



City of Campbell
70 North First Street
Campbell, CA 95008 –1423

Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

November 11, 2025

The Community Development Director will be rendering a decision on the following project.

Project Address: 67 S. Third St.

Zoning | Area Plan: P-D | N/A

Neighborhood Association(s): Downtown Campbell Neighborhood Association

Council District: 3

File No.: PLN-2025-122

APN: 412-05-007

Applicant: Alan Giorgi

Property Owner: Alan Giorgi

Application Type: Administrative Housing Development Project Permit

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

Proposal to demolish an existing building and construct a new two-story stacked duplex with a basement-level unit.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **November 11, 2025**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **November 21, 2025**. The director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

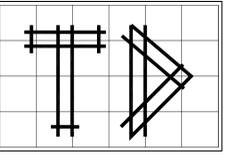
**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español





GIORGI RESIDENCE

CAMPBELL, CA



TOLBERT DESIGN ARCHITECTS

297 COMMERCIAL STREET
SAN JOSE, CA 95112
PH: (650) 200-0663
JEREMIAH@TOLBERTDESIGNSARCHITECTS.COM

City Date & Approval Stamps:

GIORGI FAMILY RESIDENCE

67 S. 3RD STREET
CAMPBELL, CA 95008

City Date & Approval Stamps:

Revisions:

No.	Date	Revision

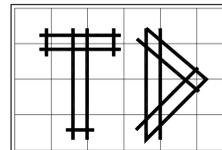
Sheet Description:

Scale	NTS
Drawn	JT
Checked	JT
Date	06-25-25
Project#	2031

CS

ABBREVIATIONS

A.P.	ACCESS PANEL	ELEC.	ELECTRIC	ENG.	ENGINEER	LNG.	LONG	SMS	SAME FOUR SIDES
ACOUS.	ACOUSTIC	ELEV.	ELEVATION	LP	LOW POINT	S.C.	SAW CUT	S.C.	SAW CUT
ADJ.	ADJUMSTABLE OR ADJACENT	ENCL.	ENCLOSURE	LSR	LUMBER	SCHED.	SCHEDULE	SCH.	SCHEDULE
ALUM.	ALUMINUM	ENGR.	ENGINEER	M.B.	MACHINE BOLT	SCHEM.	SCHEMATIC	SPRN.	SCREEN
AMP.	AMPERE	ENGRG.	ENGINEERING	MAINT.	MAINTENANCE	SORN.	SCREEN	S.S.D.	SEE STRUC. DRAWINGS
A.B.	ANCHOR BOLT	ENTR.	ENTRANCE	MFR.MANUF.	MANUFACTURER OR MANUFACTURER	SECT.	SECTION	MAS.	MASONRY
APPO.	APPROVED	EQ.	EQUAL	MAS.	MASONRY	SECT.	SECTION	M.D.	MASONRY OPENING
APPROX.	APPROXIMATE	EQUIP.	EQUIPMENT	M.D.	MASONRY OPENING	SECT.	SECTION	MAT.MATL.	MATERIAL
ARCH.	ARCHITECTURE OR ARCHITECTURAL	EQUIV.	EQUIVALENT	MAT.MATL.	MATERIAL	SECT.	SECTION	MAX.	MAXIMUM
A.C.	ASPHALT CONCRETE AT	EST.	ESTIMATE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
@		EXC.	EXCAVATE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
AVE.	AVENUE	(E) EXIST.	EXISTINGS	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
BSMT.	BASEMENT	E.G.	EXISTING GRADE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
B.M.	BENCH MARK	EXP.	EXPANSION	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
BTW BT.	BETWEEN	E.J. EXP. JT.	EXPANSION JOINT	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
BEV.	BEVEL	EXT. EXTR.	EXTERIOR	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
BLK.	BLOCK	F.O.C.	FACE OF CONCRETE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
BLKG.	BLOCKING	F.O.M.	FACE OF MASONRY	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
BD.	BOARD	F.O.S.	FACE OF STUD	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
B.F.	BOTH FACES	F.O.W.	FACE OF WALL	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
B.S.	BOTH SIDES	FT.	FEET / FOOT	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
BTM.	BOTTOM	FIN.	FINISH	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
B.S.M.	BOTTOM OF BEAM	F.F. FIN. FLR.	FINISH FLOOR	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
B.O.S.	BOTTOM OF STEEL BEAM	NEC.	NECESSARY	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
B.M.	BOTTOM OR BEAM	F.S.	FINISH SURFACE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
BLDG.	BUILDING	FIN. FRMG.	FINISHED FRAMING	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
B.U.	BUILT-UP	FRP.	FIREPROOF	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CAB.	CABINET	F / FR.	FIXED	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CALC.	CALCULATION	FLSH. OR FLSH.	FLASHING	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CPT.	CARPET	FLOOR DRAIN	FLOOR DRAIN	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CSMT.	CASEMENT	F.L. OR FLNG.	FLOOR OR FLOORING	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
C.I.	CAST IRON	FLUR.	FLOOR	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CAT.	CATALOG	FLUR.	FLOOR	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
C.B.	CATION BASIN	FTG.	FOOTING	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CLKG.	CLADDING	FAU.	FORCED AIR UNIT	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
C.LG.	CEILING	FDN.	FOUNDATION	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
C.J.	CEILING JOINT	FRMG.	FRAMING	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CEM.	CEMENT	FURN.	FURNACE OR FURNISH	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CEM. PLAS.	CEMENT PLASTER	GA.	GAGE OR GAUGE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CTR.	CENTER	GALV.	GALVANIZE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
C.	CENTER LINE	GEN. OR GENL.	GENERAL	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
C.T.O.C.	CENTER TO CENTER	GL. GLS.	GLASS	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CER.	CERAMIC	G.L.B.	GLUE LAM BEAM	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
C.L.	CHAIN LINK	GL.LAM	GLUE LAMINATE BEAM	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CHAM.	CHAMFER	GOVT.	GOVERNMENT	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CHG.	CHANGE	G.B.	GRAB BAR	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CHAN.	CHANNEL	GRD.	GRADE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CR.	CIRCLE	GRND.	GROUND	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CO.	CLEANOUT	GYP.	GYP. BOARD	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CLR.	CLEAR	GYP. BD.	GYP. BOARD	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CLC/CLS.	CLOSED	HC. OR HDOP.	HANDICAPPED	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
HDW.	HARDWARE	PREP.	PREPARE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
COL.	COLLUMN	P.S.I.	POUNDS PER SQUARE INCH	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
COMPO.	COMPOSITION	HW.D.	HARDWOOD	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CONC.	CONCRETE	P.T.D.F.	PRESSURE TREATED DOUGLASS FIR PROJECT	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CONC. BLK.	CONCRETE BLOCK	PROJ.	PROJECT	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
C.O.	CONCRETE OPENING OR CASSED OPENING	P.A.	PUBLIC ADDRESS	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
COND.	CONDITION	QUAL.	QUALITY	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CONN.	CONNECT	U.O.N.	UNLESS OTHERWISE NOTED	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CONST.	CONSTRUCTION	RAD.	RADIUS	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CONT.	CONTINUATION OR CONTINUOUS	RWL.	RAIN WATER LEADER	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CONTR.	CONTRACTOR	RTD.	RATED	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CORR.	CORRUGATE	RTG.	RATING	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
C.J.	CONSTRUCTION JOINT OR CONTROL JOINT	HR.	HOUR	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
CSK.	COUNTERSINK	H.B.	HOLE BISE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
C.R.	CRUSHED ROCK	IN.	INCH	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
(D) DEMO.	DEMOLITION	INCL.	INCLUDE OR INCLUDES	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
D.D.	DECK DRAIN	INFO.	INFORMATION	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
DEPT.	DEPARTMENT	INL.	INLET	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
DET.	DETAIL	I.D.	INSIDE DIAMETER	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
DIAG.	DIAGONAL	INSTL.	INSTALL	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
DIAM.	DIAMETER	INSUL.	INSULATE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
DIM.	DIMENSION	INT.	INTERIOR	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
D.W.	DISHWASHER	INTV.	INVERT	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
DR.	DOOR	JNT.	JOINT	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
DBL.	DOUBLE	JST.	JOIST	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
DN.	DOWN	JST.	JOIST	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
D.S.	DOWNSPOUT	KIT.	KITCHEN	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
DWR.	DRAWER	LAM.	LAMINATE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
DWG.	DRAWING	LANDG.	LANDING	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
EA.	EACH	LAV.	LAVATORY	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
E.W.	EACH WAY	LGT.	LIGHT	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		LGT. FXT.	LIGHT FIXTURE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		L.W.C.	LIGHT WEIGHT CONCRETE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		LGTG.	LIGHTING	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		LNO.	LINOLEUM	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		LNTL.	LINTEL	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		LNG.	LONG	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		LP.	LOW POINT	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		LSR.	LUMBER	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		ENGR.	ENGINEER	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		ENGRG.	ENGINEERING	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		ENTR.	ENTRANCE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		MFR.MANUF.	MANUFACTURER OR MANUFACTURER	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		EQ.	EQUAL	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		EQUIP.	EQUIPMENT	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		EQUIV.	EQUIVALENT	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		EST.	ESTIMATE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		EXC.	EXCAVATE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		(E) EXIST.	EXISTINGS	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		E.G.	EXISTING GRADE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		EXP.	EXPANSION	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		E.J. EXP. JT.	EXPANSION JOINT	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		EXT. EXTR.	EXTERIOR	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		F.O.C.	FACE OF CONCRETE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		F.O.M.	FACE OF MASONRY	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		F.O.S.	FACE OF STUD	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		F.O.W.	FACE OF WALL	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		FT.	FEET / FOOT	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		FIN.	FINISH	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		F.F. FIN. FLR.	FINISH FLOOR	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		NEC.	NECESSARY	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		NEW	NEW	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		NGM.	NOMINAL	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		NORTH	NORTH	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		STOR.	STORAGE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		ST.	STREET	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		STRUC.	STRUCTURAL	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		SUSP.	SUSPEND	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		SW.	SWITCH	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		S.S.	STAINLESS STEEL	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		STD.	STANDARD	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		STEEL	STEEL	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		TEMP.	TEMPERED	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		TH. THK.	THICK	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		THRU.	THROUGH	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		T.P.D.	TOILET PAPER DISPENSER	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		T&G	TONGUE AND GROOVE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		T&B	TOP AND BOTTOM	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		T.O.B.	TOP OF BEAM	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		T.O.C.	TOP OF CONCRETE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		T.O.C.	TOP OF CURB	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		T.O.F.	TOP OF FOOTING	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		T.O.G.	TOP OF GRADE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		T.O.L.	TOP OF LEDGER	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		T.O.M.	TOP OF MASONRY	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		T.O.P.	TOP OF PARAPET	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		T.O.S.	TOP OF SHEATHING OR TOP OF STEEL	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		T.O.W.	TOP OF WALL	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		T.B.	TOWEL BAR	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		T.	TREAD	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		TYP.	TYPICAL	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		U.B.C.	UNIFORM BUILDING CODE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		U.F.C.	UNIFORM FIRE CODE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		U.M.C.	UNIFORM MECHANICAL CODE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		U.P.C.	UNIFORM PLUMBING CODE	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		U.O.N.	UNLESS OTHERWISE NOTED	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		U.T.L.	UTILITIES	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		V.L.F.	VERIFY IN FIELD	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	MATERIAL
		VERT.	VERTICAL	MAT.MATL.	MATERIAL	SECT.	SECTION	MAT.MATL.	



TOLBERT DESIGN ARCHITECTS

297 COMMERCIAL STREET
SAN JOSE, CA 95112
PH: (650) 200-0663
JEREMIAH@TOLBERTDESIGNSARCHITECTS.COM

City Date & Approval Stamps:

GIORGI FAMILY RESIDENCE

67 S. 3RD STREET
CAMPBELL, CA 95008

City Date & Approval Stamps:

Revisions:

No. Date Revision

No.	Date	Revision

Sheet Description:

SITE IMAGES

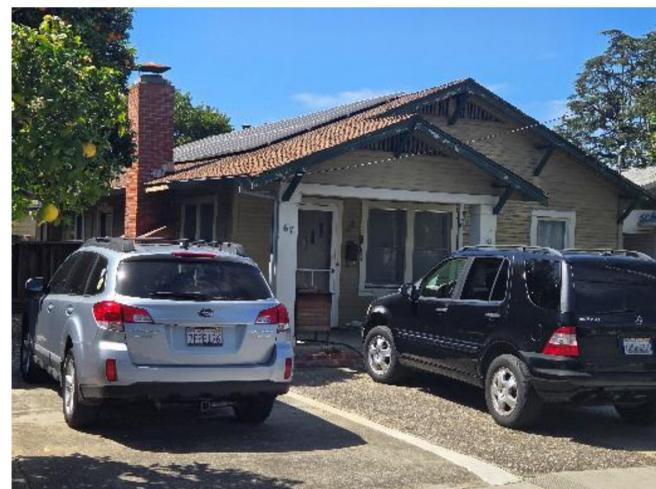
Scale	1/4" = 1'-0"
Drawn	JT
Checked	JT
Date	06-09-25
Project#	2031



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6



1

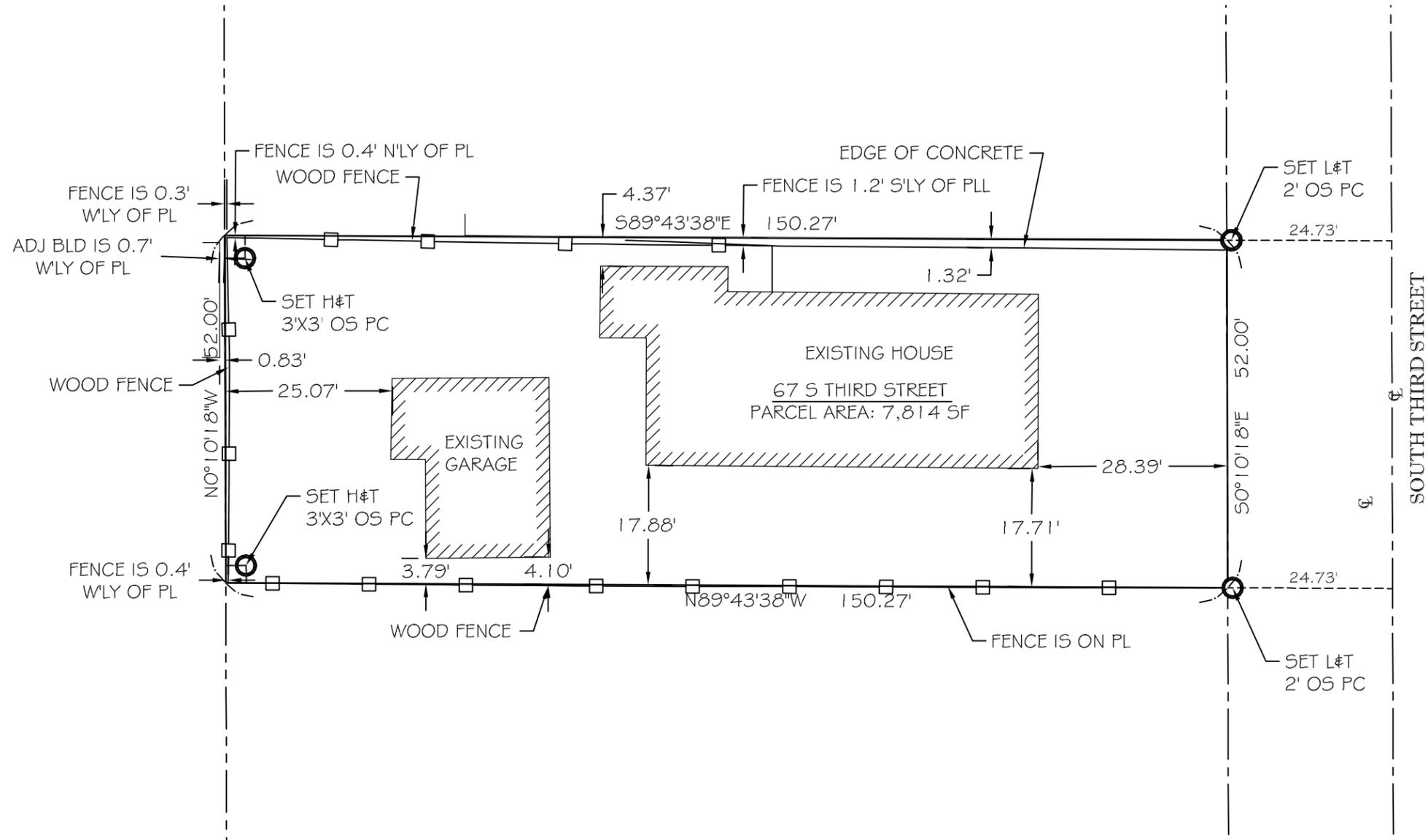


4

3

2





ABBREVIATIONS

BLD	BUILDING
E'LY	EASTERLY
H#T	HUB, TACK AND TAG
LS	LAND SURVEYOR
L#T	LEAD, TACK AND TAG
PROP	PROPERTY
N'LY	NORTHERLY
OS	OFFSET
PC	PROPERTY CORNER
PL	PROPERTY LINE
POL	POINT ON PROPERTY LINE
S'LY	SOUTHERLY
W'LY	WESTERLY

