



CITY OF CAMPBELL
Community Development Department

November 17, 2014

NOTICE OF ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT

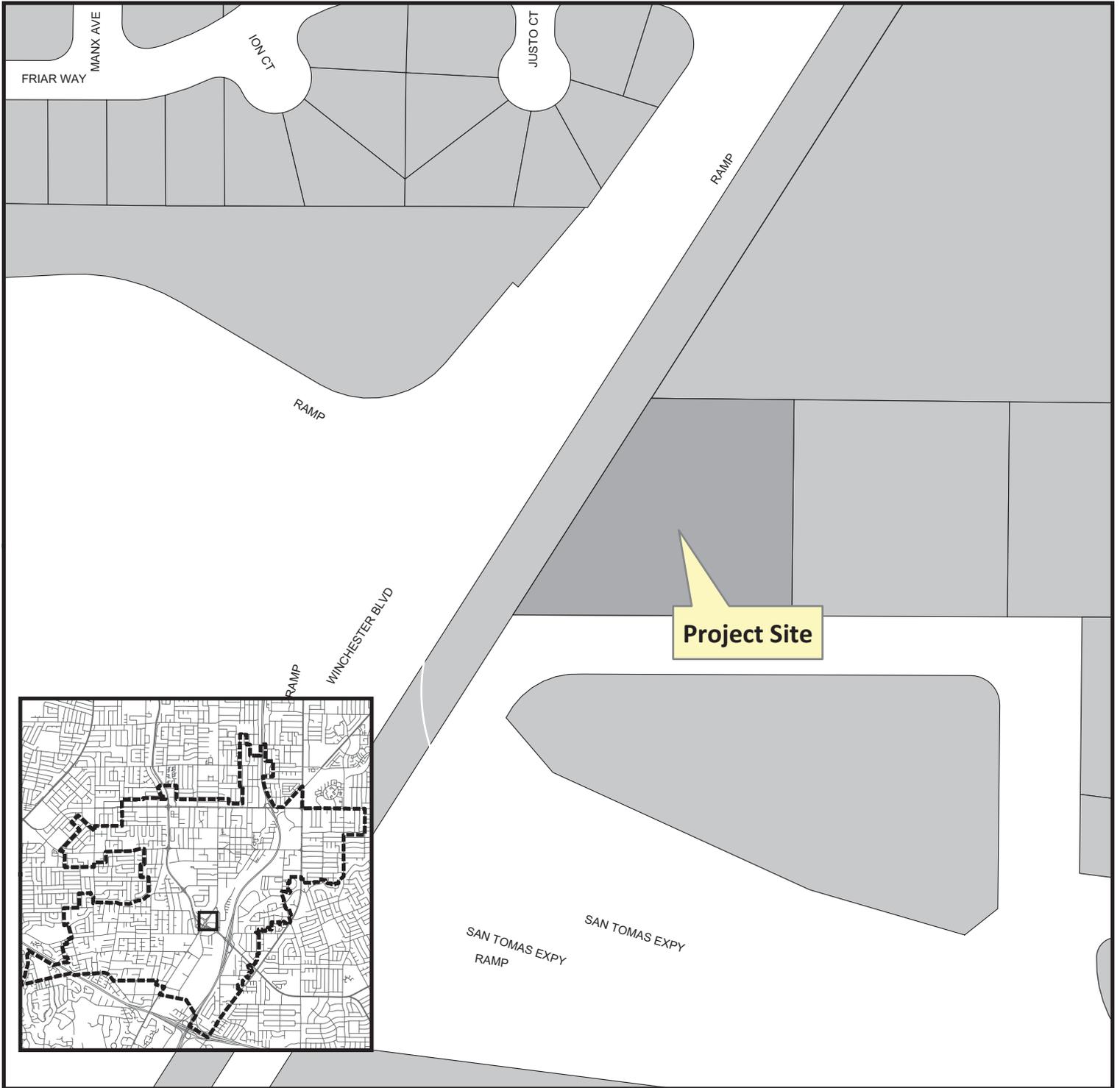
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Planned Development Permit for the following project proposal:

File No.:	PLN2013-274
Applicant:	Binh Ho Tanh / Sage
Project Address:	911 Dell Avenue
Property Owner:	Julie Smith / Sage
Zoning District:	P-D (Planned Development)
General Plan:	Light Industrial
Project Description:	To allow the installation of a Magnetic Resonance Imaging (MRI) trailer and associated parking lot and site reconfiguration work on the west side of the existing Veterinary and Emergency Center (Sage).

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on November 18, 2014, and ends on November 28, 2014. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **November 28, 2014**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell City Clerk's Office, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Stephen Rose, Associate Planner, in the Community Development Department, at (408) 866-2142 or by email StephenR@cityofcampbell.com.

