



CITY OF CAMPBELL
Community Development Department

February 24, 2015

NOTICE OF ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT

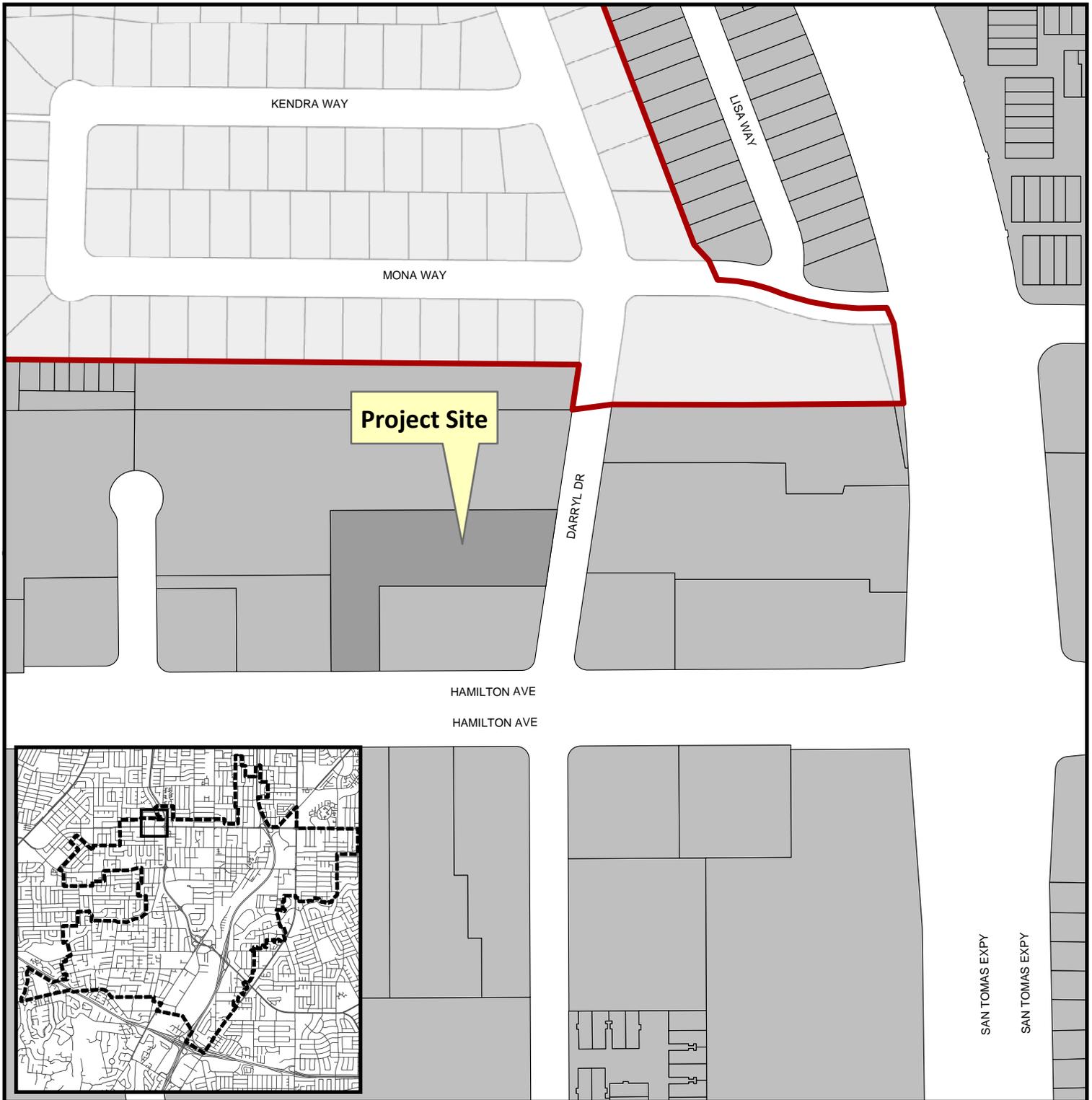
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Planned Development Permit for the following project proposal:

File No.:	PLN2015-07
Applicant:	Melissa Black
Project Address:	811 W. Hamilton Avenue
Property Owner:	E & N Speno Property
Zoning District:	P-D (Planned Development)
General Plan:	General Commercial
Project Description:	To allow the establishment of a personal service use (d.b.a. Honeycombers) out of an existing commercial tenant space

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on February 25, 2015 and ends on March 9, 2015. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **March 9, 2015**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Stephen Rose, Associate Planner, in the Community Development Department, at (408) 866-2142 or by email stephenr@cityofcampbell.com.