LEGEND:

- SET MONUMENT AS NOTED, L.S. 9013
- BOUNDARY LINE
- - - CENTERLINE

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



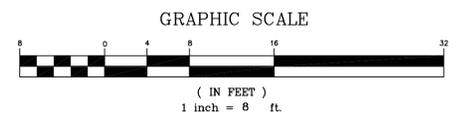
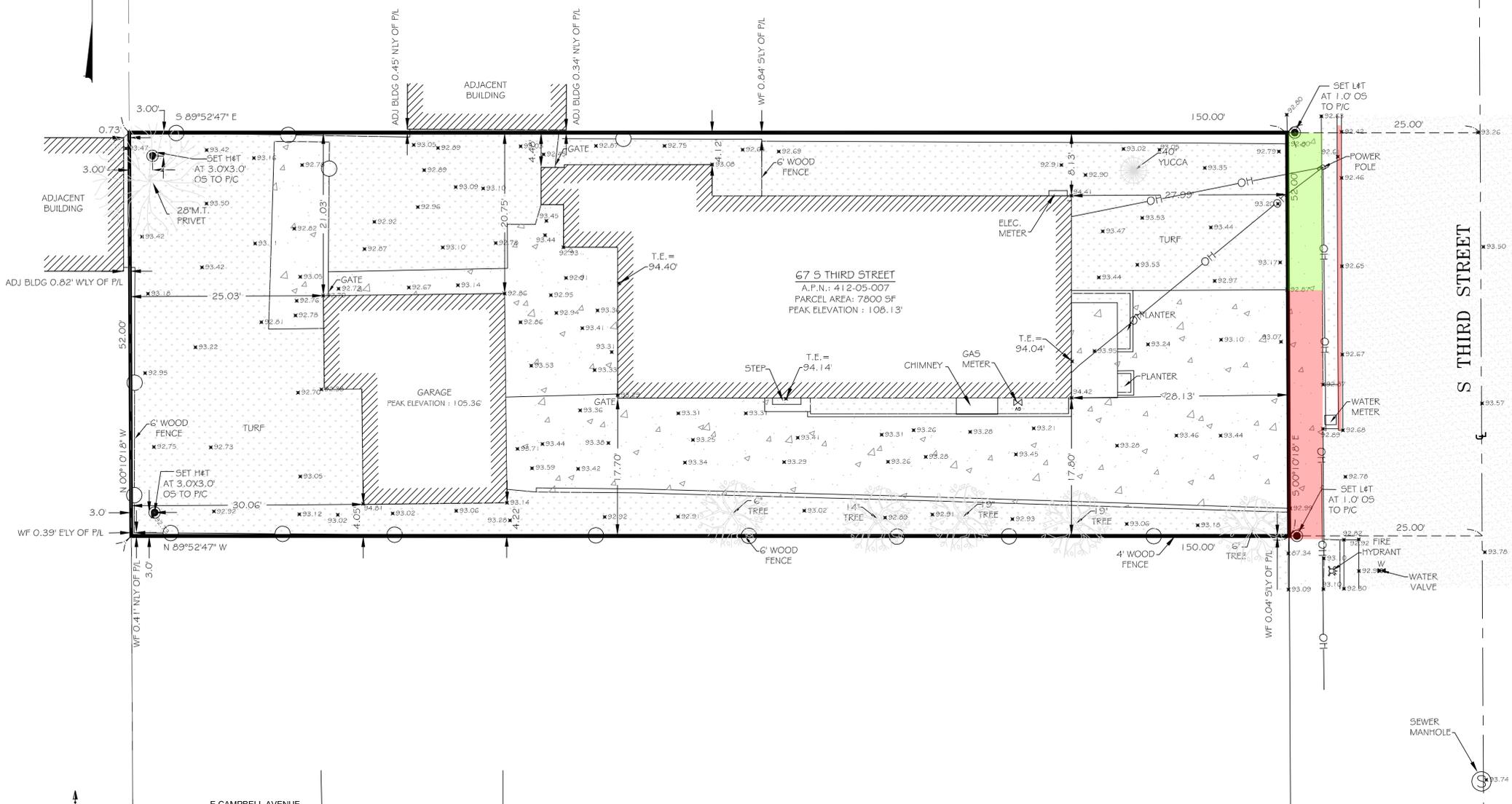
KACIE A. PLOUFF, PLS 9013

SCALE: 1"= 20'
DATE: DECEMBER 10, 2024

BOUNDARY EXHIBIT
67 SOUTH THIRD STREET, LOS ANGELES



CHRISTENSEN & PLOUFF
LAND SURVEYING
25570 RYE CANYON RD, STE A
VALENCIA CA 91355
661-645-9320



LEGEND:

- PROPERTY LINE
- WOOD FENCE
- CHAINLINK FENCE
- METAL/WIRE FENCE
- OVERHEAD WIRES
- BUILDING
- WALL
- CONCRETE
- PAVEMENT
- BRICK
- SLATE / STONE
- GRASS/ NATURAL GROUND
- SPOT ELEVATION
- TREE TRUNK, APPROXIMATE DIAMETER IN INCHES
- TREE DRILINE
- T. E. THRESHOLD ELEVATION
- SIDEWALK TO REMAIN
- SIDEWALK & CURB TO BE REPLACED

ABBREVIATIONS

- AD AREA DRAIN
- ADJ ADJACENT
- A/C AIR CONDITIONING
- BLDG BUILDING
- BW BOTTOM OF WALL
- CL CENTERLINE
- CLF CHAIN-LINK FENCE
- CONC CONCRETE
- COMM COMMUNICATION
- ELY EASTERLY
- ELEC ELECTRIC
- EL ELEVATION
- FW FACE OF WALL
- H&T HUB # TAG "L5 8789"
- ICV IRRIGATION CONTROL VALVE
- LND LANDING
- L&T LEAD # TAG "L5 8789"
- NLY NORTHERLY
- N&E NORTHEASTERLY
- NWLY NORTHWESTERLY
- OH OVERHANG
- OS OFFSET
- P/L PROPERTY LINE
- P/C PROPERTY CORNER
- PLTR PLANTER
- RET RETAINING
- SLY SOUTHERLY
- S&E SOUTHEASTERLY
- SWLY SOUTHWESTERLY
- STP STOOP
- T.E. THRESHOLD ELEVATION
- TW TOP OF WALL
- TYP TYPICAL
- WLY WESTERLY
- WF WOOD FENCE

LEGAL DESCRIPTION

LOT 17 OF STROM SUBDIVISION, RECORDED IN BOOK 0 PAGE 12 OF MAP5, SANTA CLARA COUNTY RECORDS

SURVEYOR'S NOTES

1. PROJECT BENCHMARK: ELEVATIONS ARE ON ASSUMED DATUM.
2. ONLY TREES 6" AND ABOVE WERE LOCATED ON THIS SURVEY, SMALLER TREES AND SHRUBS ARE NOT SHOWN.
3. DISTANCES SHOWN HEREON AREA EXPRESSED IN FEET AND DECIMALS THEREOF.

SURVEYOR'S CERTIFICATE

I, SHAWN CHRISTENSEN, CERTIFY THAT I AM LICENSED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF CALIFORNIA (REF. NO. 8789)
 I FURTHER CERTIFY THAT THIS PLAT REPRESENTS THE RESULTS OF A TOPOGRAPHIC SURVEY CONDUCTED UNDER MY SUPERVISION AT THE REQUEST OF THE CLIENT.



SHAWN CHRISTENSEN, PLS 8789

C. P. LAND SURVEYING
 101 GIBSON STREET, SUITE 201
 SAN JOSE, CA 95128
 408-255-9184
 www.cplandsurvey.com



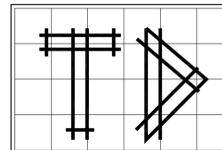
DATE: 06/02/2025
 DRAWING SCALE: 1"=8'
 PREPARED BY: NS
 APPROVED BY: KAP
 FILE NAME: CP-NCA-24-127-05 S 3RD ST CAMPBELL TOPO

67 S THIRD ST, CAMPBELL
 COUNTY OF SANTA CLARA
 STATE OF CALIFORNIA
 APN: 412-05-007

PROJECT: TOPOGRAPHIC SURVEY

PROJECT NO. NCA-25-127

SHEET NO. 1 OF 1



TOLBERT DESIGN ARCHITECTS

297 COMMERCIAL STREET
SAN JOSE, CA 95112
PH: (650) 200-0663
JEREMIAH@TOLBERTDESIGNSARCHITECTS.COM

City Date & Approval Stamps:

GIORGI FAMILY RESIDENCE

67 S. 3RD STREET
CAMPBELL, CA 95008

City Date & Approval Stamps:

Revisions:

No.	Date	Revision

Sheet Description:

SITE & CONSTRUCTION STAGING PLAN

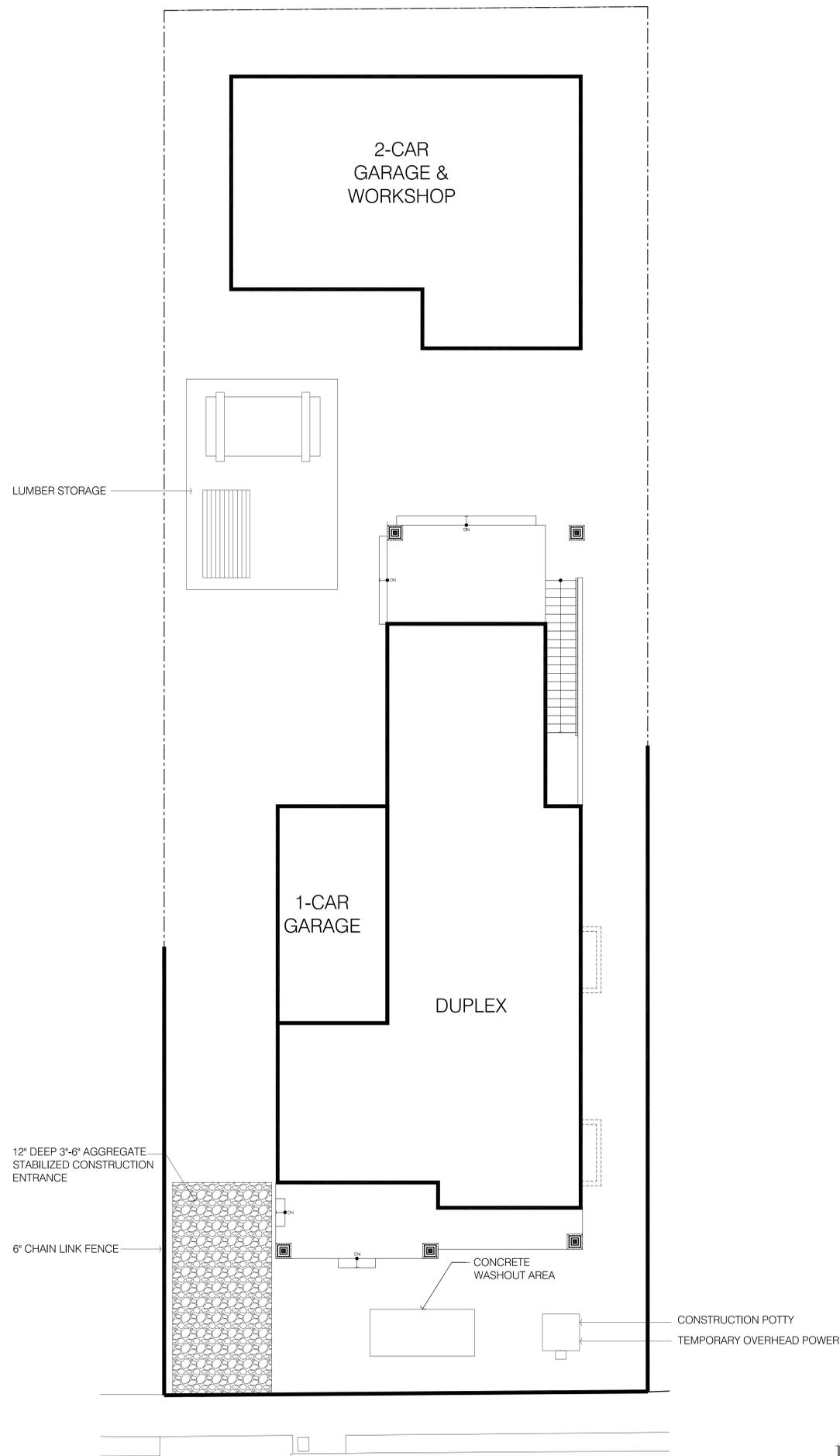
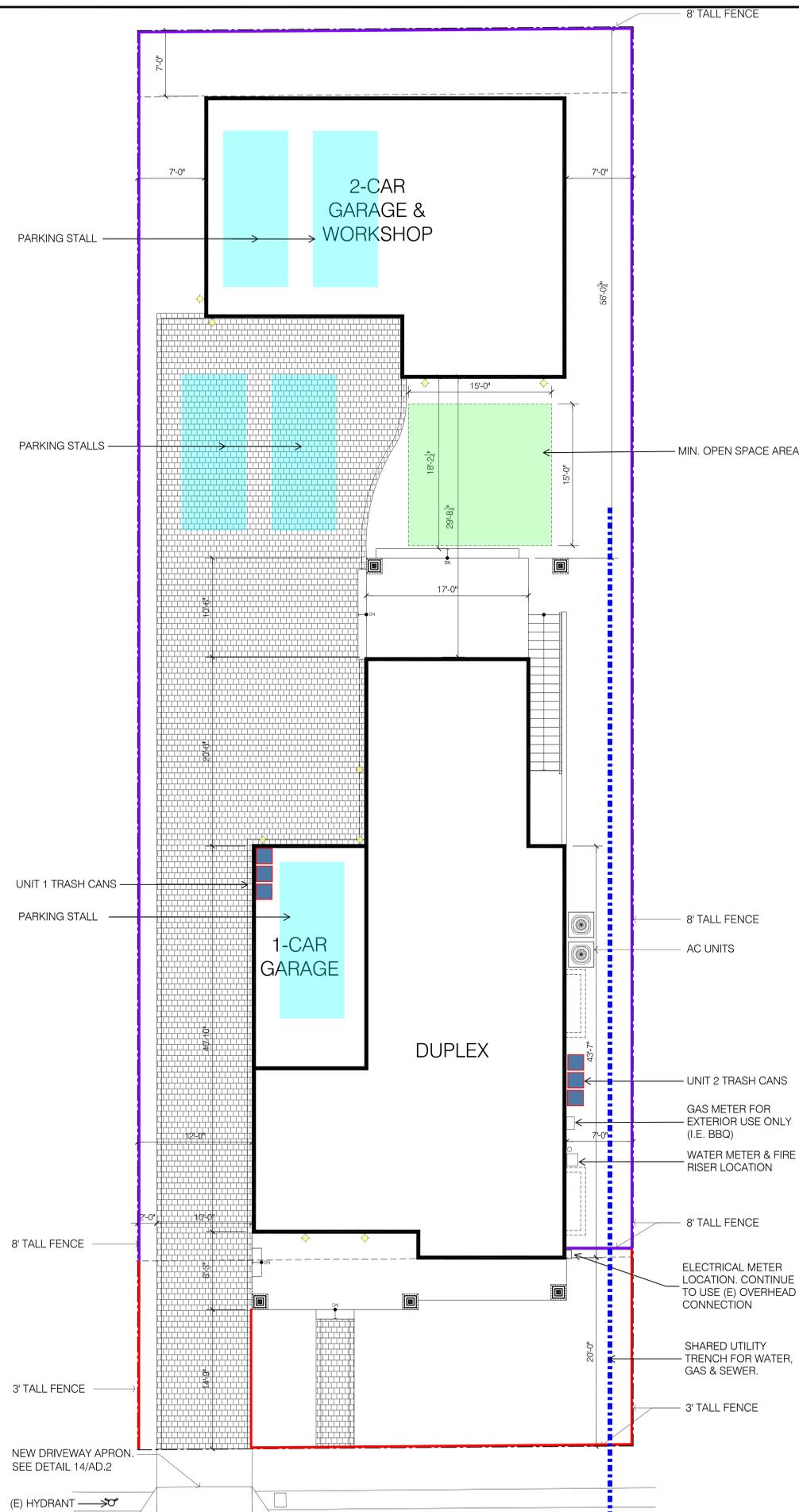
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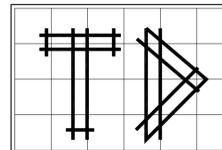
Drawn JT

