDENCE 1365 JUANITA WAY, CAMPBELL CA 95008 APN #: 403-16-016

## PROJECT DATA:

ZONING DISTRICT..... R-1-10  
 NUMBER OF FLOORS..... TWO  
 FIRE PROTECTION..... MFG SPRINKLER  
 CONSTRUCTION TYPE..... VB  
 OCCUPANCY CLASSIFICATION..... R-3U

### APPLICABLE CODES:

2013 CALIFORNIA BUILDING CODE  
 2013 CALIFORNIA RESIDENTIAL CODE  
 2013 CALIFORNIA ADMINISTRATIVE CODE  
 2013 CALIFORNIA FIRE CODE  
 2013 CALIFORNIA PLUMBING CODE  
 2013 CALIFORNIA ELECTRICAL CODE  
 2013 CALIFORNIA FIRE CODE  
 2013 CALIFORNIA ENERGY CODE

### ABBREVIATIONS:

CRC ..... CALIFORNIA RESIDENTIAL CODE 2010  
 CEC ..... CALIFORNIA ELECTRICAL CODE 2010  
 CBC ..... CALIFORNIA BUILDING CODE 2010  
 CMC ..... CALIFORNIA MECHANICAL CODES 2010  
 UL ..... UNDERWRITERS LABORATORY  
 IBCO ..... INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS

APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR BUILDING IN SUCH A POSITION AS TO BE CLEARLY VISIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY. LETTERS OR NUMBERS SHALL BE MINIMUM 4" IN HEIGHT AND STROKE OF MINIMUM 1/2" OF A CONTRASTING COLOR TO THE BACKGROUND ITSELF. ADDRESSING SHALL BE ILLUMINATED AT NIGHT. "CNC" IS 1581.1

PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM PER CRC CALIFORNIA RESIDENTIAL CODE. PROVIDE AUTOMATIC FIRE ALARM SYSTEM PER UNDER SEPARATE PERMIT. THESE INFORMATION IS DEFERRED SUBMITTAL.

ALL NEW AND EXISTING UTILITIES SHALL BE PLACED UNDERGROUND WITH NO EXCEPTION.

## AREAS:

LOT SIZE AREA = 21,432 SQ. FT. = .05 ACRE  
 MAX. ALLOWABLE F.A.R. = 45% = 9,644.4 SQ. FT.  
 PROVIDED F.A.R. = 23.94% = 5,130.9 SQ. FT.  
 MAX. ALLOWABLE LOT COVERAGE = 39% = 7,501.2 SQ. FT.  
 PROVIDED LOT COVERAGE = 16.64% = 3,515 SQ. FT.

GARAGE AREA..... 468.1 SQ. FT.  
 MAIN HOUSE AREA..... 4,732.2 SQ. FT.  
 SECOND FLOOR AREA..... 1,713.2 SQ. FT.  
 POOL HOUSE..... 1,733.0 SQ. FT.  
 TOTAL PROVIDED LOT COVERAGE..... 3,515 SQ. FT.

## SCOPE OF THE WORK:

DEMOLISH AND REMOVE EXISTING OLD BUILDING AND CONSTRUCT NEW TWO STORY HOUSE PLUS POOL HOUSE AND IN-LAW SUITE PER SITE PLAN.

## CONSULTANTS:

LAND SURVEY: SHAW ENGINEERS  
 10014 CANON LANE, LOS ALTOS, CA 94024  
 TEL: (650) 341-8855 FAX: (650) 341-8755

## PARCEL MAP

NOT TO SCALE



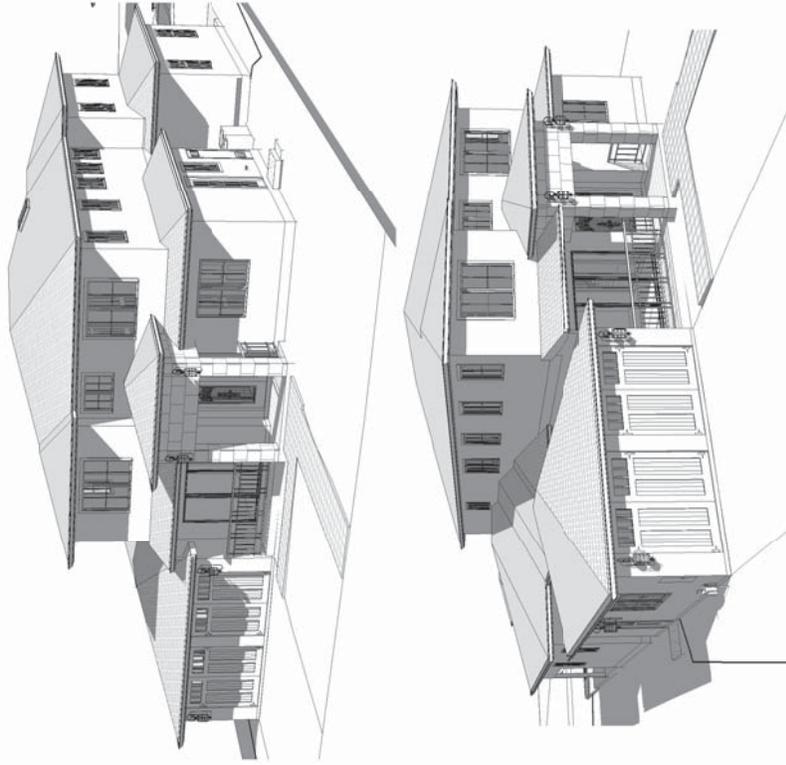
## VICINITY MAP

NOT TO SCALE



Sheet Number	Sheet Name
A0	COVER SHEET
A1	SITE PLAN
A2	FIRST FLOOR PLAN (MAIN HOUSE)
A3	SECOND FLOOR PLAN (MAIN HOUSE)
A4	LANDSCAPE PLAN
A5	FRONT & RIGHT ELEVATIONS (MAIN HOUSE)
A6	REAR & LEFT ELEVATIONS (MAIN HOUSE)
A7	POOL HOUSE PLAN, ROOF ELEVATIONS AND SECTION
A8	MAIN HOUSE CROSS SECTIONS
A9	AREA & LOT COVERAGE CALCULATIONS
A10	PHOTOGRAPHS AND STREET SCOPE
A11	LANDSCAPE PLAN