Project Location Map

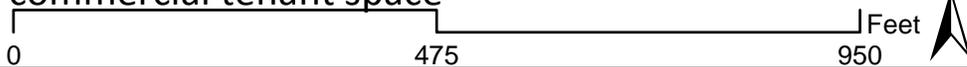


Project Location: 811 W. Hamilton Avenue

Application Type: Admin. Planned Development Permit

Planning File No.: PLN2015-07

Description: To establish a personal service use (d.b.a. Honeycombers) out of an existing commercial tenant space



Community Development Department
Planning Division

HONEYCOMBERS

APN: 307-33-003
811 W HAMILTON AVE.
CAMPBELL, CA 95008

HONEYCOMBERS

VICINITY MAP



PROJECT LOCATION

PROJECT SUMMARY - CODE ANALYSIS

SCOPE OF WORK

INTERIOR RENOVATION FOR A SPA. NEW PARTITIONS, DOORS, ELECTRICAL, PLUMBING, CABINETWORK, LIGHTING.

PLANNING SCOPE OF WORK

NO EXTERIOR CHANGES TO THE BUILDING.

CONSTRUCTION TYPE

BUILDING IS TYPE V -- B W/O AUTOMATIC FIRE SPRINKLERS.

EXISTING BUILDING

THIS WORK OCCURS INSIDE AN EXISTING BUILDING. NOT ALL ASPECTS OF THE EXISTING BUILDING ARE FULLY COMPLIANT WITH THE CURRENT BUILDING CODE.

OCCUPANCY

THE TENANT SPACE IS A SPA AND IS A TYPE B OCCUPANCY.

TENANT SUITE AREA

1750 SQ. FT. TOTAL

OCCUPANT LOAD

OFFICE	255 SQ. FT.	100	3
TREATMENT	570 SQ. FT.	100	6
CLEANING	300 SQ. FT.	100	3
RECEPTION AREA	280 SQ. FT.	100	3
EMPLOYEE AREA	97 SQ. FT.	100	1

TOTAL OCCUPANCY 16

UNOCCUPIED AREA = TOILETS, HALL 350 SQ. FT.



BUILDING CODES AND STANDARDS:

CALIFORNIA CODE OF REGULATIONS (CCR): TITLES 8, 17, 22, 24, CALIFORNIA ADMINISTRATIVE CODE (CAC)

2013 - CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE (PART 1, TITLE 24, CCR)

2013 - CALIFORNIA BUILDING CODE, VOLUMES 1, 2 AND 3 (PART 2, TITLE 24, CCR) (2012 EDITION INTERNATIONAL BUILDING CODE WITH 2013 CALIFORNIA AMENDMENTS.)

2013 - CALIFORNIA ELECTRICAL CODE, (PART 3, TITLE 24, CCR (2012 EDITION NATIONAL ELECTRIC CODE WITH 2013 CALIFORNIA AMENDMENTS)

2013 - CALIFORNIA MECHANICAL CODE, (PART 4, TITLE 24, (2012 EDITION IAPMO UNIFORM MECHANICAL CODE WITH 2013 CALIFORNIA AMENDMENTS)

2013 - CALIFORNIA PLUMBING CODE, (PART 5, TITLE 24, CCR) (2012 EDITION IAPMO UNIFORM PLUMBING CODE WITH 2013 CALIFORNIA AMENDMENTS)

2013 - CALIFORNIA ENERGY CODE (PART 6, TITLE 24, CCR)

2013 - CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE (PART 7, TITLE 24, CCR)

2013 - CALIFORNIA FIRE CODE (PART 9, TITLE 24, CCR)

2013 - CALIFORNIA REFERENCED STANDARDS CODE (PART 12, TITLE 24, CCR)

TITLE 19, CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS NATIONAL REFERENCE STANDARDS