Checked JT

Date 06-25-25

Project# 2031





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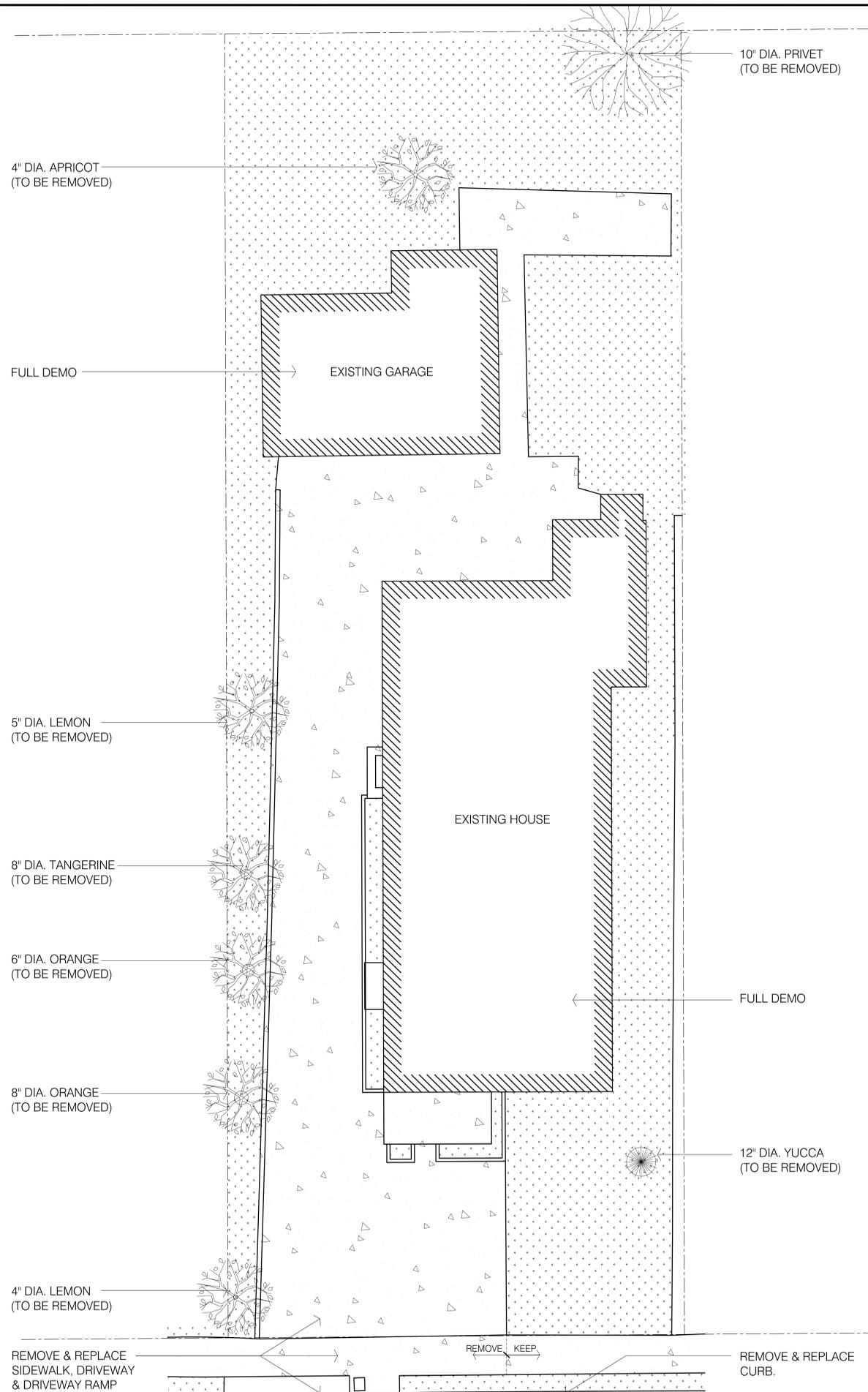
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No.	Date	Revision

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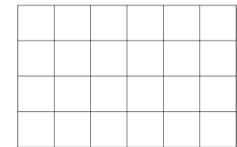
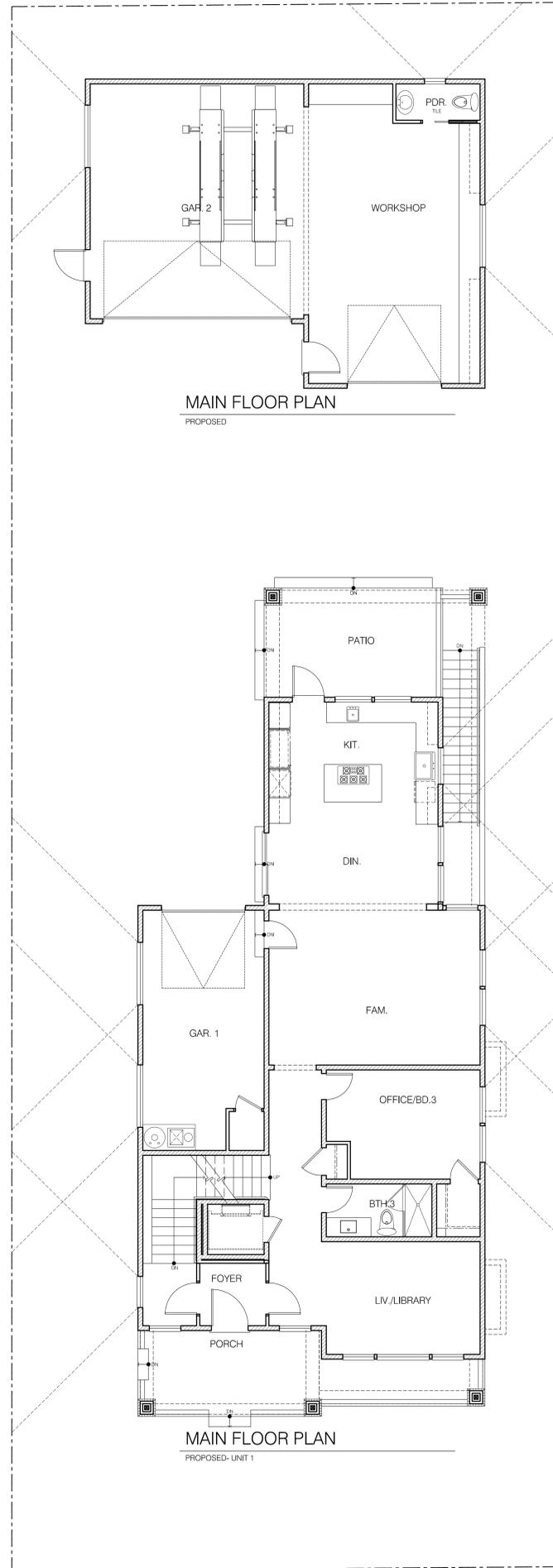
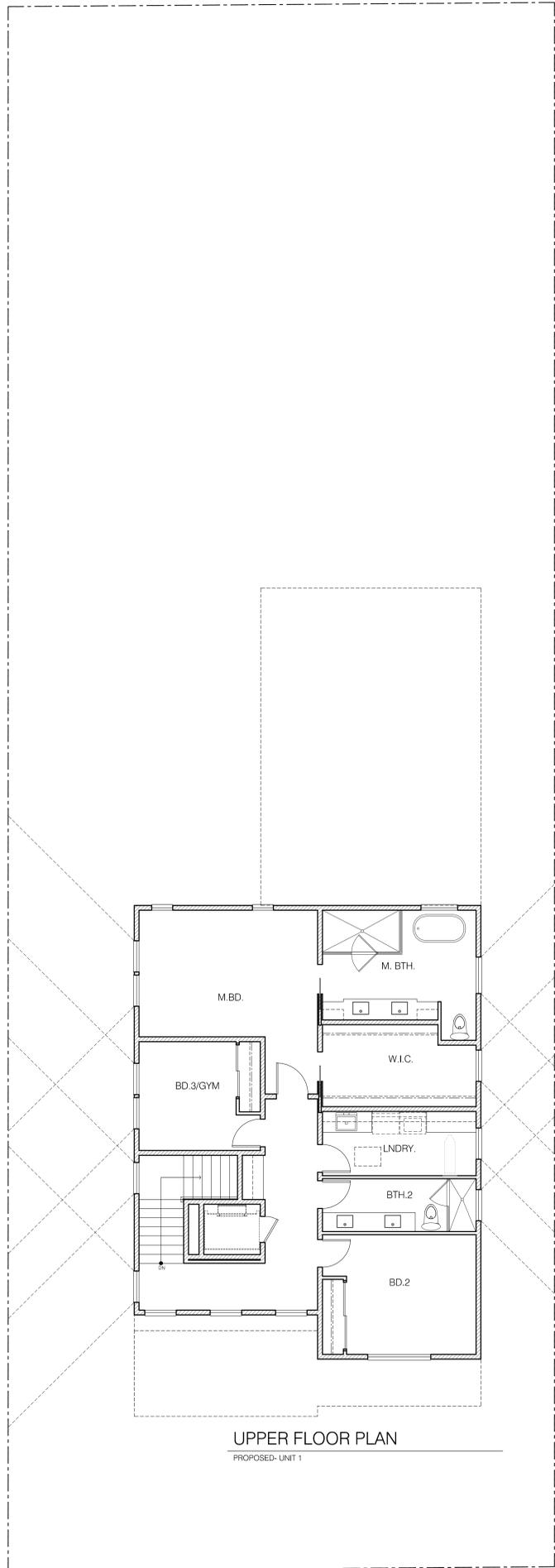
**DEMOLITION & TREE
REMOVAL PLAN**

Scale	1/2" = 1'-0"
Drawn	JT
Checked	JT
Date	06-25-25
Project#	2031



DEMOLITION & TREE REMOVAL PLAN





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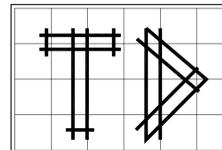
Revisions:

No.	Date	Revision

Sheet Description:

PRIVACY PLAN

Scale	NTS
Drawn	JT
Checked	JT
Date	06-25-25
Project#	2031



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Revisions:

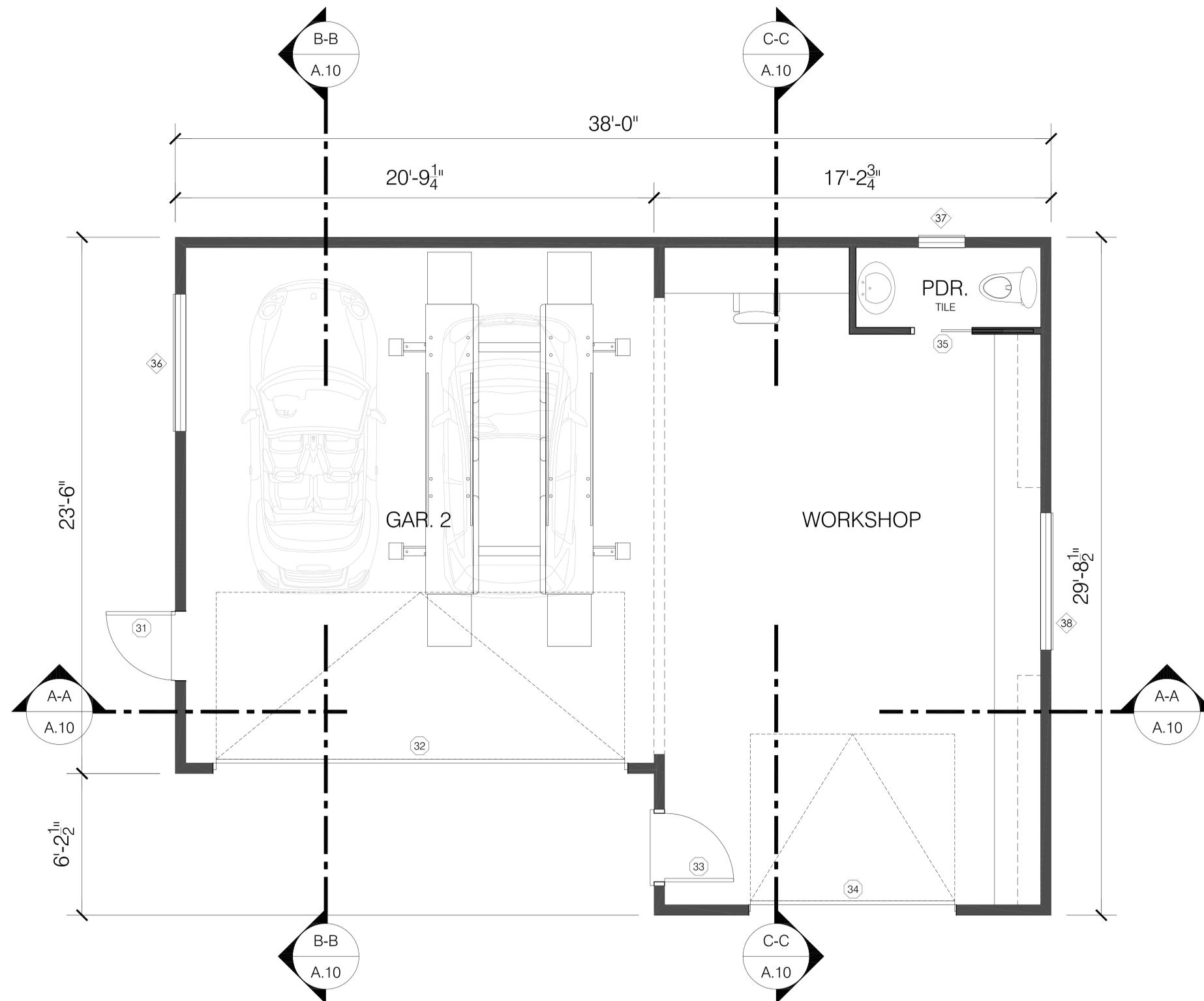
No. Date Revision

No.	Date	Revision

Sheet Description:

FLOOR PLAN
PROPOSED- GARAGE

Scale	1/2" = 1'-0"
Drawn	JT
Checked	JT
Date	06-25-25
Project#	2031

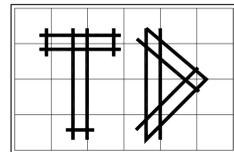


MAIN FLOOR PLAN

PROPOSED

GAR/WORKSHOP: 999 S.F.





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No. Date Revision

No.	Date	Revision

Sheet Description:

FLOOR PLAN PROPOSED

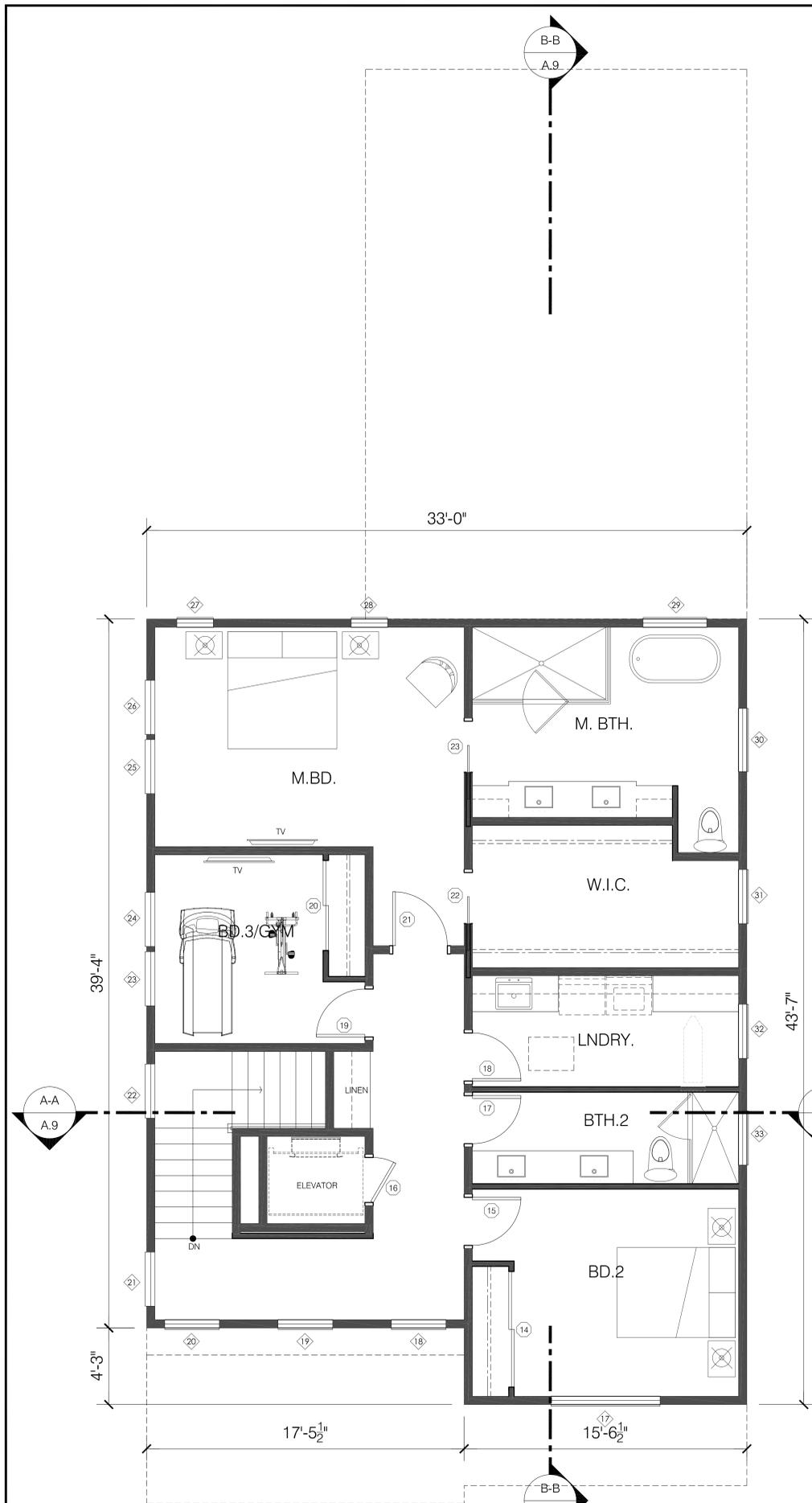
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Drawn JT

