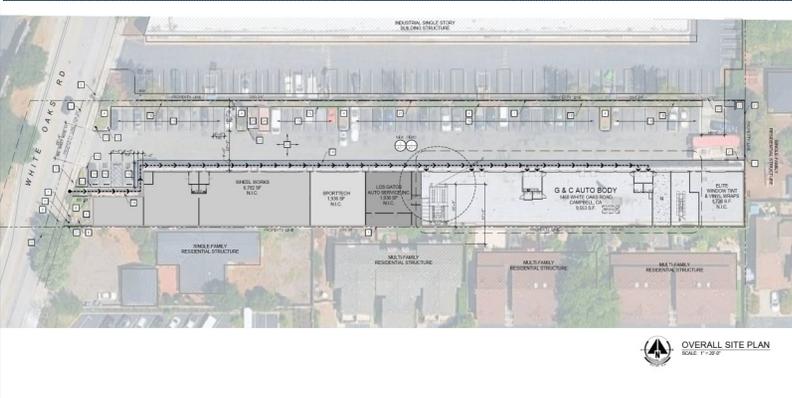


Location of Proposed Project




City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423

Project Image



Courtesy Notice

Dear Campbell Resident,

November 15, 2025

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 1460 White Oaks Road

Zoning | Area Plan: LI |N/A

Neighborhood Association(s): N/A

Council District: 1

File No.: PLN-2025-145

APN: 414-36-013

Applicant: Tom Wilson, TWA Architects

Property Owner: Munson Richard Vaughn Trustee & et al

Application Type: Conditional Use Permit

Project Planner: Daniel Fama, Senior Planner

Email Contact: danielf@campbellca.gov

Phone Contact: (408) 866-2193

Project Description:

To allow establishment of a motor vehicle body shop with a spray booth, combining two existing motor-vehicle repair activity related tenant spaces.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español



G & C AUTO BODY

CONDITIONAL USE PERMIT

1460 WHITE OAKS ROAD
CAMPBELL, CA



TOM WILSON ARCHITECT, INC.
5055 Business Center Drive
Suite 108 PMB 344
Fairfield, CA 94534
Tel: (707) 747-1231
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CAMPBELL, CA

DATE: 10-06-2025

REV. NO. REV. DATE

COVER SHEET

DR-1.0

JOB NO.: GNC37

DRAWING INDEX	SUBMITTED FOR	SITE DATA	STAMPS			
DR-1.0 COVER SHEET DR-2.0 EXISTING SITE PHOTOS DR-2.1 SITE PLAN DR-2.2 ACCESSIBILITY PLAN DR-3.0 OVERALL EXISTING FLOOR PLAN DR-3.1 PARTIAL FLOOR PLANS - DEMO AND NEW	CONDITIONAL USE PERMIT - PLANNING PERMIT JULY 2025	JURISDICTION: COUNTY OF SANTA CLARA SITE AREA: ± 53,579 SF (± 1.23 ACRES) APN/PARCEL ID: 228-0291-006 CITY ZONING: LI - LIGHT INDUSTRIAL ZONING (EXISTING NO CHANGE) CONSTRUCTION TYPE: TYPE II-B (EXISTING, NO CHANGE) FIRE SPRINKLERS: NO EXISTING OCCUPANCY GROUP: S-1 (SHOP) / B (OFFICE) NOTE: AUTOMOBILE REPAIR SHOP WILL NOT INCLUDE ENGINE REPAIR OR REBUILDING. ALLOWED BUILDING HEIGHT: 75'-0" TO HIGHEST POINT EXISTING BUILDING HEIGHT: 20'-0" TO HIGHEST POINT (EXISTING, NO CHANGE) ALLOWED NUMBER OF STORIES: 4 EXISTING NUMBER OF STORIES: 1 (EXISTING, NO CHANGE) ALLOWED BUILDING AREA: 70,000 SF EXISTING BUILDING AREA: 21,933 SF PROPOSED TENANT AREA: 9,552 SF BUILDING COVERAGE: 41% ALLOWED F.A.R.: 1.0 EXISTING F.A.R.: 0.4 SITE AREA BREAKDOWN: LANDSCAPING = 3,468 S.F. PEDESTRIAN HARDSCAPE = 4,198 S.F. TRASH ENCLOSURE = 51 S.F. SIGNAGE = 12 S.F. PAVING AREA = 21,913 S.F. BUILDING AREA = 21,933 S.F. TOTAL AREA = 51,575 S.F. PARKING REQUIRED: 23 SPACES 2 SPACES PER BAY 16 SPACES (8 WORK BAYS X 2 = 16) 1 SPACE PER 225 SF OF NON-SERVICE AREA 7 SPACES (1,433 SF/225 SF = 6.3) PARKING PROVIDED: 50 SPACES EXISTING STANDARD = 48 SPACES EXISTING ACCESSIBLE = 2 SPACES TOTAL PARKING PROVIDED = 50 SPACES < 23 SPACES (COMPLIES)	SUBMITTED TO CITY OF CAMPBELL PLANNING DIVISION 70 N 1ST ST. CAMPBELL, CA 95008	VICINITY MAP 	OWNER G and C AUTO BODY, LLC 100 STONY POINT RD. SUITE 210 SANTA ROSA, CA 95401 TEL: (707) 525-3520 CONTACT: SHAWN COZART scozart@gandcautobody.com	ARCHITECT TOM WILSON TWA ARCHITECTS 5055 BUSINESS CENTER DR. SUITE 108 / PMB 344 FAIRFIELD, CA 94534 TEL: (707) 747-1231 tom@tw-architects.com