Project Location Map

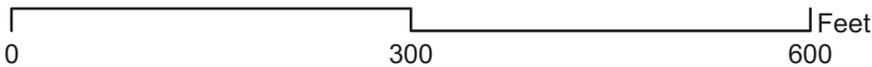


Project Location: 911 Dell Avenue

Application Type: Admin. Planned Development Permit

Planning File No.: PLN2013-274

Description: To allow the installation of a Magnetic Imaging (MRI) trailer and associated parking lot/site work on the west side of the existing Veterinary and Emergency Center (Sage).



Community Development Department
Planning Division

GENERAL NOTES

- All work and materials to conform to the requirements of local and state codes and the specifications of the national board of fire underwriters. All work shall be done in accordance with the requirements of the city and/or appropriate authority having jurisdiction over construction where the project is located. Contractor shall check and verify all plan dimensions and conditions before proceeding with construction and shall report any discrepancies to the Architect for correction before beginning any work. Do not scale drawings. All written dimensions govern.
- Current Applicable Codes: 2013 California Building Code; 2013 California Mechanical Code; 2013 California Electrical Code; 2013 California Plumbing Code; 2013 California Green Building Code; 2013 California Energy Code.
- The Architect is not responsible for any deviations from the plans and specification information.
- The Architect shall not have control or charge of and shall not be responsible for construction means, methods, techniques, sequences, or procedures, for safety precautions and programs in connection with the work, or the acts or omissions of the Contractor, subcontractors, or any other persons performing any work, or for failure of any of them to carry out the work in accordance with the construction documents.
- The following set of drawings is an instrument of professional service and shall remain the property of Drafting Cafe, whether the project is executed or not. No changes, alterations, or deletions may be made hereto except by the Architect.

ABBREVIATIONS

A.C.	American concrete	LAM.	Laminated
A.D.	Area Drain	LAV.	Lavatory
ADJ.	Adjustable	L.P.	Low Point
A.F.F.	Above Finish Floor	MECH.	Mechanical
AGGR.	Aggregate	MIN.	Minimum
ARCH.	Architectural	MTL.	Metal
ASPH.	Asphalt		
BLDG.	Building	(N)	New
BLK.	Block	N.L.C.	Not In Contract
BLKG.	Blocking	N.T.S.	Not To Scale
B.O.	Bottom Of		
BW.	Bottom of Wall	OBS.	Obscure
		O.C.	On Center
CPT.	Carpet	O.D.	Outside Diameter
CAB.	Cabinet	O.P.G.	Opening
C.J.	Construction Joint		
C.L.	Center Line	P.LAM.	Plastic Laminated
CL.	Close	P.L.	Property Line
CLG.	Ceiling	PL.	Steel Plate
CLF.	Clear Cut	PLYWD OR P.W.	Plywood
C.O.	Column	PT.	Point
COIC.	Concrete	QTY.	Quantity
COINT.	Continuous	FL.	Floor
CSMT.	Cessment	RAD.	Radius
C.T.	Ceramic Tile	RET.	Retaining
C.S.	Counter Sink	RET. AIR	Return Air
		RD.	Round
DEMO.	Demolition	R.D.	Roof Drain
DET.	Detail	REF.	Refrigerator
D.H.	Double Hung	REG.	Register
D.F.	Douglas Fir	REINF.	Reinforced
DIAG.	Diagonal	REQD.	Required
DIM.	Dimension	R.O.	Rough Opening
DWGS.	Drawings	RWD.	Redwood
DN.	Down	R.W.L.	Rain Water Leader
DS.	Downspout		
		SAG.	Supply Air Grill
(E)	Existing	S.V.	Sheet Vinyl
E.J.	Expansion Joint	S.H.	Single Hung
EL.	Elevation	SHT.	Sheet
E.Q.	Equal	SM.	Similar
EXT.	Exterior	SM.	Sheet Metal
		SQ.	Square
F.D.	Floor Drain	S.S.D.	See Structural Drawings
F.F.	Finish Floor	S.S.	Stainless Steel
FIN.	Finish	STD.	Standard
F.O.C.	Face Of Concrete	STL.	Steel
F.O.S.	Face Of Stud	STRUC.	Structural
F.O.W.	Face Of Wall		
FTG.	Footing	T.	Tread
		T.C.	Top Of Curb
GA.	Gauge	TEMP.	Tempered Glass
GALV.	Galvanized	T.J.	Truss Joist
GLWB.	Gypsum Wall Board	T.O.	Top Of
GL.	Glass	T.O.C.	Top Of Concrete
GLU. LAM.	Glu Laminated	TYP.	Typical
G.S.M.	Galv. Sheet Metal	TW.	Top Of Wall
		TS.	Tube Sheet
H.B.	Hose Bibb	U.O.N.	Unless Noted Otherwise
HGT.	Height		
H.M.	Hollow Metal	VERT.	Vertical
HOR.	Horizontal	V.I.F.	Verify In Field
H.P.	High Point		
WH.	Water Heater	W/	With
		W.C.	Water Closet
I.D.	Inside Diameter	WD.	Wood
INSUL.	Insulation	W.P.	Waterproof
INT.	Interior	W.P.T.	Work Point
J.BOX.	Junction Box	YD.	Yard
JT.	Joint		