Checked JT

Date 06-25-25

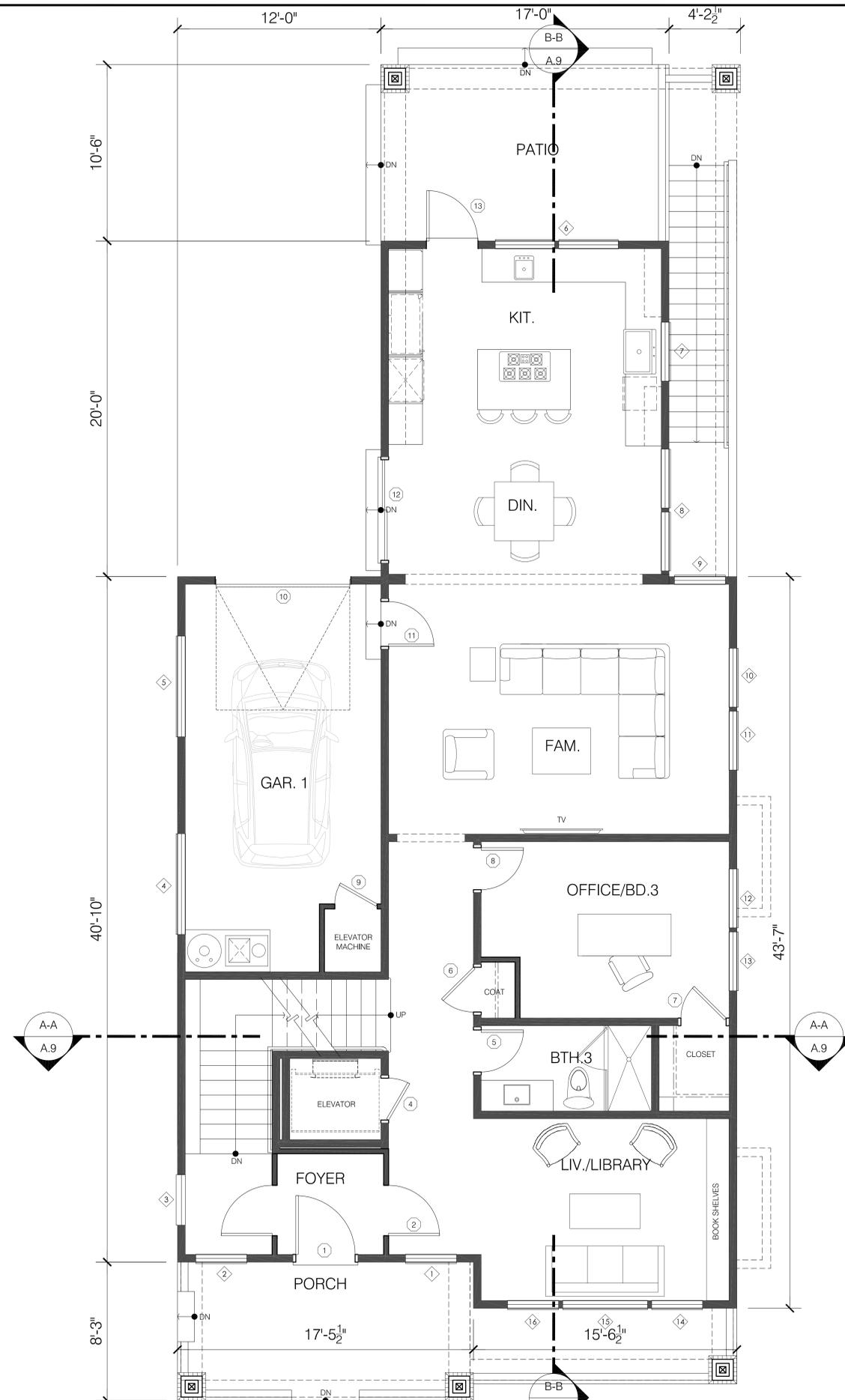
Project# 2031



UPPER FLOOR PLAN

PROPOSED- UNIT 1

UPPER: 1,301 S.F.



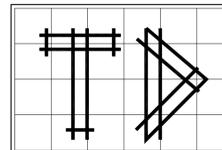
MAIN FLOOR PLAN

PROPOSED- UNIT 1

MAIN: 1,448 S.F.

GAR.: 283 S.F.





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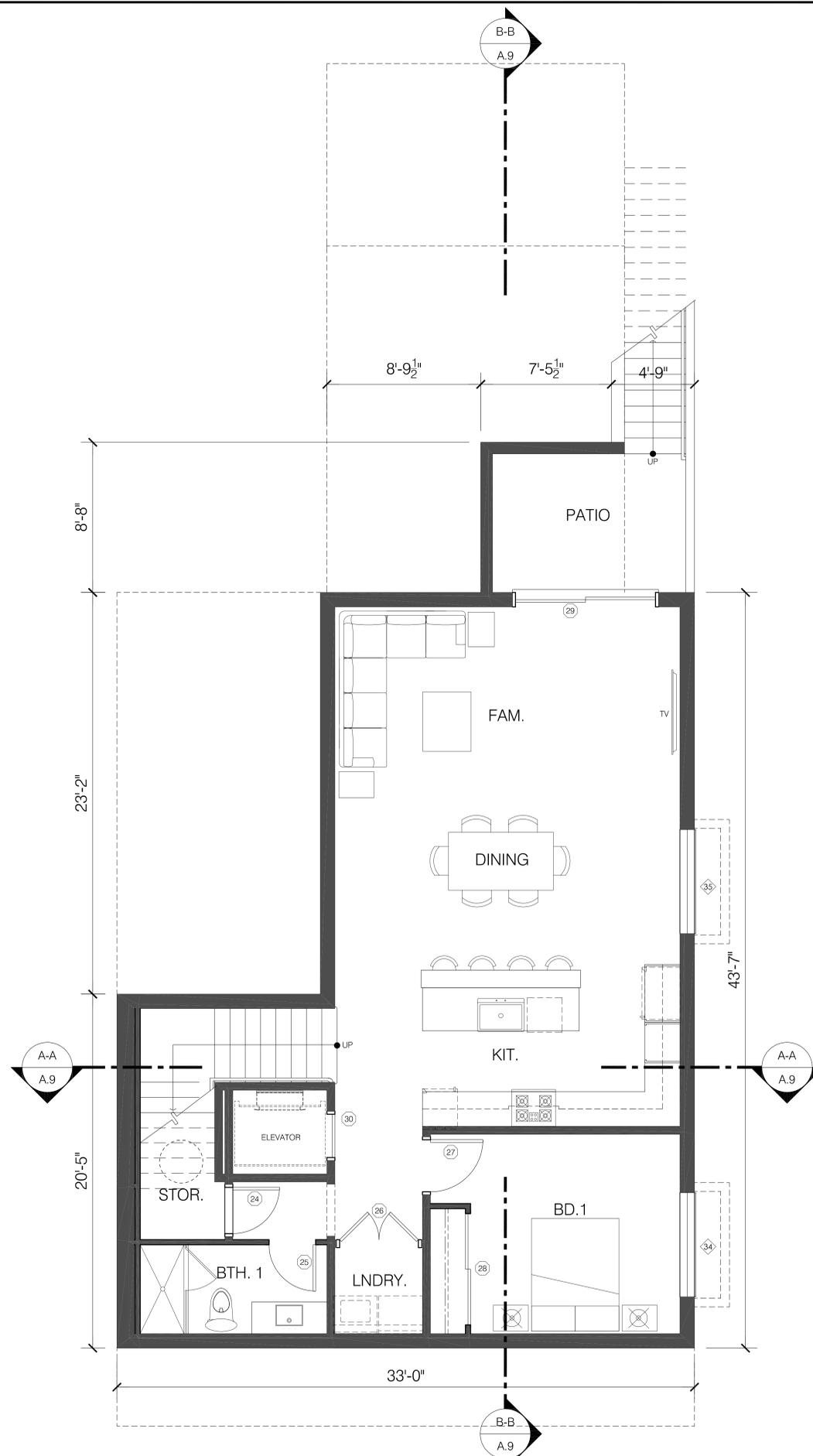
No. Date Revision

No.	Date	Revision

Sheet Description:

FLOOR PLAN
PROPOSED- UNIT 2

Scale	1/4" = 1'-0"
Drawn	JT
Checked	JT
Date	06-25-25
Project#	2031



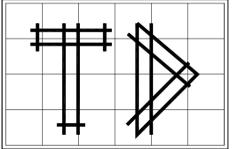
BASEMENT FLOOR PLAN

PROPOSED- UNIT 2



ROOFING	
Type	Area
ASPHALT SINGLE	1818 SF
ASPHALT SINGLE	144 SF
ASPHALT SINGLE	1306 SF
ASPHALT SINGLE	868 SF
ASPHALT SINGLE LOWER ROOF	247 SF
ASPHALT SINGLE LOWER ROOF	116 SF
Grand total: 6	4498 SF

GUTTERS	
Type	Length
Gutter - Bevel 5" x 5"	102' - 8 1/4"
LOWER BACK	64' - 8"
UPPER	97' - 2"
Grand total: 3	264' - 6 1/4"



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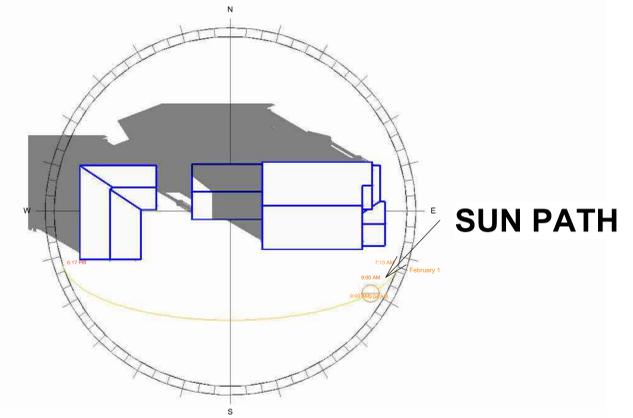
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Revisions:
No. Date Revision

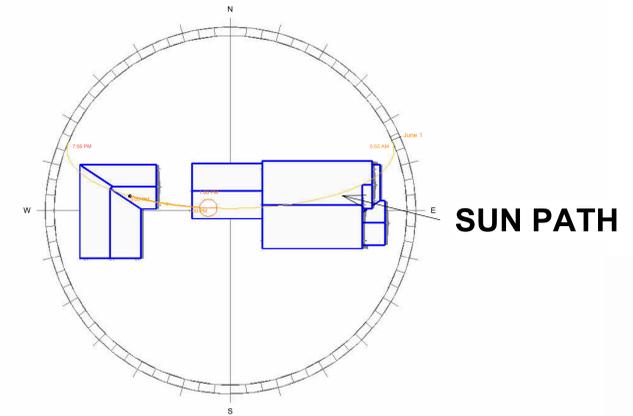
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ROOF PLANS PROPOSED

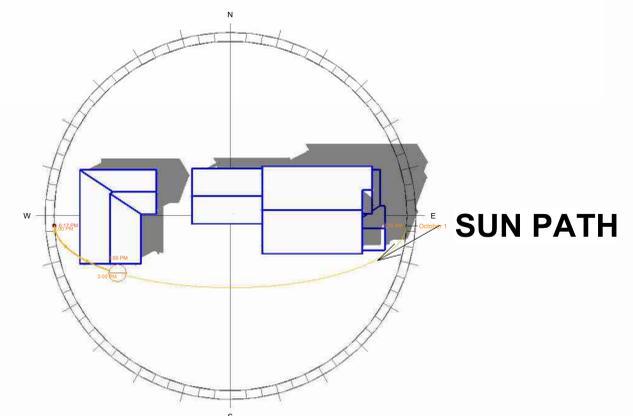
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Checked	JT
Date	06-25-25
Project#	2031



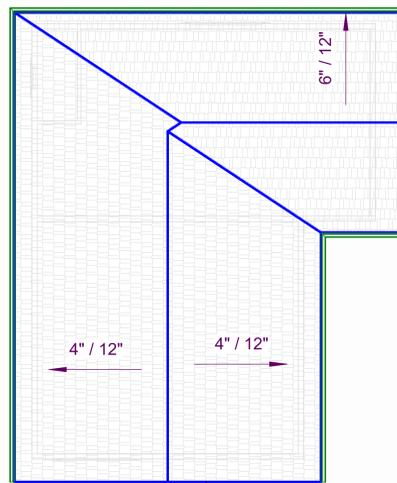
1 .1 SHADOWS 1 FEBRUARY 9 AM



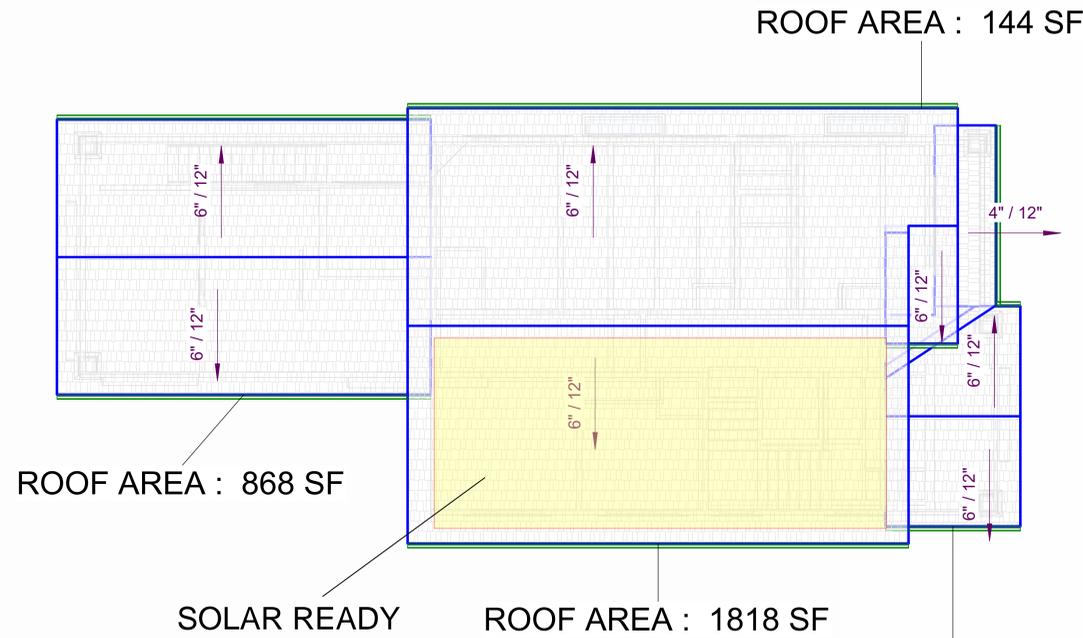
3 .2 SHADOWS 1 JUNE 1 PM



4 .3 SHADOWS 1 OCTOBER 3 PM



ROOF AREA : 1306 SF



ROOF AREA : 868 SF

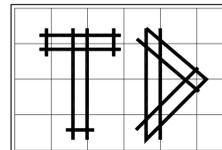
SOLAR READY

ROOF AREA : 1818 SF

ROOF AREA : 144 SF

ROOF AREA : 247 SF

2 ROOF



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Revisions:

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Sheet Description:

**ELEVATIONS
PROPOSED**

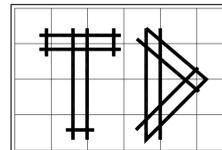
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Drawn	JT
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Project#	2031



FRONT ELEVATION



REAR ELEVATION



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Revisions:

No. Date Revision

No.	Date	Revision

Sheet Description:

ELEVATIONS PROPOSED

Scale 1/4" = 1'-0"

Drawn JT

Checked JT

Date 06-25-25

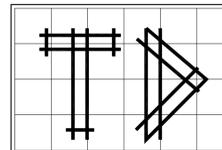
Project# 2031



LEFT ELEVATION



RIGHT ELEVATION



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No.	Date	Revision

Sheet Description:

GARAGE ELEVATIONS
PROPOSED

Scale 3/8" = 1'-0"
 Drawn JT
 Checked JT
 Date 06-25-25
 Project# 2031



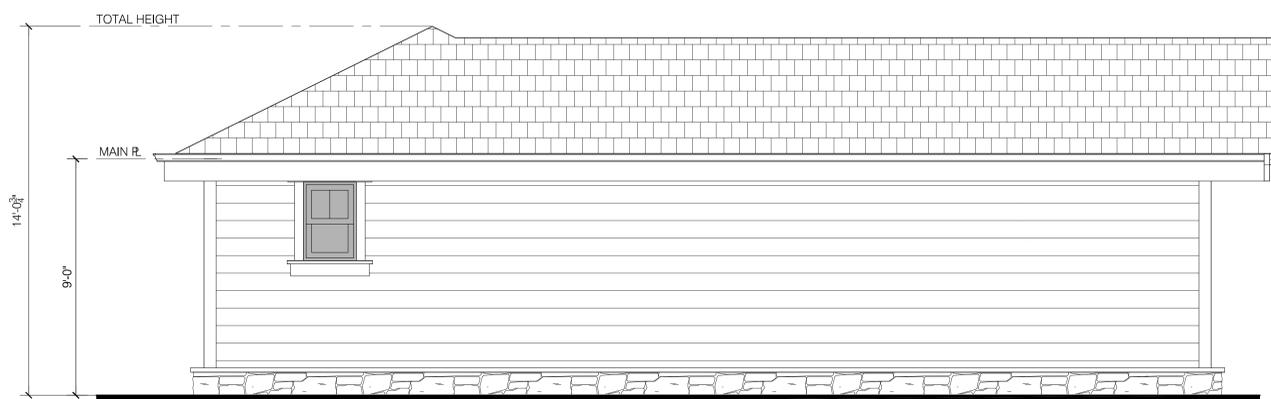
LEFT ELEVATION



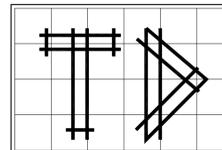
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