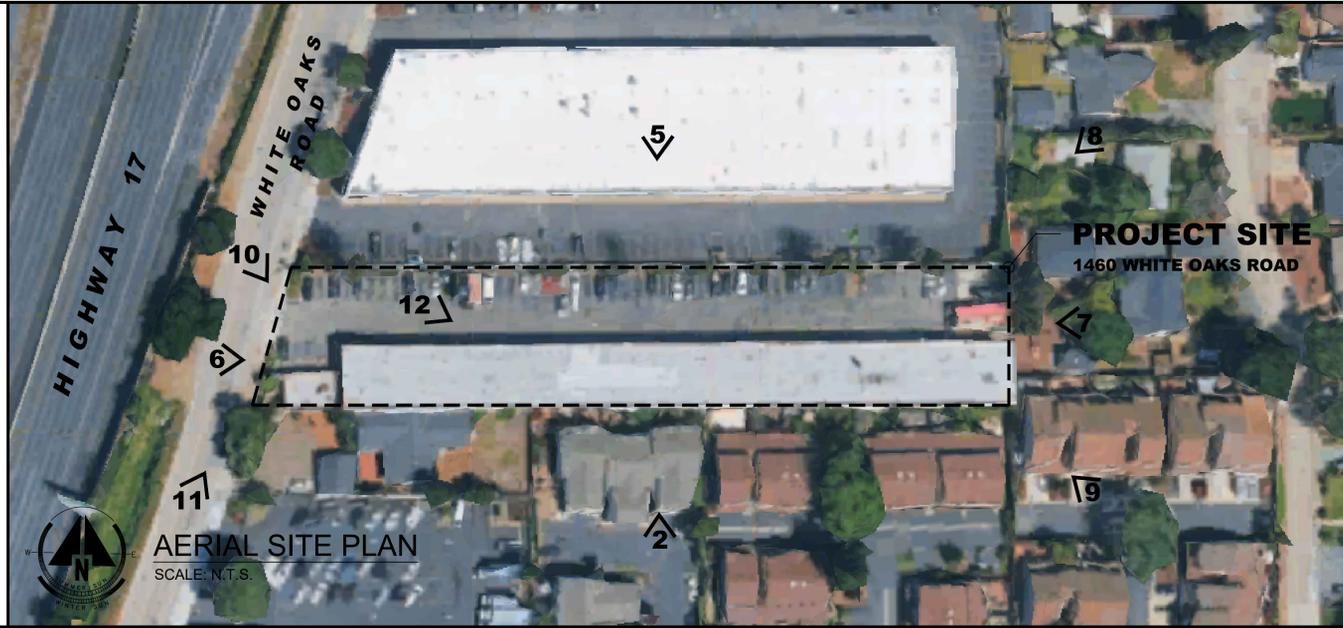
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10 PARTIAL SOUTHEASTERN SIDE ELEVATION
SCALE: N.T.S.



7 AERIAL SITE PHOTO LOOKING IN WEST DIRECTION
SCALE: N.T.S.



AERIAL SITE PLAN
SCALE: N.T.S.

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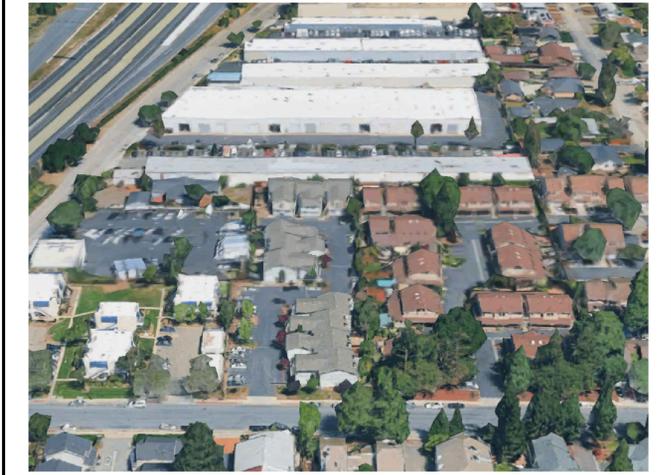
11 STREET LEVEL SITE PHOTO LOOKING IN NORTHEAST DIRECTION
SCALE: N.T.S.