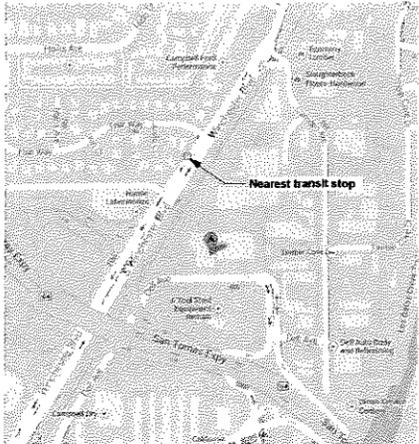
SYMBOL LEGEND

- Elevation Reference (drawing #/ sheet #)
- Building Section Reference (drawing #/ sheet #)
- Wall Section Reference (drawing #/ sheet #)
- Vantage Point
- Datum or Elevation Point
- Grid Line
- Detail Reference (drawing #/ sheet #)

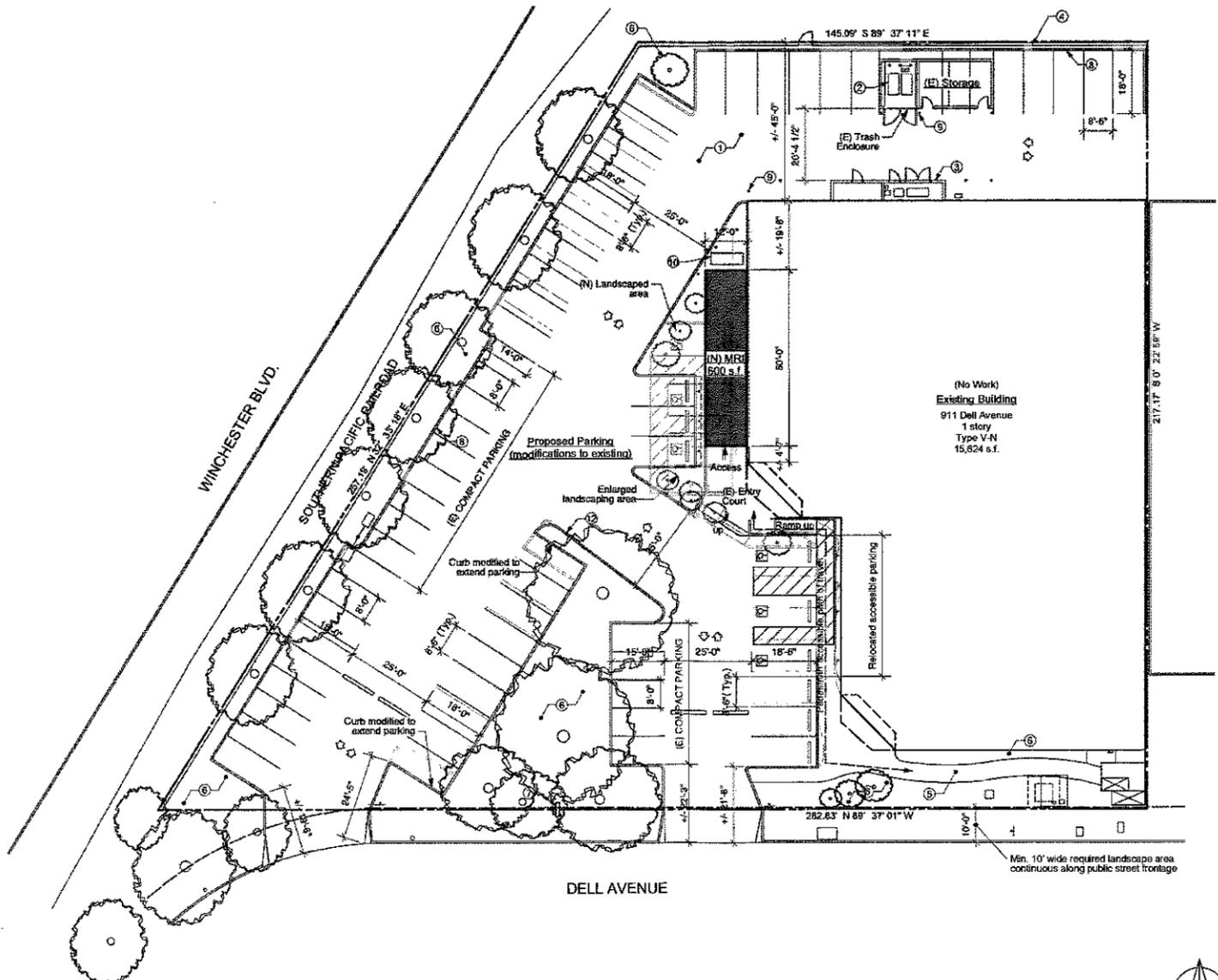
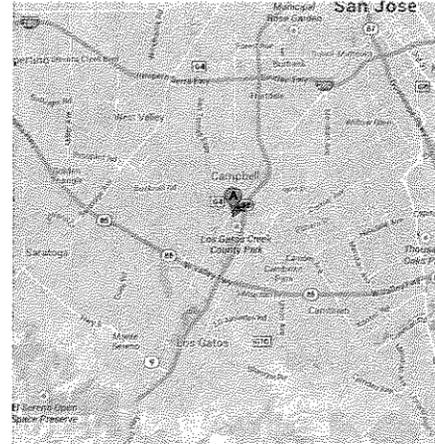
KEY NOTES