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Sheet Description:

RENDERINGS
PROPOSED

Scale	3/8" = 1'-0"
Drawn	JT
Checked	JT
Date	06-25-25
Project#	2031

TRIM COLOR:
Benjamin Moore
Simply White OC-117

BODY COLOR:
Benjamin Moore
Manchester Tan HC-81

WINDOWS:
Marvin Essential
Black

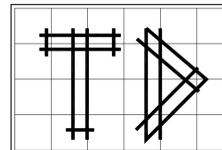
ROOF: Certainteed
Landmark Pro
Max Def Black Walnut

FRONT DOOR:
Benjamin Moore
Black Beauty 2128-10

EXTERIOR LIGHTING:
Kichler
Wesley 14" Black

STONE:
El Dorado
Cliffstone Montecito





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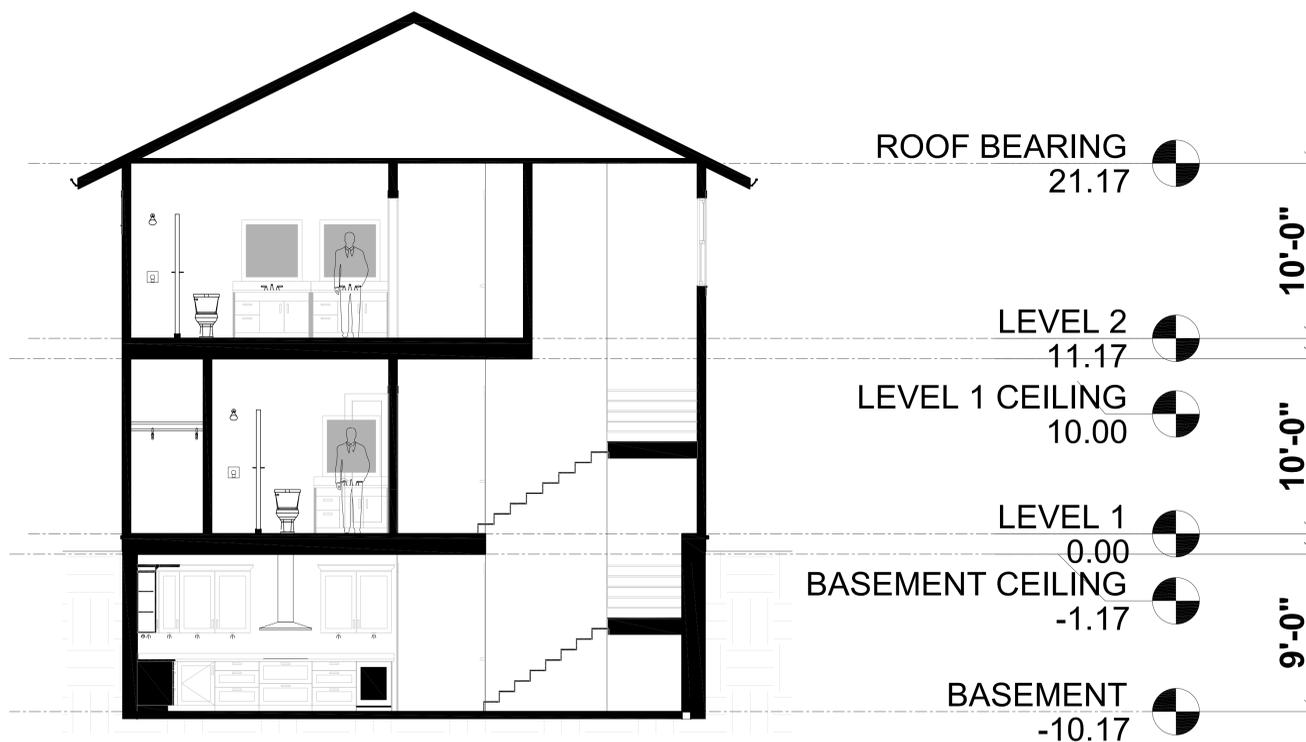
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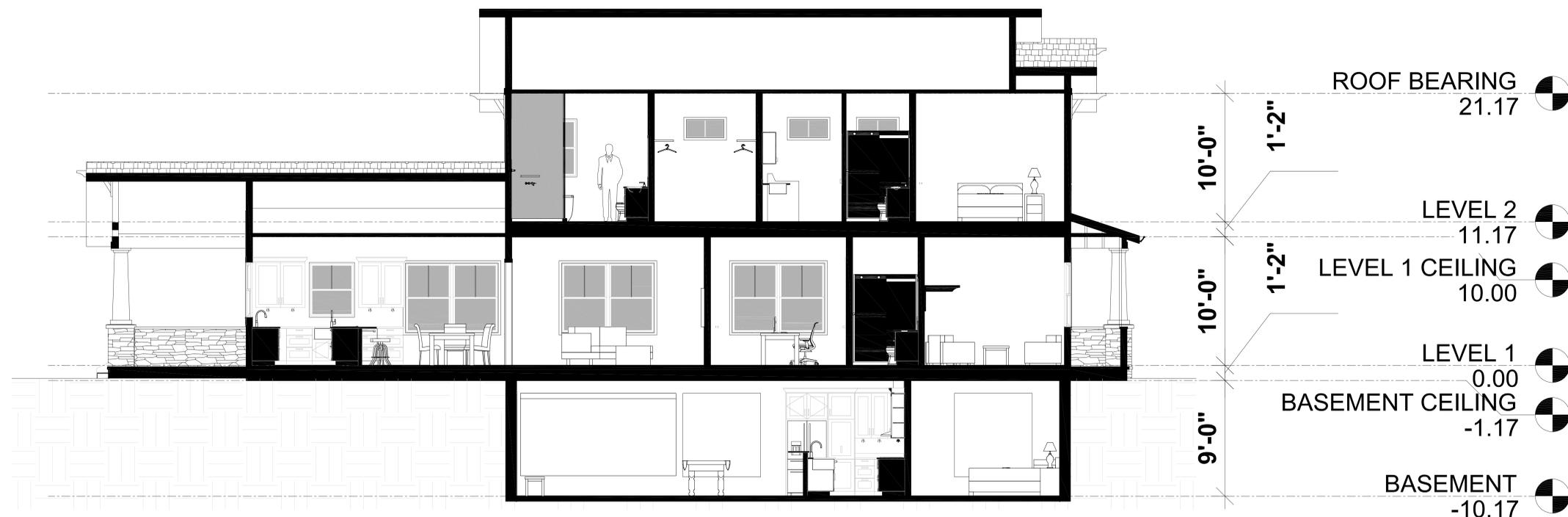
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BUILDING SECTION PROPOSED

Scale	1/4" = 1'-0"
Drawn	JT
Checked	JT
Date	06-25-25
Project#	2031

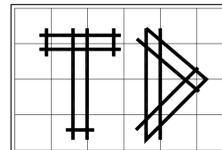


BUILDING SECTION AA



BUILDING SECTION BB





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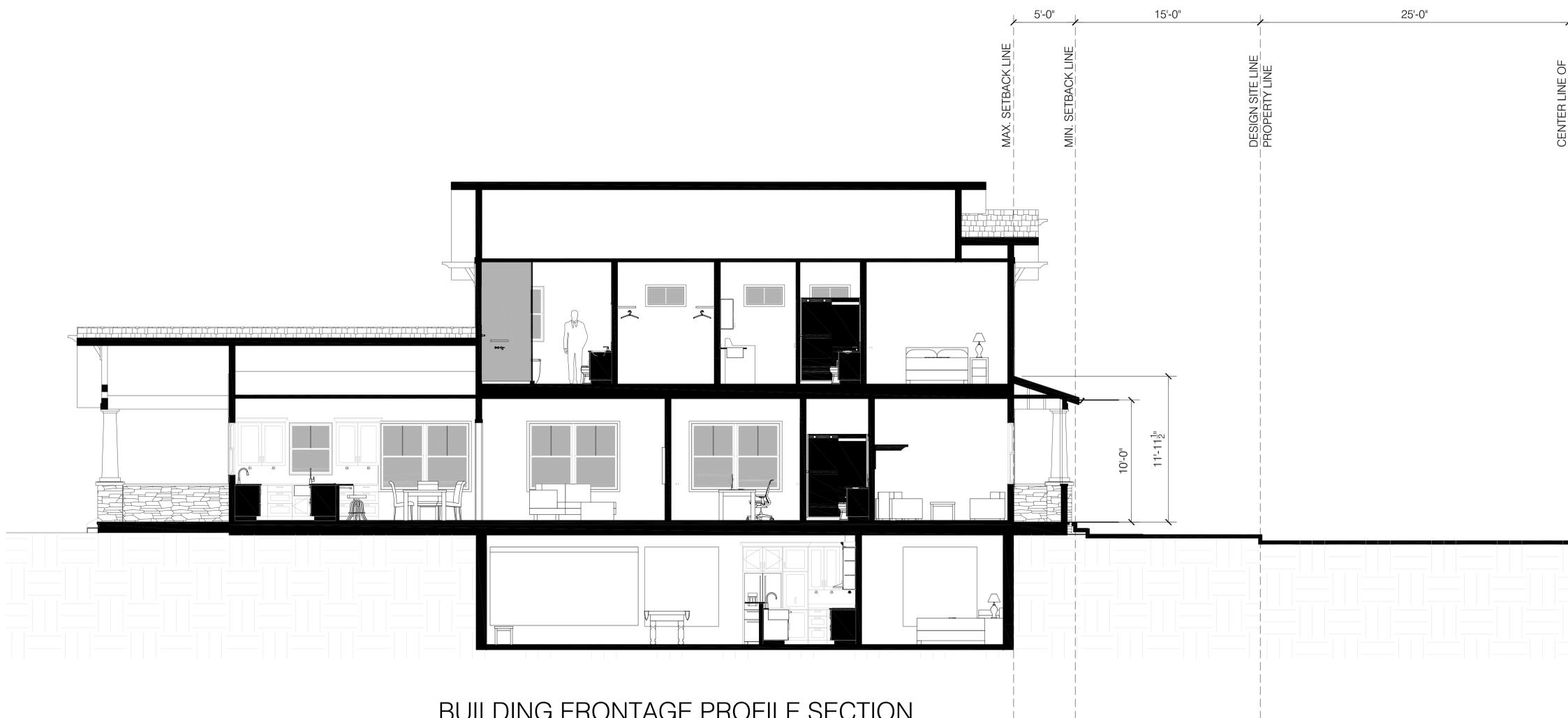
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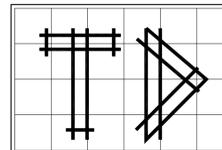
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BUILDING FRONTAGE PROFILE SECTION

Scale 1/4" = 1'-0"
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 Checked JT
 Date 06-25-25
 Project# 2031



BUILDING FRONTAGE PROFILE SECTION



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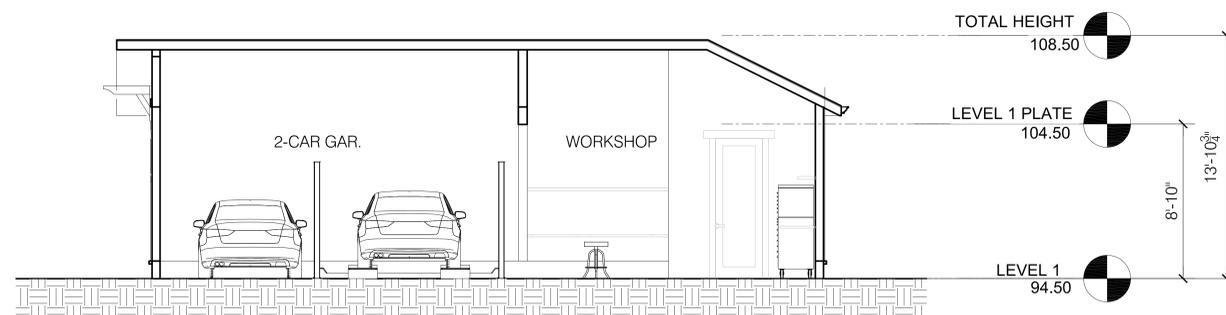
**GIORGI FAMILY
RESIDENCE**

67 S. 3RD STREET
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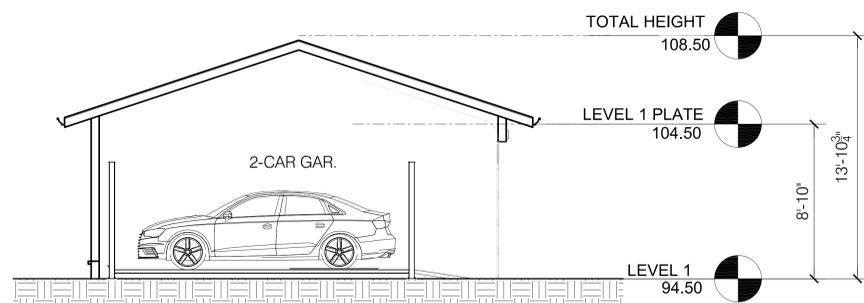
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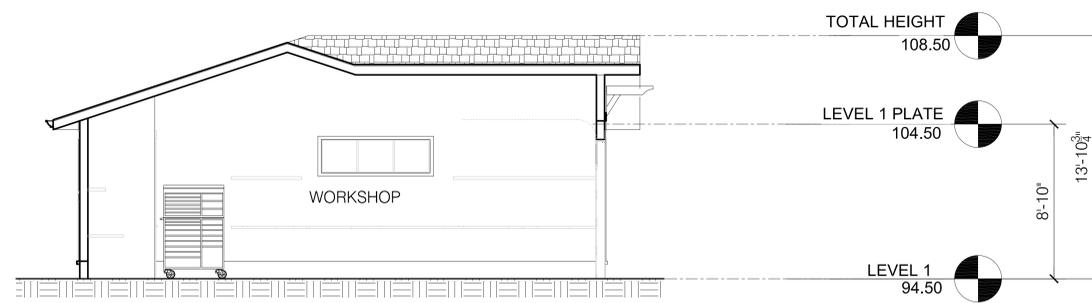
No.	Date	Revision



BUILDING SECTION AA



BUILDING SECTION BB



BUILDING SECTION CC

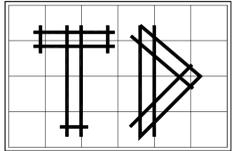
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**BUILDING SECTION- GARAGE
PROPOSED**

Scale	1/4" = 1'-0"
Drawn	JT
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Date	06-25-25
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STREETSCAPE



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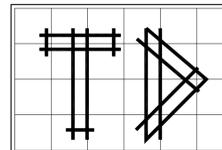
Revisions:

No.	Date	Revision

Sheet Description:

STREETSCAPE

Scale	NTS
Drawn	JT
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Revisions:

No. Date Revision

Sheet Description:

DOOR & WINDOW SCHEDULE

Scale 1/2" = 1'-0"
Drawn JT
Checked JT
Date 06-25-25
Project# 2031

DW.1

Table with columns: MARK, SWING TYPE, WIDTH, HEIGHT, WALL THK., FINISH, FRAME MATERIAL, FIRE RATING, REMARKS. Contains 35 door entries (D1-D307) and a Grand total: 35.

Table with columns: Mark, EGR, Width, Height, Family, MATERIAL, Head Height, GLASS, TEMPERED. Contains 28 window entries (W1-W218) and a Grand total: 41.

SQUARE FOOTAGE AREA

UNIT 1

MAIN FLOOR:

- A- 43 S.F.
- B- 1,348 S.F.
- C- 339 S.F.

UPPER FLOOR:

- G- 293 S.F.
- H- 706 S.F.
- I- 164 S.F.
- J- 66 S.F.

TOTAL UNIT: 2,959 S.F.

COVERED PORCHES:

- D- 180 S.F.
 - E- 144 S.F.
 - F- 70 S.F.
- 394 S.F.**

UNIT 2

MAIN FLOOR:

- K- 276 S.F.
- L- 706 S.F.

TOTAL UNIT: 982 S.F.

COVERED PATIO:

- M- 60 S.F.

***TOTAL LIVING AREA:**

2,959 S.F. + 982 S.F. = 3,941 S.F.