8 AERIAL SITE PHOTO LOOKING IN SOUTHWEST DIRECTION
SCALE: N.T.S.



5 AERIAL SITE PHOTO LOOKING IN SOUTH DIRECTION
SCALE: N.T.S.



2 AERIAL SITE PHOTO LOOKING IN NORTH DIRECTION
SCALE: N.T.S.

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CONDITIONAL USE PERMIT
1460 WHITE OAKS ROAD
CAMPBELL, CA

DATE: 10-06-2025

REV. NO.	REV. DATE
▲	
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EXISTING SITE PHOTOS

DR-2.0

JOB NO.: GNC37



12 PARTIAL SOUTHEASTERN SIDE ELEVATION
SCALE: N.T.S.



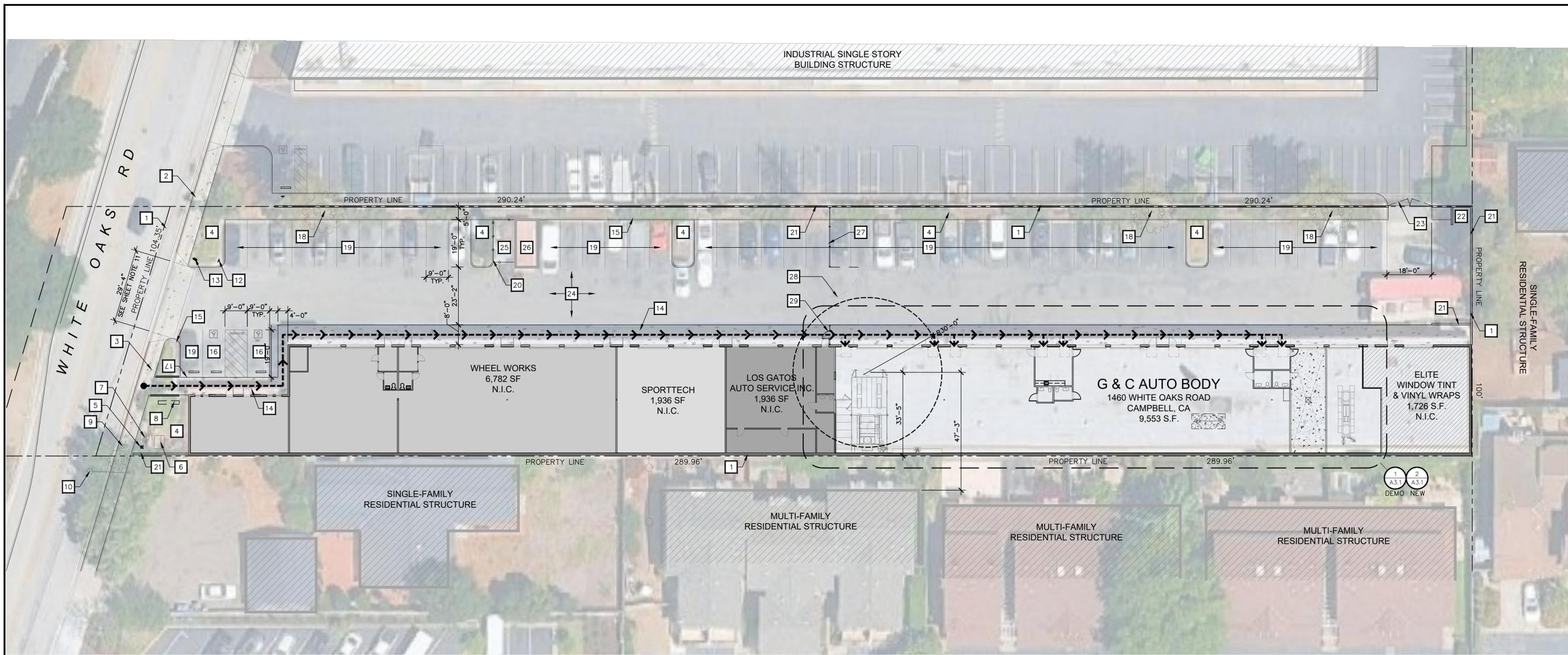
9 AERIAL SITE PHOTO LOOKING IN NORTHWEST DIRECTION
SCALE: N.T.S.



