



CITY OF CAMPBELL
Community Development Department

November 14, 2014

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **November 25, 2014**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of SAI Home, Inc., for a Planned Development Permit (PLN2013-134) to allow the construction of four two-story duet-style townhomes, a Tentative Subdivision Map (PLN2013-135) to create four residential lots and one common lot, Tree Removal Permit (PLN2014-103) and Parking Modification Permit (PLN2014-194) located at **705 W. Hacienda Avenue** in a P-D (Planned Development) Zoning District. Staff is recommending that this project be deemed Categorically Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to address: **705 W. Hacienda Avenue**

Project Location Map

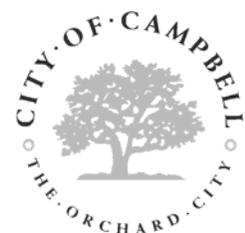
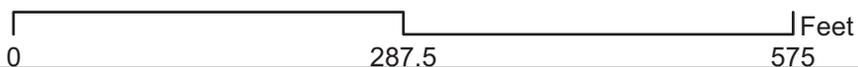


Project Location: 705 W. Hacienda Ave.

Application Type: PUD/TSM/TR/PMP

Planning File No.: PLN2013-134/135, PLN2014-103/194

Description: Multiple permits to allow the construction of four two-story duet-style townhomes.

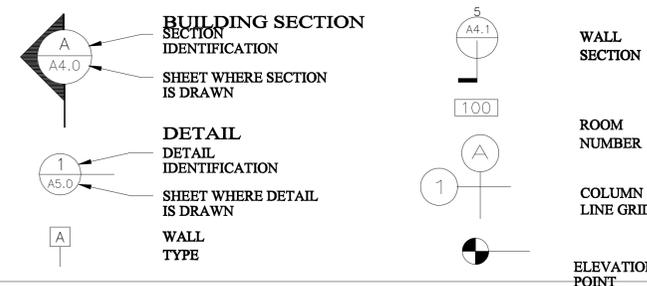


Community Development Department
Planning Division

ABBREVIATIONS

ADJ	ADJUSTABLE	I.D.	INSIDE DIAMETER
ALUM	ALUMINUM	INSUL	INSULATION
L	ANGLE	MECH	MECHANICAL
APPROX	APPROXIMATE	MET	METAL
A.F.F.	ABOVE FINISHED FLOOR	MFR	MANUFACTURER
		MIN	MINIMUM
BD	BOARD	MTD	MOUNTED
BLDG	BUILDING		
		(N)	NEW
CAB.	CABINET	NIC	NOT IN CONTRACT
CL	CENTER LINE	NO./#	NUMBER
CLG	CEILING	NTS	NOT TO SCALE
CLR	CLEAR		
COL	COLUMN	O.C.	ON CENTER
CONC	CONCRETE	O.D.	OUTSIDE DIAMETER
CONST	CONSTRUCTION	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
CONT	CONTINUOUS		
CSK	COUNTERSINK	RAD	RADIUS
CW	COLD WATER	REC	RECESSED
		RECT	RECTANGLE
DET	DETAIL	REF	REFERENCE
DIA	DIAMETER	REINF	REINFORCED/ING
DIM	DIMENSION	REQ	REQUIRED
DWG	DRAWING	SC	SOLID CORE
		SCHED	SCHEDULE
EA	EACH	SHT	SHEET
ELEV	ELEVATION	SIM	SIMILAR
ELEC	ELECTRICAL	SPECS	SPECIFICATIONS
EQ	EQUAL	SQ	SQUARE
EXH	EXHAUST	STD	STANDARD
(E)	EXISTING	STL	STEEL
EXT	EXTERIOR	ST.STL.or SS	STAINLESS STEEL
EXP	EXPANSION	SUSP	SUSPENDED
		THK	THICK
FIN	FINISH	T.O.S.	TOP OF SLAB
FLR	FLOOR	TYP	TYPICAL
FT	FEET		
FIX	FIXTURE	V.I.F.	VERIFY IN FIELD
		VOL	VOLUME
GA	GAUGE		
GALV	GALVANIZED	W/	WITH
GL	GLASS	WD	WOOD
GYP	GYPSONUM		

SYMBOLS



SCOPE OF WORK

The project consists of a demolition of existing building (single residential- zone RDS) for the new 4-units luxury town homes (re-zoned for PD), in the City of Campbell.

The project consists of a wood framed structure with reinforced perimeter concrete footing and interior pier, post and beam structural supports. Floor are a combination of raised wood floors and reinforced concrete slab on grade. Exterior finish materials include painted exterior cement plaster over metal lath on 30# building paper over plywood sheathing on wood framing. Roofing material is terra cotta clay Spanish-style arched tile. Windows are dual glazed vinyl-clad wood single hung or sliding "French Style" units with integral mullions to simulate divided lites at the ground floor. Square windows above door header height are dule glazed vinyl-clad fixed wood windows without intergral mullions. Project includes precast decorative columns, wood trellis structure in the front of garage. Paving surfaces at driveway and approach to entry porch are Terra Cotta paver tiles, with non-slip surfacing, leading up entry steps to porch and doors beyond. Landscaping consists of turf and groundcovers of varying heights with medium height shrubs and climbing flowering vines on trellises. Trees, in clusters of 3 or 4, supply visual vertical screening at wood fence corners. Colored river rock is placed in certain areas to introduce a low maintenance item, providing a variety in materials at selected accent areas. We provided 4 (four) parking stalls on site and 2(two) will be on street. Every unit contains 2 (two) parking garage the total 12 (twelve) parking on site.

PROJECT NAME

HACIENDA LUXURY TOWN HOMES

705 HACIENDA AVE. CAMPBELL, CA

PROJECT BUILDING DATA CONSULTANTS

BUILDING DATA:

A.P.N.: 406-12-054
 ADDRESS: 705 Hacienda Ave. Campbell, CA RDS
 EXISTING ZONING: RDS
 EXISTING USE: Single Family
 PROPOSED ZONING: PD
 PROPOSED USE: 2- Stroy Building (No. of Units-4)

LOT SIZE: GROSS Sq. ft. 18,487+ Sq. ft.
 LOT AREA: NET Sq. ft. 15,009 Sq. Ft.

BUILDING COVERAGE 5,390 Sq. ft. 36 %
 LANDSCAPE COVERAGE: 4,953 Sq. ft. 33 %
 PAVING COVERAGE: 4,893 Sq. ft. 31 %

FLOOR AREA RATIO: $\frac{9,694}{15,009 \text{ Sq. ft.}} = 64\% \text{ } 9\% \text{ DENSITY}$

BUILDING 1 _ UNIT 1 & 2 (EACH)

FIRST FLOOR	1,142 Sq. ft. (UNIT#1)	1,014 Sq. ft. (UNIT#2)
SECOND FLOOR	1,217 Sq. ft. (UNIT#1)	1,217 Sq. ft. (UNIT#2)
COVERD PORCH	25 Sq. ft.	25 Sq. ft.
GARAGE	400 Sq. ft.	400 Sq. ft.
TOTAL LIVING SPACE	2,359 Sq. ft. (UNIT#1)	2,231 Sq. ft. (UNIT#2)
FOOT PRINT	1,567 Sq. ft. (UNIT#1)	1,414 Sq. ft. (UNIT#2)
TOTAL AREA	2,784 Sq. ft. (UNIT#1)	2,631 Sq. ft. (UNIT#2)
NO. OF BEDROOMS	3	
NUMBER OF UNITS	2	
PARKING SPACE	2 COVERED	

BUILDING 2 _ UNIT 3 & 4 (EACH)

FIRST FLOOR	696 Sq. ft.
SECOND FLOOR	960 Sq. ft.
COVERD PORCH	32 Sq. ft.
GARAGE	400 Sq. ft.
TOTAL LIVING SPACE	1,656 Sq. ft.
FOOT PRINT	1,128 Sq. ft.
TOTAL AREA	2,088 Sq. ft.
NO. OF BEDROOMS	3
NUMBER OF UNITS	2
PARKING SPACE	2 COVERED

OF ALL BUILDINGS

TOTAL LIVING AREA	8,894 Sq. ft.
TOTAL PARKING SPACES	11

OWNER: SAI Home, Inc.
 705 W. Hacienda Ave. Campbell, CA 95008
 Tel.: (408) 318-4453

ARCHITECT: A.G.P. Design Group
 Amir Khojasteh
 Mike Foresee
 1296 Virginia Ave. Suite 6
 Campbell, CA 95008
 Tel.: (408) 316-6168
 E-mail: agp@pacbell.net

CIVIL: SMP ENGINEERS
 1534 Carob Lane
 Los Altos, CA 94024
 Tel.: (650) 941-8055
 E-mail: smpengineers@yahoo.com

GENERAL NOTES

FIRE SPRINKLERS NOTES:

A) THE CITY OF CAMPBELL REQUIRES FIRE SPRINKLERS THROUGHOUT ALL NEW RESIDENCES. THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. SECTION R313.2 AS ADOPTED AND AMENDED BY CBLMC.

B) THE AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13D, 1989.

C) FAST RESPONSE FIRE SPRINKLER HEADS SHALL BE INSTALLED IN GARAGE AND WORKSHOP AREAS.

D) THE SUPPRESSION CONTRACTOR SHALL PROVIDE TWO COPIES OF THE DRAWINGS AND CALCULATIONS TO THE FIRE DISTRICT.

E) THE DISTRICT SHALL ISSUE A PERMIT PRIOR TO INSTALLATION OF THE AUTOMATIC SPRINKLER SYSTEM.

WATER SUPPLY REQUIREMENT:

POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7

TIMING OF INSTALLATION:

WHEN FIRE APPARATUS ACCESS ROAD OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION. TEMPORARY STREET SIGN SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES, SECTION 505.2. CFC SEC. 501.4

GROUND LADDER ACCESS:

GROUND LADDER RESCUE FROM SECOND AND THIRD FLOOR ROOMS SHALL BE MADE POSSIBLE FOR FIRE DEPARTMENT OPERATIONS. WITH THE CLIMBING ANGLE OF SEVENTY FIVE DEGREES MAINTAINED, AN APPROXIMATE WALKWAY WIDTH ALONG EITHER SIDE OF THE BUILDING SHALL BE NO LESS THAN SEVEN FEET CLEAR. LANDSCAPING SHALL NOT BE ALLOWED TO INTERFERE WITH REQUIRED ACCESS. CFC SEC. 503 AND 1029.

PREMISES IDENTIFICATION:

APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW BUILDING IN SUCH POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. CFC SEC. 505

CONSTRUCTION SITE FIRE SAFETY:

ALL CONSTRUCTION SITES MUST COMPLY WITH CFC CHAPTER 14, STANDARD DETAIL & SPEC. SI-7

PLANTING AND IRRIGATION SYSTEMS:

BUBBLER IRRIGATION WILL BE USED FOR TREES AND SHRUBS POP-UP SPRINKLER HEADS WILL BE USED TO IRRIGATE THE TURF AREAS. CONCEALED QUICK COUPLER VALVES AND BACK FLOW PREVENTERS COMPLETE THE SYSTEM.

LANDSCAPING WILL BE PRIVATELY MAINTAINED. ALL IRRIGATION PIPING SHALL BE PVC SCHEDULE 40, INSTALLED AT A DEPTH OF 18" BELOW GRADE.

- EMERGENCY ESCAPE WINDOW FOR SLEEPING ROOMS MIN. NET CLEAR OPERABLE AREA: 5.7 SQ. FT.
- MIN. NET CLEAR OPERABLE WIDTH: 20 INCHES.
- MIN. NET CLEAR OPERABLE HEIGHT: 24 INCHES.
- MAX. SILL HEIGHT ABOVE FLOOR: 44 INCHES.

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CIVIL

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PROJECT LOCATION



VICINITY MAP
 N.T.S.



COVER SHEET
HACIENDA LUXURY TOWN HOMES
705 HACIENDA AVE. CAMPBELL, CA

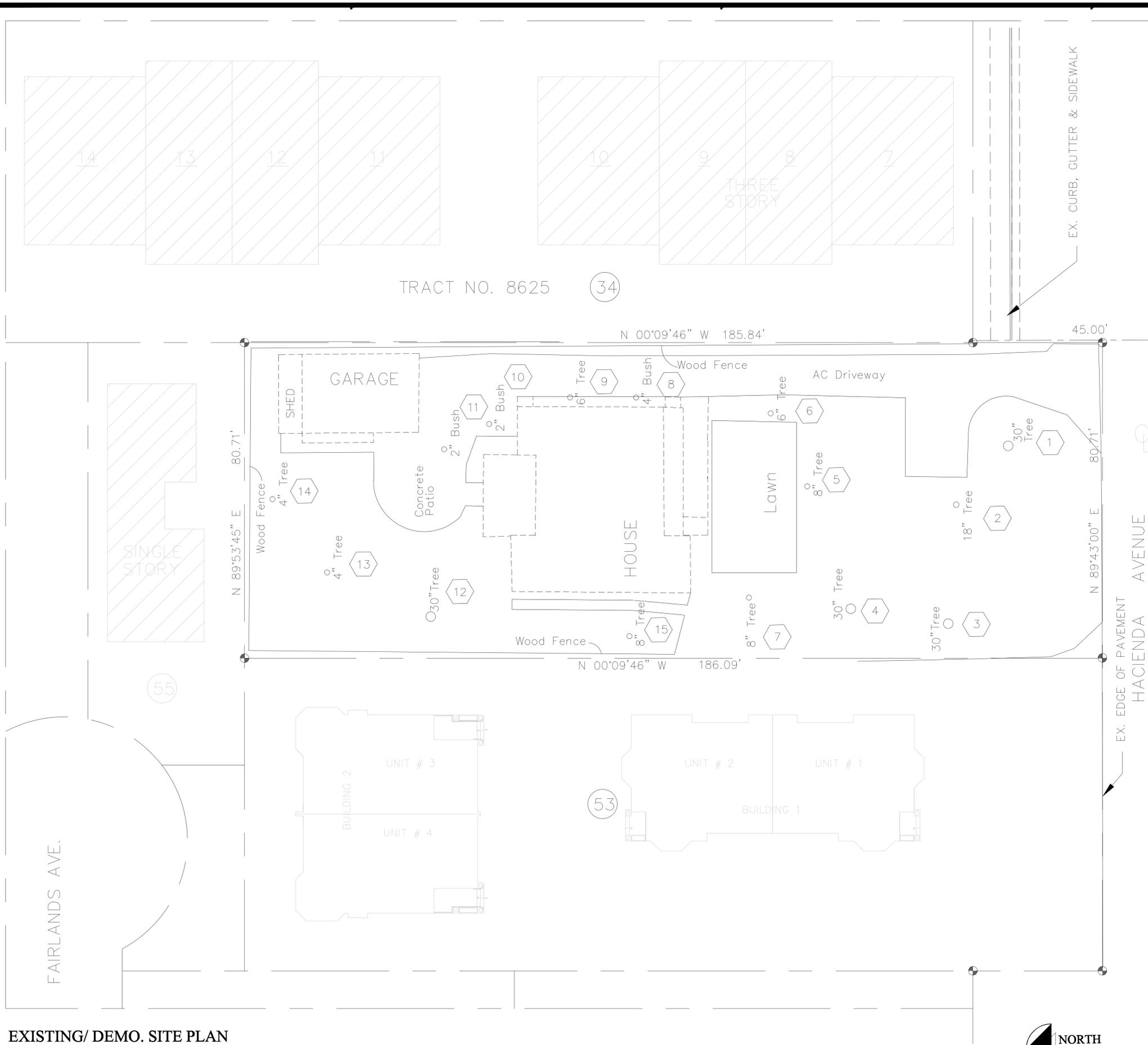
REVISIONS		
NO.	ITEM	DATE

PLOT SCALE: 1/2"=1'-0"
 DRAWN BY: AK
 CHECKED BY: AK
 PROJECT NO: L2013.00
 SCALE: AS SHOWN

A-0

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EXISTING/ DEMO. SITE PLAN

SCALE: 1"=1'-0"



EXISTING TREE'S TYPE

- 1 CEDRUS DEODORA TREE
- 2 CALOCEDRUS DECURRENS
- 3 CEDRUS DEODORA TREE
- 4 CEDRUS DEODORA TREE
- 5 DIOSPYROS 'FUYU'
- 6 CEDRUS DEODORA TREE
- 7 UMBELLULARIA TREE
- 8 AILANTHUS TREE
- 9 AILANTHUS TREE
- 10 CAMELLIA
- 11 AILANTHUS TREE
- 12 CALOCEDRUS DECURRENS
- 13 YELLOW PLUM
- 14 AILANTHUS ALTISSIMA
- 15 QUERCUS AGRIFOLIA

A.G.P.