- Existing A.C. paving
- Existing 3'x6' dumpsters
- Existing utility enclosure
- Existing chainlink fence
- Existing paved walkway
- Existing landscape area
- Existing building sign
- Existing concrete curb and A.C. paving
- Existing concrete bollard, typ.
- New MRI equipment pad
- Existing curb and landscaping to remain
- Fire lane painted curb

LOCATION MAP



VICINITY MAP



1 Proposed Site Plan

DRAWING LIST

- A0.0 Cover Sheet/ Proposed Site Plan Overlay Existing
- A1.0 Existing Site Plan
- A1.1 Proposed Site Plan
- A2.0 Existing Exterior Elevations
- A2.1 Proposed Exterior Elevations

PROJECT INFORMATION

PROJECT ADDRESS:
 APN: 421-41-014
 911 Dell Avenue
 Campbell, CA 95008

DESCRIPTION:
 Lot Size: 46,677 s.f.
 Existing Building Area s.f.: 15,824 s.f. (F.A.R. = 33.4%)
 Proposed MRI Area s.f.: 600 s.f.
 Total Proposed Building Area s.f.: 16,424 s.f. (F.A.R. = 34.8%)
 Existing Landscape Area s.f.: 6799 s.f.
 Proposed Landscape Area s.f.: 6518 s.f.

Occupancy Group: B
Construction Type: VN
Zoning: PD (Planned Development)

ARCHITECT:

Drafting Cafe
 170 Santa Clara Ave. Suite 102
 Oakland, CA 94610
 T 510-251-2511

SCOPE OF WORK

Addition of an MRI modular structure to the existing building. Existing parking lot to be modified to accommodate MRI addition and maximize parking.

PARKING ANALYSIS

Required parking per City of Campbell Municipal Code - Title 21 Zoning Code

SUMMARY

Table 3-1: Service General = 1 space per 250 s.f. of gross floor area
 21.28.060.C.2.b. The total number of compact parking spaces on any site shall not exceed 25% of the total required parking.

REQUIRED PARKING

Proposed Building Addition: 600 s.f.

600 s.f. / 250 = 2.4
 Required parking stalls = 2
 * After rounding down in accordance with CMC 21.28.040.F. (Rounding of Quantities).
 3 min. accessible parking stalls are required per CBC.

PROVIDED PARKING

Standard: 45 spaces
 Compact: 14 spaces
 Accessible: 3 spaces (1 is van accessible)
 Total: 62 spaces

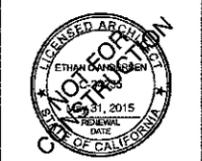
EXISTING PARKING

Standard: 43 spaces
 Compact: 14 spaces
 Accessible: 3 spaces (1 is van accessible)
 Total: 60 spaces

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 CITY OF CAMPBELL
 PLANNING DEPT.

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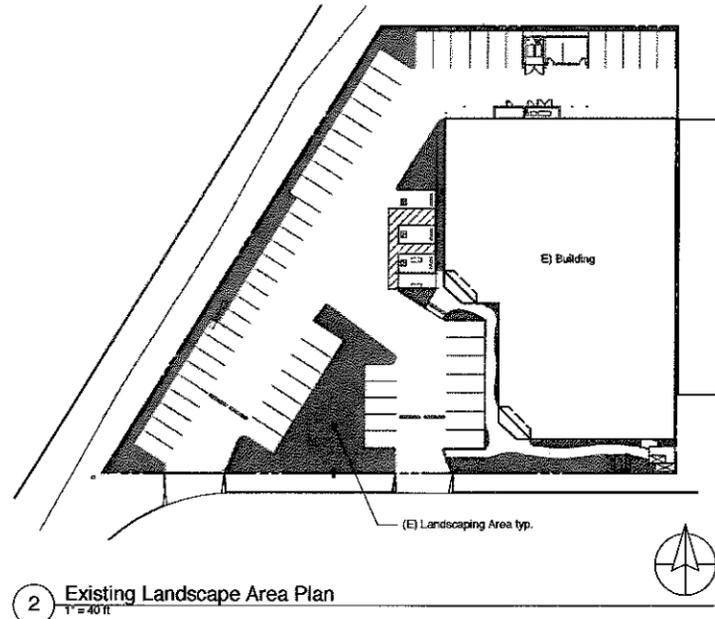


