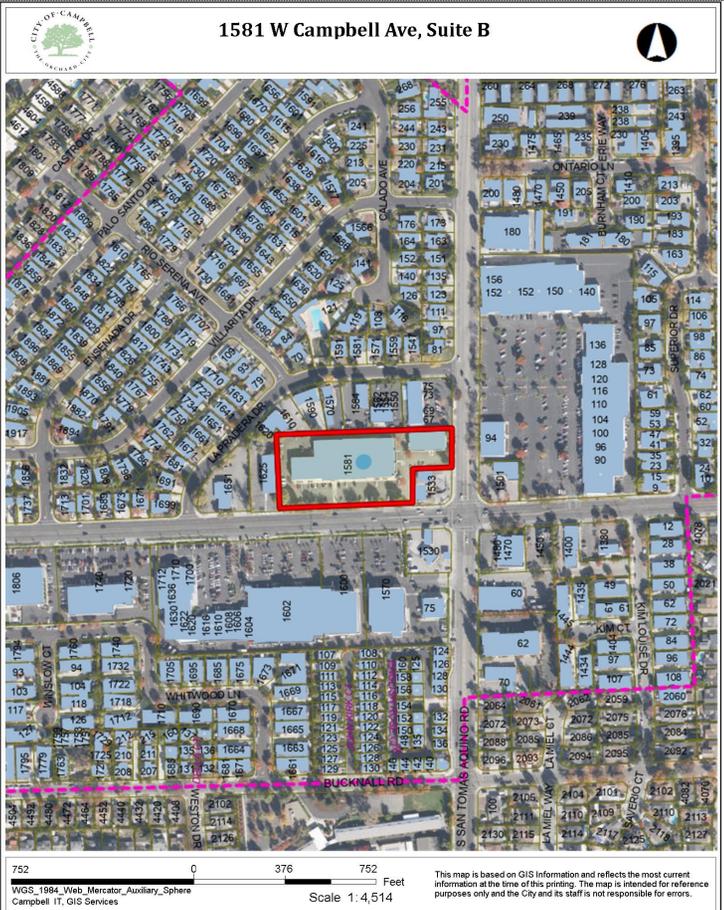
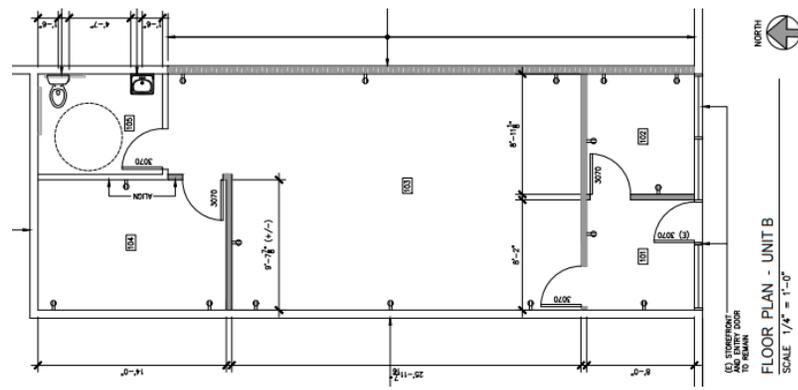


Location of Proposed Project



City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

June 12, 2025

The Community Development Director will be rendering a decision on the following project.

Project Address: 1581 W Campbell Avenue, Suite B

Zoning | Area Plan: NC | N/A

Neighborhood Association(s): Moreland West Neighborhood Association

File No.: PLN-2025-49

APN: 307-16-015

Applicant: Best Brains (Prachi Singh)

Property Owner: Don James H And Mitzi E Trustee & Et

Project Planner: Daniel Fama, Senior Planner

Email Contact: daniel@campbellca.gov

Phone Contact: (408) 866-2193

Project Description:

Administrative Conditional Use Permit to establish a 720-square-foot tutoring center (Best Brains franchise) in a former hair salon. The center will serve students ages 4 to 13 in three rooms, with up to 12 students per class. Sessions are by appointment only, held indoors, and operate Monday–Friday, 3:30–8:00 PM, and Saturday, 8:00 AM–2:00 PM.

Comment Period:

You have the opportunity to provide comment prior to the Director’s decision.