1 of 4	TITLE SHEET GRADING & DRAINAGE PLANS
2 of 4	GRADING & DRAINAGE PLAN PLUS DETAIL
3 of 4	GRADING & DRAINAGE DETAILS
4 of 4	BLUE PRINT FOR A CLEAN BAY
11	TOPO SURVEY



No.	Description	DATE

871 EAST HAMILTON AVE.  
 SUITE "D"  
 CAMPBELL, CA 95008  
 TEL: (408) 209 8942



DESIGN BY:

## COVER SHEET

NEW SINGLE FAMILY FOR:  
 PAYMAN FARZANEH  
 1365 JUANITA WAY  
 CAMPBELL, CA 95008

DATE: 09-26-2014  
 SCALE:  
 DRAWN:  
 E.K.  
 JOB NUMBER: 2014-R01  
 SHEET

A0  
 SHEETS  
 OF



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	09/26/2014
2		
3		
4		
5		

871 EAST HAMILTON AVE.  
SUITE "D"  
CAMPBELL, CA 95008  
TEL: (408) 209 8942



DESIGN BY:

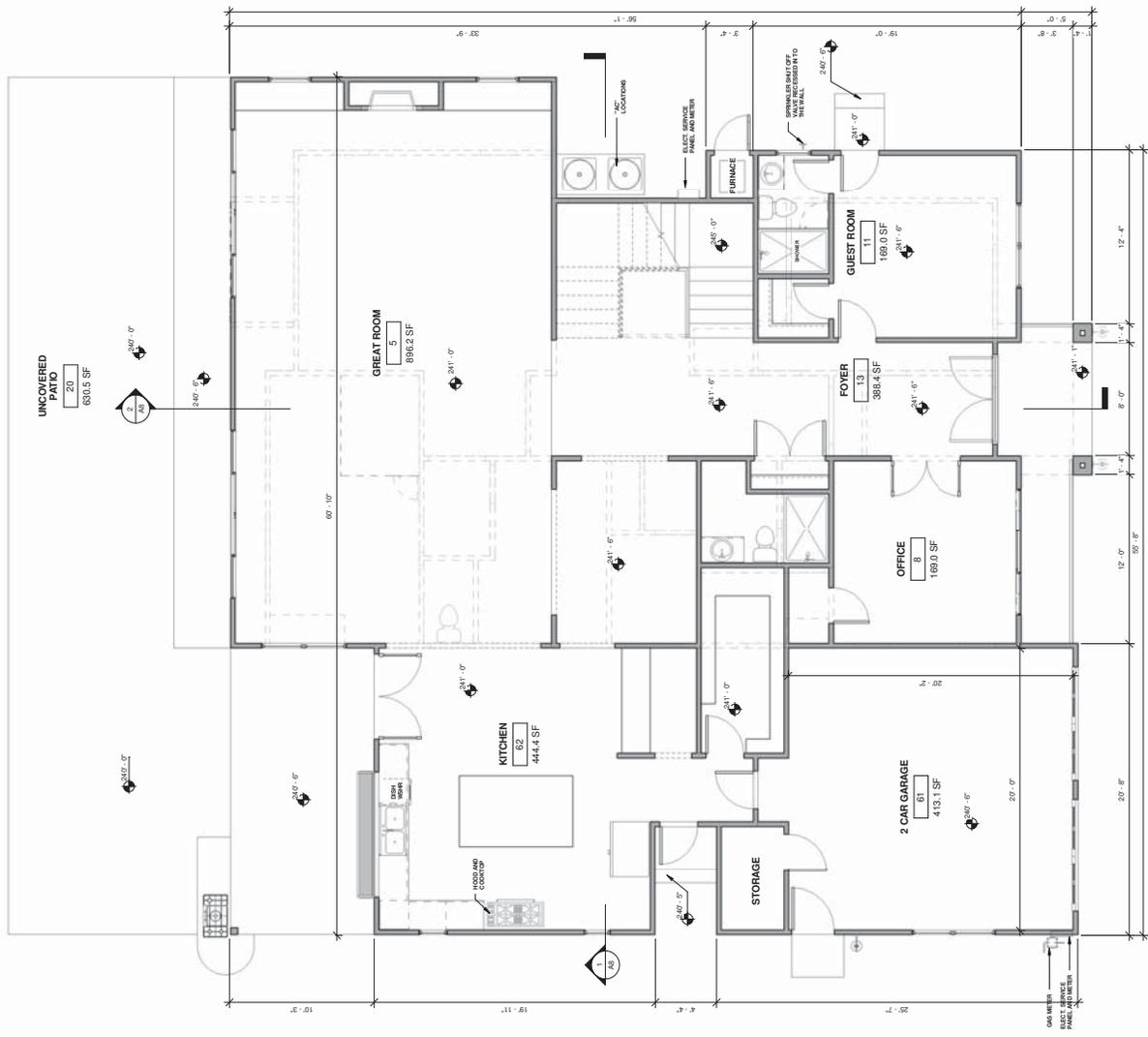
FIRST FLOOR PLAN (MAIN HOUSE)