REVISIONS	NO.	DESCRIPTION	DATE

Cover Sheet

DATE: 11/04/14
 PROJECT: 13096
 SCALE: See Plan

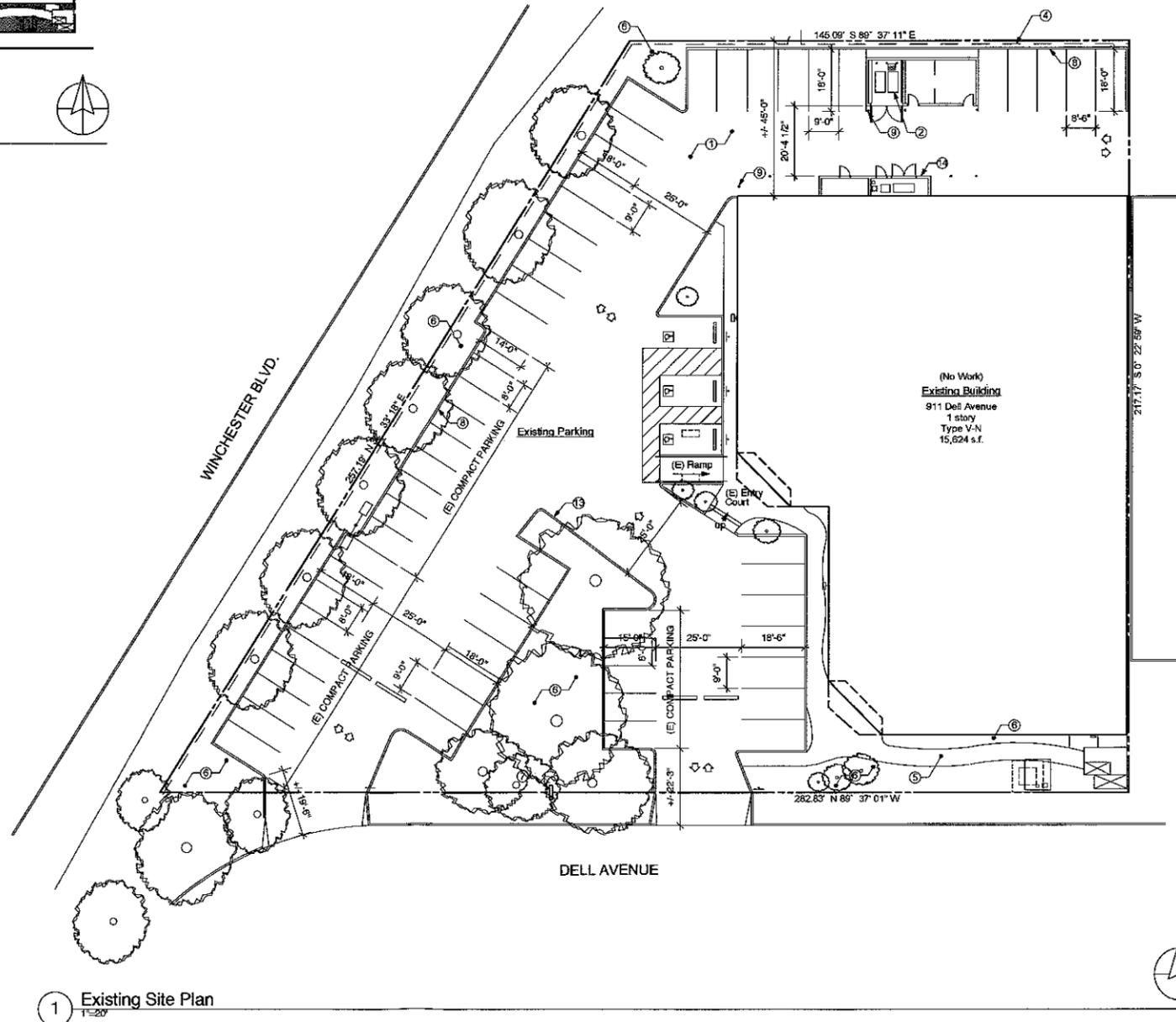
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2 Existing Landscape Area Plan
1" = 40' ±

KEY NOTES

- 1 Existing A.C. paving
- 2 Existing 3'x6' dumpsters
- 3 Existing utility enclosure
- 4 Existing chainlink fence
- 5 Existing paved walkway
- 6 Existing landscape area
- 7 Existing building sign
- 8 Existing concrete curb and A.C. paving
- 9 Existing concrete bollard, typ.
- 10 New MRI equipment pad
- 11 Existing curb and landscaping to remain
- 12 Fire lane painted curb