The ten-day comment period for this application begins on **June 13, 2025**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **June 23, 2025**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español





ARCHITECTURE
 307 Orchard City Dr. Ste 350
 Campbell, CA 95008
 408.265.5255
 JEFFREY EATON ARCHITECT, INC.
 A CALIFORNIA CORPORATION

WING CENTER CUP
 1581 W Campbell Ave, Campbell, CA 95008
 Client:

Rev. #	Description	Date

Project Number: 25024
 Date: MAR. 25, 2025
 Drawn by: RP
 Checked by: JE

Sheet Title:
EXISTING SITE PLAN

A 1.0

LEGEND

- · — · — · PROPERTY LINE
- ℞ XX.XX' LENGTH OF PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL
- EASEMENT FOR AERIAL WIRES, CABLES, ELECTRICAL CONDUCTORS, POLES, ANCHORS, GUYS, RIGHT OF WAY, INGRESS AND EGRESS IN 06/28/1965 BK7008 PG707 OF OFFICIAL RECORDS AFFECTS SAID PORTION AS DESCRIBED IN THE DOCUMENT
- EASEMENT FOR INGRESS AND EGRESS IN 10/27/1978 INST #6184090 BK E057 PG42 OF OFFICIAL RECORDS AFFECTS SAID PORTION AS DESCRIBED IN THE DOCUMENT
- EASEMENT FOR TRANSMISSION & DISTRIBUTION OF WATER IN 01/07/1994 INST #12301228 BK N239 PG1608 OF OFFICIAL RECORDS AFFECTS SAID PORTION AS DESCRIBED IN THE DOCUMENT
- EASEMENT FOR INGRESS AND EGRESS IN BK661 PG47 OF PARCEL MAP AFFECTS SAID PORTION AS SHOWN ON THE MAP
- FIRE HYDRANT
- STREET TREES
- PAVING
- LANDSCAPE
- LANDSCAPE

PARKING TABULATION

EXISTING	7
ACCESSIBLE	126
STANDARD	13
PARALLEL	146
TOTAL	146

KEYNOTES

01.01	BUS STOP
-------	----------



EXISTING SITE PLAN 1
 1" = 30'-0"

REVISIONS	BY
REVIEW SET 02/25	JPA

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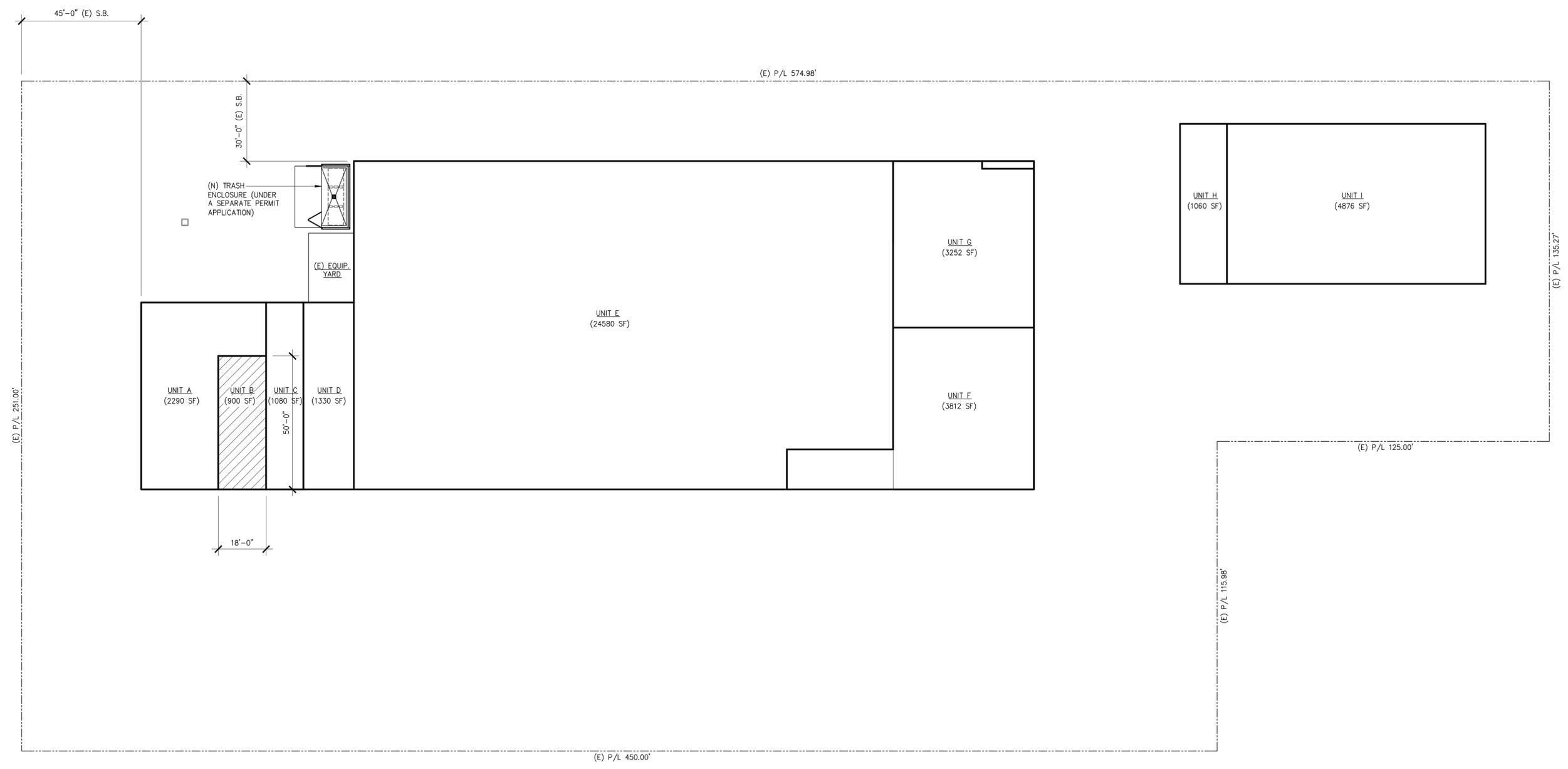