6 EAST SIDE FRONT STREET ELEVATION
SCALE: N.T.S.

3

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OVERALL SITE PLAN
SCALE: 1" = 20'-0"

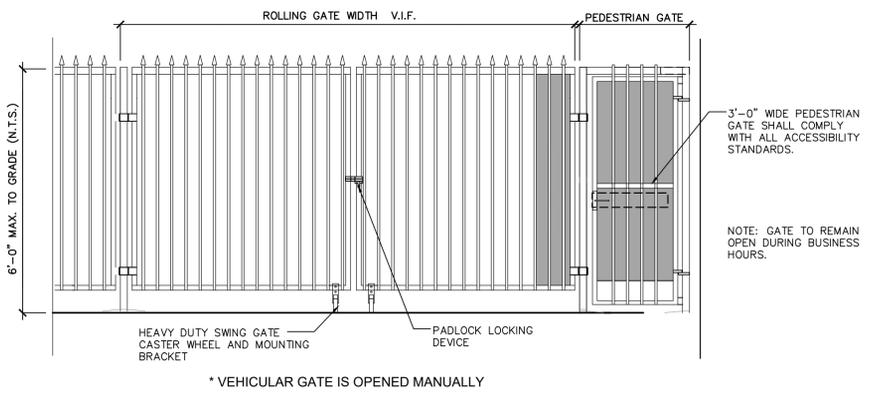


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FENCE / VEHICLE AND PEDESTRIAN GATE DETAIL



SHEET NOTES

- 1 EXISTING PROPERTY LINE.
- 2 EXISTING 6" CURB AND GUTTER TO REMAIN.
- 3 EXISTING PUBLIC SIDEWALK TO REMAIN.
- 4 EXISTING LANDSCAPE TO REMAIN.
- 5 EXISTING FIRE HYDRANT TO REMAIN.
- 6 EXISTING TRANSFORMER TO REMAIN.
- 7 EXISTING WATER METER TO REMAIN.
- 8 EXISTING PYLON / MONUMENT SIGNAGE TO REMAIN.
- 9 EXISTING POWER POLE TO REMAIN.
- 10 EXISTING STREET LIGHT TO REMAIN.
- 11 EXISTING DRIVEWAY TO REMAIN.
- 12 EXISTING UNAUTHORIZED PARKING TO REMAIN.
- 13 EXISTING FDC CONNECTION TO REMAIN.
- 14 EXISTING ACCESSIBLE CONCRETE WALKWAY TO REMAIN.
- 15 EXISTING 6" CURB TO REMAIN.
- 16 EXISTING ACCESSIBLE PARKING STALL TO REMAIN.
- 17 EXISTING ZERO TRANSITION CURB TO REMAIN.
- 18 EXISTING TREE TO REMAIN.
- 19 EXISTING PARKING STRIPING TO REMAIN.
- 20 EXISTING CHAIN LINK SLIDING GATE TO REMAIN.
- 21 EXISTING MASONRY WALL TO REMAIN.
- 22 EXISTING ELEVATED TRASH ENCLOSURE CONCRETE PAD TO REMAIN.
- 23 EXISTING CHAIN LINK SWING GATE TO REMAIN.
- 24 EXISTING ASPHALT PAVING TO REMAIN.
- 25 EXISTING ENCLOSED FENCED TRASH ENCLOSURE AREA TO REMAIN.
- 26 EXISTING STORAGE CONTAINER TO REMAIN.
- 27 NEW 6'-0" WROUGHT IRON SWING GATE.
- 28 NEW 6'-0" WROUGHT IRON FENCE.
- 29 NEW 3'-0" PEDESTRIAN ENTRY GATE. G.C. TO VERIFY AND PROVIDE LEVEL LANDING MANEUVERING CLEARANCES AT BOTH SIDES OF GATE. PATCH, REPAIR, OR REPLACE EXTERIOR CONCRETE LANDING AS REQUIRED.

GENERAL NOTES

1. KNOX BOXES SHALL BE PROVIDED AND INSTALLED AT MAIN ENTRANCE PER 2022 CFC SECTION 506.
2. G.C. TO PROVIDE ILLUMINATED BUILDING ADDRESS NUMBERS THAT WILL BE CLEARLY VISIBLE FROM THE PUBLIC ROAD PER 2022 CFC 505. VERIFY EXACT STYLE AND LOCATION WITH LOCAL FIRE DEPARTMENT.
3. EXTERIOR SIGNAGE IS TO BE SUBMITTED UNDER A SEPARATE PERMIT.
4. PAINT BOOTH EXHAUST DUCT WILL BE OFFSET WITH 180 DEGREE BOOT SO THAT IT IS 30'-0" MIN. FROM PROPERTY LINE AND 6'-0" MIN. FROM EXTERIOR WALL. EXHAUST WILL TERMINATE 6'-0" ABOVE ROOF DECK.
5. G.C. TO PROVIDE KNOX PADLOCKS ON THE VEHICLE GATES.
6. G.C. TO PROVIDE KNOX BOX AT PEDESTRIAN GATES.
7. BUSINESS HOURS TO BE CLEARLY LABELED ON THE VEHICLE GATES.