1 Existing Site Plan
1" = 20' ±

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Campbell, CA 95008

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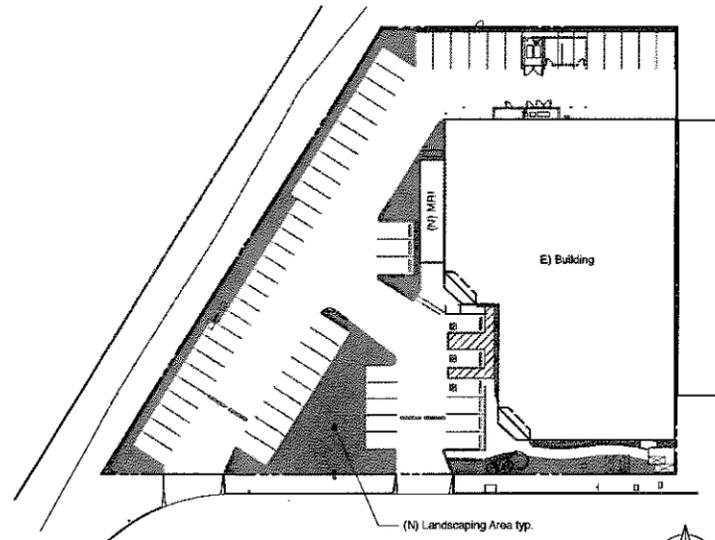


REVISIONS NO.	DESCRIPTION	DATE

Existing Site Plan

DATE 11/04/14
PROJECT 13096
SCALE See Plan

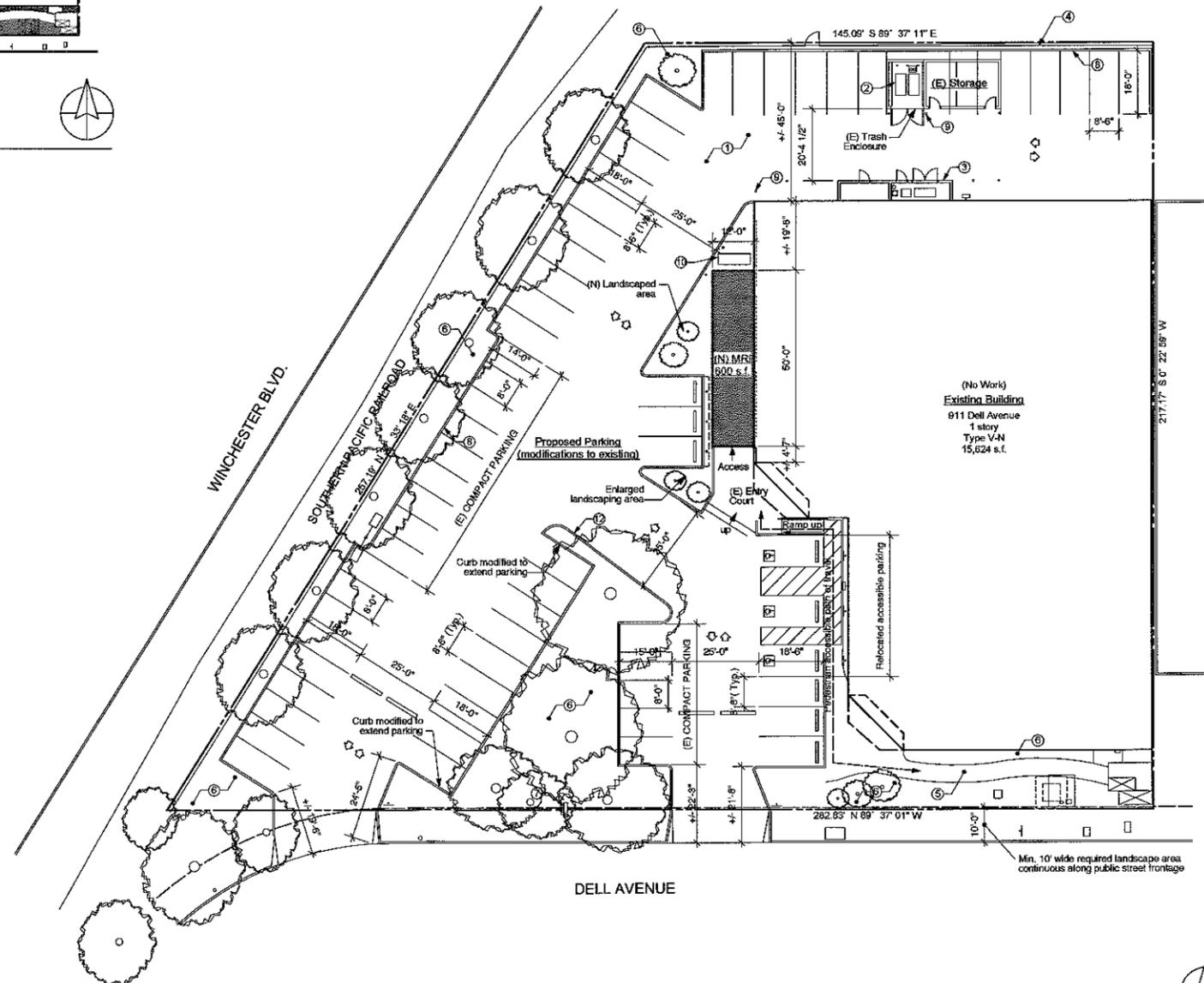
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2 Proposed Landscape Area Plan
1/4\"/>