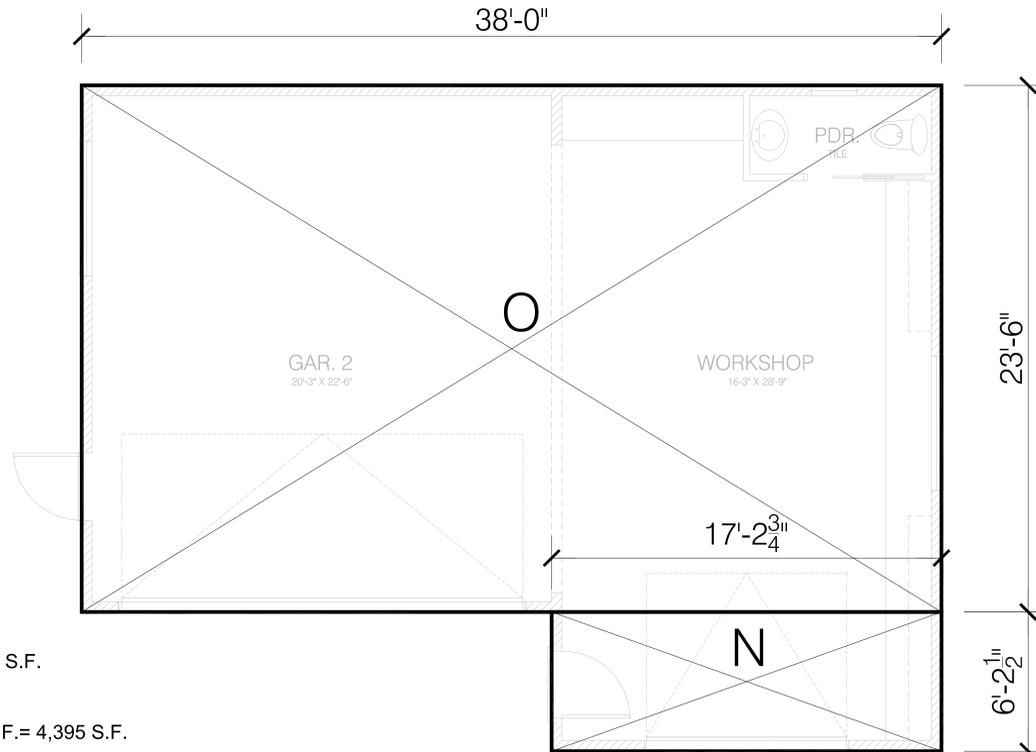
***TOTAL BUILDING AREA:**

3,941 S.F. + 394 S.F. + 60 S.F. = 4,395 S.F.

DETACHED GARAGE

MAIN FLOOR:

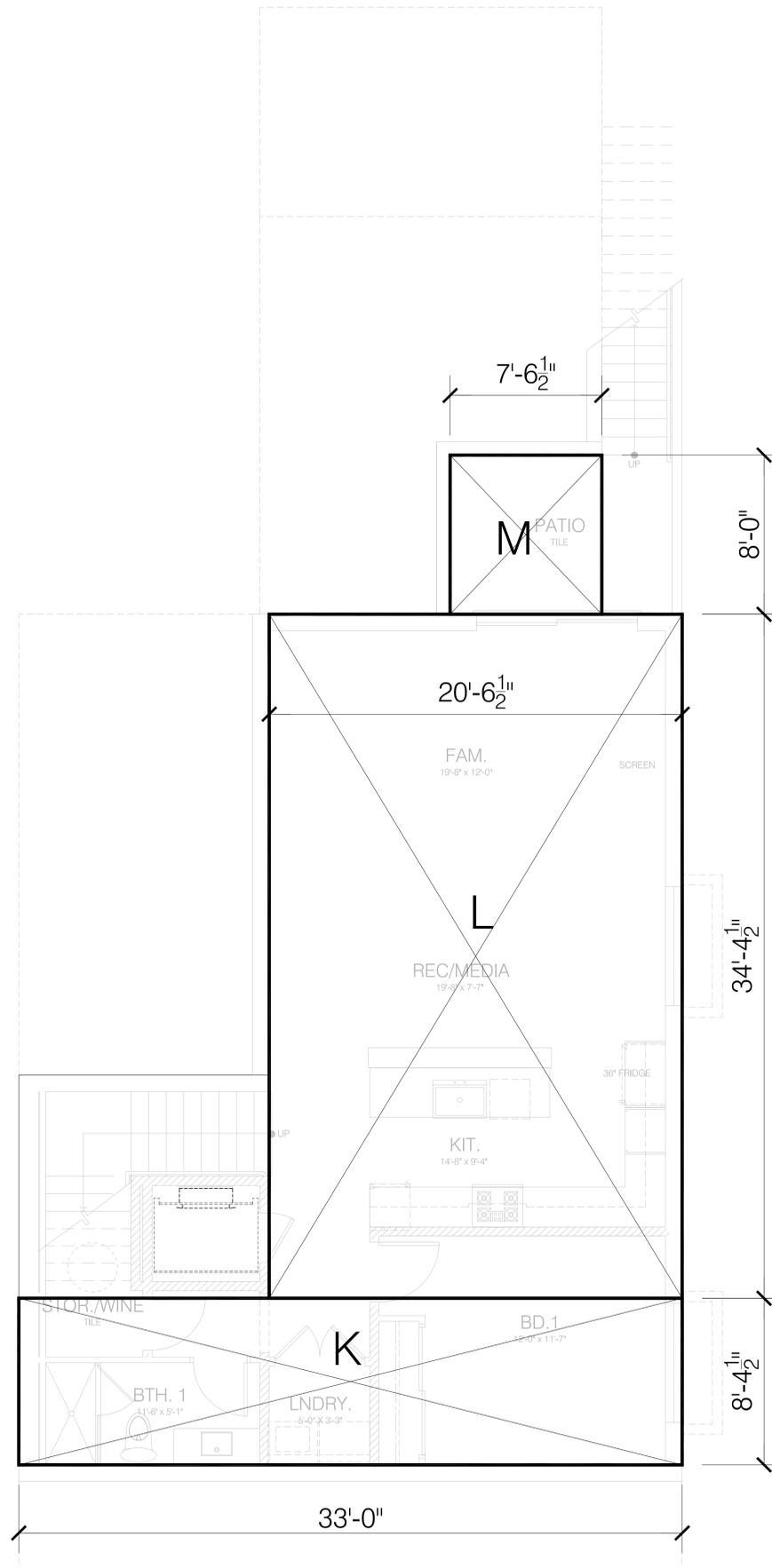
- N- 107 S.F.
 - O- 893 S.F.
- 1,000 S.F.**



MAIN FLOOR PLAN

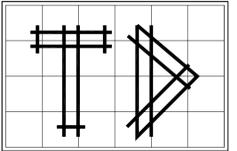
PROPOSED

GAR/WORKSHOP



BASEMENT FLOOR PLAN

PROPOSED- UNIT 2



TOLBERT DESIGN ARCHITECTS

297 COMMERCIAL STREET
SAN JOSE, CA 95112
PH: (650) 200-0663
JEREMIAH@TOLBERTDESIGNARCHITECTS.COM

City Date & Approval Stamps:

GIORGI FAMILY RESIDENCE

67 S. 3RD STREET
CAMPBELL, CA 95008

City Date & Approval Stamps:

Revisions:

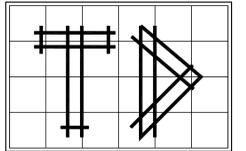
No.	Date	Revision

Sheet Description:

AREA DIAGRAM

Scale	1/4" = 1'-0"
Drawn	JT
Checked	JT
Date	06-25-25
Project#	2031

AREA.2



TOLBERT DESIGN ARCHITECTS

297 COMMERCIAL STREET
SAN JOSE, CA 95112
PH: (650) 200-0663
JEREMIAH@TOLBERTDESIGNSARCHITECTS.COM

City Date & Approval Stamps:

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67 S. 3RD STREET
CAMPBELL, CA 95008

City Date & Approval Stamps:

Revisions:
No. Date Revision

No.	Date	Revision

Sheet Description:

ARCHITECTURAL DETAILS

Scale	AS SHOWN
Drawn	JT
Checked	JT
Date	06-25-25
Project#	2031

AD.1

<p>2x STUDS TYP. EXT. SIDING O/ (1) LAYER 60 MIN. BLDG PAPER, TYP. PLYWD SHEATHING WHERE OCCURS, S.S.D. 3/4" GYP. BOARD INSULATION WHERE OCCURS PER T-24 ENERGY REPORT</p> <p>5'x1'-0"</p>	<p>ROOF FRMG., S.S.D. CARDBOARD Baffle W/ 1" VENT CLR. & BATT INSUL. PER T-24 COMP. SHINGLES O/ 30# FELT UNDER-LAYMENT O/ PLYWD. SHTG., S.S.D. 1x6 R.S. T&G SHTG. 00SEE GSM GUTTER 2x8 FASCIA 2x FRIEZE BLK.G. W/ 2" DIA. VENT HOLES & INSECT SCREENS, TYP. GYP. BD. 2x FRAMING LAP SIDING APP. SEE DET.</p> <p>1 1/2" = 1'-0"</p>	<p>1 1/2" = 1'-0"</p>	<p>LEGEND 1. NAIL G1. STEP FLASHING TO WALL. 2. COVER ROOF FELT WITH PROTECTION BOARD. 3. DIVERTER STEP FLASHING.</p> <p>5'x1'-0"</p>	<p>LEGEND 1. 1/2" CLEARANCE BETWEEN WALL AND ROOF SHEATHING.</p>
<p>LAP APP. SEE DET. GSM FLASHING SLOPED 5% TO DRAIN W/ SEALANT, LAP PAPER O/ FLASHING 4" MIN. 2x12 R.S. WOOD TRIM BAND LAP/SHINGLE APP. SEE DET.</p> <p>5'x1'-0"</p>	<p>CONCRETE ROOF TILE O/ 30# FELT UNDER-LAYMENT O/ PLYWD. SHTG., S.S.D. 2x2 BLOCKING GDX SHTG. PRIMED AND PAINTED. GSM FLASHING & SEALANT 2x4 FLAT LET-IN @ 48" OC. SEE ROOF PLAN MANUF. WD. TRUSSES S.S.D. LAP SIDING APP. SEE DET. 2x FRAMING 1/2" GYP. BOARD, TYP.</p> <p>1 1/2" = 1'-0"</p>	<p>1 1/2" = 1'-0"</p>	<p>LEGEND 1. CORNER FLASH STEP FLASHING WITH G1. REGLET 2. REINFORCE CORNERS WITH 12" MOISTOP 3. INSTALL SECOND COURSE OF 60 MINUTE FELT OVER REGLET AND STUCCO KEEP SCREED.</p>	<p>LEGEND 1. TACK NAIL LOWER EPIC OF ROOF SHEATHING. 2. 2x ROUGH FASCIA 3. 1/2" CLEARANCE BETWEEN FAGIA AND SHEATHING. 4. 1/2" CLEARANCE BETWEEN WALL SHEATHING & ROOF RAFTER (SEE SECTION A-A SHEET AD.5).</p>
<p>EXT. SIDING APPLICATION FOR TYP. INFORMATION SEE DETAIL 2x STUDS WALL TIGHT JOINT W/ SEALANT, TYP. 1 LAYERS OF GRADE 'D' JUMBO TEX BLDG PAPER O/ SELF-ADHERED WP. MEMB. @ CORNERS, 6" LAP 2x6 R.S. TRIM (AT FRONT & REAR ELEV.) 2x4 R.S. TRIM (AT SIDE ELEVATIONS)</p> <p>5'x1'-0"</p>	<p>2x10 BARGE RAFTER</p>	<p>LAP SIDING APPLICATION, SEE DET. 2x BLOCKING BLDG. PAPER O/ GSM FLASHING - EXTEND FLASHING UP WALL 4" MIN. & 6" MIN. DOWN ROOF TYP. 1x STARTER STRIP COMP SHINGLE ROOF TILE O/ 30# FELT O/ SHTG., S.S.D. ROOF FRAMING, S.S.D. 2x FRAMING</p> <p>5'x1'-0"</p>	<p>LEGEND 1. COMPLETE INSTALL OF STUCCO 2. REINSTALL FLY AFTER STUCCO IS INSTALLED</p>	<p>LEGEND 1. ROOF FLY TEMPORARILY MOVED FOR ACCESS 2. INSTALL CONTINUOUS PIECE OF FELT FROM CORNER TO CORNER EXTENDING UP TO TOP PLATE.</p>
<p>LAP SIDING, SEE DET. 2x STUD WALLS 1 LAYERS OF GRADE 'D' JUMBO TEX BLDG. PAPER O/ SELF-ADHERED FLASHING, 6" LAP 2x3 INTERIOR CORNER TRIM</p> <p>5'x1'-0"</p>	<p>GSM FLASHING OR COMP. ROOF SHT. - CENTERED O/ VALLEY METAL SHINGLE ROOF TILE (MATCH EXIST.) O/ #50 FELT O/ PLYWD. SHTG., S.S.D. ROOF FRAMING, S.S.D.</p> <p>5'x1'-0"</p>	<p>LAP SIDING APPLICATION, SEE DET. 2x6 BLOCKING, S.S.D. BLDG. PAPER O/ GSM FLASHING - EXTEND FLASHING UP WALL 4" MIN. & 6" MIN. DOWN ROOF TYP. COMP SHINGLE ROOF TILE O/ 30# FELT O/ SHTG., S.S.D. GSM FLASHING - LAP UP WALL & UNDER ROOF 6" MIN. MANUF. WD. TRUSSES S.S.D. 2x FRAMING GYP. BD., WHERE OCCURS</p> <p>5'x1'-0"</p>	<p>LEGEND 1. REMOVE PROTECTION BOARD & COMPLETE ROOFING FELT. 2. 50# FELT OVER WOVEN 50# VALLEY. 3. 1/2" CLEARANCE BETWEEN ROOF SHINGLES AND FAGIA. 4. INSTALL FINISH FASCIA 5. INSTALL GUTTERS.</p>	<p>LEGEND 1. COMPLETE PAPERING OF WALL. 2. PARTIAL INSTALL 30# ROOF FELT 18" UP WALL AND 24" ON TO ROOF. 3. 6" SELF-ADHERING MEMBRANE 3" ON WALL TO ROOF.</p>
<p>5'x1'-0"</p>	<p>5'x1'-0"</p>	<p>5'x1'-0"</p>	<p>5'x1'-0"</p>	<p>5'x1'-0"</p>

GRADING AND DRAINAGE NOTES

.1CALIFORNIA BUILDING CODE
ALL WORK SHALL COMPLY WITH THE 2022CALIFORNIA BUILDING CODE.

.2O.S.H.A .REGULATIONS
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.

.3GEOTECHNICAL (SOILS) REPORT
THE ENGINEER OF WORK HAS DESIGNED THIS PROJECT TO COMPLY WITH THE GRADING RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT PREPARED BY _____

.4SPECIFICATIONS AND OBSERVATIONS
ALL GRADING AND DRAINAGE WORK SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON . ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER OR ENGINEER OF WORK. THE SOILS ENGINEER/ENGINEER OF WORK AND CITY 986-2150(SHALL BE NOTIFIED AT LEAST 48HOURS BEFORE BEGINNING ANY GRADING. UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.

.5NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM
PRIOR TO ISSUANCE OF ANY GRADING OR BUILDING PERMITS, THE APPLICANT SHALL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES)PERMITTING REQUIREMENTS AND THE CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICES HANDBOOK PREPARED BY THE STORM WATER QUALITY TASK FORCE .SANTA CLARA VALLEY WATER DISTRICT AND THE CITY OF CAMPBELL MUNICIPAL CODE REGARDING STORM WATER POLLUTION PREVENTION.

.6LOCAL NON-POINT SOURCE ORDINANCE
COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.

.7UNDERGROUND UTILITIES AND STRUCTURES
THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY .THE CITY OF CAMPBELL MAKES NO CLAIMS OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN .IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY .THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.

.8EROSION CONTROL
EROSION CONTROL PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADED AREAS. SEE LANDSCAPE PLAN ,IF APPLICABLE ,FOR DETAILS OF PLANTING.

.9UTILITY ELEVATION VERIFICATION
THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK .SHOULD LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.

.10UTILITY CROSSINGS
THE CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY ,SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE OR SHE SHALL CALL THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.

.11GRADING REQUIREMENTS
DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS ,SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 5%FOR AT LEAST 10FEET . MINIMUM SLOPE IN ALL OTHER CASES SHALL BE NO LESS THAN .2%

.12GRADED SITE ELEVATIONS
ON GRADED SITES ,THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12INCHES 305MM) PLUS 2PERCENT .THE BUILDING OFFICIAL MAY APPROVE ALTERNATE ELEVATIONS PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.

.13CLEAN ,SAFE AND USABLE PUBLIC RIGHT-OF-WAY AND PRIVATE PROPERTY
THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN ,SAFE AND USABLE CONDITION .ALL SPILLS OF SOIL ,ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT .ALL ADJACENT PROPERTY ,PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN ,SAFE AND USABLE CONDITION.

.14TOPOGRAPHY SURVEY
THE TOPOGRAPHY SURVEY MADE BY SMP ENGINEERS ON .3/16/2020

.15TREE REMOVAL AND PRESERVATION
THIS PLAN DOES NOT APPROVE REMOVAL OF TREES . APPROPRIATE TREE REMOVAL PERMITS AND METHOD OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE PLANNING DIVISION.