LEGEND

- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL FROM PUBLIC SIDEWALK AND ACCESSIBLE PARKING TO MAIN BUILDING ENTRANCE. PATH SHALL BE 4'-0" MINIMUM WIDE WITH 5% MAXIMUM RUNNING SLOPE AND 2% MAXIMUM CROSS-SLOPE
- EXISTING CONCRETE

DATE: 10-06-2025

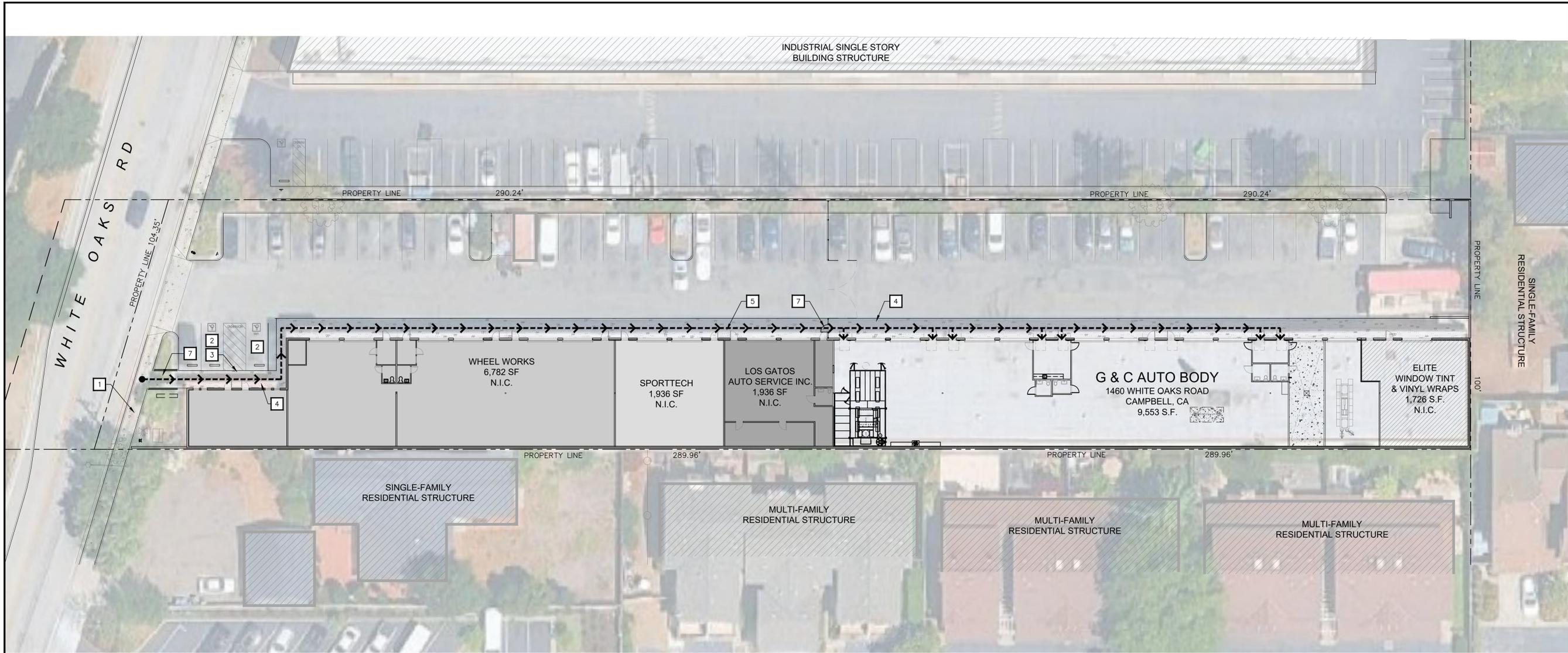
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OVERALL SITE PLAN

DR-2.1

JOB NO.: GNC37

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INDUSTRIAL SINGLE STORY BUILDING STRUCTURE

PROPERTY LINE 290.24'

PROPERTY LINE 290.24'

PROPERTY LINE 100'

PROPERTY LINE 289.96'

PROPERTY LINE 289.96'

SINGLE-FAMILY RESIDENTIAL STRUCTURE

MULTI-FAMILY RESIDENTIAL STRUCTURE

MULTI-FAMILY RESIDENTIAL STRUCTURE

MULTI-FAMILY RESIDENTIAL STRUCTURE

SINGLE-FAMILY RESIDENTIAL STRUCTURE

WHITE OAKS RD
PROPERTY LINE (24.35')

WHEEL WORKS
6,782 SF
N.I.C.

SPORTTECH
1,936 SF
N.I.C.

LOS GATOS
AUTO SERVICE INC.
1,936 SF
N.I.C.

G & C AUTO BODY
1460 WHITE OAKS ROAD
CAMPBELL, CA
9,553 S.F.

ELITE WINDOW TINT & VINYL WRAPS
1,726 S.F.
N.I.C.



