



**CITY OF CAMPBELL**  
**Community Development Department**

February 13, 2015

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **February 24, 2015**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Ryan Hensel & Megan Boyajian for a Site and Architectural Review Permit (PLN2014-262) to allow the construction of a new single-family residence on property located at **1505 Capri Drive** in the R-1-8 (Single Family Residential) Zoning District. Staff is recommending that this project be deemed Categorically Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

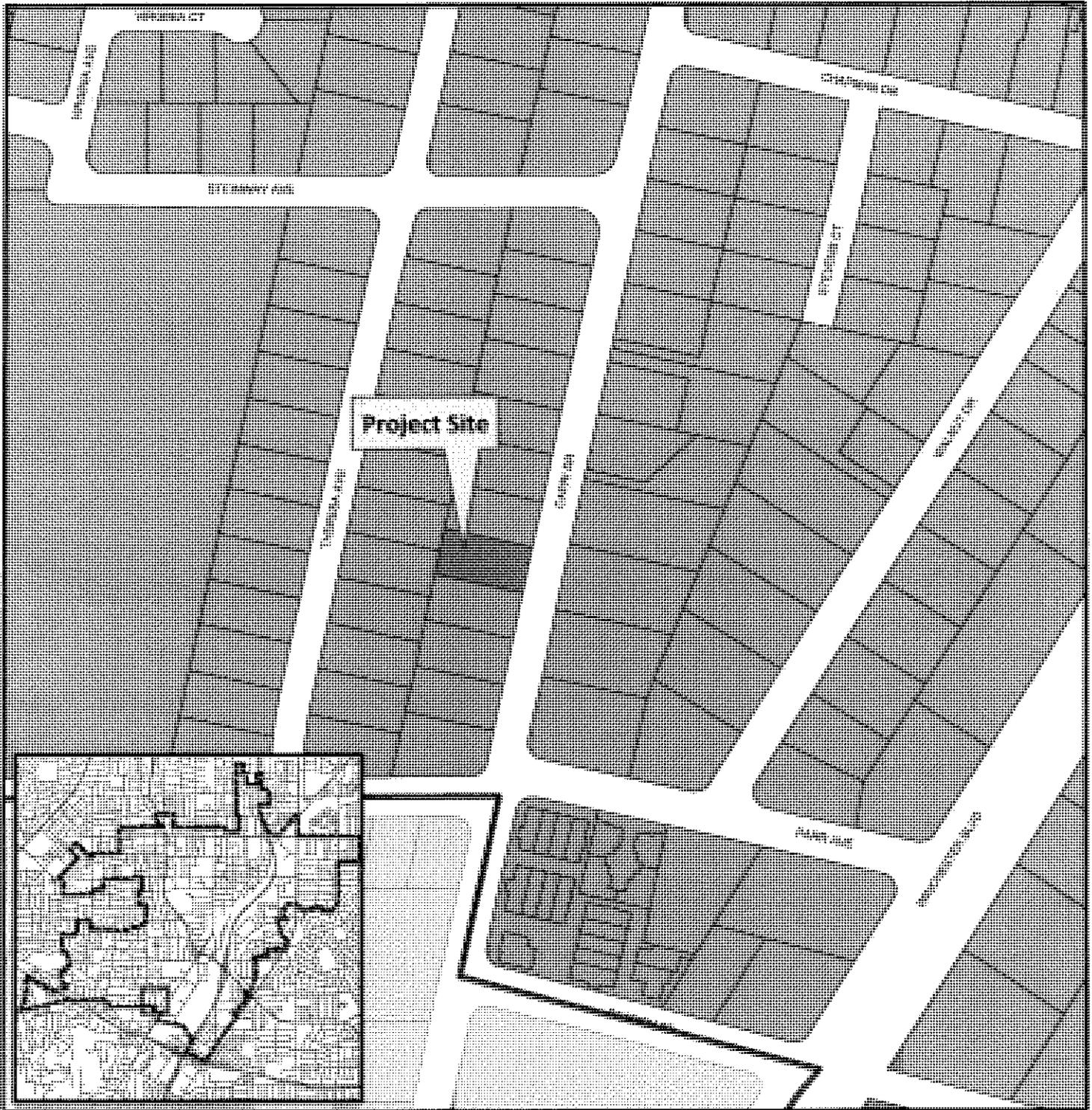
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