 Design Group
 1296 Virginia Ave.
 Campbell, CA 95008
 Tel: (408) 316.6168
 Fax: (408) 996.1247
 E-Mail: agp@pacbell.net



EXISTING/ DEMO. SITE PLAN

HACIENDA
 LUXURY TOWN HOMES
 705 HACIENDA AVE.
 CAMPBELL, CA

REVISIONS
 NO. ITEM DATE

NO.	ITEM	DATE

PLOT SCALE: 12"=1'-0"
 DRAWN BY: AK
 CHECKED BY: AK
 PROJECT NO: L2013.00 DATE:
 SCALE: AS SHOWN 04-01-13

A.1.0



SITE PLAN
HACIENDA TOWN HOMES
 LUXURY TOWN HOMES
 705 HACIENDA AVE.
 CAMPBELL, CA

REVISIONS NO.	ITEM	DATE

PLOT SCALE:	12"=1'-0"
DRAWN BY:	AK
CHECKED BY:	MF
PROJECT NO:	L2013.00
SCALE:	AS SHOWN
DATE:	04-01-13

A.1.1

PRIVATE BACKYARDS:
 1,062 Sq. ft.
 1,070 Sq. ft.
 553 Sq. ft.
 553 Sq. ft.

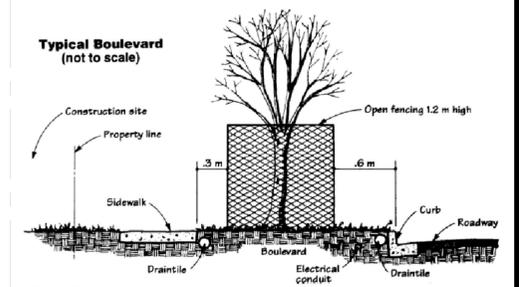
TOTAL: 3,238 Sq. ft.

COMMON LANDSCAPE AREA:
 339 Sq. ft.
 30 Sq. ft.
 9 Sq. ft.
 827 Sq. ft.
 150 Sq. ft.
 330 Sq. ft.

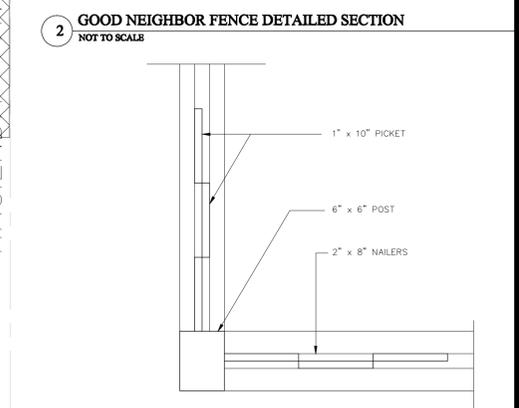
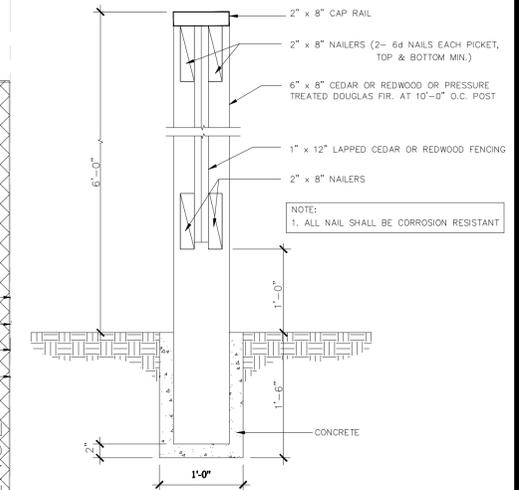
TOTAL: 1,715 Sq. ft.

TOTAL LANDSCAPE AREA:
 4,953 Sq. ft.

PERCENTAGE OF LANDSCAPED AREA:
 $\frac{4,953 \text{ Sq. ft.}}{15,009 \text{ Sq. ft.}} \times 100 = \% 33$

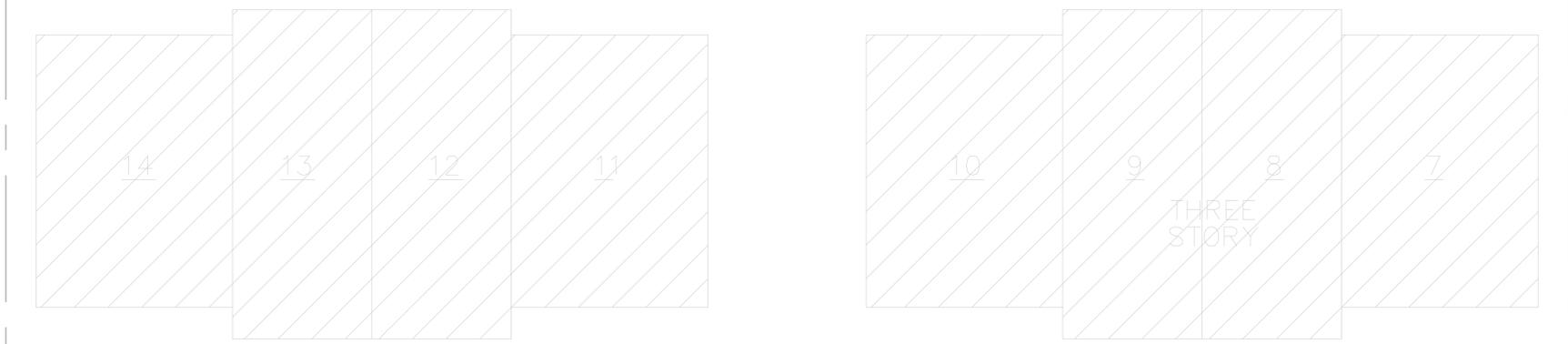


1 TYP. TREE PROTECTION
 NOT TO SCALE

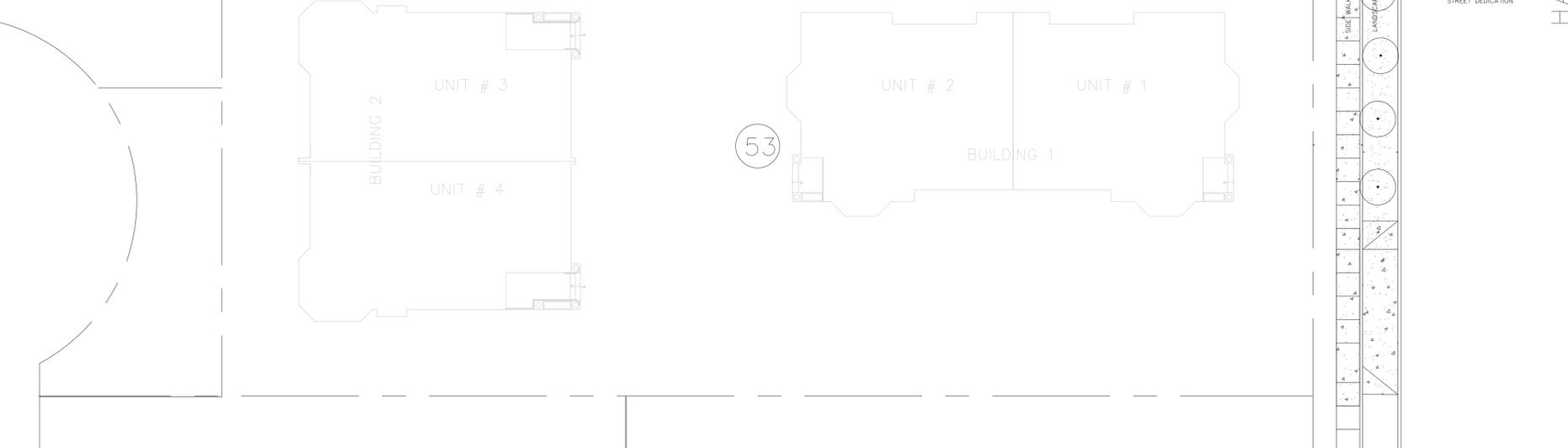
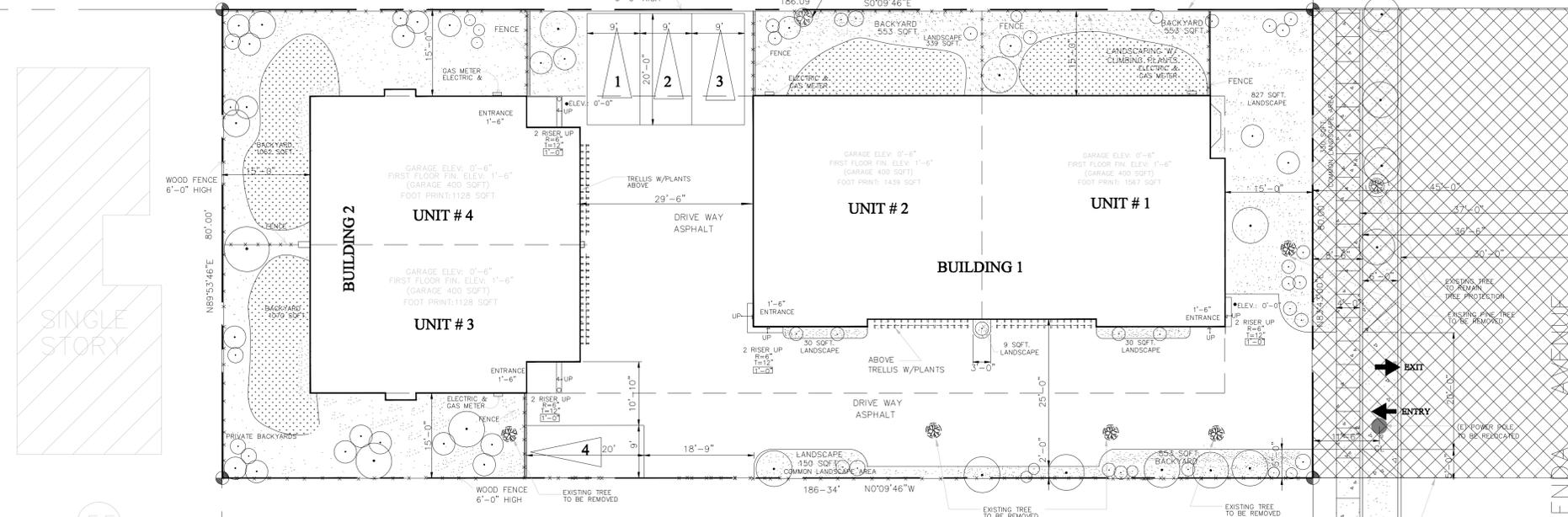


- LEGEND:**
- EXISTING TREES
 - NEW TREES
 - CHAIN LINK FENCE TO BE INSTALLED PRIOR TO THE DEMOLITION, GRADING, OR BUILDING ON SITE (PROVIDED IN ACCORDANCE WITH THE CITY'S WATER EFFICIENT LANDSCAPE STANDARDS)
 - EXISTING TREES TO BE REMOVED

NOTE:
 CMC 21.14.140 REQUIRES THAT ALL UTILITIES SHALL BE PLACED UNDERGROUND.



TRACT NO. 8625 (34)



SITE PLAN
 SCALE: 1"=1'-0"

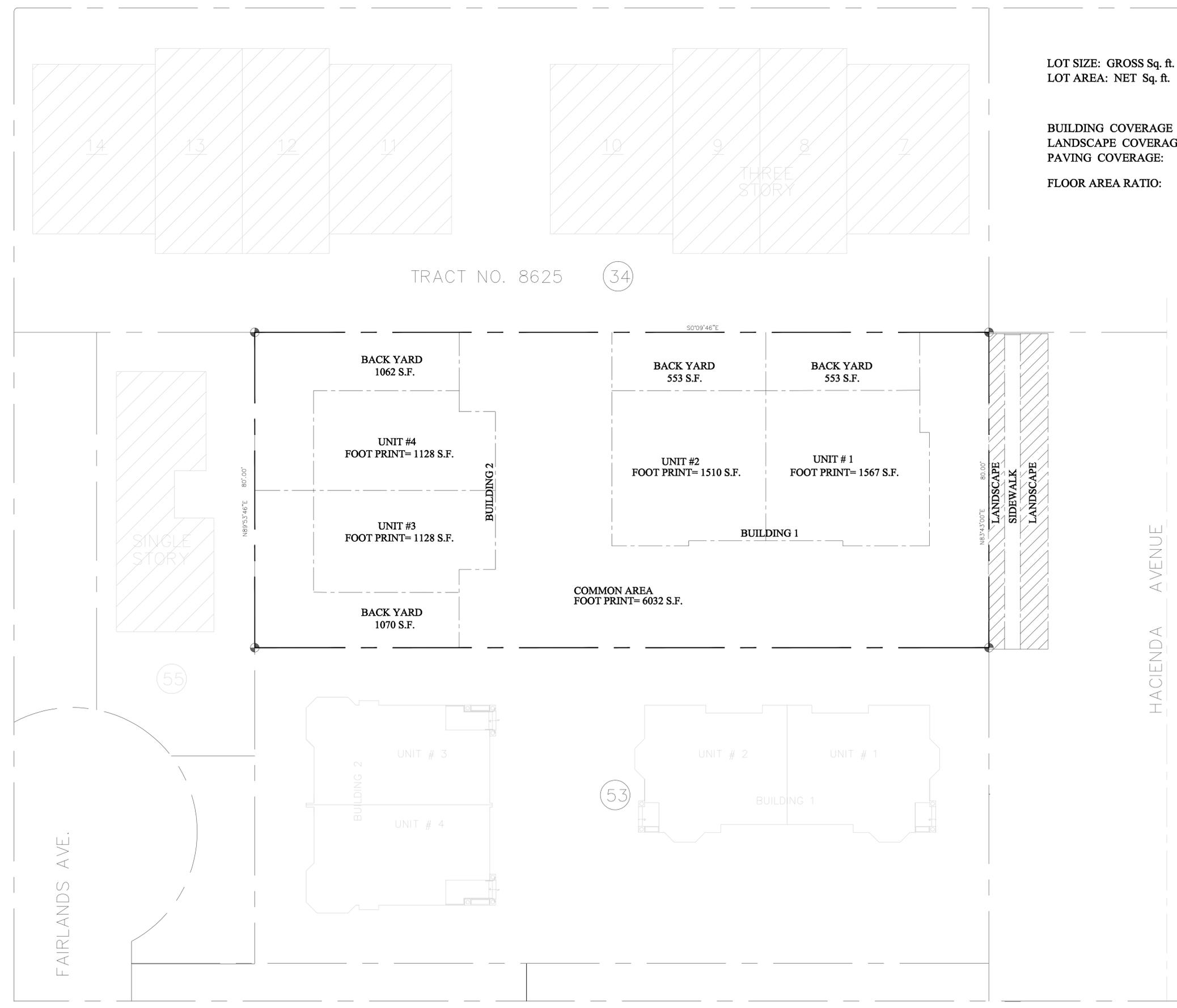
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LOT SIZE: GROSS Sq. ft. 18,487± Sq. ft.
 LOT AREA: NET Sq. ft. 15,009 Sq. Ft.