ACCESSIBILITY PLAN
SCALE: 1" = 20'-0"

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CAMPBELL, CA

DATE: 10-06-2025

REV. NO.	REV. DATE

ACCESSIBILITY PLAN

DR-2.2

JOB NO.: GNC37

SHEET NOTES

- 1 EXISTING PUBLIC SIDEWALK TO REMAIN.
- 2 EXISTING ACCESSIBLE PARKING STALL TO REMAIN.
- 3 EXISTING ZERO TRANSITION CURB TO REMAIN.
- 4 EXISTING ACCESSIBLE CONCRETE WALKWAY TO REMAIN.
- 5 ACCESSIBLE PATH OF TRAVEL FROM PUBLIC SIDEWALK AND ACCESSIBLE PARKING TO MAIN BUILDING ENTRANCE. PATH SHALL BE 4'-0" MINIMUM WIDE WITH 5% MAXIMUM RUNNING SLOPE AND 2% MAXIMUM CROSS-SLOPE, UNLESS AN ACCESSIBLE RAMP IS PROVIDED.
- 6 NEW 7'-0" WIDE ACCESSIBLE CONCRETE WALKWAY WITH 5% MAXIMUM RUNNING SLOPE AND 2% MAXIMUM CROSS-SLOPE, UNLESS AN ACCESSIBLE RAMP IS PROVIDED.
- 7 NEW 3'-0" PEDESTRIAN ENTRY GATE. G.C. TO VERIFY AND PROVIDE LEVEL LANDING MANEUVERING CLEARANCES AT BOTH SIDES OF GATE. PATCH, REPAIR, OR REPLACE EXTERIOR CONCRETE LANDING AS REQUIRED.

GENERAL NOTES

- 1. CONTRACTOR SHALL VERIFY THAT ALL EXISTING WALKWAYS ARE MINIMUM 4'-0" WIDE, MAXIMUM 5% RUNNING SLOPE, AND MAXIMUM 2% CROSS-SLOPE. REPLACE ANY NON-COMPLIANT PORTIONS IF NEEDED.
- 2. ALL NEW CONCRETE WALKWAYS SHALL BE MINIMUM 4'-0" WIDE, MAXIMUM 5% RUNNING SLOPE, AND MAXIMUM 2% CROSS-SLOPE.
- 3. ALL EXISTING ENTRANCES AND EXTERIOR GROUND FLOOR EXIT DOORS TO THE BUILDING AND ITS FACILITIES ARE ACCESSIBLE AND FUNCTIONAL TO PERSONS WITH DISABILITIES PER CBC 2022.

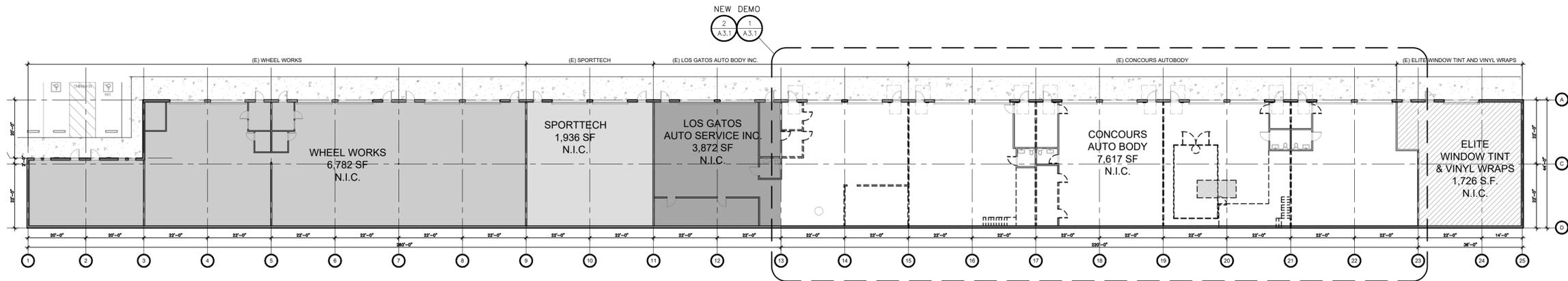
LEGEND

- PROPERTY LINE
- ←---→ ACCESSIBLE PATH OF TRAVEL FROM PUBLIC SIDEWALK AND ACCESSIBLE PARKING TO MAIN BUILDING ENTRANCE. PATH SHALL BE 4'-0" MINIMUM WIDE WITH 5% MAXIMUM RUNNING SLOPE AND 2% MAXIMUM CROSS-SLOPE

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1460 WHITE OAKS ROAD
CAMPBELL, CA



OVERALL EXISTING FLOOR PLAN
SCALE: 1" = 20'-0"

LEGEND

- EXISTING PRIMARY EXTERIOR WALL TO REMAIN
- EXISTING INTERIOR WALL TO REMAIN
- EXISTING INTERIOR WALLS AND DOORS TO BE REMOVED