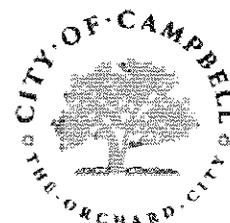
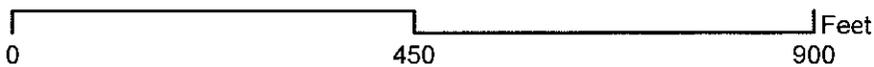
**PLANNING COMMISSION**  
**CITY OF CAMPBELL**  
**PAUL KERMOYAN**  
**SECRETARY**

**PLEASE NOTE:** When calling about this Notice,  
please refer to: **1505 Capri Drive**

# Project Location Map



**Project Location:** 1505 Capri Dr.  
**Application Type:** Site and Arch. Review Permit  
**Planning File No.:** PLN2014-262  
**Description:** 2,753 sq. ft. single-family residence



Community Development Department  
Planning Division



# STREETSCAPE



1521



1505



1489



1473



1536



1510



1484



1460

**A REMODEL/ADDITIONS/REBUILD FOR THE:**  
**HENSEL RESIDENCE**  
 1505 CAPRI DR., CAMPBELL CA, 95008  
 PLAN: LOU COSTANZO 1501 SAN GABRIEL WAY, S.J. 95125 408-264-0220  
 A.I.A. SOHNN COMANESCU 2144 RAVEN RD., PLEASANTON CA, 94566