NEW SINGLE FAMILY FOR:  
PAYMAN FARZANEH  
1365 JUANITA WAY  
CAMPBELL, CA 95008

DATE: 09-26-2014  
SCALE: 1/4" = 1'-0"  
DRAWN: B.K.  
JOB NUMBER: 2014-R01

SHEET  
A2  
OF

1 FIRST FLOOR (MAIN HOUSE)  
A2 1/4" = 1'-0"



DATE: 09-26-2014  
SCALE: 1/4" = 1'-0"  
DRAWN: B.K.  
JOB NUMBER: 2014-R01

SHEET  
A2  
OF

No.	Description	Date

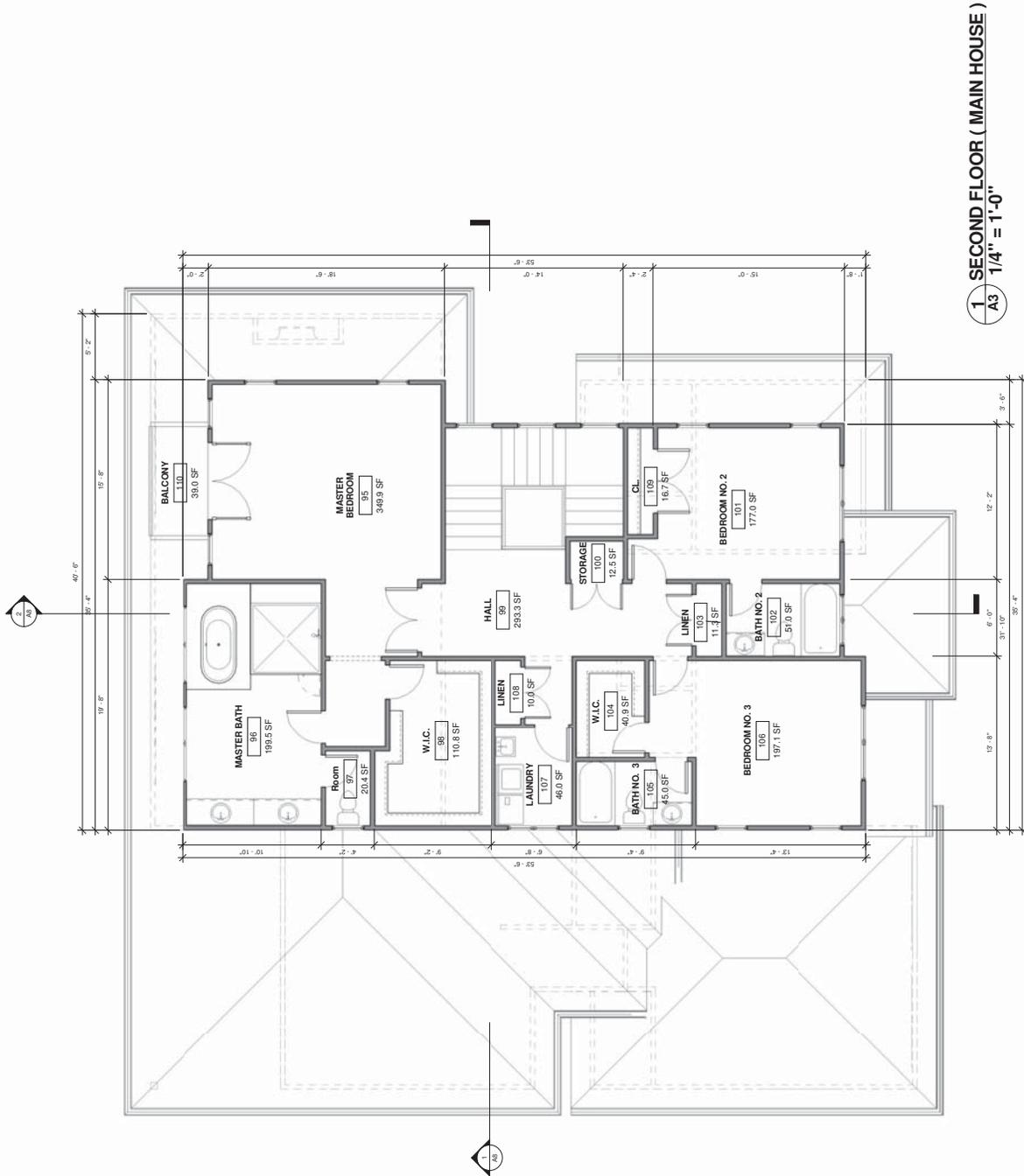
871 EAST HAMILTON AVE.  
SUITE "D"  
CAMPBELL, CA 95008  
TEL: (408) 209 8942

DESIGN BY:  
**BAY AREA**  
CONSTRUCTION  
MEMBER OF

SECOND FLOOR PLAN (MAIN HOUSE)