ASD (ASCI) MANUAL OF STEEL CONSTRUCTION, CURRENT EDITION

NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, CURRENT REVISION

ACI-318-08 CODE & COMMENTARY

NFPA 13 2013 EDITION - THE INSTALLATION OF AUTOMATIC SPRINKLER SYSTEMS AS AMENDED

NFPA 14 2013 EDITION - INSTALLATION OF STANDPIPE, PRIVATE HYDRANT AND HOSE SYSTEMS

NFPA 17-A, WET CHEMICAL EXTINGUISHING SYSTEMS, CURRENT ADOPTED EDITION

NFPA 24 2013 - INSTALLATION OF PRIVATE FIRE SERVICES MAINS AND THEIR APPURTENANCES

NFPA 72 2013 EDITION - NATIONAL FIRE ALARM CODE, AS AMENDED

2013 NFPA 72 FIRE ALARM CODE W/ SFM AMENDMENTS

NFPA: LIFE SAFETY CODE HANDBOOK (LATEST EDITION)

NFPA - 13 PAMPHLET 20 - UBC STANDARD NUMBER 9-1 (LATEST EDITION)

CCR TITLE 24, PART 2: CHAPTER 9-1

ADA ACCESSIBILITY GUIDELINES (ADAAG) - CODE OF FEDERAL REGULATIONS (INCLUDING AMENDMENTS)

NOTE: CONTRACTOR SHOULD USE MOST RECENT VERSION OF ALL BUILDING CODES AND STANDARDS ADOPTED.

NOTE: THE CONTRACTOR IS REQUIRED TO COMPLY WITH THE ABOVE CODES AND REGULATIONS AND ALL OTHER APPLICABLE CODES OR ZONING REQUIREMENTS. ADVISE ARCHITECT OF ANY NONCOMPLIANCE IN THE CONSTRUCTION DOCUMENTS PRIOR TO PROCEEDING WITH THE CONSTRUCTION.

MECHANICAL NOTES

1. MECHANICAL (HVAC) SYSTEM IS EXISTING TO REMAIN. G.C. TO REBALANCE HVAC SYSTEM AS REQUIRED.

FIRE PROTECTION NOTES

1. PROVIDE PORTABLE FIRE EXTINGUISHERS (2A10BC) PER FIRE DEPARTMENT.

2. PROVIDE AND INSTALL OCCUPANT LOAD SIGNAGE ADJACENT TO FRONT ENTRY.

3. ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE, OR EFFORT.

INSPECTIONS

GENERAL CONTRACTOR SHALL ARRANGE FOR INSPECTIONS AS REQUIRED BY THESE DOCUMENTS AND/OR AS REQUIRED BY BUILDING CODE.

DEFERRED APPROVAL

NONE

DRAWING INDEX

ARCHITECTURAL

T-1 TITLE SHEET
T-2 NOTES

A-1.0 SITE PLAN

A-2.1 FLOOR PLAN

A-2.4 PLUMBING PLAN AND NOTES

A-2.5 PLUMBING WASTE PLAN

A-2.6 PLUMBING DETAILS

A-3.1 DOOR SCHEDULE; FINISH SCHEDULE

A-4.0 INTERIOR ELEVATIONS

A-4.1 INTERIOR ELEVATIONS

A-6.0 REFLECTED CEILING PLAN

A-6.1 CEILING FRAMING PLAN

A-9.0 INTERIOR DETAILS

A-9.1 DETAILS

A-9.2 WALL TYPES DETAILS

ELECTRICAL

E-1 ELECTRICAL SYMBOLS

E-2 LIGHTING AND POWER PLAN

E-3 ELECTRICAL SCHEDULES ; TITLE-24

E-4 SINGLE LINE DIAGRAM

PROJECT CONTACTS

OWNER

MELISSA BLACK
441 EL CAMINO REAL
MENLO PARK, CA 94025
TEL: (650) 868-4088

ARCHITECT

CHRISTOPHER CLANCY | ARCHITECTURE
2 N. 1ST STREET SUITE 205
SAN JOSE, CA 95113
TEL: (408) 774-4910
CONTACT: CHRIS CLANCY AIA

CONTRACTOR

DESIGN BUILD SYSTEMS
P.O. BOX 23696
SAN JOSE, CA 95153
TEL: (408) 224-7500
CONTACT: ALAN VARGO

ELECTRICAL ENGINEER

VK AND ASSOCIATES
4020 FABIAN WAY SUITE 302
PALO ALTO, CA 94303-3630
TEL: (650) 852-9516
CONTACT: VISHRAM KARMARK, P.E.