PLAN COMMENTS TO:  
 LOUCOSTANZO.COM  
 EAST-NET  
 888-772-9929 CELL

Date:	7-11-14
Scale:	AS NOTED
Drawn:	T.T
Reviewed:	L.C
JOB:	B-2014-05
Sheet:	H

Revisions	By



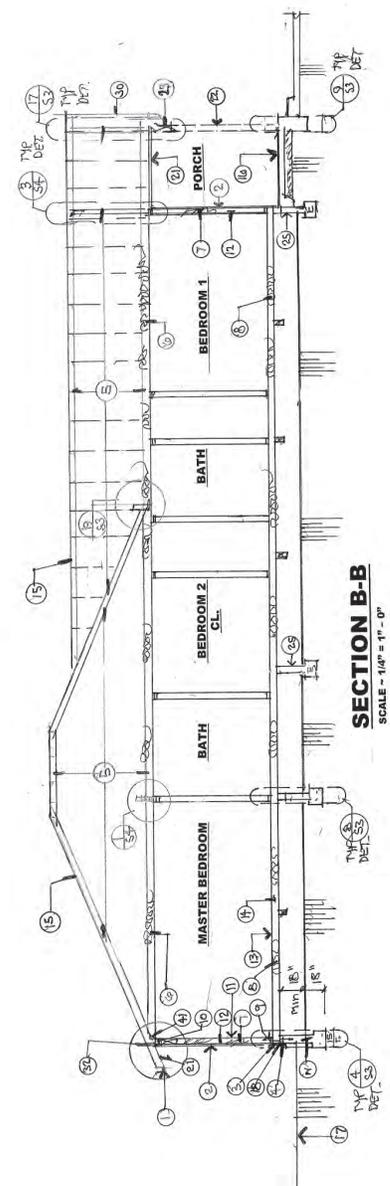


BY	DATE	REVISIONS

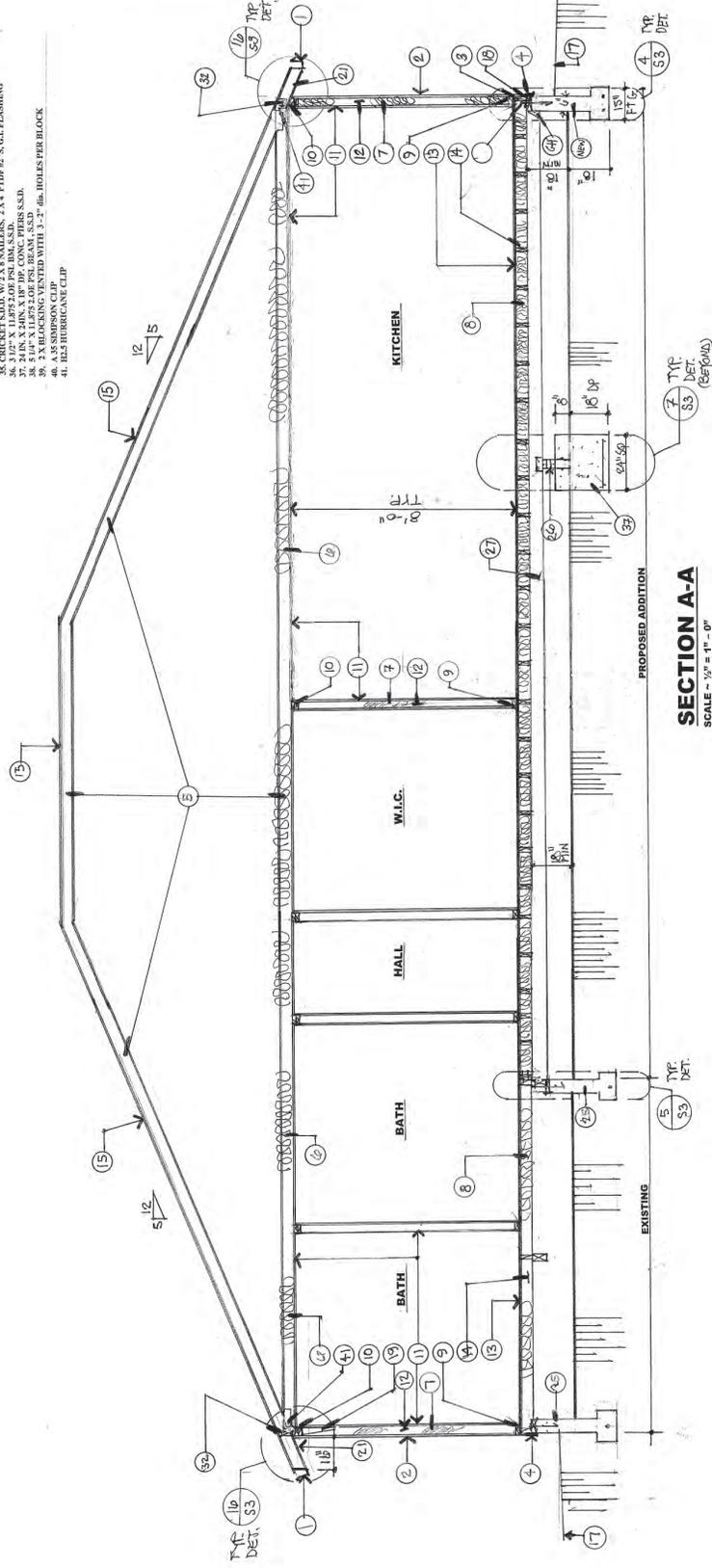
(N) HOUSE USING PORTIONS OF ORIG. STRUCTURE FOR:  
**THE HENSEL RESIDENCE**  
 1505 CAPRI DRIVE, CAMPBELL, CA. 95008  
 PLAN: LOU COSTANZO 1501 SAN GABRIEL WAY, S.J. 95125 408-264-0220  
 A.L. SORIN COMANESCU 2144 RAVEN RD, PLEASANTON CA. 94566  
 ARCHITECT  
 508-477-9822 CELL  
 508-477-9822 FAX  
 PLAN COMMENTS TO:  
 LOUCOSTANZO@GMAIL.COM

LOU COSTANZO  
 ARCHITECT  
 1501 SAN GABRIEL WAY  
 SAN JOSE, CA 95125  
 SCALE: 7'-14" = 1"  
 7/20/10-UP  
 H 201486  
 SHEET  
**A5**  
 OF