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 LANDSCAPE COVERAGE: 4,953 Sq. ft. 33 %
 PAVING COVERAGE: 4,893 Sq. ft. 31%

FLOOR AREA RATIO: $\frac{9,694}{15,009 \text{ Sq. ft.}}$ = 64% 9 % DENSITY



SITE DIAGRAM PLAN

HACIENDA
 LUXURY TOWN HOMES
 705 HACIENDA AVE.
 CAMPBELL, CA

NO.	ITEM	DATE

PLOT SCALE: 12"=1'-0"
 DRAWN BY: AK
 CHECKED BY: MF
 PROJECT NO: L2013.00 DATE: 04-01-13
 SCALE: AS SHOWN

A.1.2

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SITE DIAGRAM PLAN
 SCALE: 1"=1'-0"





BUILDING-1
FIRST & SECOND FLOOR
HACIENDA
LUXURY TOWN HOMES
 705 HACIENDA AVE.
 CAMPBELL, CA

REVISIONS

NO.	ITEM	DATE

PLOT SCALE:	12"=1'-0"
DRAWN BY:	AK
CHECKED BY:	MF
PROJECT NO:	L2013.00
SCALE:	1/4"=1'-0"
DATE:	03-13-13

GENERAL NOTES

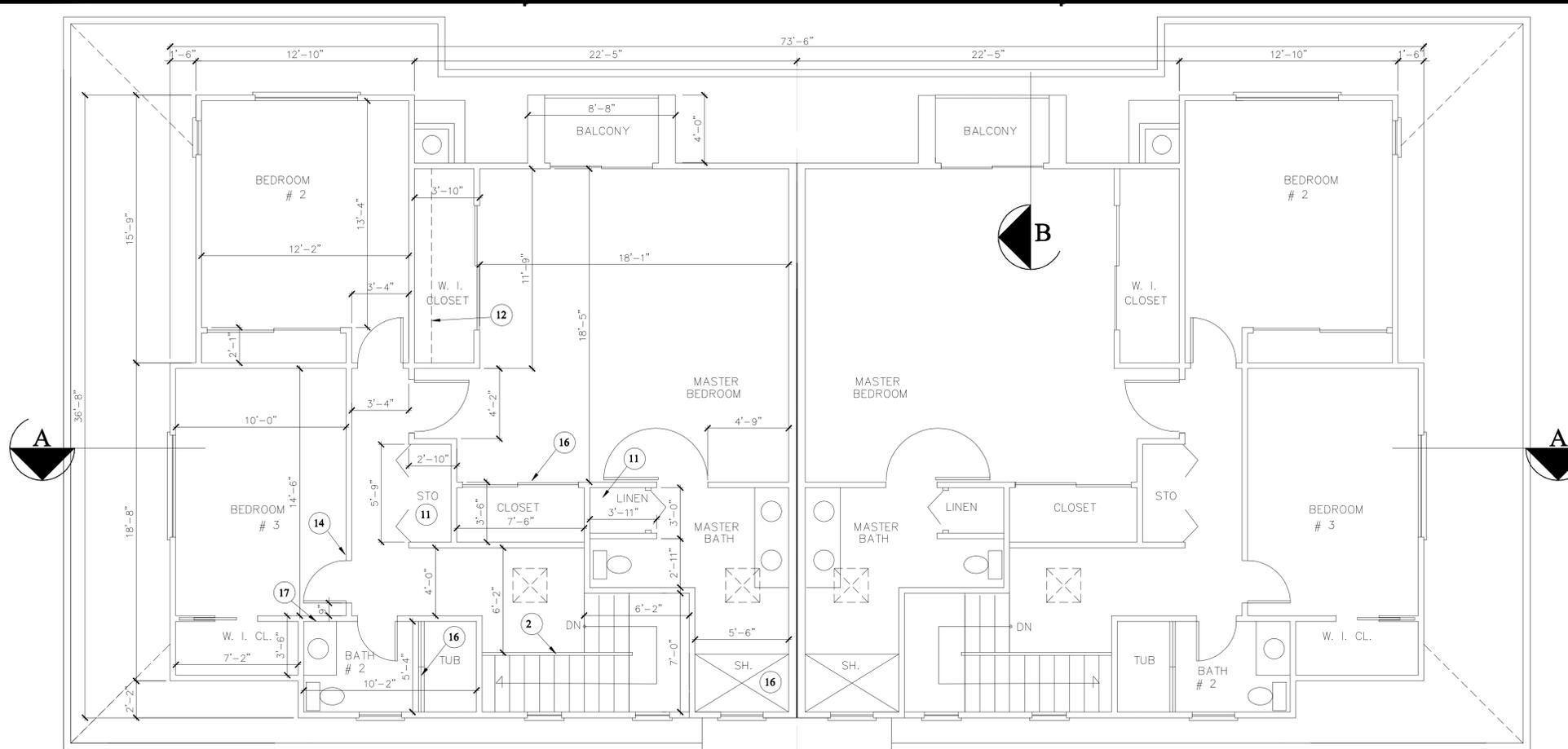
- FIELD VERIFY ALL DIMENSIONS AND EXISTING EQUIPMENT, EXISTING ELECTRICAL & MECHANICAL UTILITIES, ROOF ELEMENTS, PIPING, CONDUIT AND CONDITION OF THE SPACE BEFORE CONSTRUCTION COMMENCES.
- NOTIFY ARCHITECT OF ANY CONFLICTS BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL WORK, SUCH AS OUTLETS, SWITCHES, WIRING AND ALL DOCUMENTS WHICH ARE REQUIRED BY ALL AGENCIES FOR PLAN CHECK AND BUILDING PERMIT PROCESS.
- CONTRACTOR IS RESPONSIBLE FOR ALL MECHANICAL, HVAC WORK, AND ALL DOCUMENTS WHICH ARE REQUIRED BY AGENCIES FOR PLAN CHECK AND BUILDING PERMIT PROCESS.

LEGEND

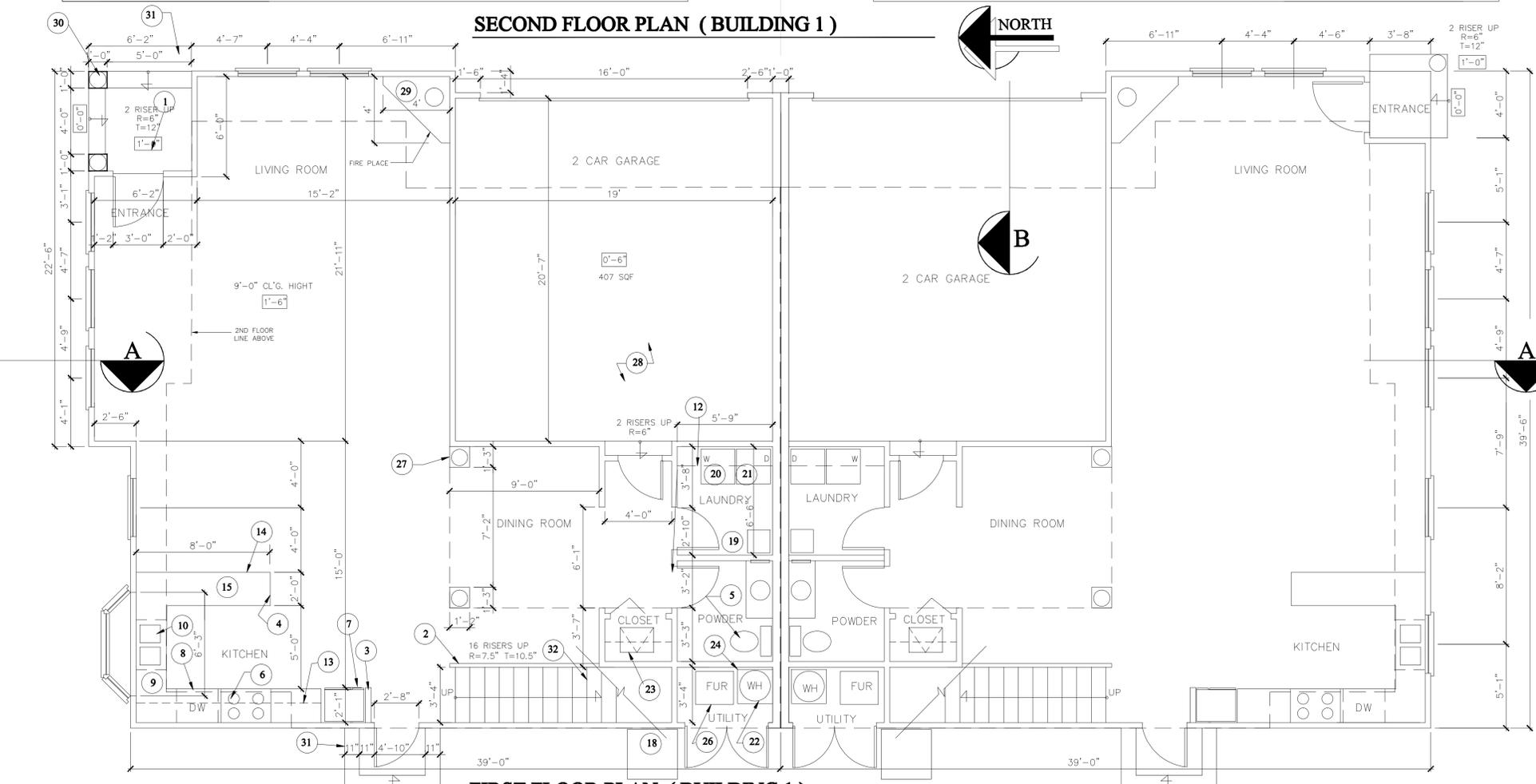
-  2'-0" x 2'-0" SKYLIGHT ABOVE W/ GLASS DIFFUSER
-  18" LIGHT TUNNEL ABOVE

KEY NOTES

- 1 3/4" SOILD CORE ENTRY DOOR
- 2 HAND RAIL
- 3 HALF WALL W/ WOOD TOP
- 4 WINE COOLER/ UNDER COUNTER
- 5 LAVATORY
- 6 30" GAS COOK TOP/ OVEN RANGE, VENT TO OUT SIDE
- 7 40" REFRIGERATOR/FREEZER-PLUMB FOR ICE MAKER
- 8 DISHWASHER
- 9 TRASH COMPACTOR
- 10 38" SINK WITH FOOD DISPOSER/ DBL.SINK
- 11 LINEN W/ 6 SHELVES
- 12 BUILT-IN SHELVES
- 13 LINE OF A CABINET ABOVE
- 14 CRANITE COUNTER TOP
- 15 GRANITE SLAB
- 16 CERAMIC SHOWER WITH TEMP. GLASS ENCLOSURE W/ MARBLE
- 17 MEDICINE CABINET
- 18 3x3 CONCRETE A/C PAD@ EACH A/C UNIT LOCATION
- 19 LAUNDRY SINK
- 20 WASHER
- 21 DRYER- VENT TO OUTSIDE
- 22 75 GALLON WATER HEATER W/ SEISMIC STRAPPING
- 23 18" x 24" CRAWL SPACE ACCESS
- 24 18" HIGH WOOD PLATFORM
- 25 PROVIDE COMBUSTION AIR PER UMC. 603
- 26 FURNACE
- 27 MOLDED POLYURETHANE COLUMN (TYP.)
- 28 1-LAYER OF 5/8" TYPE "X" GYP. BD. @ GARAGE WALLS & CLG.
- 29 GAS FIREPLACE
- 30 14" DIAMETER PRE CAST CONCRETE COLUMN (TYP.)
- 31 CONCRETE STEP
- 32 WOOD STAIR, TYP.



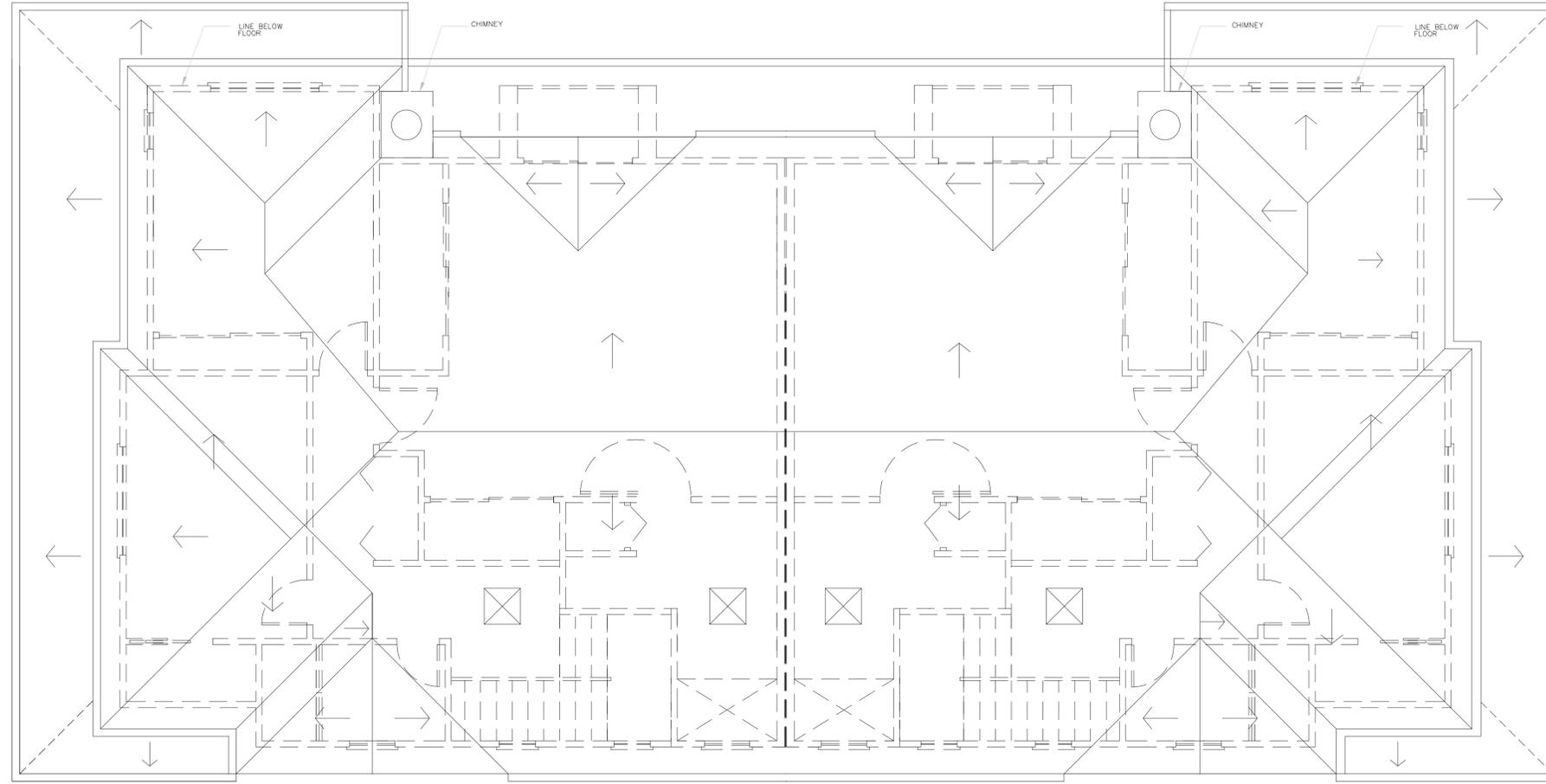
SECOND FLOOR PLAN (BUILDING 1)



FIRST FLOOR PLAN (BUILDING 1)

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ROOF PLAN (BUILDING 1)



GENERAL NOTES

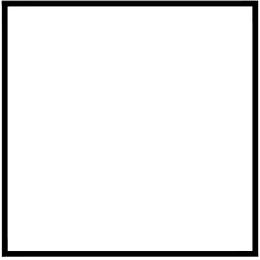
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3. CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL WORK, SUCH AS OUTLETS, SWITCHES, WIRING AND ALL DOCUMENTS WHICH ARE REQUIRED BY ALL AGENCIES FOR PLAN CHECK AND BUILDING PERMIT PROCESS.
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LEGEND

2'-0" x 2'-0" SKYLIGHT ABOVE W/ GLASS DIFFUSER

A.G.P.