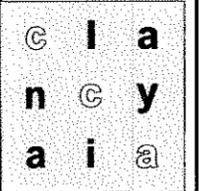
TITLE-24 CONSULTANT

VK AND ASSOCIATES
4020 FABIAN WAY SUITE 302
PALO ALTO, CA 94303-3630
TEL: (650) 852-9516
CONTACT: VISHRAM KARMARK, P.E.

Christopher Clancy AIA
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811 W HAMILTON AVE.
CAMPBELL, CA

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JAN 08 2015

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PLANNING DEPT.

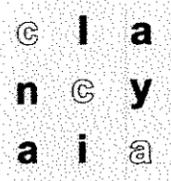
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BACKCHECK	<input checked="" type="checkbox"/>	12/06/14
PLANNING	<input checked="" type="checkbox"/>	01/07/15
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Title Sheet

T-1

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 www.cca-architect.com



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Site Plan

A-1.0

SITE PLAN KEY NOTES

(AS INDICATED BY #)

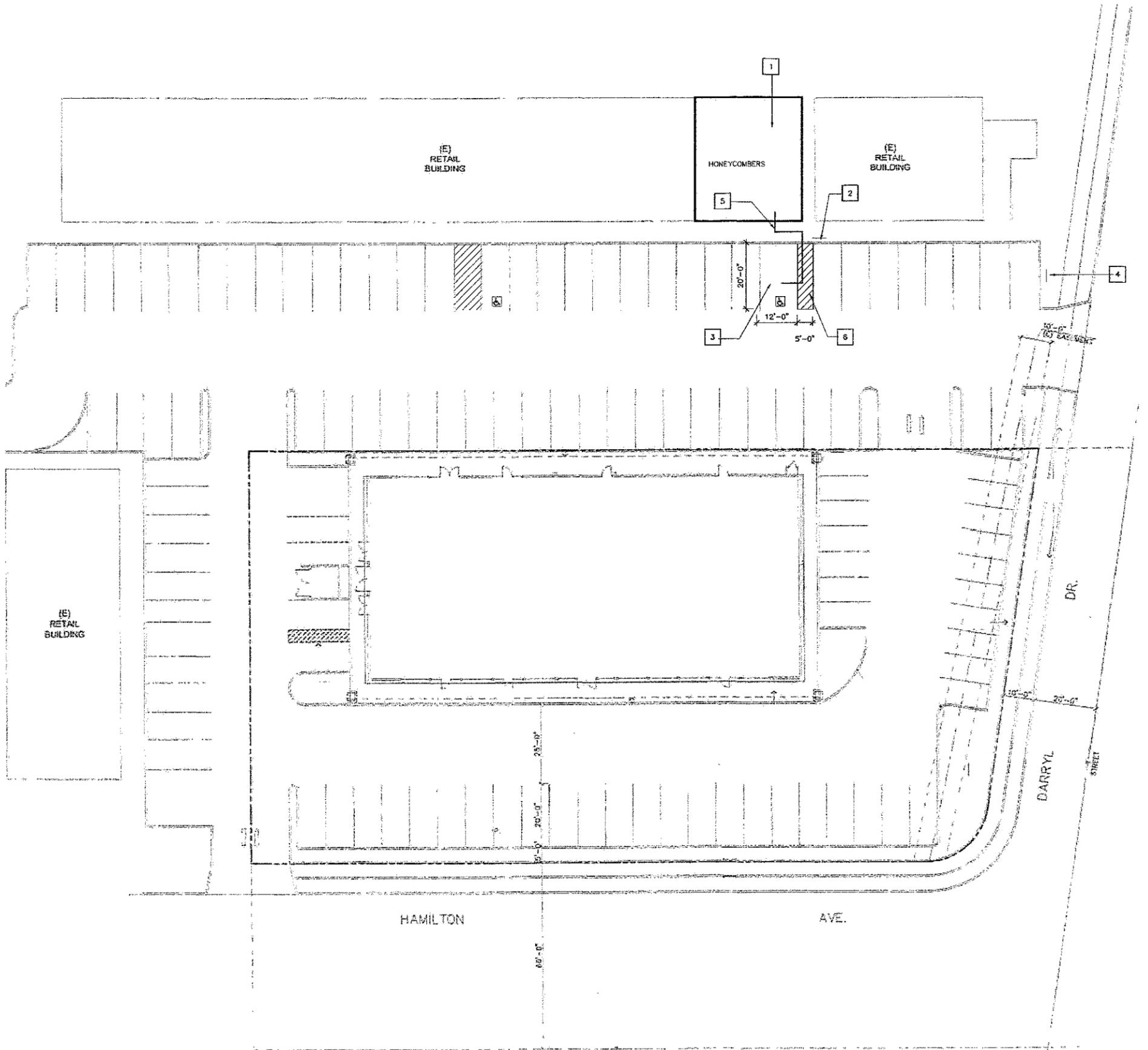
- (EXISTING BUILDING) PROJECT LOCATION
- (E) ACCESSIBLE PARKING SIGN (SEE 12/A9.0)
- (E) ACCESSIBLE PARKING STALL (VAN)
- (E) TOW AWAY SIGN SEE 11/A9.0
- ACCESSIBLE ROUTE
- (E) STRIPED NO PARKING AREA FOR VAN PARKING
5'-0" X 20'-0"