ACS CONSULTING ENGINEERS, INC.
 32108 Alvarado Blvd., #283, Union City, CA 94587
 Phone (510) 386-8899 E-mail: jparaffles@aol.com

SITE PLAN

UNIT B TENANT IMPROVEMENTS
 1581 W CAMPBELL AVENUE
 CAMPBELL CA 95008

DRAWN	JA
CHECKED	JPA
DATE	FEBRUARY 25, 2025
SCALE	AS NOTED
JOB NO.	25-26001
SHEET	1

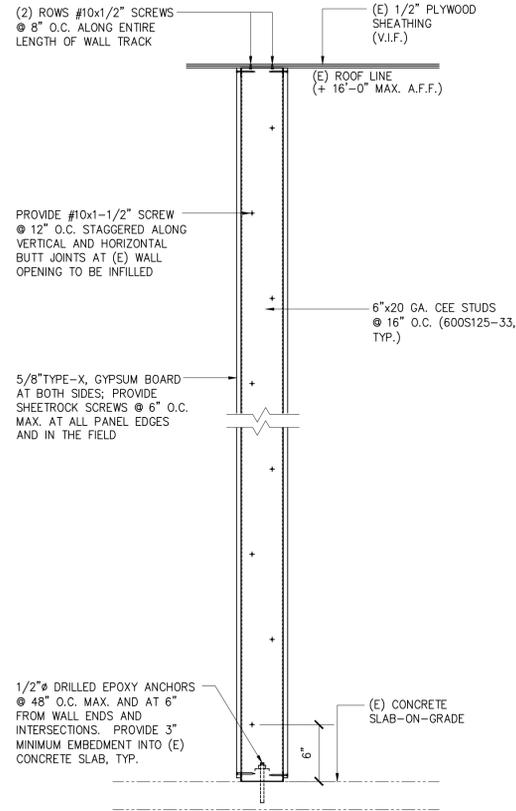


SAN TOMAS AQUINO ROAD

W CAMPBELL AVENUE

SITE PLAN
 SCALE 1" = 20'