Design Group
 1296 Virginia Ave.
 Campbell, CA 95008
 Tel: (408) 316.6167
 Fax: (408) 996.1247
 E-Mail: agp@pacbell.net



**BUILDING-1
 ROOF PLAN**
**HACIENDA
 LUXURY TOWN HOMES**
 705 HACIENDA AVE.
 CAMPBELL, CA

REVISIONS		
NO.	ITEM	DATE

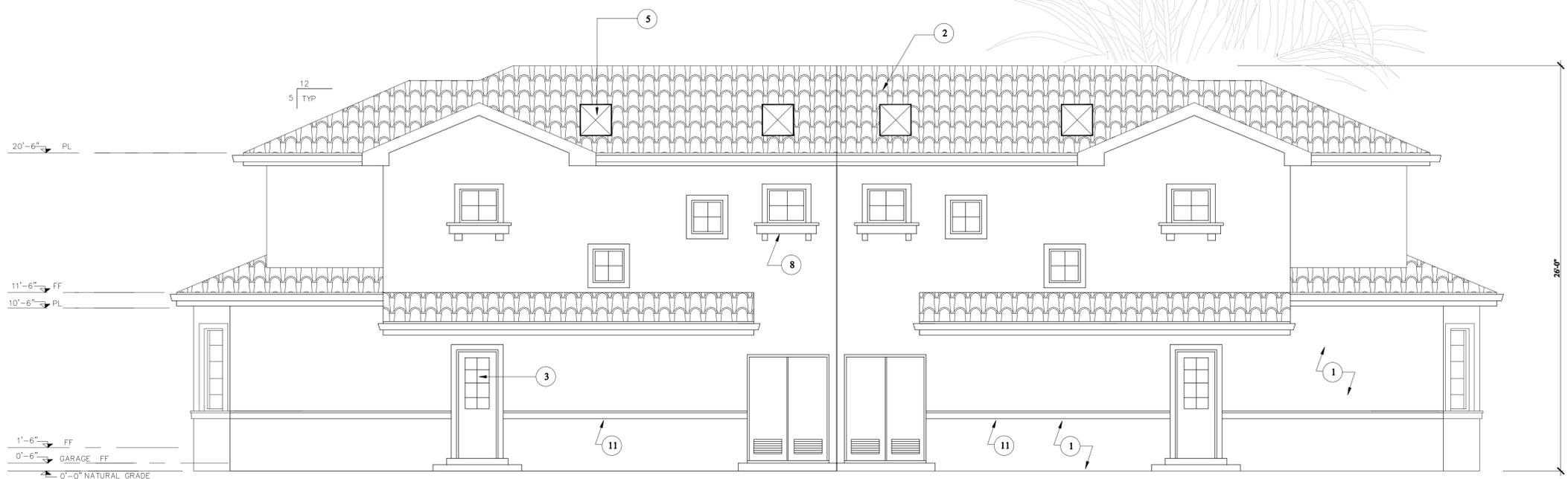
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 CHECKED BY: MF
 PROJECT NO: L2013.00 DATE: 04-01-13
 SCALE: 1/4"=1'-0"

A.3.0



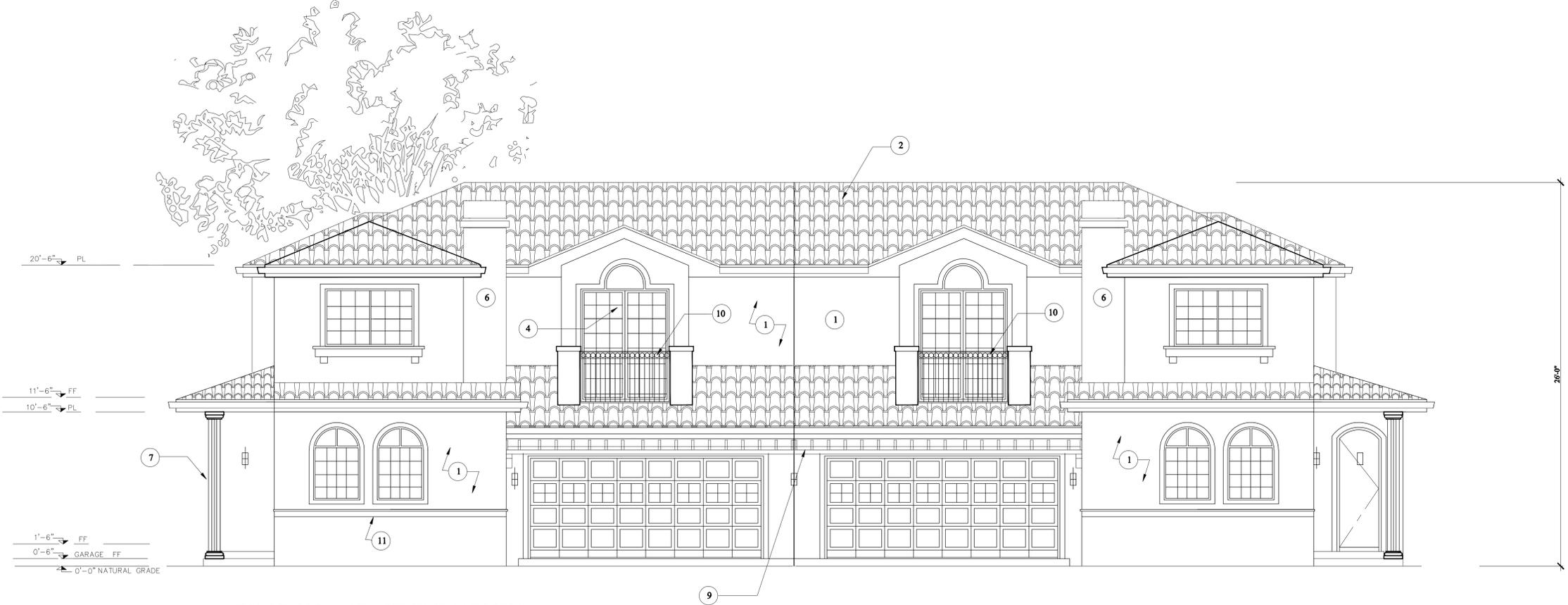
KEY NOTES

- 1 CEMENT PLASTER
- 2 MONIER CONC. TILE (VILLA) SANDSTORM (1180), TYP. FOR ALL BLDGS OR COMPOSITION SHINGLE (COLOR BLACK)
- 3 GRID WINDOW
- 4 GLASS
- 5 SKY LIGHT
- 6 CHIMNEY
- 7 COLUMN (PLASTER)
- 8 WOOD TRIM
- 9 TRELLIS
- 10 GARD RAIL, PAINTED
- 11 FOAM TRIM, TYP.



BUILDING 1 (WEST ELEVATION)

SCALE: 1/4"=1'-0"



BUILDING 1 (EAST ELEVATION)

SCALE: 1/4"=1'-0"

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BUILDING-1
BUILDING ELEVATIONS

HACIENDA
LUXURY TOWN HOMES
 705 HACIENDA AVE.
 CAMPBELL, CA

REVISIONS		
NO.	ITEM	DATE

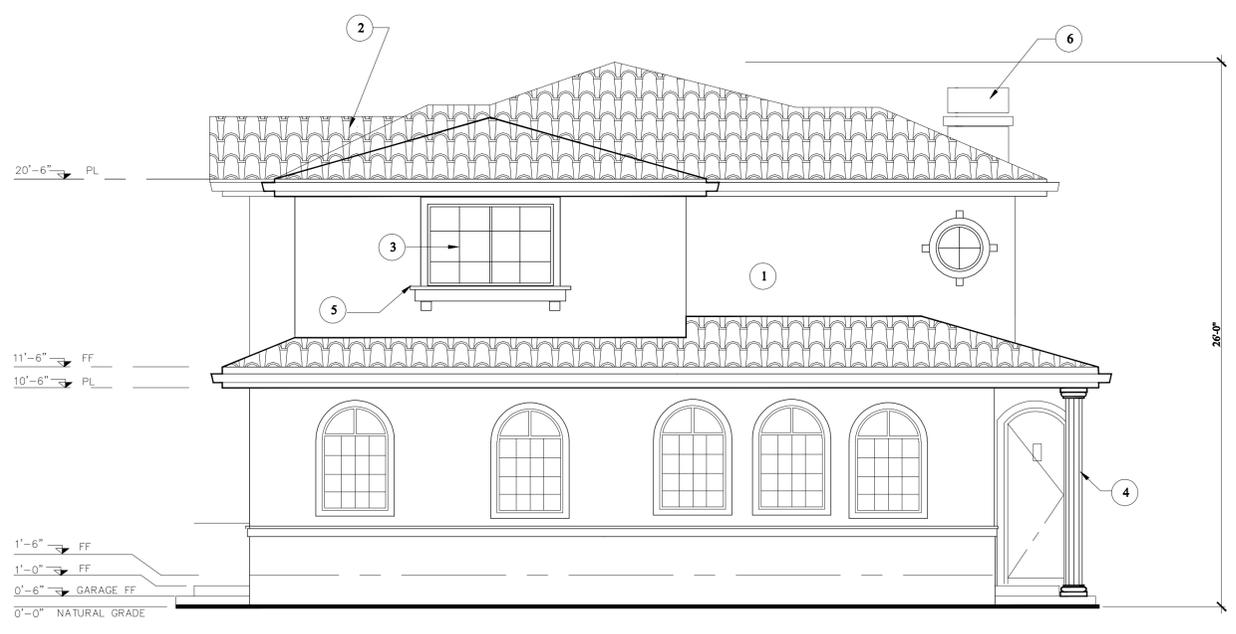
PLOT SCALE:	12"=1'-0"
DRAWN BY:	AK
CHECKED BY:	MF
PROJECT NO:	L2013.00
SCALE:	AS SHOWN
DATE:	04-01-13

A.4.0



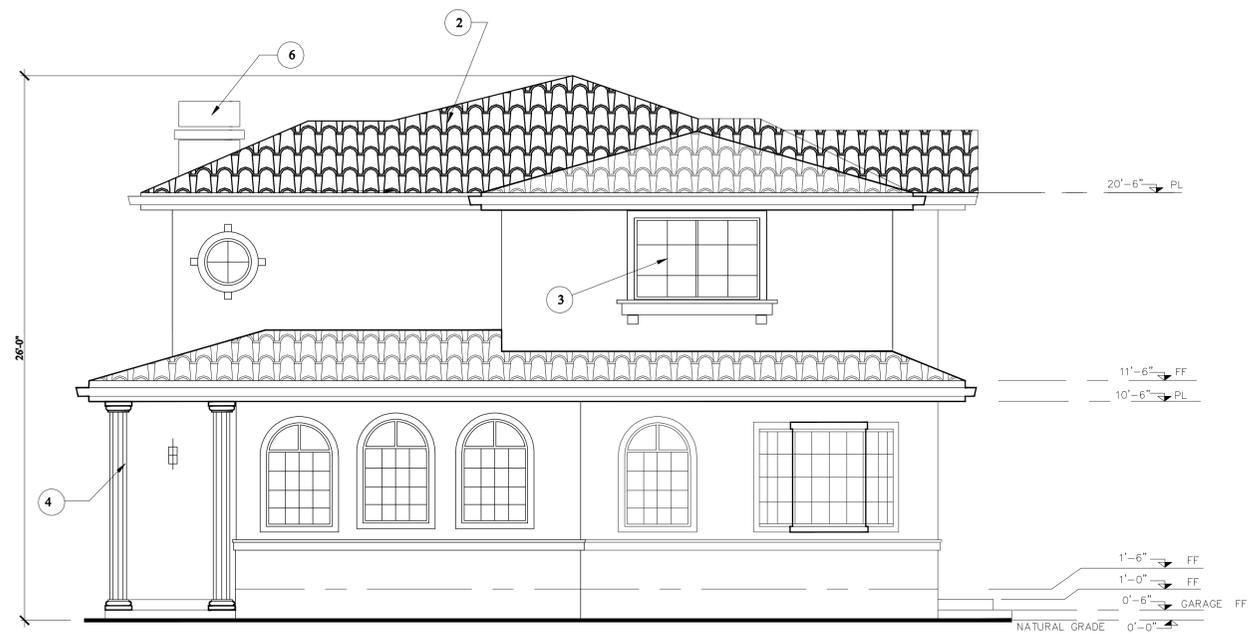
KEY NOTES

- 1 CEMENT PLASTER
- 2 MONIER CONC. TILE (VILLA) SANDSTORM (118), TYP. FOR ALL BLDGS OR COMPOSITION SHINGLE (COLOR BLACK)
- 3 GRID WINDOW
- 4 COLUMN (PLASTER)
- 5 WOOD TRIM
- 6 CHIMNEY



BUILDING 1 (SOUTH ELEVATION)

SCALE: 1/4"=1'-0"



BUILDING 1 (NORTH ELEVATION)

SCALE: 1/4"=1'-0"

BUILDING-1
 BUILDING ELEVATIONS

HACIENDA
 LUXURY TOWN HOMES
 705 HACIENDA AVE.
 CAMPBELL, CA

REVISIONS
 NO. ITEM DATE

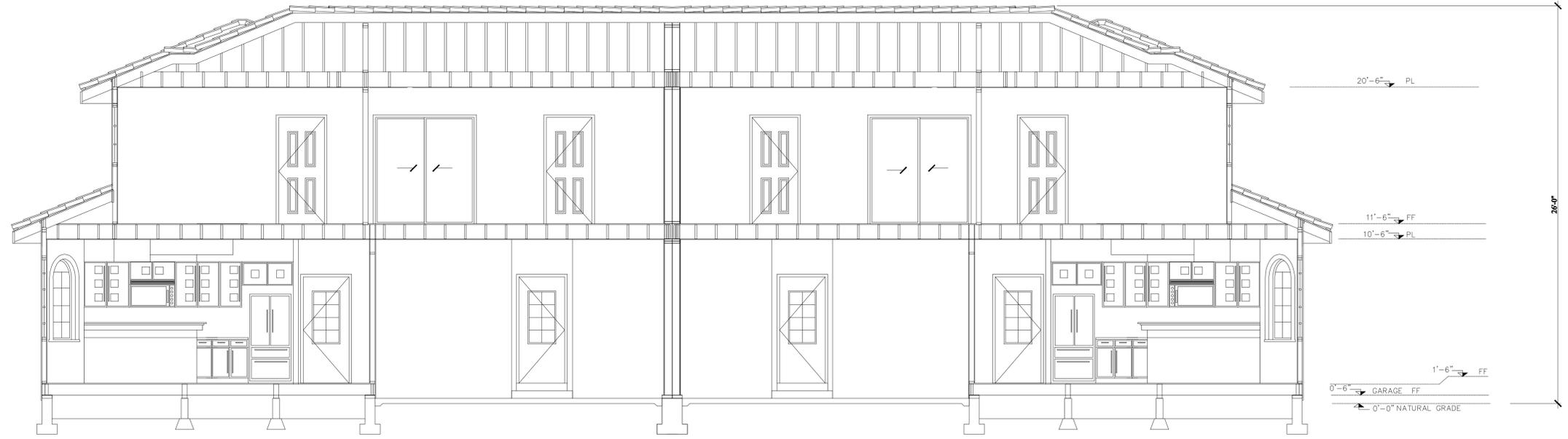
NO.	ITEM	DATE

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 CHECKED BY: MF
 PROJECT NO: L2013.00 DATE:
 SCALE: AS SHOWN 04-01-13