DATE: 10-06-2025

REV. NO. REV. DATE

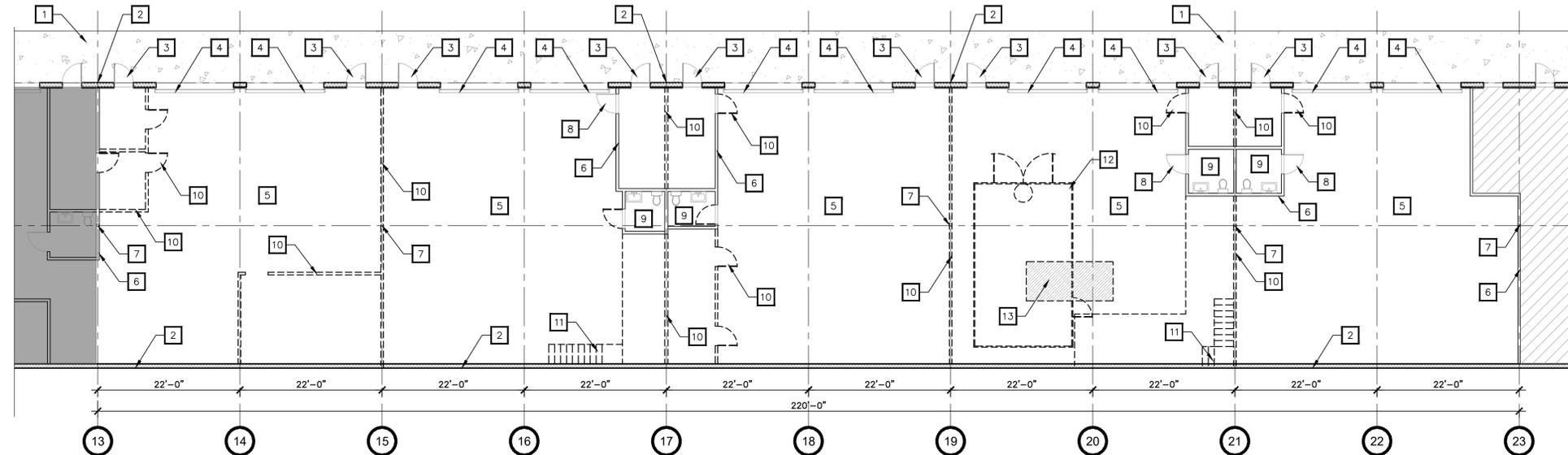


OVERALL
EXISTING
FLOOR PLAN

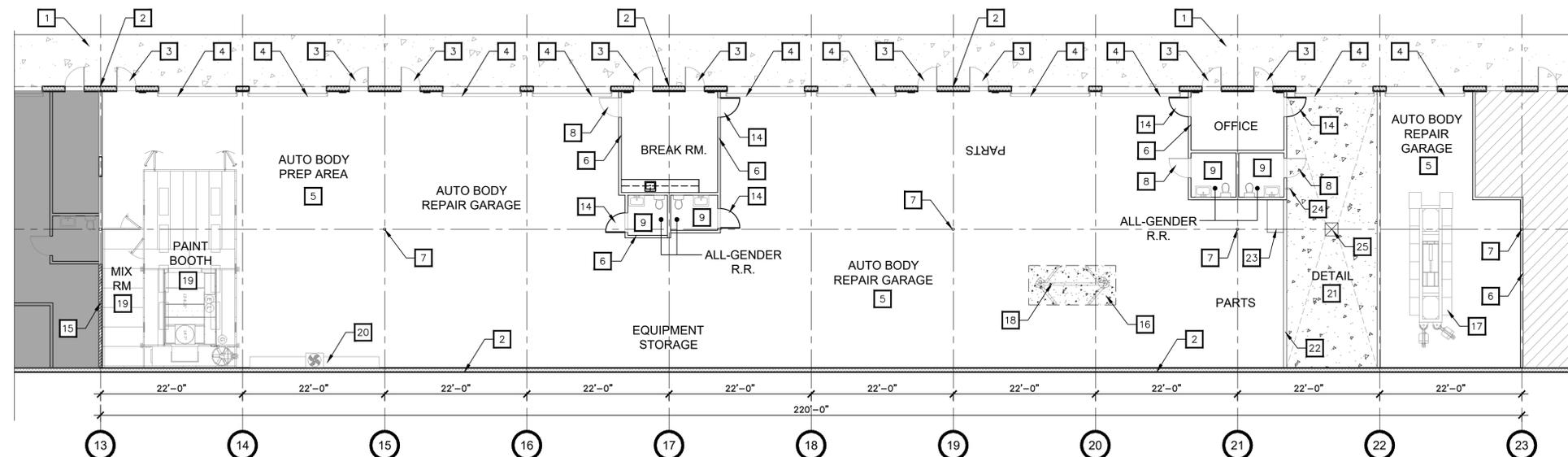
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1 PARTIAL FLOOR PLAN - DEMO
SCALE: 3/32" = 1'-0"