NEW SINGLE FAMILY FOR:  
PAYMAN FARZANEH  
1365 JUANITA WAY  
CAMPBELL, CA 95008

DATE: 09-26-2014  
SCALE: 1/4" = 1'-0"  
DRAWN: B.K.  
JOB NUMBER: 2014-F01  
SHEET  
A3  
SHEETS  
OF



1 SECOND FLOOR ( MAIN HOUSE )  
A3 1/4" = 1'-0"





NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	09-25-2014
2		
3		
4		
5		

871 EAST HAMILTON AVE.  
 SUITE "D"  
 CAMPBELL, CA 95008  
 TEL: (408) 209 8942



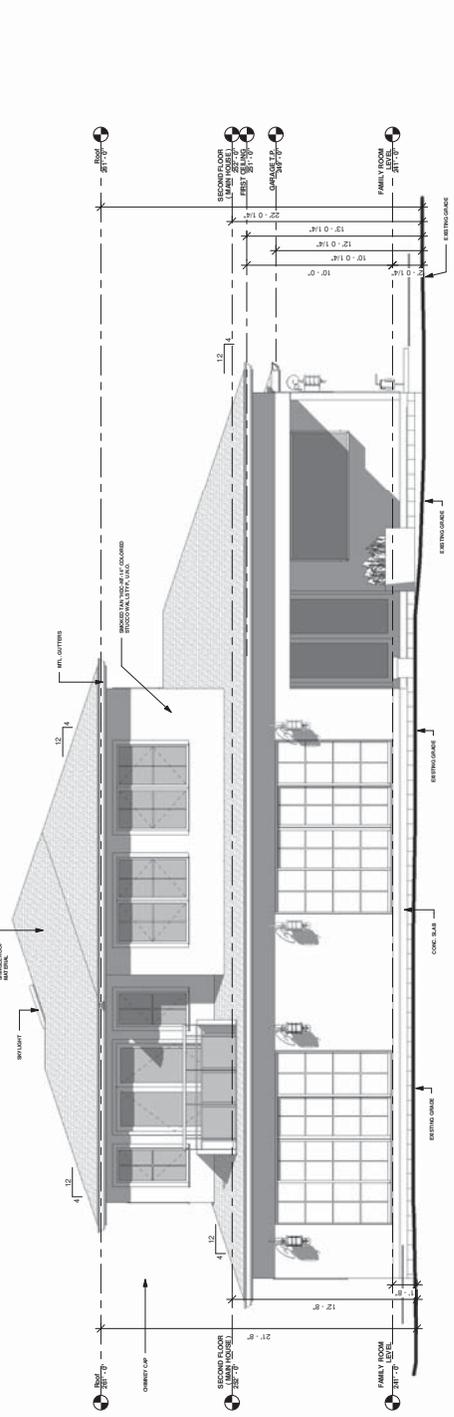
DESIGN BY:

REAR & LEFT ELEVATIONS (MAIN HOUSE)

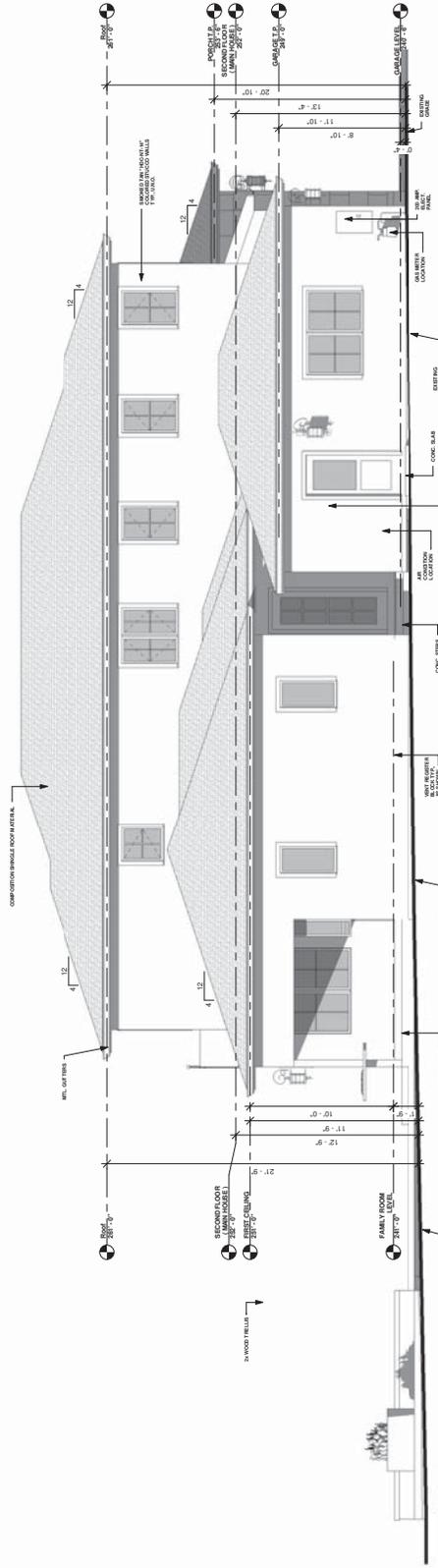
NEW SINGLE FAMILY FOR:  
 PAYMAN FARZANEH  
 1365 JUANITA WAY  
 CAMPBELL, CA 95008