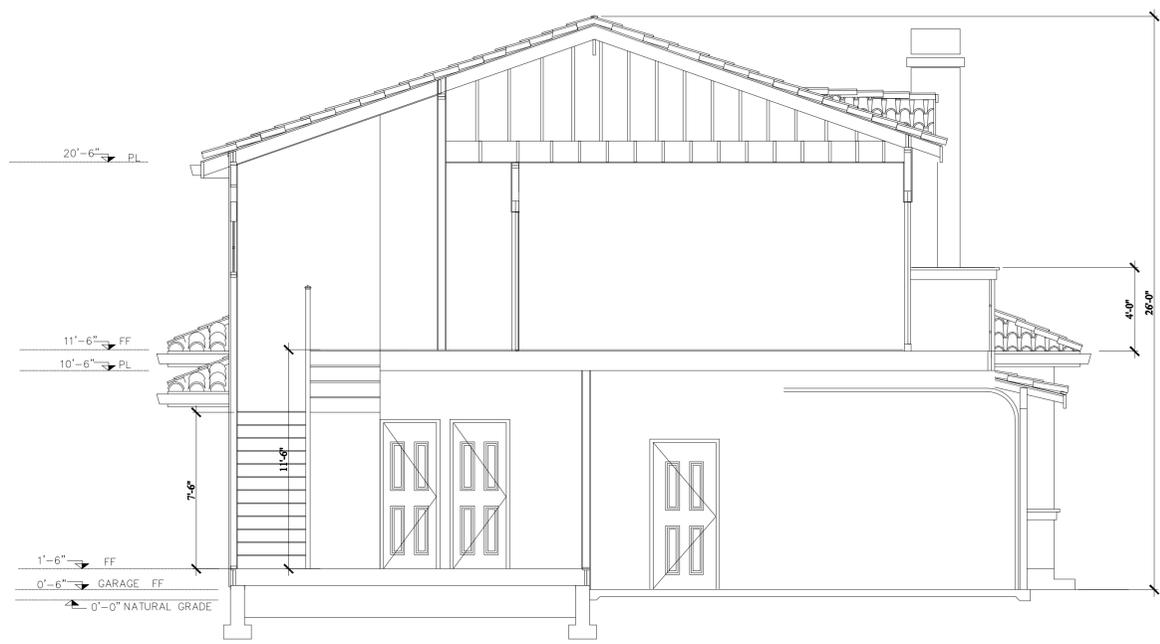
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 E-Mail: agp@pacbell.net



BUILDING-1 -SECTION A-A
 SCALE: 1/4"=1'-0"



BUILDING-1 -SECTION B-B
 SCALE: 1/4"=1'-0"

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BUILDING-1
BUILDING SECTIONS

HACIENDA
LUXURY TOWN HOMES
 705 HACIENDA AVE.
 CAMPBELL, CA

REVISIONS		
NO.	ITEM	DATE

PLOT SCALE: 12"=1'-0"
 DRAWN BY: AK
 CHECKED BY: MF
 PROJECT NO: L2013.00 DATE:
 SCALE: AS SHOWN 04-01-13

A.5.0

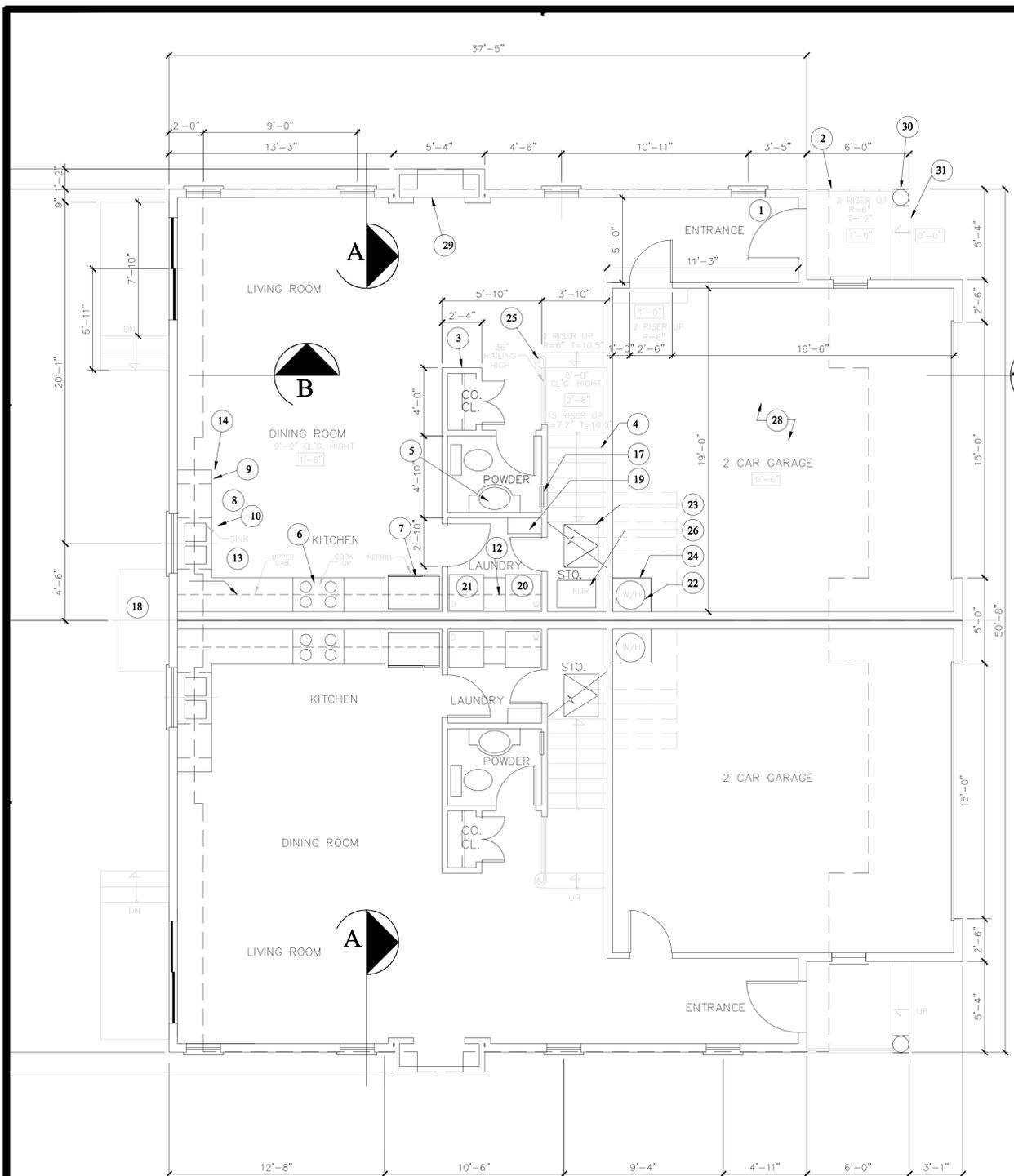


BUILDING-2
FIRST & SECOND FLOOR
HACIENDA
LUXURY TOWN HOMES
 705 HACIENDA AVE.
 CAMPBELL, CA

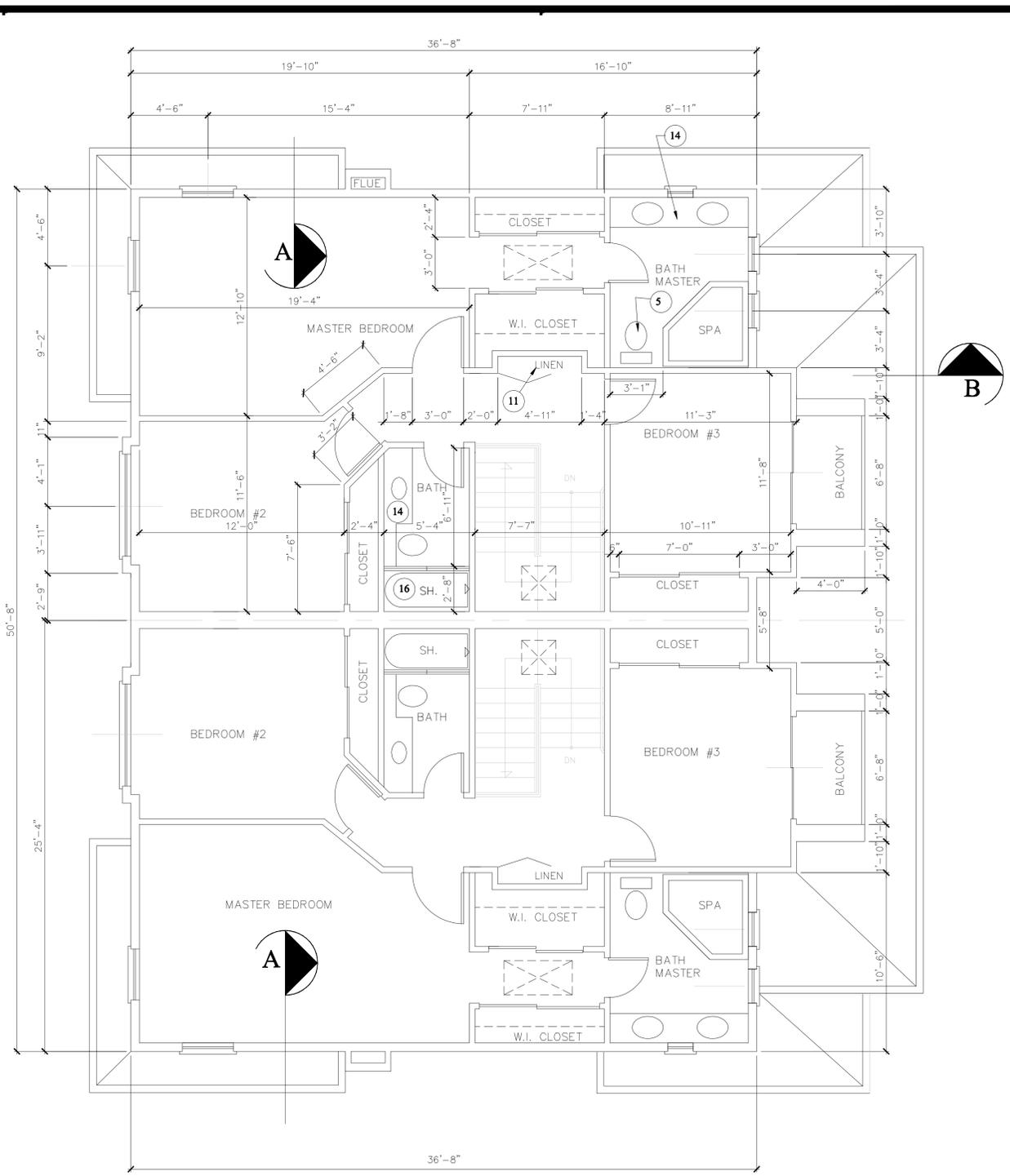
NO.	REVISIONS	DATE

PLOT SCALE:	12"=1'-0"
DRAWN BY:	AK
CHECKED BY:	MF
PROJECT NO:	L2013.00
SCALE:	1/4"=1'-0"
DATE:	04-01-13

A.6.0



FIRST FLOOR PLAN (BUILDING 2)



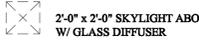
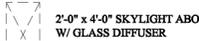
SECOND FLOOR PLAN (BUILDING 2)



GENERAL NOTES

- FIELD VERIFY ALL DIMENSIONS AND EXISTING EQUIPMENT, EXISTING ELECTRICAL & MECHANICAL UTILITIES, ROOF ELEMENTS, PIPING, CONDUIT AND CONDITION OF THE SPACE BEFORE CONSTRUCTION COMMENCES.
- NOTIFY ARCHITECT OF ANY CONFLICTS BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL WORK, SUCH AS OUTLETS, SWITCHES, WIRING AND ALL DOCUMENTS WHICH ARE REQUIRED BY ALL AGENCIES FOR PLAN CHECK AND BUILDING PERMIT PROCESS.
- CONTRACTOR IS RESPONSIBLE FOR ALL MECHANICAL, HVAC WORK, AND ALL DOCUMENTS WHICH ARE REQUIRED BY AGENCIES FOR PLAN CHECK AND BUILDING PERMIT PROCESS.

LEGEND

-  2'-0" x 2'-0" SKYLIGHT ABOVE W/ GLASS DIFFUSER
-  2'-0" x 4'-0" SKYLIGHT ABOVE W/ GLASS DIFFUSER

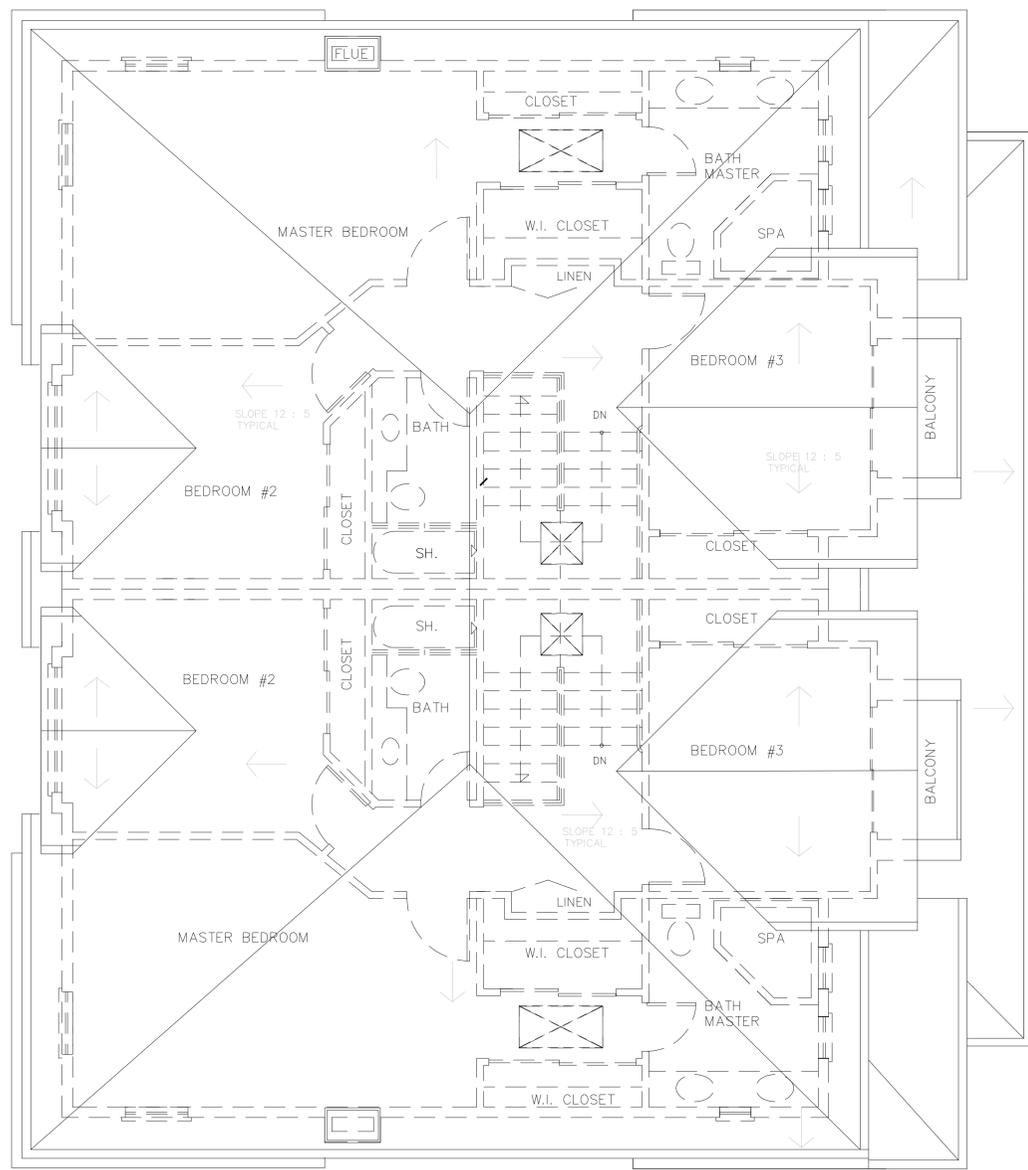
KEY NOTES

- 1 3/4" SOILD CORE ENTRY DOOR
- 2 HAND RAIL
- 3 HALF WALL W/ WOOD TOP
- 4 WOOD STAIR, TYP.
- 5 LAVATORY
- 6 30" GAS COOK TOP/ OVEN RANGE, VENT TO OUT SIDE
- 7 40" REFRIGERATOR/FREEZER-PLUMB FOR ICE MAKER
- 8 DISHWASHER
- 9 TRASH COMPACTOR
- 10 38" SINK WITH FOOD DISPOSER/ DBL.SINK

- 11 LINEN W/ 6 SHELVES
- 12 BUILT- IN SHELVES
- 13 LINE OF A CABINET ABOVE
- 14 CRANITE COUNTER TOP
- 15 NOT USED
- 16 CERAMIC SHOWER WITH TEMP. GLASS ENCLOSURE W/ MARBLE
- 17 MEDICINE CABINET
- 18 3x3 CONCRETE A/C PAD@ EACH A/C UNIT LOCATION
- 19 LAUNDRY SINK
- 20 WASHER

- 21 DRYER- VENT TO OUTSIDE
- 22 75 GALLON WATER HEATER W/ SEISMIC STRAPPING
- 23 18" x 24" CRAWL SPACE ACCESS
- 24 18" HIGH WOOD PLATFORM
- 25 WOOD HANDRAIL
- 26 FURNACE
- 27 MOLDED POLYURETHANE COLUMN (TYP.)
- 28 1-LAYER OF 5/8" TYPE "X" GYP. BD. @ GARAGE WALLS & CLG.
- 29 GAS FIREPLACE
- 30 14" DIAMETER PRE CAST CONCRETE COLUMN (TYP.)
- 31 CONCRETE STEP

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ROOF PLAN (BUILDING 2)



GENERAL NOTES

1. FIELD VERIFY ALL DIMENSIONS AND EXISTING EQUIPMENT, EXISTING ELECTRICAL & MECHANICAL UTILITIES, ROOF ELEMENTS, PIPING, CONDUIT AND CONDITION OF THE SPACE BEFORE CONSTRUCTION COMMENCES.
2. NOTIFY ARCHITECT OF ANY CONFLICTS BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS.
3. CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL WORK, SUCH AS OUTLETS, SWITCHES, WIRING AND ALL DOCUMENTS WHICH ARE REQUIRED BY ALL AGENCIES FOR PLAN CHECK AND BUILDING PERMIT PROCESS.
4. CONTRACTOR IS RESPONSIBLE FOR ALL MECHANICAL, HVAC WORK, AND ALL DOCUMENTS WHICH ARE REQUIRED BY AGENCIES FOR PLAN CHECK AND BUILDING PERMIT PROCESS.