2 PARTIAL FLOOR PLAN - NEW
SCALE: 3/32" = 1'-0"

SHEET NOTES

- | | |
|--|---|
| <p>1 EXISTING ACCESSIBLE CONCRETE WALKWAY TO REMAIN.</p> <p>2 EXISTING EXTERIOR WALL TO REMAIN.</p> <p>3 EXISTING EXTERIOR DOOR AND FRAME REMAIN.</p> <p>4 EXISTING ROLL UP DOOR TO REMAIN. PROVIDE SIGNAGE AT EACH DOOR LOCATIONS STATING DOORS TO REMAIN OPEN DURING BUSINESS HOURS AND TIMES THAT THE FANS ARE IN OPERATION.</p> <p>5 EXISTING EXPOSED CONCRETE FLOOR TO REMAIN.</p> <p>6 EXISTING INTERIOR WALL TO REMAIN. PATCH AND REPAIR AREAS AFFECTED BY NEW CONSTRUCTION.</p> <p>7 EXISTING INTERIOR COLUMN TO REMAIN.</p> <p>8 EXISTING INTERIOR DOOR AND FRAME TO REMAIN.</p> <p>9 EXISTING PLUMBING FIXTURES TO REMAIN, EXISTING NON-COMPLIANT TO BE REPLACED. GC TO VERIFY THE FOLLOWING:
1. ALL EXISTING WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.
2. ALL EXISTING WALL-MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH.
3. LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 0.5 GALLONS PER MINUTE AT 60 PSI.</p> <p>10 EXISTING INTERIOR WALL AND DOORS SHOWN DASHED TO BE REMOVED.</p> <p>11 EXISTING INTERIOR STAIRS AND ABOVE STRUCTURE SHOWN DASHED TO BE REMOVED.</p> <p>12 EXISTING PAINT BOOTH SHOWN TO BE REMOVED.</p> | <p>13 PORTION OF EXISTING SLAB TO BE REMOVED FOR NEW CONCRETE FOOTING.</p> <p>14 NEW INTERIOR DOOR AND FRAME.</p> <p>15 NEW INTERIOR WALL WITH LEVEL 4 FINISH. MATCH EXISTING WALL CONSTRUCTION AND ALIGN INTERIOR FINISH FOR SEAMLESS TRANSITION.</p> <p>16 NEW CONCRETE FOOTING.</p> <p>17 NEW VEHICULAR RACK.</p> <p>18 NEW 2-POST CAR LIFT.</p> <p>19 NEW PAINT BOOTH ENCLOSURE.</p> <p>20 NEW EXHAUST WORKBENCH.</p> <p>21 NEW 6" CONCRETE PAD (2500 PSI) WITH #4'S @ 24" O.C. OVER 4" CRUSHED ROCK. SLOPE TO DRAIN 1/8" PER FOOT.</p> <p>22 NEW 6"H X 6"W CONCRETE CURB.</p> <p>23 NEW OIL/WATER SEPARATOR. INSTALL SO THAT EQUIPMENT IS CLEAR OF DOOR OPENING AND HOSE BIB, V.I.F. EXACT LOCATION IN FIELD.</p> <p>24 NEW HOSE BIB.</p> <p>25 NEW 24"x24"x24" SAND INTERCEPTOR D.I. BOX WITH AUTOMATIC SUMP PUMP (110V).</p> |
|--|---|

GENERAL NOTES

- SEAL ALL CRACKS, CREVICES, AND HOLES.
- ALL EXISTING INTERIOR WALLS TO RECEIVE LEVEL 4 FINISH. PATCH AND REPAIR DAMAGED AREAS AS REQUIRED.
- EXISTING EXTERIOR HOSE BIBS TO REMAIN.
- ALL INTERIOR STRUCTURAL COLUMNS TO REMAIN, VIF LOCATIONS DURING DEMOLITION.
- PROVIDE MINIMUM RATED 2A-10B:C FIRE EXTINGUISHERS SUCH THAT AN EXTINGUISHER IS LOCATED WITHIN 75-FOOT TRAVEL DISTANCE FROM ANY POINT IN THE TENANT SPACE. MOUNT SUCH THAT TOP OF EXTINGUISHER IS NO MORE THAN 5'-0" ABOVE THE FLOOR. THE NUMBER, TYPE, AND LOCATION ARE TO BE DETERMINED BY THE LOCAL FIRE DEPARTMENT.
- EMERGENCY ILLUMINATION WILL BE PROVIDED OUTSIDE EACH EXTERIOR EXIT DOOR.

LEGEND

- EXISTING PRIMARY EXTERIOR WALL TO REMAIN
- EXISTING INTERIOR WALL TO REMAIN
- EXISTING INTERIOR WALLS AND DOORS TO BE REMOVED
- NEW INTERIOR WALL WITH LEVEL 4 FINISH



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CAMPBELL, CA

DATE: 10-06-2025

REV. NO.	REV. DATE

PARTIAL FLOOR PLANS - DEMO AND NEW

DR-3.1

JOB NO.: GNC37

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