1. GUTTER, G.O.K. FASCIA, (SOFFITS OPTIONAL), WOODWORKS AND SPLASH BLOCKS.
2. TEXTURED 7/8" STUCCO (2 LAYERS W/ WIRE MESH OVER 24" X 48" FIELD @ 12" O.C.) FINISH W/ 8" NAILS @ 16" O.C. ENDS, & 12" O.C. FIELD @ 16" O.C. ENDS, & 12" O.C. FIELD @ 16" O.C. ENDS.
3. 3/4" TYPE X GYPSUM BOARD - WALLS/CEILING THROUGH TO ROOF.
4. PRE-MIX TRUSSES AT 24" O.C. TYP. (S&B) SEE ATTACHED FOR DESIGNS.
5. 1/2" TYPE X GYPSUM BOARD - INSULATION WALLS.
6. R-19 BATT INSULATION FLOORS OR VAULTED CEILING.
7. 1/2" TYPE X GYPSUM BOARD - WALLS AND CEILING.
8. 2x4 @ 16" O.C.
9. 2x4 @ 16" O.C.
10. 2x4 @ 16" O.C.
11. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
12. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
13. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
14. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
15. 40 YR. "C" COMPOSITION ROOF ICC ESR 189 TYP. 0.300 BELT OF 1/2" CHUF. POLY-AR. S&B. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
16. SAND OIL EMULSION FILM OF CRUSHED ROCK (S&B), SLOPED 1/4" FT.
17. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
18. 2x4 @ 16" O.C.
19. UNO. S&B. USE 1/2" G.I. WASHERS.
20. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
21. USE 1/2" X 6" DRICKING FOR EAVES AND OVER-HANGS. FORCH CEILING.
22. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
23. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
24. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
25. EXISTING STRUCTURE.
26. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
27. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
28. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
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38. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
39. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
40. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
41. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.
42. 1/2" GYP BOARD TYPICAL FOR WALLS AND CEILING.