DATE: 09-25-2014  
 SCALE: 1/4" = 1'-0"  
 DRAWN: B.K.  
 JOB NUMBER: 2014-R01  
 SHEET

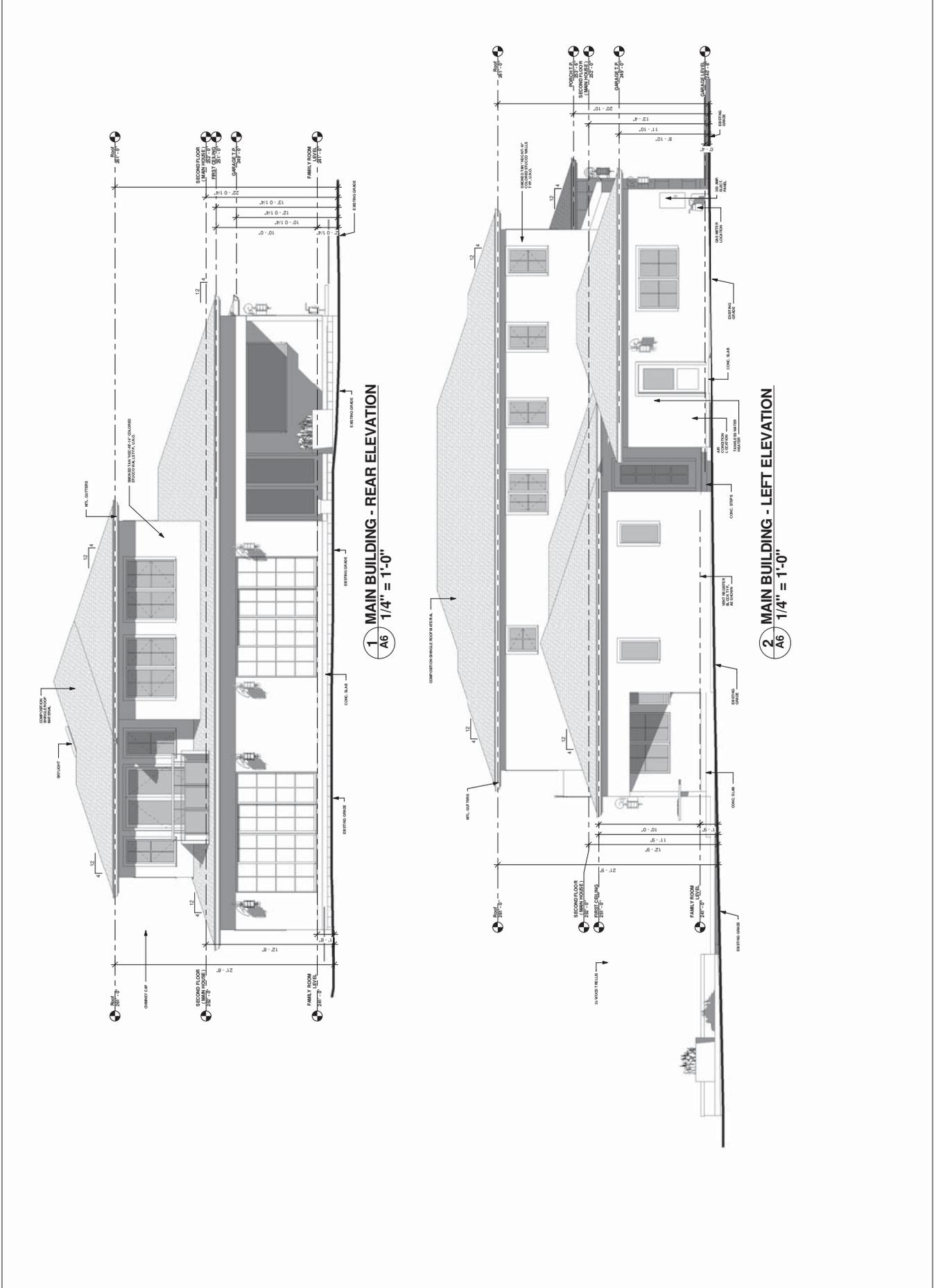
A6  
 SHEETS  
 OF



1 MAIN BUILDING - REAR ELEVATION  
 A6 1/4" = 1'-0"



2 MAIN BUILDING - LEFT ELEVATION  
 A6 1/4" = 1'-0"







NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	09/26/2014

871 EAST HAMILTON AVE.  
SUITE "D"  
CAMPBELL, CA 95008  
TEL: (408) 209 8942

CONSTRUCTION  
BAY AREA  
DESIGN BY :

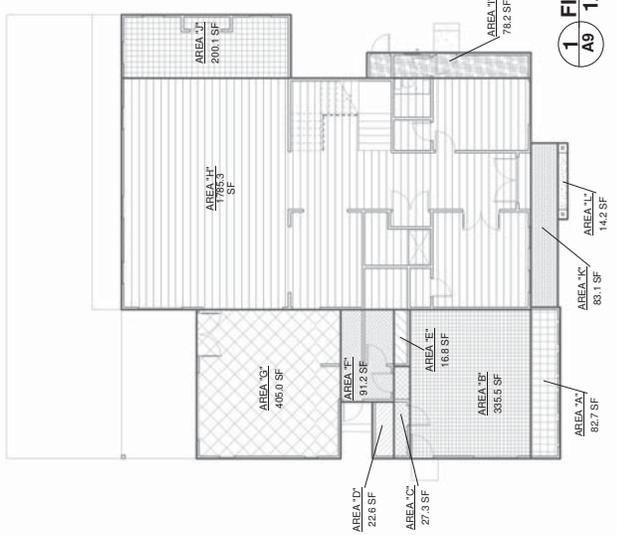
AREA & LOT COVERAGE  
CALCULATIONS

NEW SINGLE FAMILY FOR:  
PAYMAN FARZANEH  
1365 JUANITA WAY  
CAMPBELL, CA 95008

DATE: 09-26-2014  
SCALE: 1/8" = 1'-0"  
DRAWN: Author  
JOB NUMBER: 2014-FR01  
SHEET

A9  
SHEETS  
OF

SPACE	AREA SQ. FT.	TOTAL SQ. FT.
AREA "A"	82.7	468.1
AREA "B"	385.5	
AREA "C"	27.3	
AREA "D"	22.8	
AREA "E"	16.8	
AREA "F"	91.2	2,776.6
AREA "G"	405	
AREA "H"	1785.3	
AREA "I"	78.2	
AREA "J"	200.1	97.3
AREA "K"	83.1	
AREA "L"	14.2	



1 FIRST FLOOR (MAIN HOUSE)  
A9 1/8" = 1'-0"

SPACE	AREA SQ. FT.	TOTAL SQ. FT.
AREA "M"	289.8	173.2
AREA "N"	1019.4	
AREA "O"	381.2	
AREA "P"	22.8	



2 SECOND FLOOR (MAIN HOUSE)  
A9 1/8" = 1'-0"



3 POOL HOUSE  
A9 1/8" = 1'-0"

PROVIDED LOT COVERAGE :  
GARAGE + 1ST FLOOR + COVERED PORCH + POOL HOUSE =  
468.1 + 2776.6 + 97.3 + 173 = 3,515 SQ. FT.