LEGEND

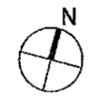
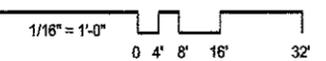
- PROPERTY LINE
- - - SETBACK LINE

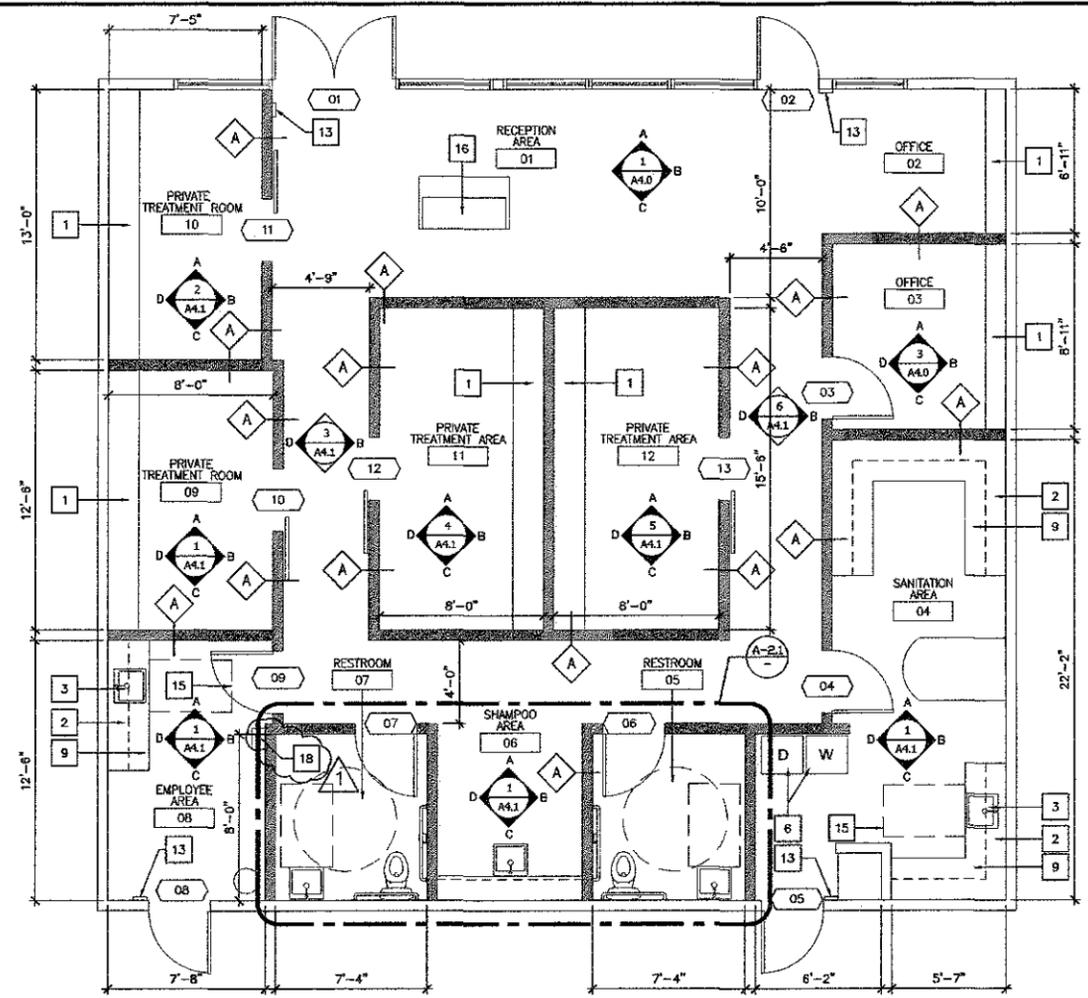
SITE PLAN NOTES

- ACCESSIBLE ROUTE OF TRAVEL FROM ACCESSIBLE PARKING SPACE TO TENANT'S MAIN ENTRANCE DOOR SHALL HAVE MAXIMUM SLOPE OF 5% IN DIRECTION OF TRAVEL AND MAXIMUM 2% CROSS-SLOPE
- ACCESSIBLE ENTRANCE IS FULLY ACCESSIBLE. THE ACCESSIBLE SYMBOL SHALL BE DISPLAYED ON OR NEAR THE MAIN TENANT DOOR.
- REFER TO CIVIL, LANDSCAPE, ELECTRICAL FOR ADDITIONAL SITE WORK.

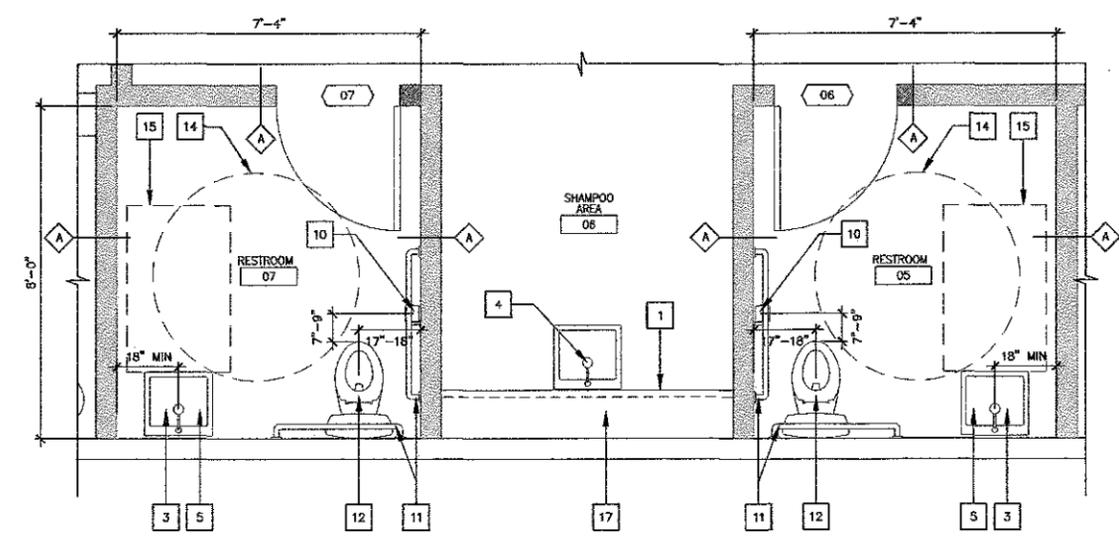
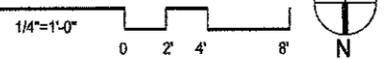


Site Plan

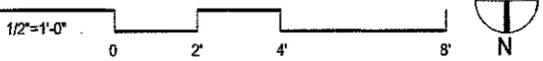




1 First Floor Plan



2 Enlarged Floor Plan



Fire Dept. Notes:

PROVIDE A 2A:10BC MIN. RATED FIRE EXTINGUISHER IN TENANT SPACES. FIRE EXTINGUISHER SHALL BE LOCATED WITHIN 75' OF ALL SPACES. SHALL BE MOUNTED NOT LESS THAN 4" FROM FLOOR AND NOT MORE THAN 60 INCHES TO THE TOP OF THE FIRE EXTINGUISHER.

POST ADDRESS NUMBERS ON BOTH FRONT AND REAR OF BUILDING. BUILDING ADDRESS NUMBERS TO BE MIN. 8" TALL WITH 1" AT THE FRONT AND REAR OF BUILDING.

EXIT SIGNAGE, EMERGENCY LIGHTING, ADDRESS POSTING & FIRE EXTINGUISHERS TO BE FIELD VERIFIED BY THE FIRE INSPECTOR PRIOR TO FINAL SIGN-OFF.