LEGEND

- 2'-0" x 2'-0" SKYLIGHT ABOVE
W/ GLASS DIFFUSER
- 2'-0" x 4'-0" SKYLIGHT ABOVE
W/ GLASS DIFFUSER
- CHIMNEY

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**BUILDING-2
ROOF PLAN**

**HACIENDA
LUXURY TOWN HOMES**
 705 HACIENDA AVE.
 CAMPBELL, CA

REVISIONS	NO.	ITEM	DATE

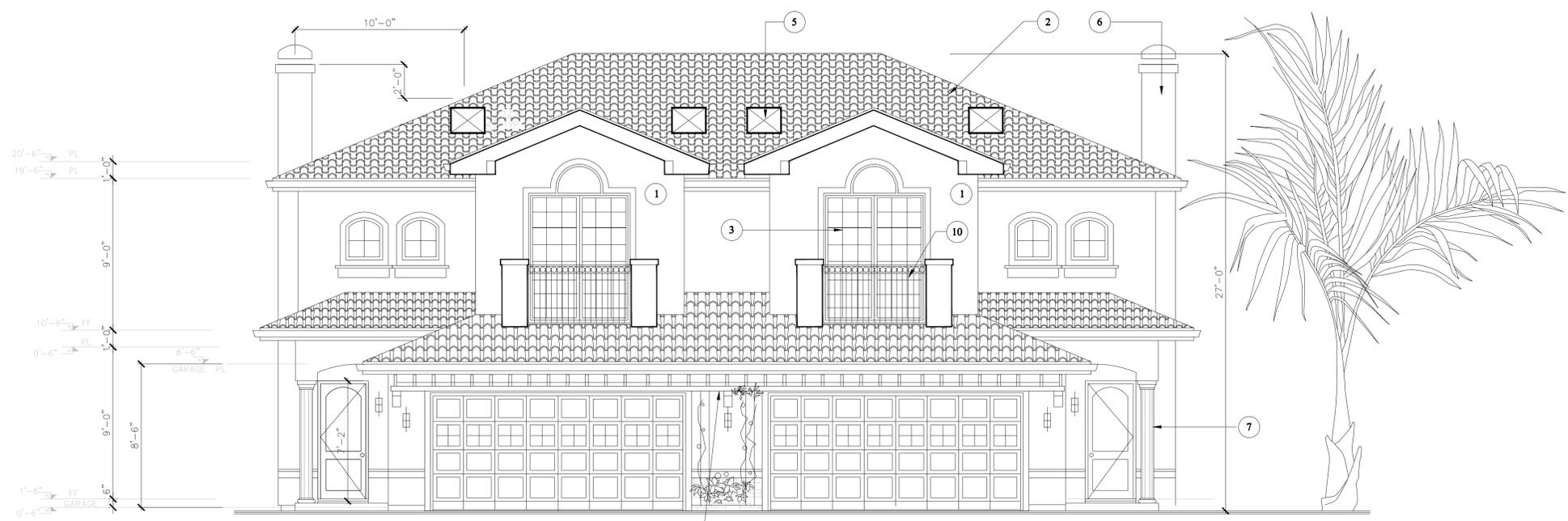
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 DRAWN BY: AK
 CHECKED BY: MF
 PROJECT NO: L2013.00 DATE:
 SCALE: 1/4"=1'-0" 04-01-13

A.7.0



KEY NOTES

- 1 CEMENT PLASTER
- 2 MONIER CONC. TILE (VILLA) SANDSTORM (1180), TYP. FOR ALL BLDGS OR COMPOSITION SHINGLE (COLOR BLACK)
- 3 GRID WINDOW
- 4 CULTURED STONE WINSHOT, TYP.
- 5 SKY LIGHT
- 6 CHIMNEY
- 7 COLUMN (PLASTER)
- 8 WOOD TRIM
- 9 TRELLIS AND CLIMBING PLANTS
- 10 GARD RAIL, PAINTED
- 11 GLASS



BUILDING 2 (SOUTH ELEVATION)
 SCALE: 1/4"=1'-0"



BUILDING 2 (EAST ELEVATION)
 SCALE: 1/4"=1'-0"

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BUILDING-2
 BUILDING ELEVATIONS

HACIENDA
LUXURY TOWN HOMES
 705 HACIENDA AVE.
 CAMPBELL, CA

REVISIONS		
NO.	ITEM	DATE

PLOT SCALE: 12"=1'-0"
 DRAWN BY: AK
 CHECKED BY: MF
 PROJECT NO: L2013.00 DATE:
 SCALE: AS SHOWN 04-01-13

A.8.0

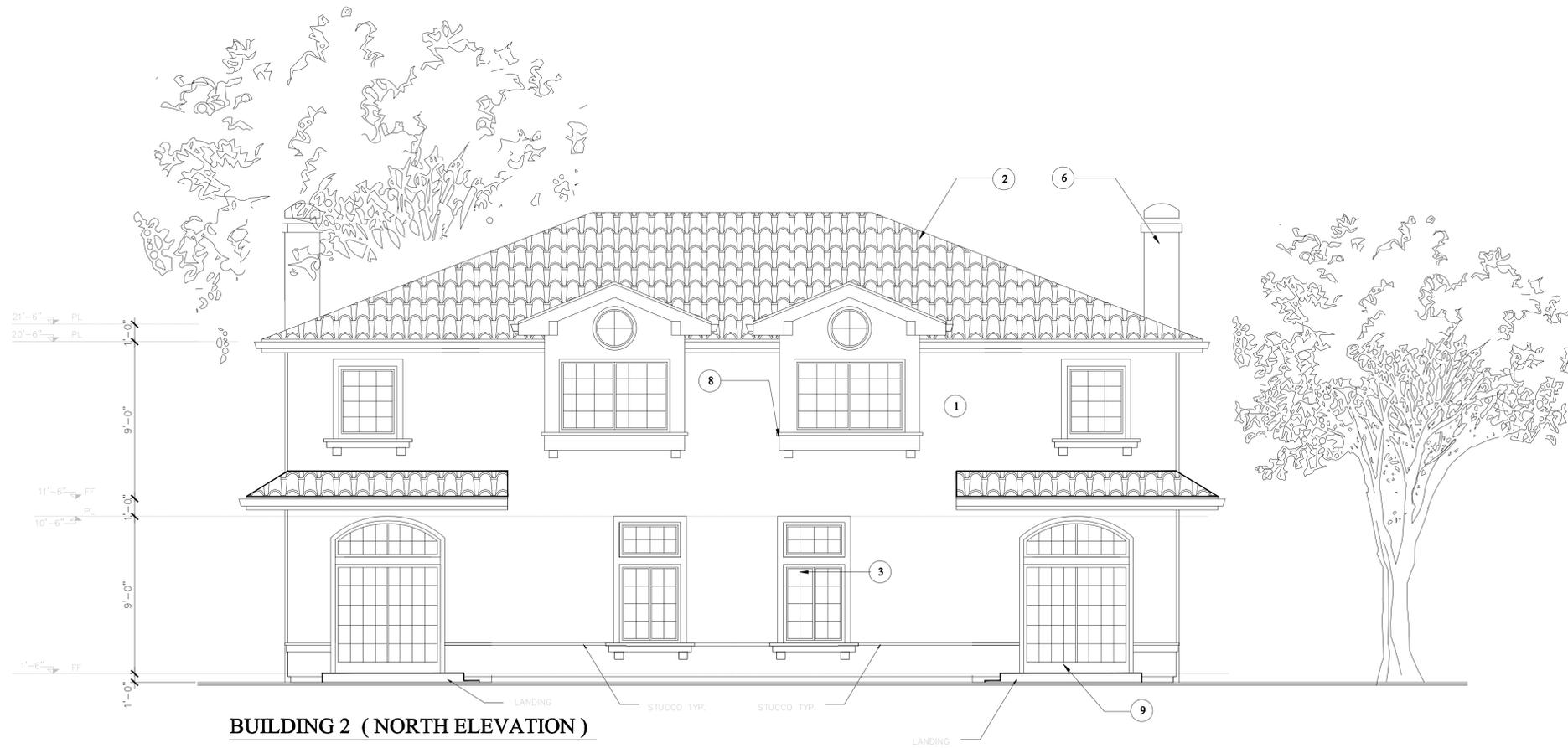


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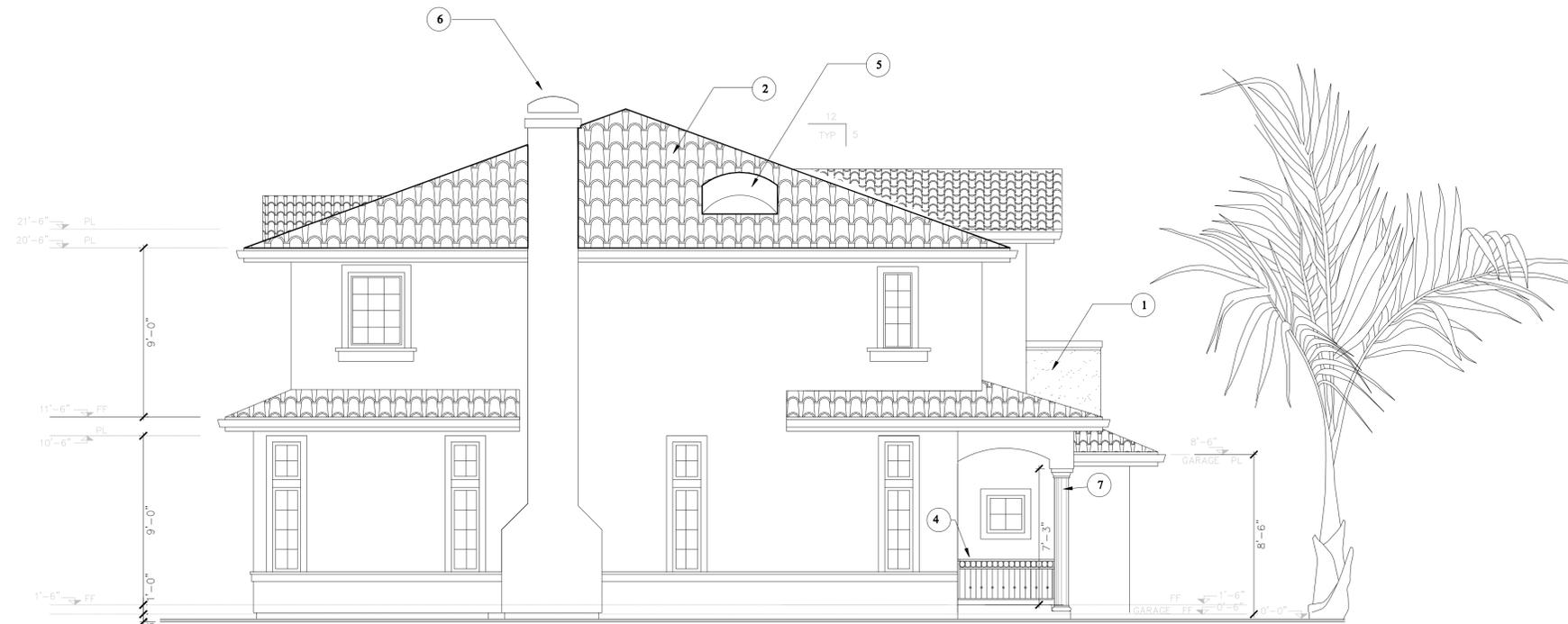
KEY NOTES

- 1 CEMENT PLASTER
- 2 MONIER CONC. TILE (VILLA) SANDSTORM (1180), TYP. FOR ALL BLDGS OR COMPOSITION SHINGLE (COLOR BLACK)
- 3 GRID WINDOW
- 4 GARD RAIL, PAINTED
- 5 SKY LIGHT
- 6 CHIMNEY
- 7 COLUMN (PLASTER)
- 8 WOOD TRIM
- 9 LANDING



BUILDING 2 (NORTH ELEVATION)

SCALE: 1/4"=1'-0"



BUILDING 2 (EAST ELEVATION)

SCALE: 1/4"=1'-0"

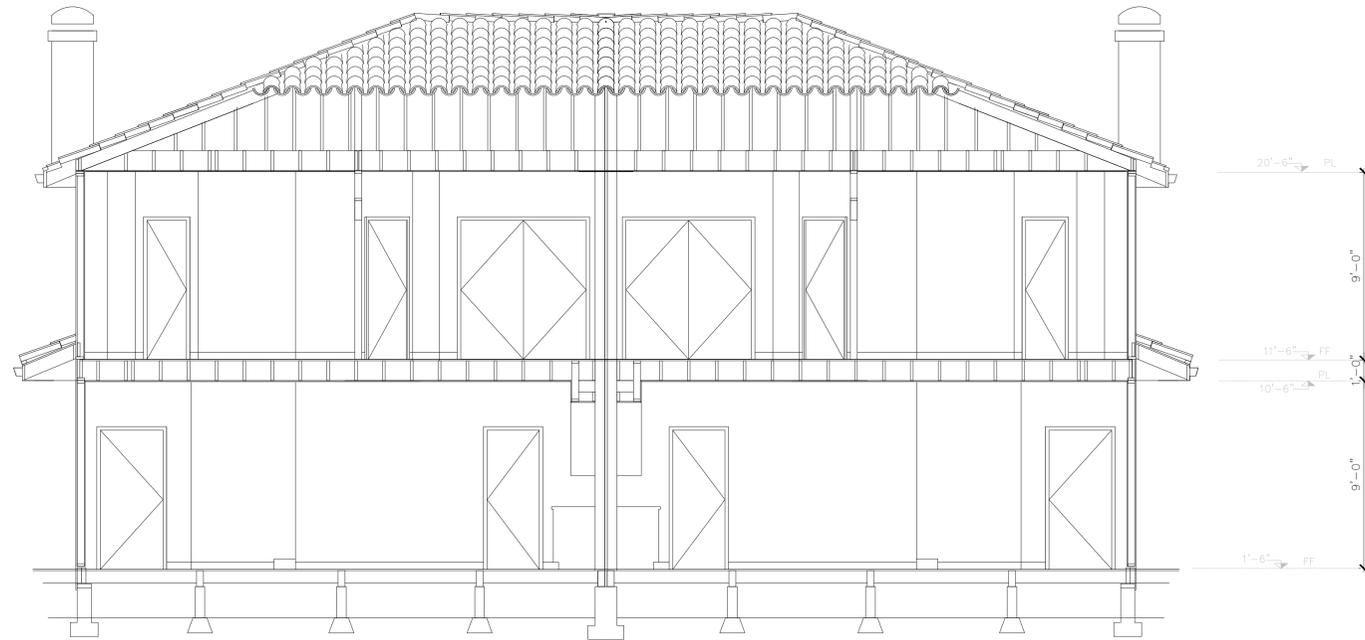
BUILDING-2
BUILDING ELEVATIONS

HACIENDA
LUXURY TOWN HOMES
705 HACIENDA AVE.
CAMPBELL, CA

REVISIONS
NO. ITEM DATE

NO.	ITEM	DATE

PLOT SCALE: 1/2"=1'-0"
 DRAWN BY: AK
 CHECKED BY: MF
 PROJECT NO: L2013.00 DATE: 04-01-13
 SCALE: AS SHOWN



BUILDING-2 -SECTION A-A

SCALE: 1/4"=1'-0"



BUILDING-2 -SECTION B-B

SCALE: 1/4"=1'-0"

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A.G.P.