PROVIDED FLOOR AREA RATION:  
GARAGE + 1ST FLOOR + SECOND FLOOR + POOL HOUSE =  
468.1 + 2776.6 + 1,713.2 + 173 = 5,130.9 SQ. FT.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	09/26/2014
2		
3		
4		
5		

871 EAST HAMILTON AVE.  
SUITE "D"  
CAMPBELL, CA 95008  
TEL: (408) 209 8942

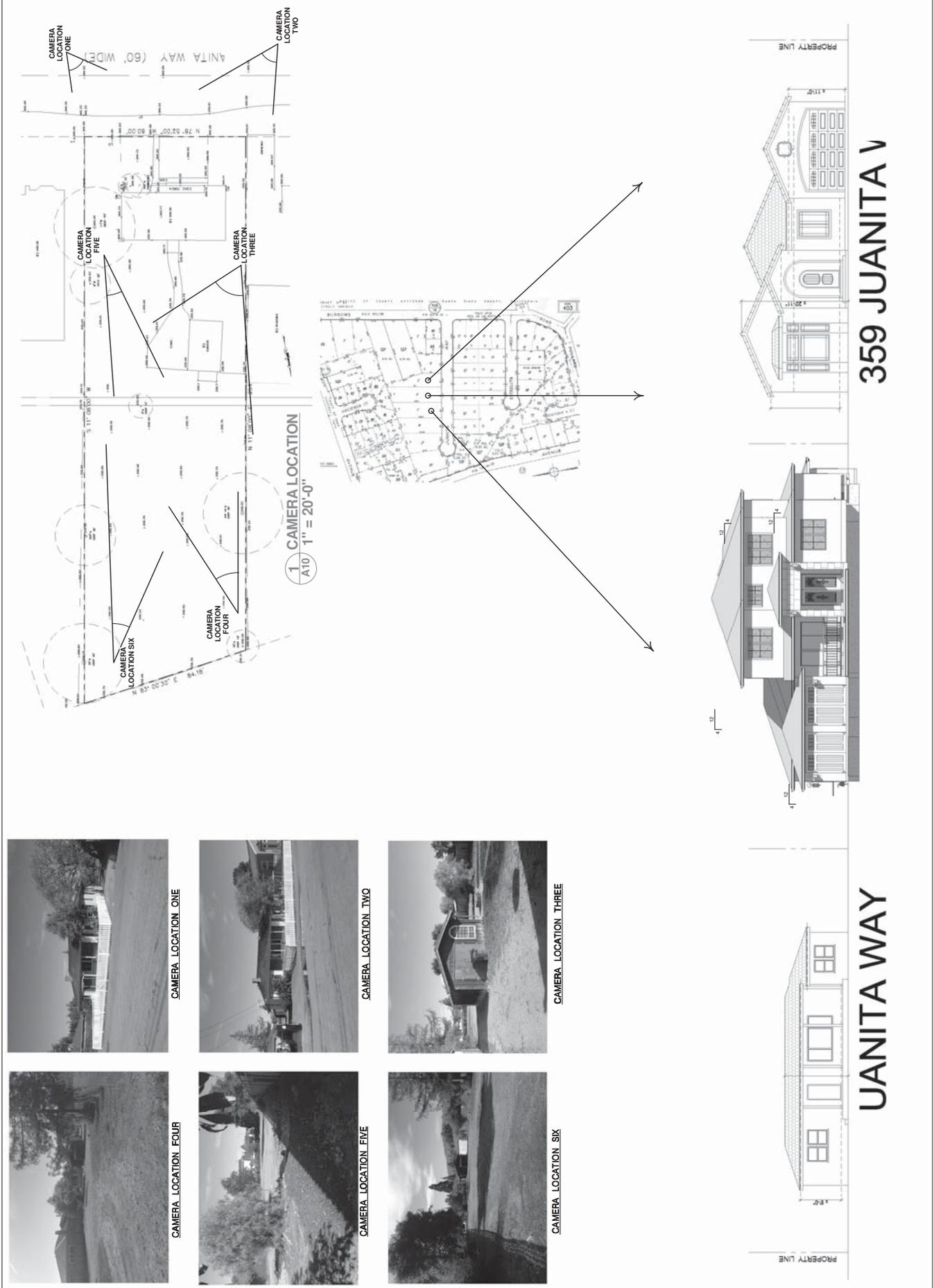
DESIGN BY:  
**BAY AREA CONSTRUCTION**  
MEMBER OF

PHOTOGRAPHS AND STREET  
SCAPE  
CONSTRUCTION

NEW SINGLE FAMILY FOR:  
PAYMAN FARZANEH  
1365 JUANITA WAY  
CAMPBELL, CA 95008

DATE: 09-26-2014  
SCALE: As Indicated  
DRAWN: Author  
JOB NUMBER: 2014-R01  
SHEET