.16PROJECT PLANS
THIS PLAN IS A PART OF PROJECT PLANS .SEE ARCHITECT AND LANDSCAPE PLANS ,IF APPLICABLE . FOR DETAILS AND DIMENSIONS .FENCES AND WALLS ARE NOT A PART OF THESE PLANS.

.17FINAL LETTER OF INSPECTION
THE SOILS ENGINEER OR ENGINEER OF WORK SHALL PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING.

.18GRADE EVENLY
THE CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.

.19APPROVAL OF PLANS
APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION ,PLACEMENT ,AND COMPACTION OF NATURAL EARTH MATERIALS . THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS .APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS .PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE . AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.

.20WELL LOCATIONS
ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT .CALL 265-2600)408(EXTENSION 382) TO ARRANGE FOR DISTRICT OBSERVATIONS OF ALL WELL ABANDONMENTS.

.21EARTHWORK QUANTITIES
THE EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE GRADING PLAN REVIEW AND PERMIT FEES.

.22ELEVATION ADJUSTMENTS
ADJUSTMENTS OF PADS OR PARKING LOT ELEVATIONS TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER OF WORK AND THE CITY OF CAMPBELL BUILDING DIVISION.

.23TRUCK ROUTE
THE TRUCK ROUTE SHALL BE .HEAD SOUTH ON S THIRS ST ,TOWARD E RINCON AVE .THE TURN RIGHT E RINCON AVE TOWARD WINCHESTER BLVD .THEN ,TURN LEFT ONTO S WINCHESTER BLVD ,TURN RIGHT ONTO THE CA 85-N RAM .

.24CONTRACTOR RESPONSIBILITIES
THE SOILS ENGINEER AND/OR ENGINEER OF WORK WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTOR'S WORKMENS ACCOMPLISHMENT OF WORK ON THE PROJECT .CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOBSITE ,INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK .THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

.25NEAT AND CLEAN PREMISES
DURING THE PROGRESS OF THE WORK ,THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION ,DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED , OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH

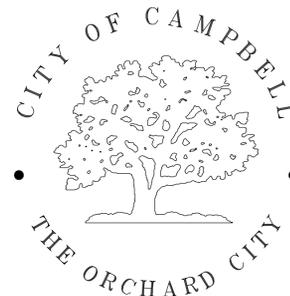
ON-SITE GRADING & DRAINAGE PLANS

PROJECT STREET ADDRESS: 67 S THIRD ST, CAMPBELL, CA 95008

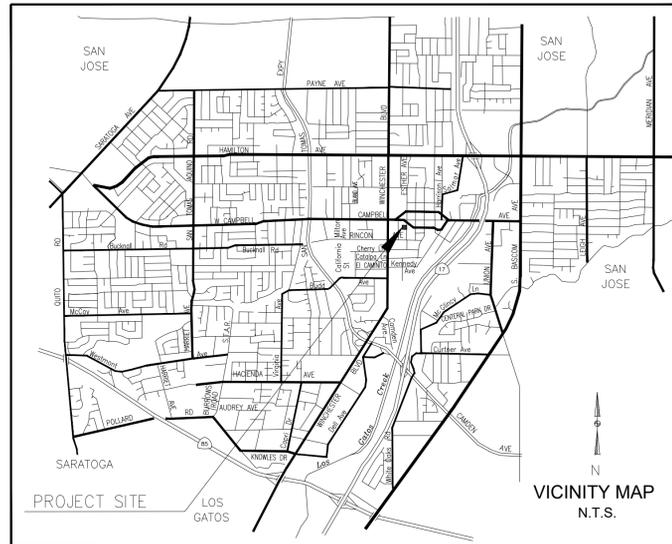
BUILDING PERMIT NO. BLD2025-XXXX

ASSESSORS PARCEL NO. 412-05-007

NEW SINGLE FAMILY HOME



CITY OF CAMPBELL DEPARTMENT OF PUBLIC WORKS



ABBREVIATIONS			
	DESCRIPTION	DESCRIPTION	
AB	AGGREGATE BASE (CLASS AS NOTED)	JP	JOINT POLE
AC	ASPHALT CONCRETE	MON.	MONUMENT
AD	AREA DRAIN	OG	ORIGINAL GROUND
BC	BEGIN OF CURVE	PB	PULL BOX
BFP	BACK FLOW PREVENTER	PGEV	PG&E VAULT
BO	BLOW OFF	R.PL	PROPERTY LINE
BW	BACK OF WALK	PP	POWER POLE
BWAL	BLACK WALNUT TREE	PPP	PLASTIC PERFORATED PIPE
OFF	GARAGE FINISH FLOOR (BACK)	PSE	PUBLIC SERVICE EASEMENT
C.L	CENTERLINE	PVC	POLYVINYL CHLORIDE
CLSW	CENTERLINE SWALE	R/W	RIGHT OF WAY
CO	CLEANOUT	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	SD	STORM DRAIN
CP	CONTROL POINT	SDMH	STORM DRAIN MANHOLE
DDW	DIRT DRIVEWAY	SS	SANITARY SEWER LINE
DI	DROP INLET	SSMH	SANITARY SEWER MANHOLE
DETAIL	DAYLIGHT	SW	SIDEWALK
ELECT	ELECTROLIER	TC	TOP OF CURB
EP	EDGE OF PAVEMENT ELEVATION	TOB	TOP OF BANK
EUC	EUCALYPTUS TREE	TOE	TOE OF SLOPE
EX	EXISTING	TF	TOP OF FOUNDATION
FF	FINISHED FLOOR	TP	TOP OF PIPE
FG	FINISH GRADE	UG	UNDERGROUND GAS
FH	FIRE HYDRANT	USS	UNDERGROUND SANITARY SEWER
FL	FLOW LINE	UST	UNDERGROUND STORM DRAIN
FNC	FENCE	UT	UNDERGROUND TELEPHONE
FOG	FOG LINE	UW	UNDERGROUND WATER
GB	GRADE BREAK	VCP	VITRIFIED CLAY PIPE
GFF	GARAGE FINISHED FLOOR (FRONT)	WL	WHITE LINE STRIPE
GUY	GUY WIRE	WLK	WALKWAY
HP	HIGH POINT	WM	WATER METER
IP	IRON PIPE	WV	WATER VALVE
LIP	LIP OF GUTTER	YL	YELLOW LINE STRIPE
LP	LOW POINT		
C&G	CURB AND GUTTER		

AGENCY INDEX

SANTA CLARA COUNTY FIRE DEPARTMENT	(408) 378-4010
CITY OF CAMPBELL - PUBLIC WORKS	(408) 866-2150
CITY OF CAMPBELL - POLICE	(408) 866-2121
AT&T TELEPHONE	(408) 811-3000
PACIFIC GAS & ELECTRIC	(408) 973-8980
SAN JOSE WATER COMPANY	(408) 279-7900
SANTA CLARA VALLEY WATER DISTRICT	(408) 265-2600
COMCAST CABLE TELEVISION	(408) 452-9100
WEST VALLEY SANITATION DISTRICT	(408) 378-2407

26. ANY ABANDONED UNDERGROUND PIPES
ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED ADEQUATELY PLUGGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CAMPBELL, BUILDING DIVISION.

27. HUMAN REMAINS
IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE CITY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORONER AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.

28. MAINTENANCE PROCEDURES
THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEMS.

29. DUST CONTROL
ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST. AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST. GRADING OR OTHER DUST-PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS READILY VISIBLE IN THE AIR. STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST-PRODUCING MATERIALS SHALL BE WATERED OR COVERED. THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEEP (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.

30. CONSTRUCTION MITIGATION MEASURE
HOURS OF CONSTRUCTION SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. MONDAY THROUGH FRIDAY, AND 9:00 A.M. TO 4:00 P.M. ON SATURDAY. CONSTRUCTION ACTIVITIES SHALL NOT TAKE PLACE ON SUNDAYS AND HOLIDAYS.

31. CONSTRUCTION PERIMETER RETENTION WALLS
ALL PROPERTY LINE RETENTION WALLS SHALL BE MADE OF CONCRETE OR MASONRY.

32. STORMWATER TREATMENT FACILITIES
ALL STORMWATER TREATMENT FACILITIES REQUIRE PUBLIC WORKS INSPECTIONS. CALL 408-866-2150 TO SCHEDULE INSPECTIONS 48-HOURS PRIOR.

INDEX OF DRAWINGS

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EROSION CONTROL PLAN	C-5
BLUE PRINT FOR A CLEAN BAY	C-6

LEGEND

EXISTING	PROPOSED
SIDEWALK, CURB AND GUTTER	[Symbol]
CENTER LINE	[Symbol]
PROPERTY LINE	[Symbol]
EDGE OF PAVEMENT	[Symbol]
DRIVEWAY	[Symbol]
PCC OR AC REMOVAL	[Symbol]
STANDARD CITY MONUMENT	[Symbol]
BENCH MARK	[Symbol]
MANHOLE	[Symbol]
STORM DRAIN INLET	[Symbol]
WATER METER	[Symbol]
VALVE	[Symbol]
FIRE HYDRANT	[Symbol]
STREET LIGHT	[Symbol]
POWER POLE	[Symbol]
PULL BOX	[Symbol]
CABLE TELEVISION LINE	[Symbol]
ELECTRICAL LINE	[Symbol]
IRRIGATION LINE	[Symbol]
NATURAL GAS LINE	[Symbol]
OVERHEAD LINE	[Symbol]
SANITARY SEWER LINE	[Symbol]
STORM DRAIN LINE	[Symbol]
TELEPHONE LINE	[Symbol]
WATER LINE	[Symbol]
TRAFFIC SIGNAL CONDUIT	[Symbol]
LIGHTING CONDUIT	[Symbol]
ROADSIDE SIGN & SIGN CODE	[Symbol]
FENCE	[Symbol]
TREE/SHRUB	[Symbol]
WALL	[Symbol]

SURVEY MAP DISCLAIMER NOTE:

SMP ENGINEERS ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE TOPOGRAPHIC SURVEYING DEPICTED ON THIS PLAN SET. TOPOGRAPHIC SURVEYING MAP WAS PREPARED BY OTHERS AND FURNISHED TO SMP ENGINEERS BY THE OWNER.

SEAL OF ENGINEER OF WORK:

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.

THE DESIGN INCLUDES PRINCIPLES AND TECHNIQUES TO REDUCE QUANTITY AND IMPROVE THE QUALITY OF STORM WATER RUNOFF, AS REQUIRED BY NPDES.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF CAMPBELL IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

Signature: *Saeid Razavi* C 52724

SIGNATURE P.E.

SAEID RAZAVI

PRINT

SMP ENGINEERS
1534 CAROB LANE, LOS ALTOS, CA 94024
TEL: (650) 941-8055



Checked By:	
Date:	
Revision:	
No.:	

Date: 06/24/2025
Prepared By: S.P.
Checked by: S.R.
SMP Job No. 225051

1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755
E-MAIL: SRAZAVI@SMPENGINEERS.COM

COVER SHEET
GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY HOME
67 S THIRD ST, CAMPBELL, CA 95008

SCALE: N.T.S.

SHEET: C-1
1 OF 6

CITY OF CAMPBELL
PLANNING DIVISION CLEARANCE

PLAN CHECK # _____

APPROVED BY: _____

DATE: _____

Earthwork Quantities	
FILL:	17 CY
CUT:	580 CY
IMPORT:	0 CY
EXPORT:	563 CY

NOTE: EARTHWORK QUANTITIES ARE ENGINEER'S ESTIMATE. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS FOR BIDDING PURPOSES.

CITY OF CAMPBELL
PUBLIC WORKS DEPARTMENT CLEARANCE

THIS PLAN WITH ATTACHED DOCUMENTS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF CAMPBELL AND STATE OF CALIFORNIA CODES AND THE CURRENT NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. THIS PLAN SHALL NOT BE CHANGED OR MODIFIED WITHOUT AUTHORIZATION FROM THE BUILDING OFFICIAL. WORK PERFORMED RELATED TO THIS PLAN SHALL BE DONE IN ACCORDANCE WITH THIS PLAN AND ALL APPLICABLE CODES. THIS APPROVAL SHALL NOT BE HELD TO PERMIT OR UNDERSTOOD AS TO BE AN APPROVAL OF A VIOLATION OF ANY CITY OR STATE LAW.

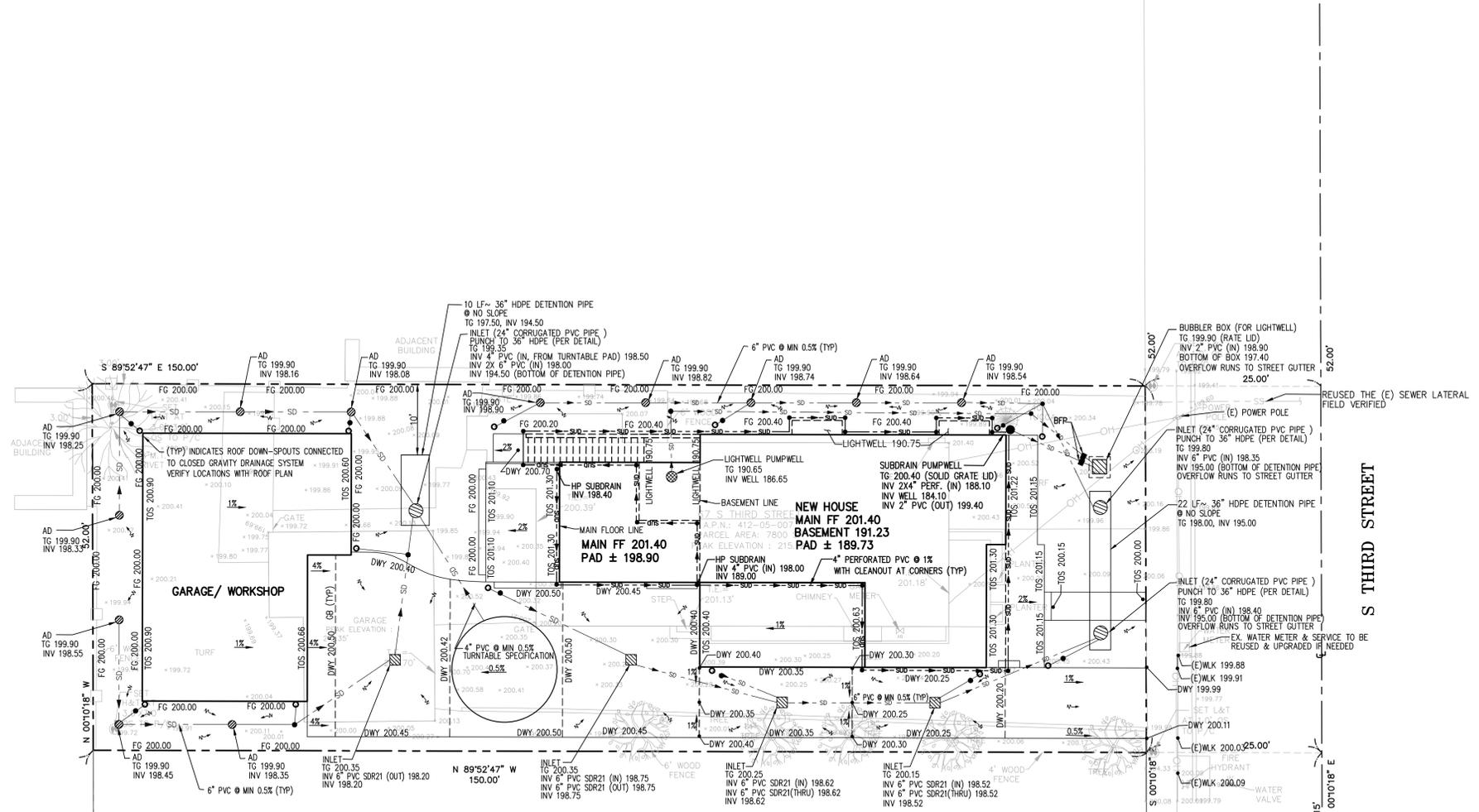
BY: _____ DATE: _____

NOTES:

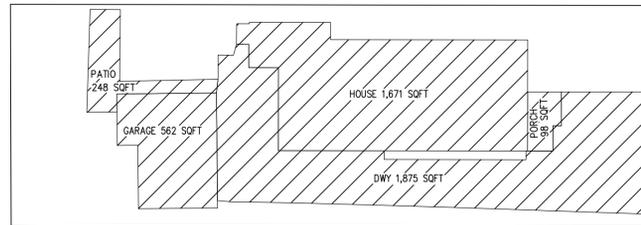
WATER, SANITARY SEWER AND ELECTRIC SERVICES SHOWN FOR REFERENCE ONLY. SEPARATE UTILITY ENCROACHMENT PERMITS ARE REQUIRED FOR THE INSTALLATION OF THESE FACILITIES IN THE RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT BEFORE PERFORMING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