**SECTION B-B**  
 SCALE - 1/4" = 1'-0"



**SECTION A-A**  
 SCALE - 1/2" = 1'-0"

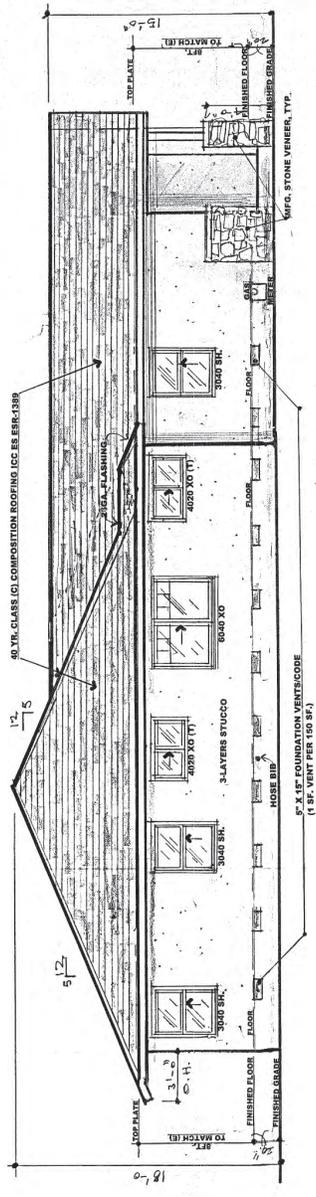




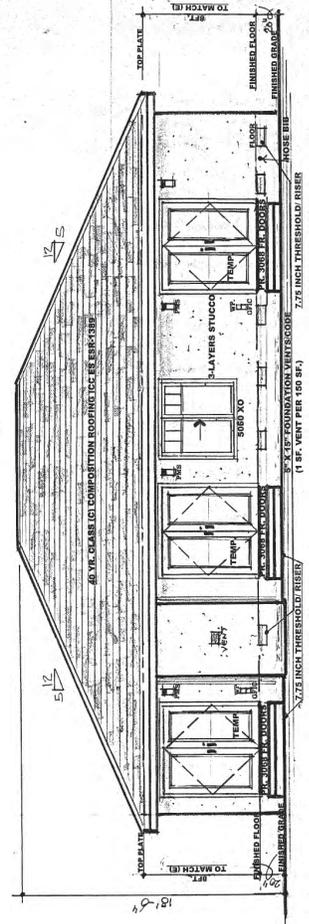
REVISIONS	BY

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 A.I.A. SORIN COMANESCU 2144 RAVEN RD., PLEASANTON CA. 94566  
 PLAN COMMENTS TO:  
 LOGICSTANZO.COM  
 507.727.2929 CELL

LOU COSTANZO  
 CHECKED  
 DATE  
 7-14-14  
 SCALE  
 1/8" = 1'-0"  
 JOB NO.  
 H 201488  
 SHEET  
**A8**  
 SHEETS



**LEFT-SIDE ELEVATION**  
 SCALE = 1/8" = 1'-0"



**REAR ELEVATION**  
 SCALE = 1/8" = 1'-0"

NOTE: ALL WINDOWS AND DOORS MUST HAVE  
 WITH U VALUE 0.32 FOR ANY PENETRATION  
 WITH SHGC VALUE OF 0.25  
 (REFER TO CURRENT TITLE 24 REPORT)

Revised	By

**TRUONG DESIGNS**

10101 7306th Ave, San Jose, CA 95129  
 Tel: 408 715 2296 Fax: 408 989 0820  
 Email: truongdesign@gmail.com