A10  
SHEETS  
OF



CAMERA\_LOCATION\_ONE



CAMERA\_LOCATION\_TWO



CAMERA\_LOCATION\_THREE



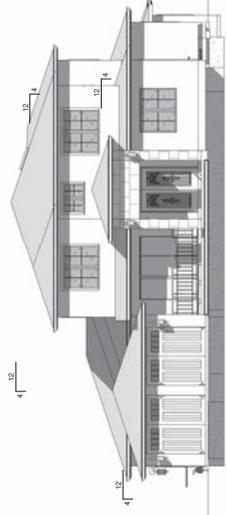
CAMERA\_LOCATION\_FOUR



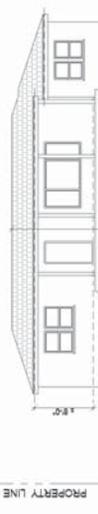
CAMERA\_LOCATION\_FIVE



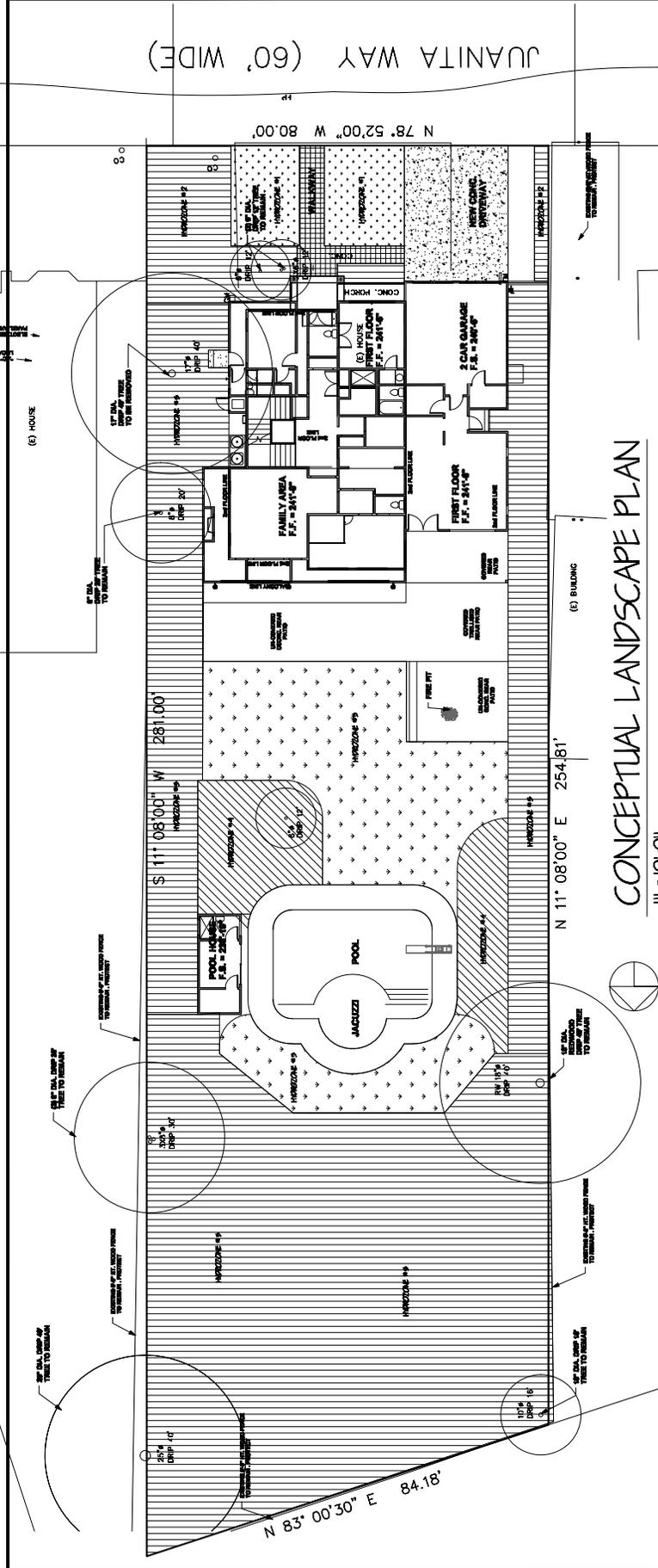
CAMERA\_LOCATION\_SIX



359 JUANITA V



JUANITA WAY



CONCEPTUAL LANDSCAPE PLAN  
1" = 10'-0"

**SITE AREA**

Site	214355 sf
Proposed House and Garage	3244 sf
Driveway	560 sf
Entry/Steps	302 sf
Pool/Patio	1290 sf
Additional Paving	30 sf
<b>Total</b>	<b>7074 sf</b>
<b>Landscape Area</b>	<b>214355 - 7074 = 143615 sf</b>

**WATER BUDGET CALCULATIONS**  
 MAVA (Maximum Allowed Water Allowance)  
 MAVA = (eto) x (0.62) (0.7 x LA) x (0.3) x (SLA)  
 Eto = evapotranspiration rate (45.3 for Campbell)  
 0.62 = conversion factor  
 LA = landscape area  
 SLA = special landscape area  
 MAVA = (45.3)(0.62)(0.7)(4962) = 882,360 gallons per year  
 ETLU (Estimated Water Use)  
 ETLU = (eto) (Eto)(SLA)  
 Eto = evapotranspiration rate (45.3 for Campbell)  
 Eto = evapotranspiration rate (high, medium, low water needs by square foot)  
 HA = hydrozone area (high, medium, low water needs by square foot)  
 PE = plant factor (from IUCOLS)  
 IE = irrigation efficiency (85 for proposed drip application, 75 for notor)  
 Hydrozone #1 = front yard lawn - high water hydrozone  
 (45.3)(0.62)(7.7 x 590) = 2808 x 550.67 = 1,546,3 gallons per year  
 Hydrozone #2 = front yard landscape - low water hydrozone  
 (45.3)(0.62)(4.3 x 790) = 2808 x 278.82 = 783,0 gallons per year  
 Hydrozone #3 = rear yard lawn - high water hydrozone  
 (45.3)(0.62)(7.5 x 2455) = 2808 x 2591.33 = 64,340 gallons per year  
 Hydrozone #4 = rear yard landscape - medium water hydrozone  
 (45.3)(0.62)(5.4 x 9661) = 2808 x 560 = 16,286 gallons per year  
 Hydrozone #5 = rear yard landscape - low water hydrozone  
 (45.3)(0.62)(7.85 x 9560) = 2808 x 3374.11 = 94,745 gallons per year  
 ETLU = 198,644 gallons per year (see MAVA)

**HYDROZONE DESIGN**

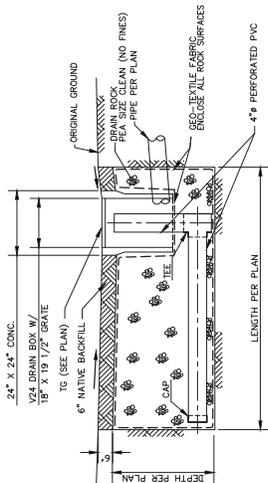
High water hydrozone (lawn)	Hydrozone #1 - front yard lawn - 590 sf
Medium water hydrozone	Hydrozone #2 - front yard landscape - 790 sf
Low water hydrozone	Hydrozone #3 - rear yard lawn - 2455 sf
	Hydrozone #4 - rear yard landscape - 986 sf
	Hydrozone #5 - rear yard landscape - 9560 sf