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BUILDING-2
BUILDING SECTIONS

HACIENDA
LUXURY TOWN HOMES
705 HACIENDA AVE.
CAMPBELL, CA

REVISIONS
NO. ITEM DATE

NO.	ITEM	DATE

PLOT SCALE: 12"=1'-0"
DRAWN BY: AK
CHECKED BY: MF
PROJECT NO: L2013.00 DATE:
SCALE: AS SHOWN 04-01-13

A.9.0



ENGINEERS
CIVIL ENGINEERS

1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755
E-MAIL: SMPENGINEERS@YAHOO.COM

OWNER:

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SMP ENGINEERS
CIVIL ENGINEERS

PRELIMINARY IMPROVEMENT PLANS
FIVE LOT SUBDIVISION
705 HACIENDA AVE.
CAMPBELL, CALIFORNIA
UTILITY, GRADING AND DRAINAGE PLAN
PRELIMINARY STREET IMPROVEMENT PLAN

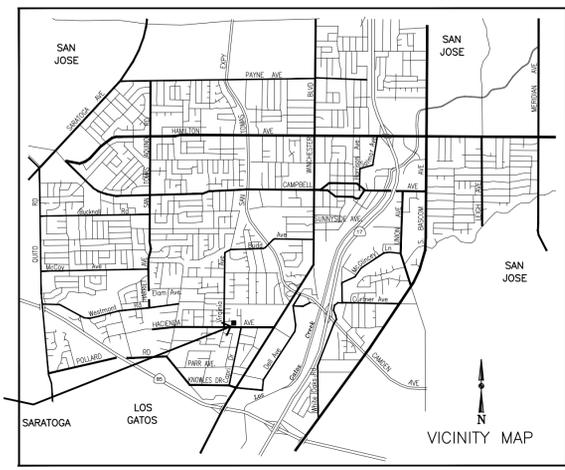
Revisions:

Date: 2/14/2014
Scale: 1" = 10'
Designed by: V.G.
Checked by: S.R.
Job #: 214006

1 OF 2
C-1

PRELIMINARY IMPROVEMENT PLANS

FIVE LOT SUBDIVISION 705 HACIENDA AVE., CAMPBELL, CA 95008



SHEET INDEX:

- C-1 UTILITY, GRADING AND DRAINAGE PLAN
PRELIMINARY STREET IMPROVEMENT PLAN
- C-2 STORMWATER CONTROL PLAN/ DETAILS

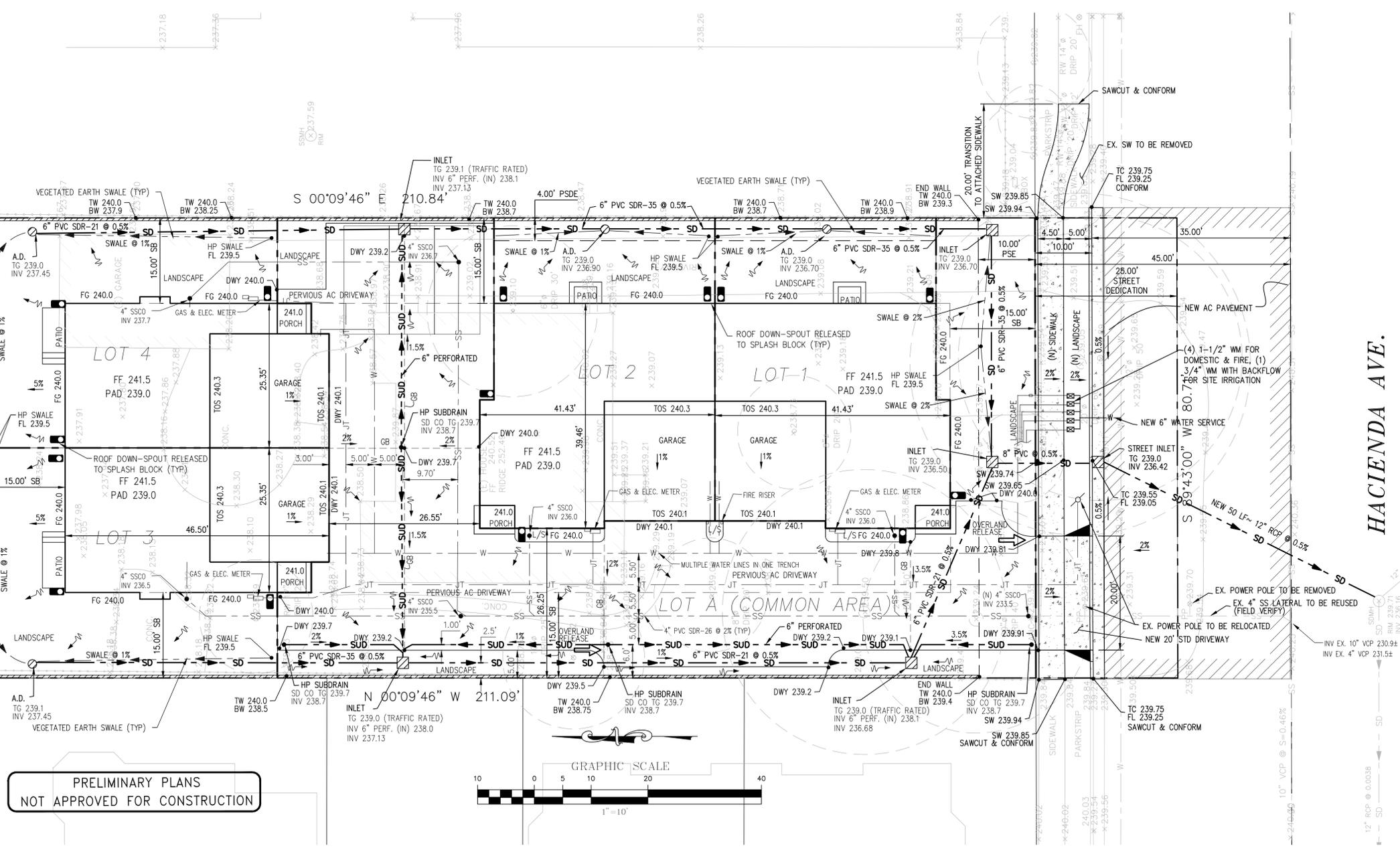
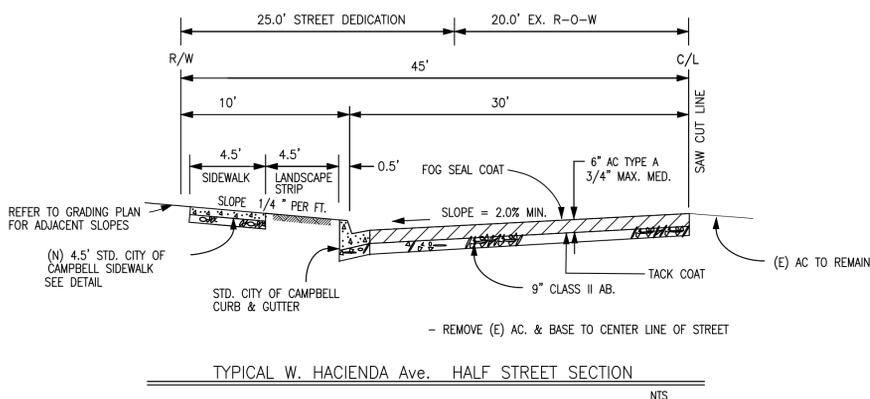
REFERENCED CITY OF CAMPBELL B.M.:
BENCHMARK # 2 EL: 240.333'

DRAINAGE NOTES

- Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
- All roof downspouts shall discharge to concrete splash pads draining away from the foundation. See architectural plans for roof downspout locations.

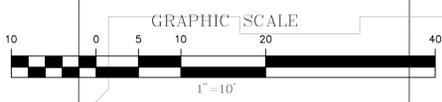
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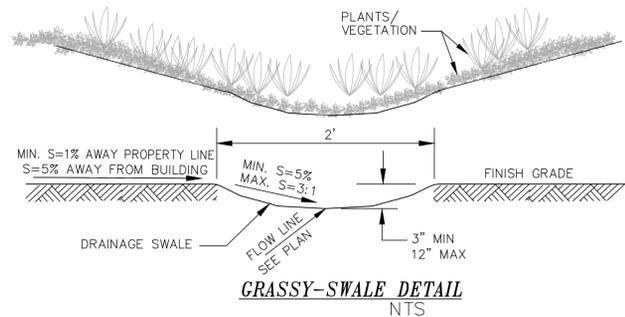
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
F	F	FILL AREA LIMIT
C	C	CUT AREA LIMIT
102	102	CONTOUR
W	W	WATER LINE
SD	SD	STORM DRAIN PIPE (SOLID)
SS	SS	SANITARY SEWER PIPE
SUD	SUD	SUBDRAIN PIPE (PERFORATED)
OH	OH	OVERHEAD UTILITIES WITH POLE
G	G	GAS LINE
E	E	ELECTRIC LINE (UNDERGROUND)
JT	JT	JOINT TRENCH (UNDERGROUND)
SLV	SLV	STREET LIGHT VAULT
SSCO	SSCO	SANITARY SEWER CLEANOUT
●	●	SANITARY SEWER MANHOLE
○	○	STORM DRAIN MANHOLE
■	■	SURVEY CITY MONUMENT
⊗	⊗	ELECTROLIER
WM	WM	WATER METER
○	○	TREE WITH TRUNK
○	○	STREET TREE
x	x	6' WOODEN FENCE
○	○	SPOT ELEVATION
○	○	TREE PROTECTION FENCE 5' TALL CHAIN LINK
---	---	EARTH SWALE
---	---	CONCRETE SWALE
---	---	AREA DRAIN/ INLET
---	---	OVERLAND RELEASE PATH
---	---	DRAINAGE PATH
○	○	(E) TREE TO BE REMOVE
○	○	DOWN-SPOUT
○	○	POP-UP EMITTER



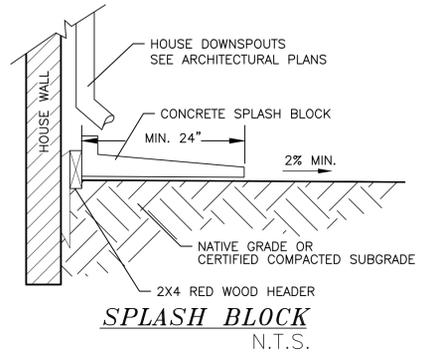
ABBREVIATIONS	
DESCRIPTION	DESCRIPTION
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
BC	BACK OF CURB
BFL	BACKFLOW PREVENTOR
BW	BOTTOM OF WALL
C&G	CURB AND GUTTER
C&L	CENTERLINE
CLSW	CENTERLINE SWALE
CO	CLEANOUT
CP	CONTROL POINT
DI	DROP INLET
D-S	DOWN-SPOUT
DTL	DETAIL
DWY	DRIVEWAY
ELCT	ELECTRIC
EP	EDGE OF PAVEMENT ELEVATION
EUC	EUCALYPTUS TREE
(E).EX	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FI	FIRE HYDRANT
FL	FLOWLINE
FNC	FENCE
FOC	FACE OF CURB
GB	GRADE BREAK
GUY	GUY WIRE
HP	HIGH POINT
DIP	DUCTILE IRON PIPE
INV	INVERT
JP	JOINT POLE
JB	JUNCTION BOX (UTILITY)
LIP	LIP OF GUTTER
LD'G	LANDING
L/S	LOW POINT
L/P	LANDSCAPE
MON	MONUMENT
(N)	NEW
OG	ORIGINAL GROUND
PB	PULL BOX
PGAE	PG&E VAULT
R.P/L	PROPERTY LINE
P/P	POWER POLE
PPP	PLASTIC PERFORATED PIPE
PSE	PUBLIC SERVICE EASEMENT
PVC	POLYVINYL CHLORIDE
R/W	RIGHT OF WAY
RCP	REINFORCED CONCRETE PIPE
SB	SETBACK
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
STD	STANDARD
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SW	SIDEWALK
TF	TOP OF CURB
TF	TOP OF FOUNDATION
TF	TOP OF GRATE
TOS	TOP OF SLAB
TP	TOP OF PAVEMENT
TW	TOP OF WALL
(TYP)	TYPICAL
VCP	VITRIFIED CLAY PIPE
WL	WHITE LINE STRIPE
WLK	WALKWAY
WM	WATER METER
WV	WATER VALVE

PRELIMINARY PLANS
NOT APPROVED FOR CONSTRUCTION

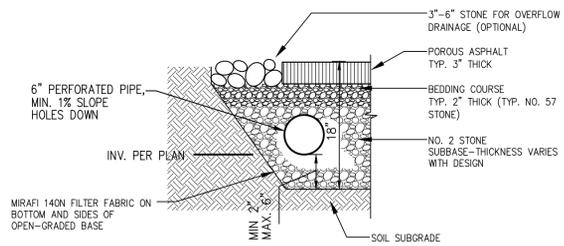




GRASSY-SWALE DETAIL
NTS



SPLASH BLOCK
N.T.S.



TYPICAL POROUS ASPHALT PAVEMENT
PARKING LOT PERVIOUS AC PAVEMENT DETAIL
NTS

PARKING LOT AC PAVEMENT NOTES:
1- INSTALL FILTER FABRIC TO ENCLOSE OPEN GRADED BASE. PROVIDE MIN. 8" OVERLAP AT SEAMS.
2- THICKNESS OF NO. 2 STONE SHALL BE MIN. 12".

PRE-CONSTRUCTION VS. POST-CONSTRUCTION IMPERVIOUS AREA COMPARISON				
PRE-CONSTRUCTION IMPERVIOUS AREA CALCULATION				
DESCRIPTION	AREA (SQFT.)	AREA (ACRES)	PERCENTAGE	MATERIAL
HOUSE	1,814	0.042	12.1%	ROOFING
DETACHED GARAGE	599	0.014	4.0%	ROOFING
AC DWY	2,271	0.052	15.1%	AC
WALKWAYS, PORCH, PATIOS	995	0.023	6.6%	CONCRETE
TOTAL PROJECT IMPERVIOUS AREA	5,679	0.130	37.8%	IMPERVIOUS
TOTAL PROJECT PERVIOUS AREA	9,330	0.214	62.2%	PERVIOUS
TOTAL SITE AREA	15,009	0.345	100.0%	
POST-CONSTRUCTION IMPERVIOUS AREA CALCULATION				
DESCRIPTION	AREA (SQFT.)	AREA (ACRES)	PERCENTAGE	MATERIAL
LOT 1 HOUSE FOOTPRINT	1,543	0.035	10.3%	ROOFING
LOT 2 HOUSE FOOTPRINT	1,543	0.035	10.3%	ROOFING
LOT 3 HOUSE FOOTPRINT	1,136	0.026	7.6%	ROOFING
LOT 4 HOUSE FOOTPRINT	1,136	0.026	7.6%	ROOFING
LOT 1 TO 4, PORCHES, BACKYARD PATIOS	260	0.006	1.7%	CONCRETE
TOTAL PROJECT IMPERVIOUS AREA	5,618	0.129	37.4%	IMPERVIOUS
LOT A PERVIOUS AC DRIVEWAY, STALLS	4,418	0.101	29.4%	PERVIOUS AC
PROJECT LANDSCAPE/ GROUND	4,973	0.114	33.1%	LANDSCAPE
TOTAL PROJECT PERVIOUS AREA	9,391	0.216	62.6%	PERVIOUS
TOTAL SITE AREA	15,009	0.345	100.0%	
PRE VS. POST COMPARISON				
DESCRIPTION	AREA (SQFT.)	AREA (ACRES)	PERCENTAGE	
PROJECT IMPERVIOUS AREA REDUCTION	61	0.001	0.4%	

Compliance with NPDES Permit Provision C.3:

The San Francisco Bay Regional Water Quality Control Board (SFRWQCB) incorporated updated requirements into Santa Clara County's National Pollution Discharge Elimination System (NPDES) Permit in August 06. These updated stormwater quality control requirements are predominantly in the category of new development discharge controls. The Permit requires that permanent, post-construction stormwater quality control measures be implemented as part of development projects.