ALL PORTIONS OF THE BUILDING SHALL BE WITHIN 75 FEET OF A FIRE EXTINGUISHER. THE MINIMUM SIZE OF THE EXTINGUISHER SHALL BE 2-A:10-BC. [CFC/906]. PROVIDE FIRE EXTINGUISHER(S) ACCORDING TO THE INDICATED CODE SECTION.

KEY NOTES (AS INDICATED BY #)

1. (N) CABINETWORK (SEE INTERIOR DWGS.)
2. (N) OVERHEAD CABINETS (SEE INTERIOR DWGS.)
3. (N) A.D.A. COMPLIANT SINK.
4. (N) SINK
5. PROVIDE WATER AND WASTE LINES FOR TOILET, SINK, AS REQUIRED. G.C. TO PROVIDE CONNECTION TO ALL PLUMBING FIXTURES AND APPLIANCES THROUGHOUT THE PROPERTY; G.C. TO REFER TO APPLIANCES AND FIXTURE SPECS FOR MANUFACTURER REQUIREMENTS. G.C. TO CAP ALL UNUSED PIPING; G.C. TO PHYSICALLY VERIFY ALL EXISTING POINTS OF CONNECTIONS AND PIPE SIZING BEFORE STARTING ANY WORK.
6. (N) WASHER/DRYER.
7. PROVIDE WATER AND WASTE LINES FOR DISHWASHER, AS REQUIRED.
8. PROVIDE ELECTRICAL FOR REFRIGERATOR, AS REQ'D.
9. (N) CABINET W/COUNTERTOP
10. (N) TOILET PAPER DISPENSER
11. (N) GRAB BARS.
12. (N) TOILET
13. TACTILE EXIT SIGN, SEE 1-A9.0
14. 5'-0" DIAMETER CLEAR SPACE FOR WHEELCHAIR TURNING.
15. 30"x48" CLEAR SPACE.
16. (N) RECEPTION DESK. (BY OTHERS)
17. (N) WALL SHELVING UNITS
18. (N) FIRE EXTINGUISHER

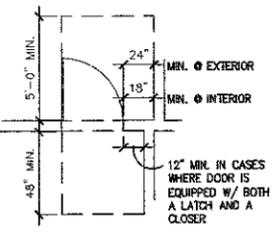
FLOOR PLAN NOTES

- A. ALL ITEMS ARE NEW UNLESS IDENTIFIED AS EXISTING.
- B. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.M.
- C. REFER TO ADDITIONAL INTERIOR DESIGN DRAWINGS (BY OTHERS) FOR ADDITIONAL PROJECT DETAIL.
- D. MENS TOILET 03 IS EXISTING WITH A NEW A.D.A COMPLIANT SINK.
- E. ACCESSIBLE SINKS SHALL HAVE A 30" X 48" CLEAR SPACE TO ALLOW FOR A FORWARD APPROACH. THE CLEAR SPACE SHALL EXTEND A MAX. OF 19" UNDERNEATH THE SINK, AS PER CBC SECTION 1117B.9 AND CBC FIGURE 11B-10.
- F. DOOR THRESHOLDS SHALL COMPLY W/CBC 1133B.2.4.1 & FIGURE 11B-32.
- G. REFER TO 1/A9.1 FOR TYPICAL A.D.A. DIMENSIONS & MOUNTING HEIGHTS.
- H. PROVIDE ALL DEMOLITION WORK REQUIRED FOR THE PROJECT. PATCH ALL SURFACES TO AS NEW CONDITION.
- I. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, THUMB TURN, OR ANY SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED, UNLESS ANY OF THE CONDITIONS UNDER SECTION 1008.1.9.4 IS MET.

LEGEND

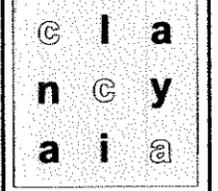
NEW WALL	
EXISTING WALL	
DEMOLISHED WALL	
WINDOW NUMBER SEE SCHEDULE ON SHT. A3.1	101
DOOR NUMBER SEE SCHEDULE ON SHT. A3.1	223
WALL TYPE SEE SHT. A9.2	X

DOOR CLEARANCE REQUIREMENTS:



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FLOOR PLAN

A-2.1