**SCHEMATIC PLANT LEGEND**

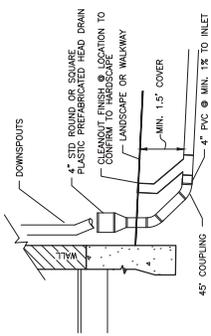
Species	Water Need	Plant Name	Water Need
	high	Calamagrostis Karl Forester / Ornamental Grass	low
	low	Ribes sanguinatum / Red Currant	low
	low	Viburnum sp.	low
	low	Liriodendron chinense / Bittersweet	low
	low	Viburnum lino-Syriacum / Spotted Viburnum	low
	low	Rosa rugosa / Rugosa Rose	low
	medium	Tree roses	low
	low	Lawsonia alba / Tree Mallow	low
	low	Prunus apricot Queen / Plum	low
	low	Lawsonia alba / Spanish Lavender	low
	low	Arctostaphylos uva-ursi / Manzanita	low
	medium	Prunus laurocerasus / English Laurel	medium
	low	Cotoneaster / Snow Tree	low

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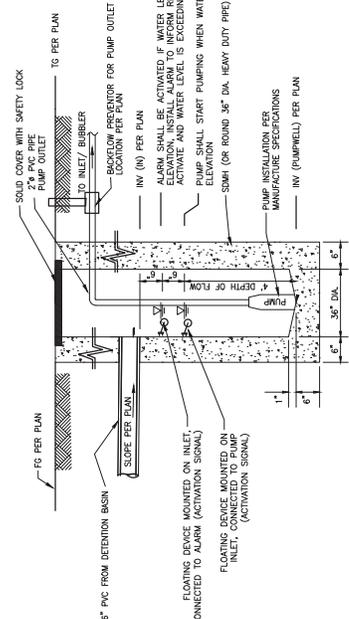




**SHALLOW GRAVEL BASIN**  
ELEVATION VIEW - NTS

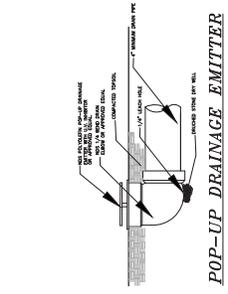


**ROOF DOWN-SPOUT CONNECTION**  
N.T.S.

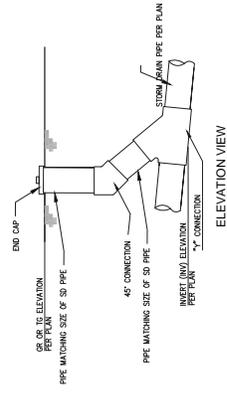


**PUMPWELL DETAIL FOR OVERFLOW**  
ELEVATION VIEW - NTS

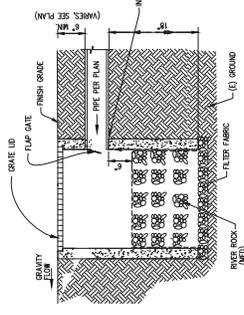
- PUMP NOTES:**
- HARD WIRE THE PUMPS TO PREVENT ANY UNPLUGGING.
  - PUMPS TO BE CONNECTED TO BACKUP GENERATORS TO PREVENT FLOODING IN CASE OF BLACKOUT.
  - PROVIDE BACK FLOW PREVENTOR VALVE FOR PUMP OUTLET.
  - PROVIDE RESERVE PUMP FOR EACH PUMP WELL.
  - PROVIDE FLOATING DEVICE, CONNECTED TO SOUND/LIGHT IN PUMPWELL, TO NOTIFY RESIDENTS OF POSSIBLE RISE OF WATER IN PUMPWELL.



**POP-UP DRAINAGE EMITTER**  
N.T.S.

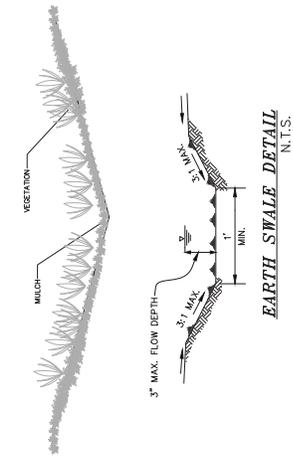


**STORM DRAIN CLEANOUT DETAIL**  
N.T.S.

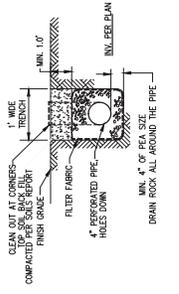


**BUBBLER BOX DETAIL**  
N.T.S.

- NOTES:**
- RIGID PLASTIC, A.C., C.I. OR STEEL PIPE ALLOWED TO BOX FROM PUMP.
  - BOX SHALL BE SET WITH ADJACENT GRADES SLOPING AWAY TO PREVENT RAINWATER & LANDSCAPE WATER FROM ENTERING.
  - BOX SHALL BE SET IN LANDSCAPE AREA TO FACILITATE PERCOLATION.
  - BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.
  - PERCOLATION SHALL BE FACILITATED BY PERFORATED PIPES, APPROX. LOCATED IN SWALE, VEGETATED OR RETENTION AREA.



**EARTH SWALE DETAIL**  
N.T.S.



**HOUSE SUBDRAIN DETAIL**  
N.T.S.



TITLE SHEET  
GRADING AND DRAINAGE PLANS  
PROJECT ADDRESS 1365 JUANITA WAY, CAMPBELL, CA  
PARCEL MAP M-BUILDING PERMIT NO. 20  
SMP ENGINEERS  
DATE: 12/23/2014  
DRAWN BY: S.F.  
DESIGNED BY: S.F.  
JOB NO.: 214125

SCALE: N.T.S.  
SHEET: 3 OF 4