ENGINEERING SIGNATURE

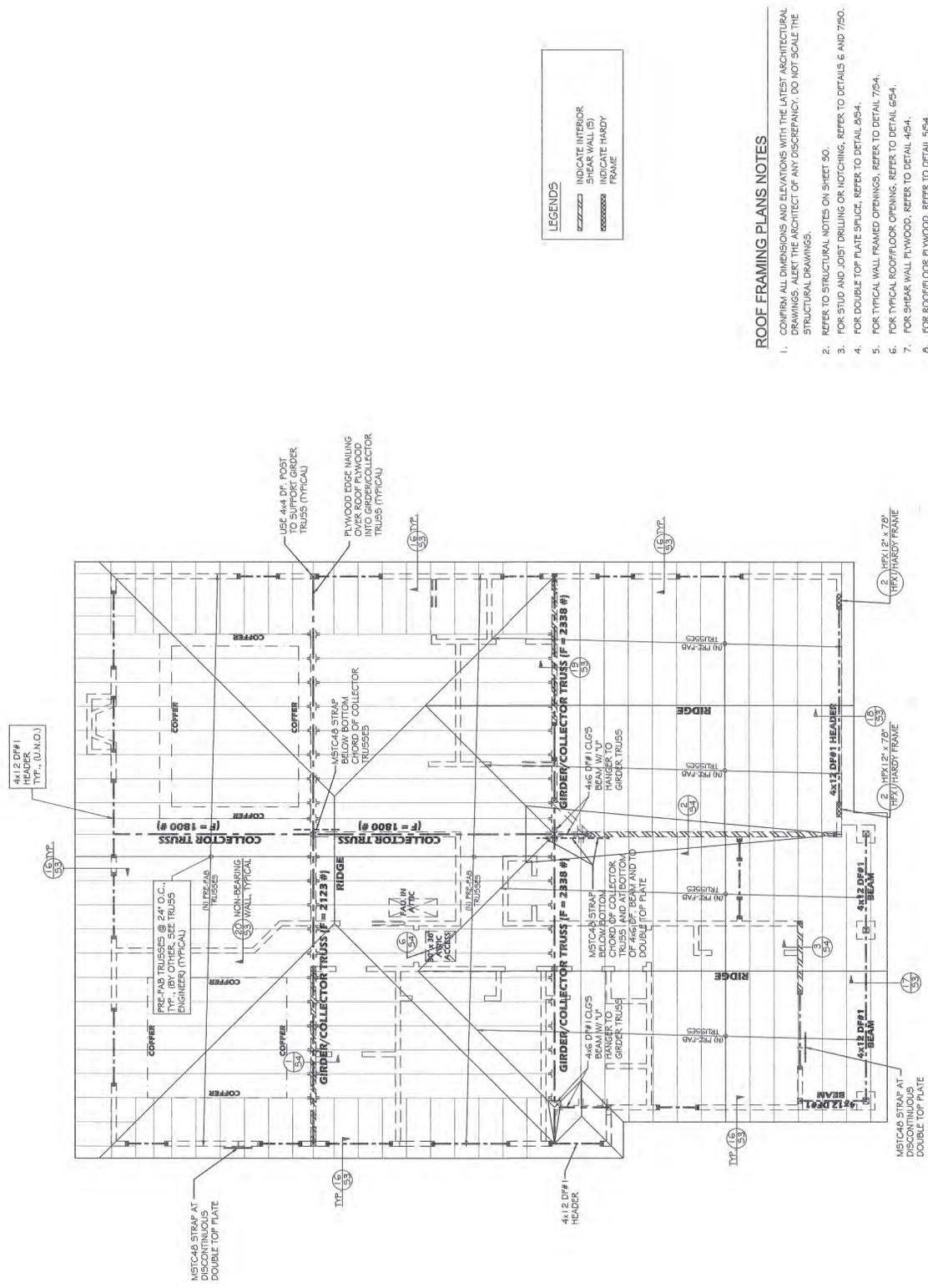
**THE HENSEL RESIDENCE**

1505 CAPRI DRIVE  
 CAMPBELL, CA 95008

(N) HOUSE USING PORTIONS OF ORIG. STRUCTURE

# ROOF FRAMING PLAN

Date:	8-29-14
Scale:	AS NOTED
Engineer:	T.T
Revised:	P.S
Job:	H-2014-44
Sheet:	<b>S2</b>



**LEGENDS**

-----	INDICATE INTERIOR SHEAR WALL (S)
-----	INDICATE HARDY FRAME
-----	FRAME

## ROOF FRAMING PLANS NOTES

- CONFIRM ALL DIMENSIONS AND ELEVATIONS WITH THE LATEST ARCHITECTURAL DRAWINGS. ALERT THE ARCHITECT OF ANY DISCREPANCY. DO NOT SCALE THE STRUCTURAL DRAWINGS.
- REFERS TO STRUCTURAL NOTES ON SHEET 50.
- FOR STUD AND JOIST DRILLING OR NOTCHING, REFER TO DETAILS 6 AND 750.
- FOR DOUBLE TOP PLATE SPLICE, REFER TO DETAIL 654.
- FOR TYPICAL WALL-FRAMED OPENINGS, REFER TO DETAIL 754.
- FOR TYPICAL ROOF/FLOOR OPENING, REFER TO DETAIL 654.
- FOR SHEAR WALL FLYWOOD, REFER TO DETAIL 454.
- FOR ROOF/FLOOR FLYWOOD, REFER TO DETAIL 554.
- SHEATH NEW ROOF WITH 1/2" CDX EXPOSURE 1, A.F.A. RATED PLYWOOD WITH FACE GRAIN PERPENDICULAR TO BATTERS WITH 8x4 @ 6" O.C. EDGES, P.E.N. 1/2" O.C. (FIELD). STAGGER SHEET END SPLICES (ROOF PLYWOOD MAY BE APPLIED DIRECTLY OVER (C) ROOF SHING.)
- ALL POSTS SHOWN (S) AND KING POSTS SHOWN (K) SHALL BE 4x4 STUD WALL THICKNESS U.O.N. (S.A.D. FOR STUD WALL THICKNESS). TYPICAL POST TO BEAM CONNECTIONS SHALL BE EPCS @ ENDS & PCS @ INTERIOR SUPPORTS, U.O.N. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING THE CORRECT POST CAP SIZE. FLYWOOD SHALL BE USED WHERE SHIMMING IS REQUIRED.

## ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"