Updated stormwater quality control measures include:
- Source Control Measures
- Site Design Measures
- Treatment Control Measures

Beginning August 15, 2006, all projects creating or replacing 10,000 sq. ft. or more of impervious surface area must design and install a permanent post-construction stormwater treatment facility on the site. The system must be designed and installed according to numeric sizing criteria.

All projects, regardless of size that create or replace impervious surface may be required to install stormwater quality controls to the maximum extent practicable.

This project proposes to implement appropriate source control and site design measures. The project creates/replaces LESS THAN 10,000 SQFT of impervious surface area, therefore, it is not required to provide stormwater treatment facilities based on numeric sizing criteria. However, the project proposes to implement stormwater treatment measures to maximize the removal of pollutants to the maximum extent practicable.

1 Source Control Measures:

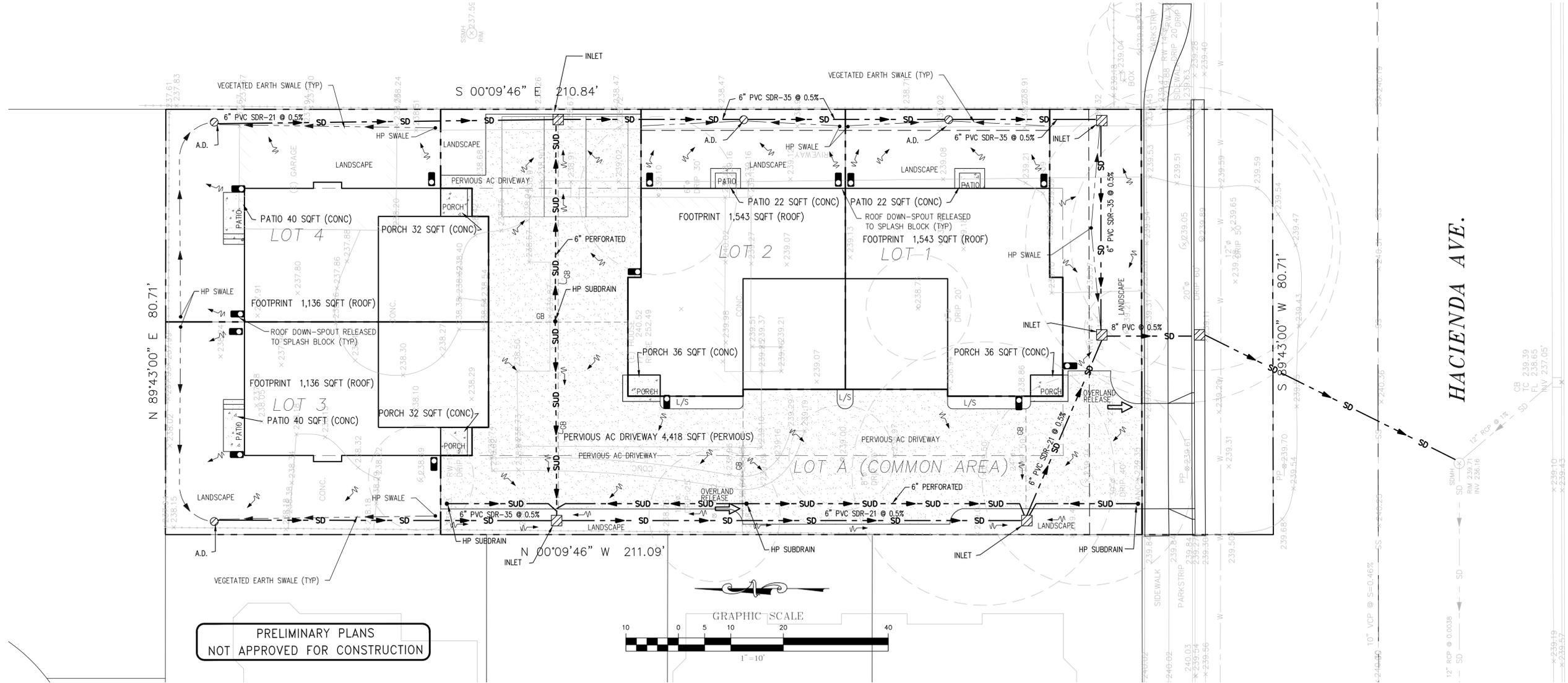
- Covered material storage and Garage.

2 Site Design Measures:

- Pervious AC driveway with underdrain
- Extensive landscaping areas to promote on-site infiltration as much as possible.
- Roof downspout splash blocks that deflect the water away from the building and flow to on-site landscaped areas, or vegetated/grassed swales.

3 Stormwater Treatment Measures:

NOT APPLICABLE



PRELIMINARY PLANS
NOT APPROVED FOR CONSTRUCTION



ENGINEERS
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E-MAIL: SMPENGINEERS@YAHOO.COM

OWNER:

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PRELIMINARY IMPROVEMENT PLANS
FIVE LOT SUBDIVISION
705 HACIENDA AVE.
CAMPBELL, CALIFORNIA

STORMWATER CONTROL PLAN DETAILS

Revisions:

Date: 2/14/2014
Scale: 1" = 10'
Designed by: V.G.
Checked by: S.R.
Job #: 214006

GENERAL NOTES

- OWNER AND DEVELOPER:
SAI HOMES INC
20601 OAK CREEK LN,
SARATOGA CA 95070
- CIVIL ENGINEER
SMP ENGINEERS
1534 CAROB LANE,
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755
- EXISTING ZONING: PD
- EXISTING APN: 406-12-054
- EXISTING USE: RESIDENTIAL
- PROPOSED USE: FOUR SINGLE FAMILY DWELINGS
- EXISTING BUILDINGS: SINGLE FAMILY RESIDENCES.
- GENERAL PLAN: LOW DENSITY RESIDENTIAL
- STREETS: ALL PROPOSED STREET MODIFICATIONS WILL BE IMPROVED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS
- EXISTING USE OF ADJACENT PROPERTIES: RESIDENTIAL, SINGLE FAMILY
- WATER: SAN JOSE WATER COMPANY
- FIRE PROTECTION: SANTA CLARA COUNTY FIRE DEPARTMENT
- STORM/ SANITARY SEWER: WEST VALLEY SANITATION
- POWER AND GAS: PACIFIC GAS AND ELECTRIC
- TELEPHONE: AT&T
- CABLE: COMCAST
- SCHOOL DISTRICT: CAMPBELL UNIFIED SCHOOL DISTRICT
- STREET TREES: ANY NEW STREET TREES IN PUBLIC RIGHT-OF-WAY TO BE PLANTED IN ACCORDANCE WITH THE CITY OF CAMPBELL ORDINANCES.
- AREA TO BE SUBDIVIDED: 17,026 SQUARE FEET
- NEW EASEMENT FOR PRIVATE INGRESS, PRIVATE EGRESS, PRIVATE UTILITIES, PRIVATE STORM DRAIN AND PRIVATE SANITARY SEWER AND PUBLIC SIDEWALK EASEMENT AS SHOWN.
- CONTOUR ELEVATION: CITY OF CAMPBELL BENCHMARK
- ALL DIMENSIONS ARE IN FEET AND DECIMAL THEREOF.
- EXISTING WELLS: NONE
- NO NEW STREET NAME.

TENTATIVE MAP FIVE LOT SUBDIVISION

FOUR NEW TOWNHOME AND A COMMON LOT DEVELOPMENT

LOT 10, AS SHOWN ON THAT CERTAIN MAP OF TRACT NO. 6503, WHICH MAP WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA ON NOVEMBER 6, 1978, IN BOOK 430 OF MAPS, PAGE(S) 1 AND 2.

CITY OF CAMPBELL COUNTY OF SANTA CLARA CALIFORNIA
SCALE: 1"=10' FEBRUARY 2014

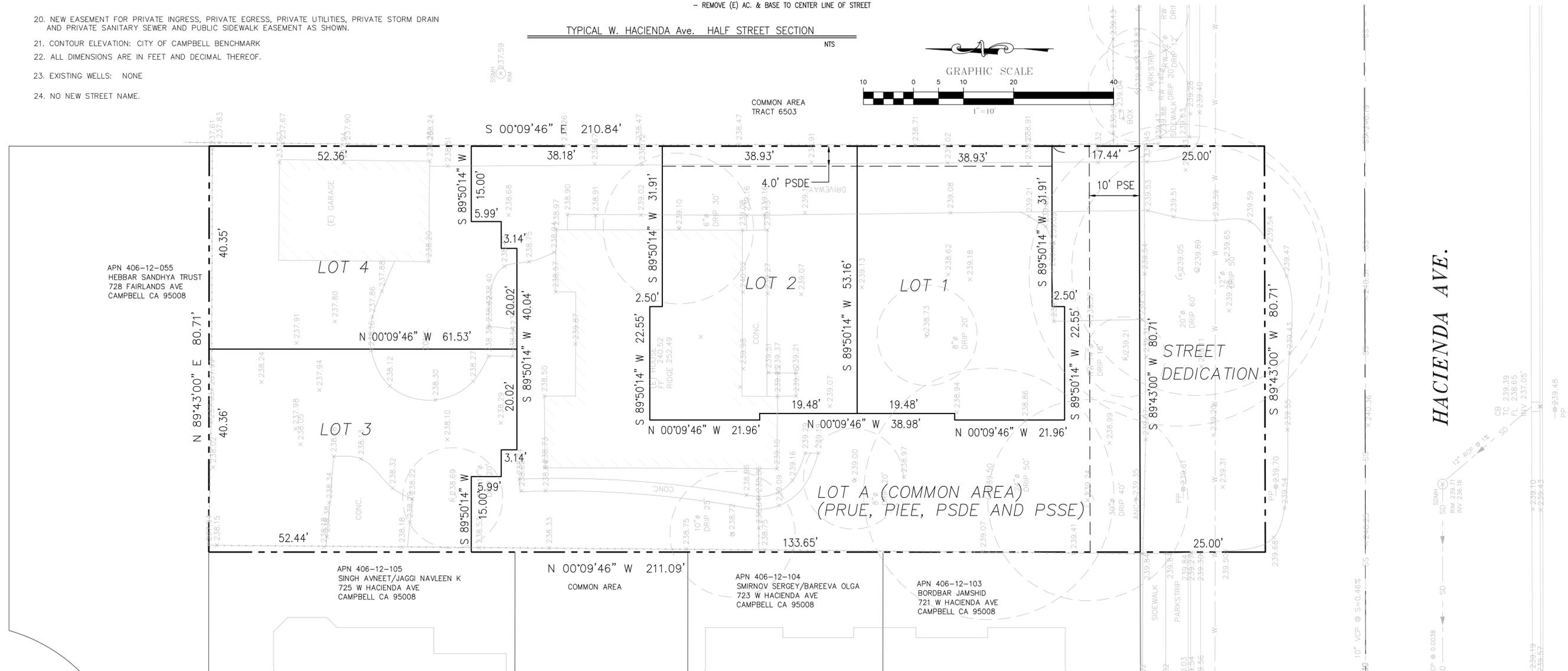
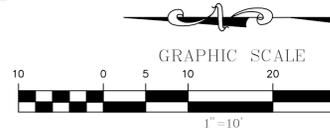
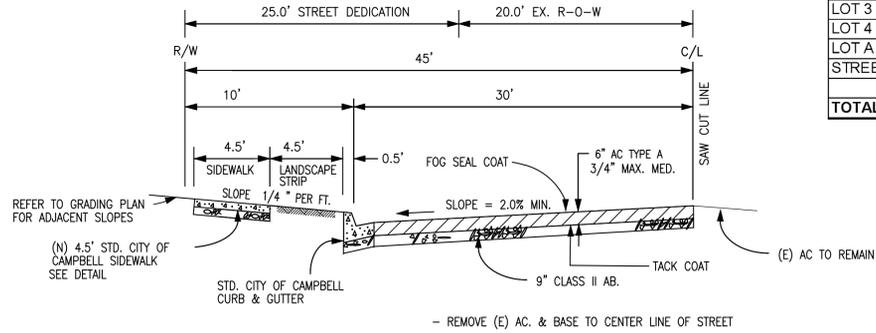
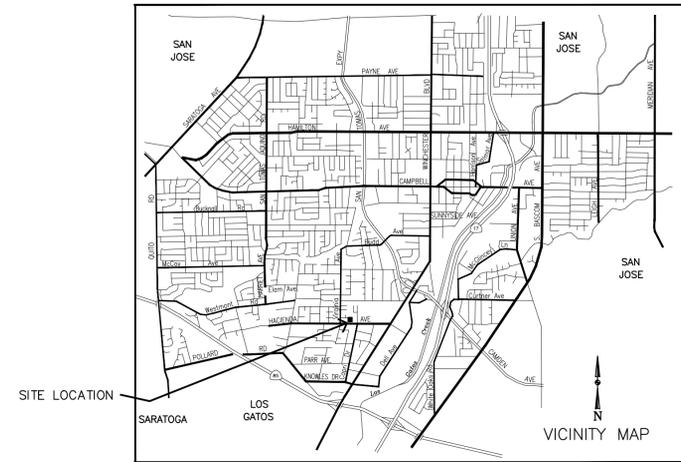
**SMP ENGINEERS
CIVIL ENGINEERS**

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LOS ALTOS, CA 94024

LEGEND AND ABBREVIATIONS

- STREET CENTER LINE
- - - - - DISTINCTIVE BORDER LINE
- NEW LOT LINE
- - - - - EASEMENT
- PSE PUBLIC SERVICE EASEMENT
- PRUE PRIVATE UTILITY EASEMENT
- PSDE PRIVATE STORM DRAINAGE EASEMENT
- PSSE PRIVATE SANITARY SEWER EASEMENT
- PIE PRIVATE INGRESS/ EGRESS EASEMENT

DESCRIPTION	AREA (SQFT.)	AREA (ACRES)
LOT 1	2,151	0.05
LOT 2	2,151	0.05
LOT 3	2,330	0.05
LOT 4	2,328	0.05
LOT A	6,048	0.14
STREET DEDICATION	2,018	0.05
TOTAL (EX. PARCEL)	17,026	0.39



- REFERENCED CITY OF CAMPBELL B.M.:
BENCHMARK # 2 EL: 240.333'

BASIS OF BEARINGS:
- THE BEARING N 89°43'00" E OF THE CENTERLINE OF HACIENDA AVE., AS SHOWN ON CERTAIN TRACT NO. 6503, RECORDED IN BOOK 430 OF MAPS AT PAGES 1 AND 2, WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.



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**TENTATIVE MAP
FIVE LOT SUBDIVISION
705 HACIENDA AVE.
CAMPBELL, CALIFORNIA**

APN 406-12-054

Revisions:

Date: 2/14/2014
Scale: 1"= 10'
Designed by: V.G.
Checked by: S.R.
Job #: 210101