KEY NOTES

- 1 Existing A.C. paving
- 2 Existing 3'x6' dumpsters
- 3 Existing utility enclosure
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- 10 New MRI equipment pad
- 11 Existing curb and landscaping to remain
- 12 Fire lane painted curb



1 Proposed Site Plan
1/20\"/>

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REVISIONS NO.	DESCRIPTION	DATE

Proposed Site Plan

DATE 11/04/14

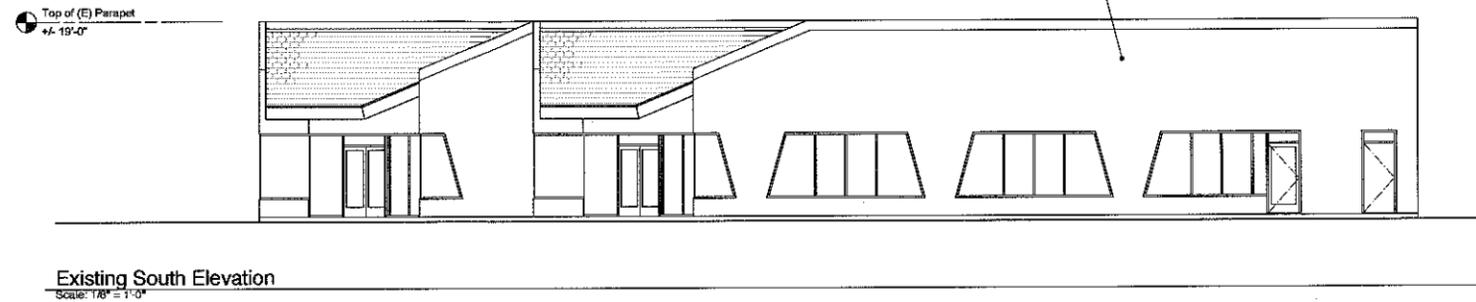
PROJECT 13096

SCALE See Plan

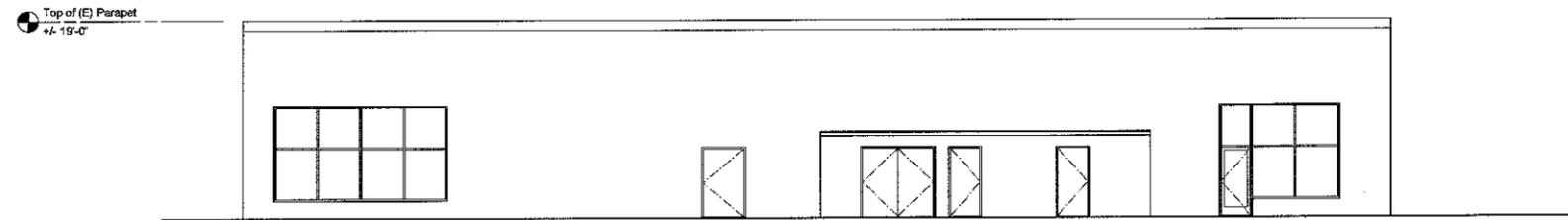
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① KEY NOTES

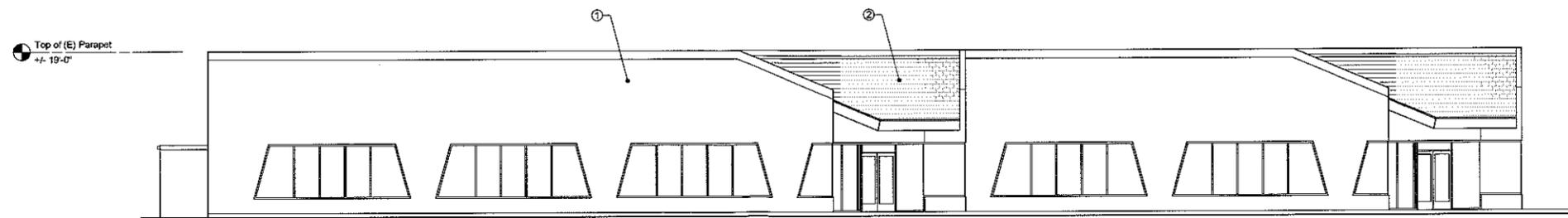
- 1 Existing board formed concrete (painted)
- 2 Existing concrete tile shed roof