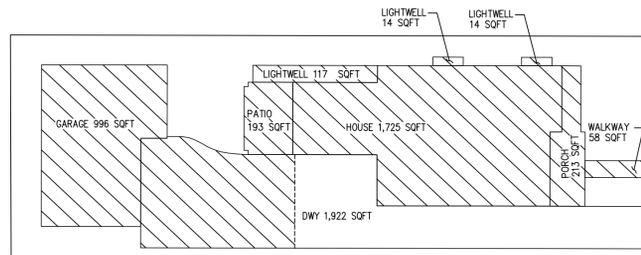
THE STREET IMPROVEMENTS SHOWN ON THIS PLAN ARE SHOWN FOR INFORMATION ONLY. SEE THE ENCROACHMENT PERMIT FOR THE APPROVED STREET IMPROVEMENTS



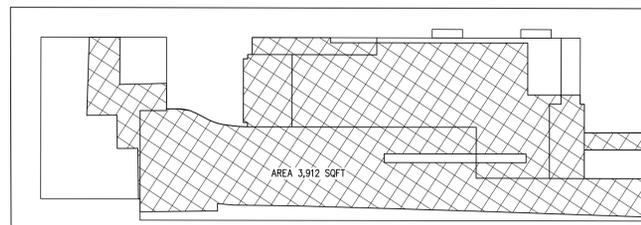
IMPERVIOUS AREA CALCULATION
N.T.S



EXISTING IMPERVIOUS AREA
TOTAL = 4,453 SQFT



PROPOSED IMPERVIOUS AREA
TOTAL = 5,254 SQFT

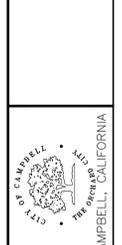


EXISTING IMPERVIOUS AREA TO BE
REPLACED WITH NEW IMPERVIOUS AREA
TOTAL = 3,912 SQFT

Chk'd	
By	
Date	
Revision	
No.	
Date: 06/24/2025	
Prepared By: S.P.	
Checked by: S.R.	
SMP Job No. 225051	

SMP
SPECIALIZED PROFESSIONAL ENGINEERS
1534 CAROB LANE
SUNNYVALE, CA 94086
TEL: (650) 941-8055
FAX: (650) 941-8755
E-MAIL: SPRAZAV@SMPENGINEERS.COM

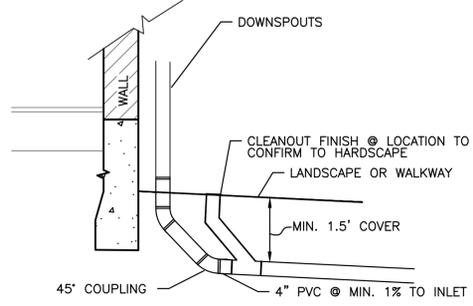
GRADING AND DRAINAGE PLAN
GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY HOME
67 S THIRD ST, CAMPBELL, CA 95008



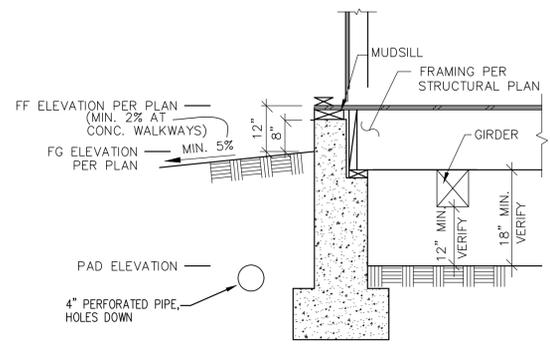
SCALE:
1" = 10'
SHEET:
C-2
2 OF 6

796.15'

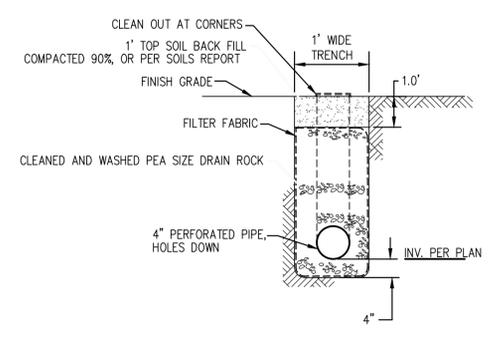
Saeed Razavi



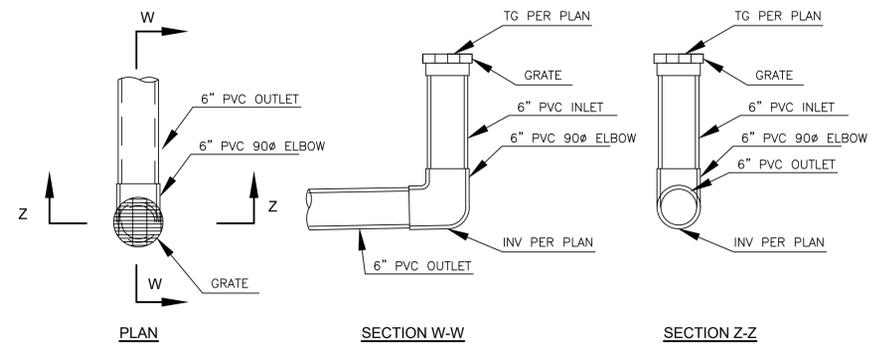
ROOF DOWN-SPOUT CONNECTION
N.T.S.



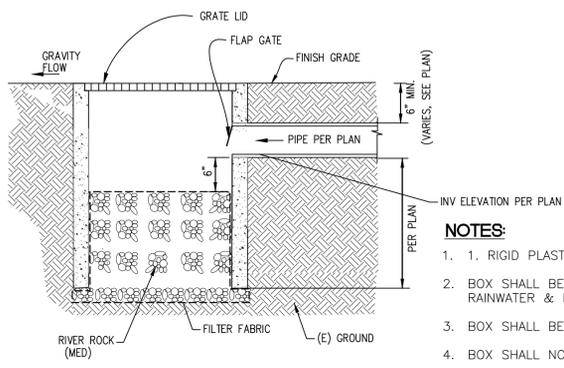
DROPPED FOUNDATION CONCEPTUAL DETAIL
N.T.S.



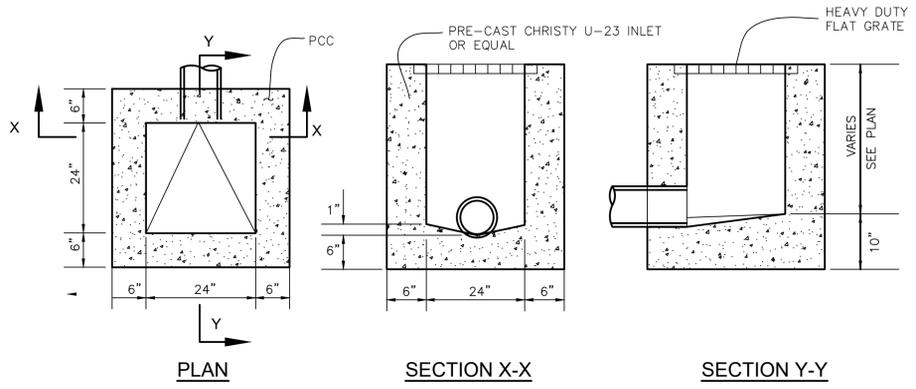
SUBDRAIN TRENCH DETAIL
ELEVATION VIEW- NTS



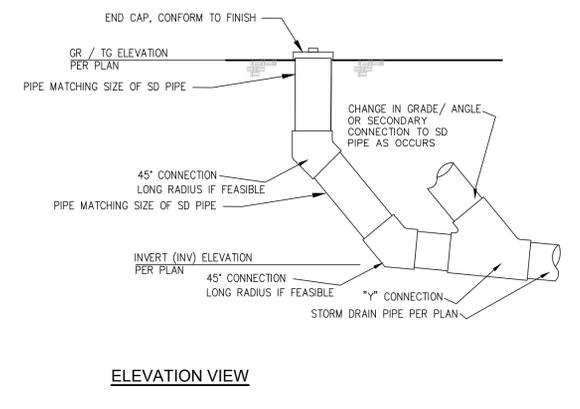
STORM DRAIN AREA DRAIN
N.T.S.



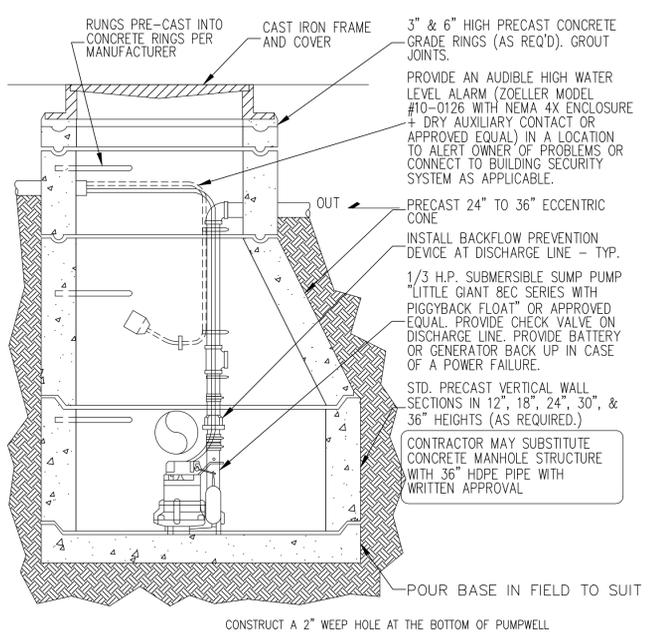
BUBBLER BOX DETAIL
N.T.S.



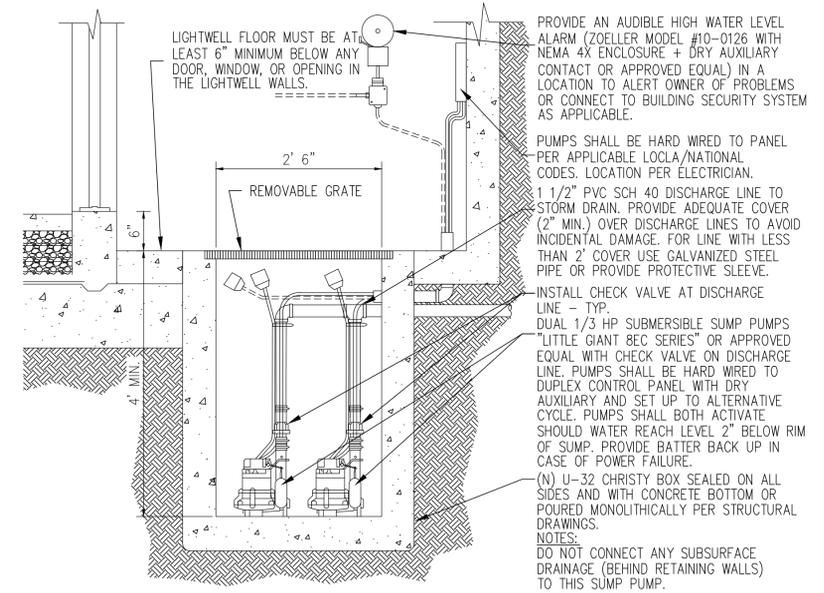
STORM DRAIN INLET
N.T.S.



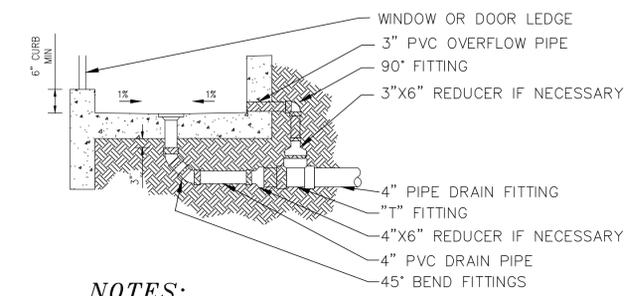
STORM DRAIN CLEANOUT DETAIL
N.T.S.



PUMPWELL DETAIL FOR OVERFLOW & SUBDRAIN
N.T.S.



INLET/ PUMPWELL DETAIL FOR BASEMENT LIGHTWELL DRAIN
N.T.S.

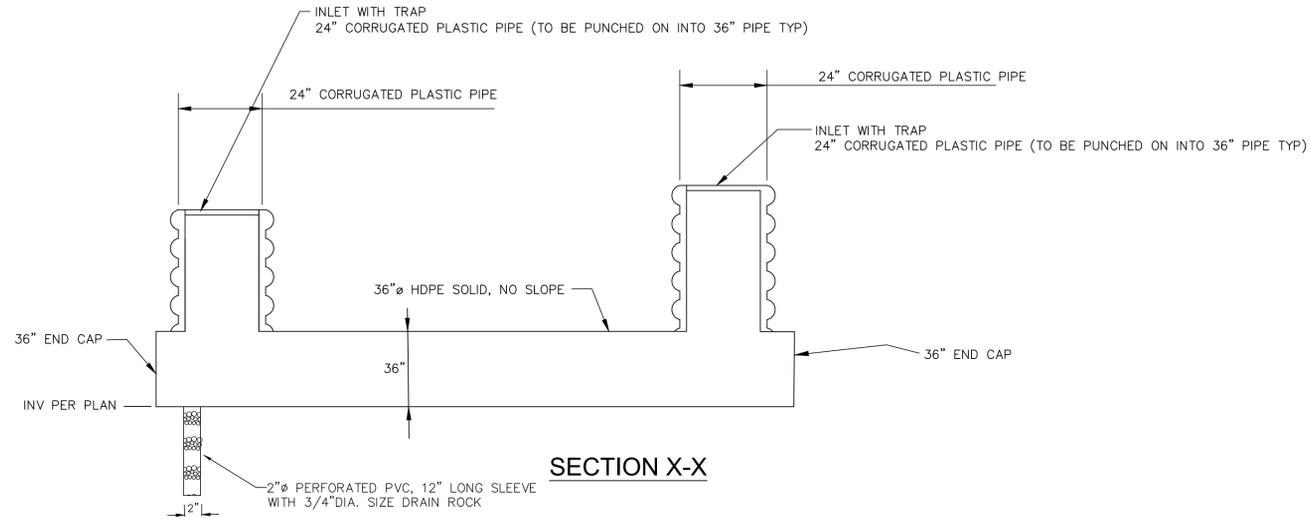
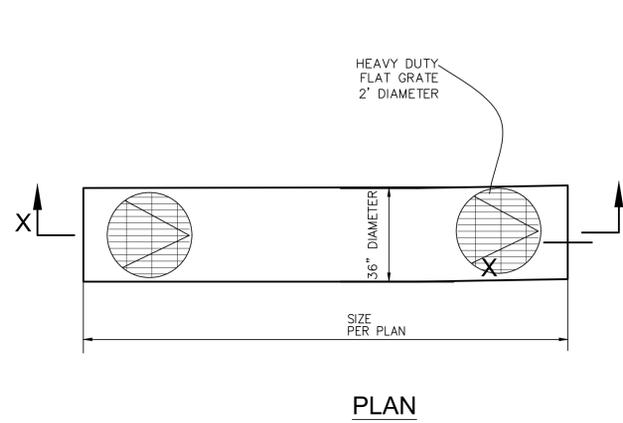


OVERFLOW FOR BASEMENT LIGHTWELL DRAIN
N.T.S.

- PUMP NOTES:**
- HARD WIRE THE PUMPS TO PREVENT ANY UNPLUGGING.
 - PUMPS TO BE CONNECTED TO BACKUP GENERATORS OR BATTERIES TO PREVENT FLOODING IN CASE OF BLACKOUT.
 - PROVIDE BACK FLOW PREVENTOR VALVE FOR PUMP OUTLET.
 - PROVIDE RESERVE PUMP FOR EACH PUMP WELL.
 - PROVIDE FLOATING DEVICE, CONNECTED TO SOUND/ LIGHT ALARM, TO NOTIFY RESIDENTS OF POSSIBLE RISE OF WATER IN PUMPWELL.
 - PROVIDE TWO SEPARATE SYSTEM AND PUMP WELLS FOR: a) SUBDRAIN AND b) LIGHTWELL AREA DRAINS.

Enaid Razavi
REGISTERED PROFESSIONAL ENGINEER
No. C52724
CIVIL
STATE OF CALIFORNIA

Check By	
Date	
Revision	
No.	
Date: 06/24/2025	
Prepared By: S.P.	
Checked by: S.R.	
SMP Job No. 225051	
 1534 CAROB LANE SUITE 100 TEL: (650) 941-8055 FAX: (650) 941-8755 E-MAIL: SRAZAVI@SMPENGINEERS.COM	
DETAILS GRADING AND DRAINAGE PLANS NEW SINGLE FAMILY HOME 67 S THIRD ST, CAMPBELL, CA 95008	
SCALE:	NTS
SHEET:	C-3
	3 OF 6



STORM DRAIN INLET & DETENTION BASIN

N.T.S.

Checked By:	
Date:	
Revision:	
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Date:	06/24/2025
Prepared By:	S.P.
Checked by:	S.R.
SMP Job No.:	225051



1534 CAROB LANE
 SUITE 100
 TUCUMCUM, OR 97141
 TEL: (503) 941-8055
 FAX: (503) 941-8755
 E-MAIL: SPENGINEERS.COM

GRADING AND DRAINAGE PLANS
 NEW SINGLE FAMILY HOME
 67 S THIRD ST, CAMPBELL, CA 95008



SCALE:
 N.T.S.

SHEET:
 C-4
 4 OF 6

Saeed Razavi
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA
 No. C52724
 CIVIL