Existing South Elevation
Scale: 1/8" = 1'-0"



Existing North Elevation
Scale: 1/8" = 1'-0"



Existing West Elevation
Scale: 1/8" = 1'-0"

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REVISIONS	NO.	DESCRIPTION	DATE

Existing Exterior Elevations

DATE 11/04/14
PROJECT 13096
SCALE See Plan

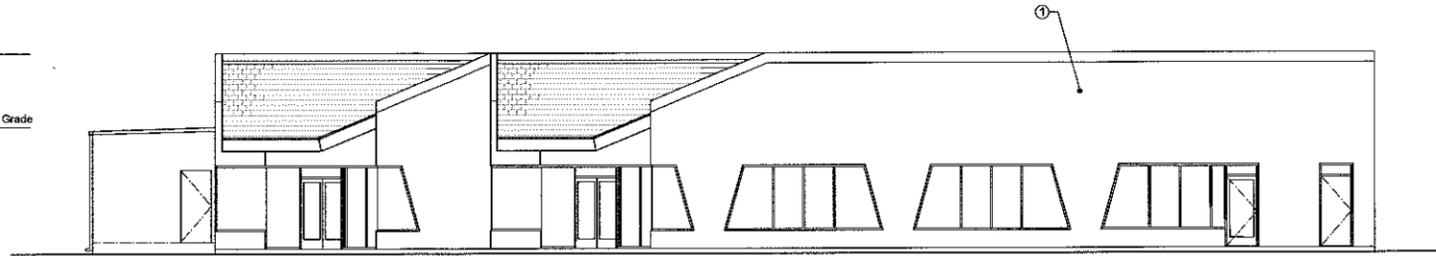
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① KEY NOTES

- 1 Existing board formed concrete (painted)
- 2 Existing concrete tile shed roof
- 3 New MRI prefab unit (painted stucco finish)

Top of (E) Parapet
+/- 19'-0"

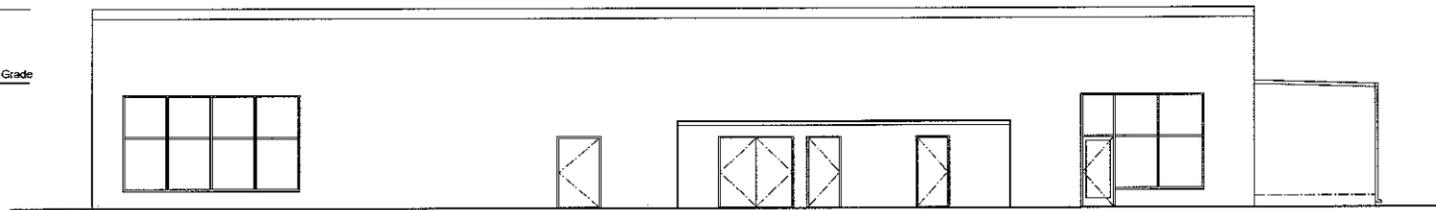
Height of MRI Addition Above Grade
+/- 12'-3 3/4"



Proposed South Elevation
Scale: 1/8" = 1'-0"

Top of (E) Parapet
+/- 19'-0"

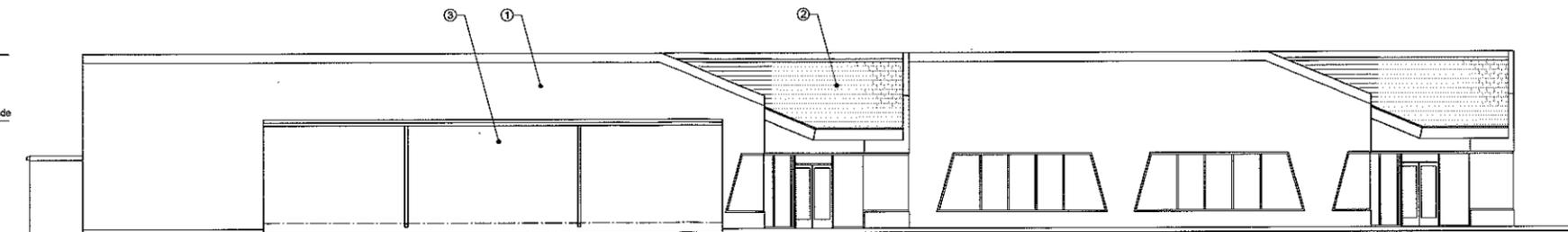
Height of MRI Addition Above Grade
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Proposed North Elevation
Scale: 1/8" = 1'-0"

Top of (E) Parapet
+/- 19'-0"

Height of MRI Addition Above Grade
+/- 12'-3 3/4"



Proposed West Elevation
Scale: 1/8" = 1'-0"

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REVISIONS	DESCRIPTION	DATE

Proposed Exterior Elevations

DATE 11/04/14
PROJECT 13096
SCALE See Plan

A2.1