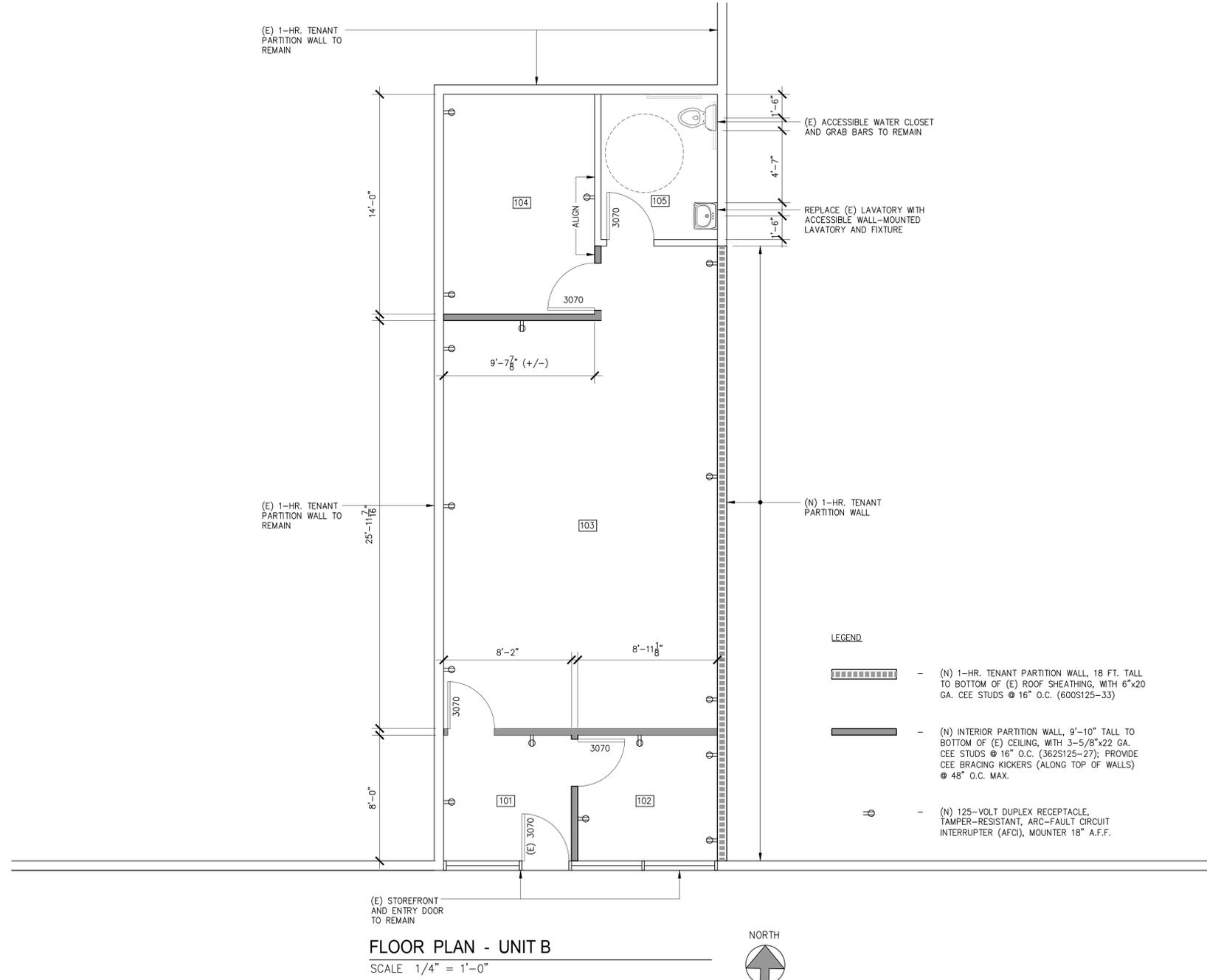


1 TYPICAL STUD WALL ANCHORAGE DETAIL

NOT TO SCALE

ROOM NUMBER	ROOM NAME	CEILING HEIGHT	FLOOR FINISH	WALLS FINISH	CEILING FINISH
101	RECEPTION	9'-10"	VIII	III	V
102	OFFICE	9'-10"	VIII	III	V
103	CLASSROOM	9'-10"	VIII	III	V
104	CLASSROOM	9'-10"	VIII	III	V
105	(E) RESTROOM	9'-10"	VIII	IX, III	V

- I. NOT USED.
- II. FRP PANEL WANSCOTTING TO ALL WALLS INSTALLED TO A MINIMUM HEIGHT OF 4 FT.
- III. PAINTED GYPSUM BOARD, SMOOTH (NO TEXTURE) WITH SEMI-GLOSS ENAMEL/EPOXY PAINT.
- IV. GALVANIZED STEEL WITH FACTORY BAKED WHITE ENAMEL FINISH
- V. WASHABLE, SMOOTH (ACT) CEILING TILES
- VI. 0.090 SMOOTH ALUMINUM, OVER 1/2" PLYWOOD UNDERLAYMENT (ENTIRE ASSEMBLY TO BE FOAMED IN PLACE) WITH 3/8" RADIUS FROM FLOOR TO WALL TO CONFORM TO NSF 7 STANDARDS.
- WALL AND CEILING MATERIAL TO BE LIGHT IN COLOR DEFINED AS HAVING A MINIMUM OF 70% LRV.
- FLOORING UNDER EQUIPMENT AND AT THE BASE COVES SHALL BE COMPLETELY SMOOTH. FLOOR SURFACES WHICH CONTAIN SLIP RESISTANT AGENTS SHALL BE RESTRICTED TO TRAFFIC AREAS ONLY.
- VII. QUARRY FLOOR TILE. PROVIDE MATCHING COVE BASE WITH 3/8" MIN. RADIUS.
- VIII. VINYL FLOOR TILE WITH RUBBER COVE BASE WITH 3/8" MIN. RADIUS.
- IX. FRP PANEL WANSCOTTING TO ALL WALLS INSTALLED TO A MINIMUM HEIGHT OF 4 FT.



FLOOR PLAN - UNIT B

SCALE 1/4" = 1'-0"



REVISIONS	BY
REVIEW SET 02/25	JPA

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FLOOR PLAN - UNIT B

UNIT B TENANT IMPROVEMENTS
 1581 W CAMPBELL AVENUE
 CAMPBELL CA 95008

DRAWN	JA
CHECKED	JPA
DATE	FEBRUARY 25, 2025
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JOB NO.	25-26001
SHEET	

2

REVISIONS	BY
REVIEW SET 02/25	JPA

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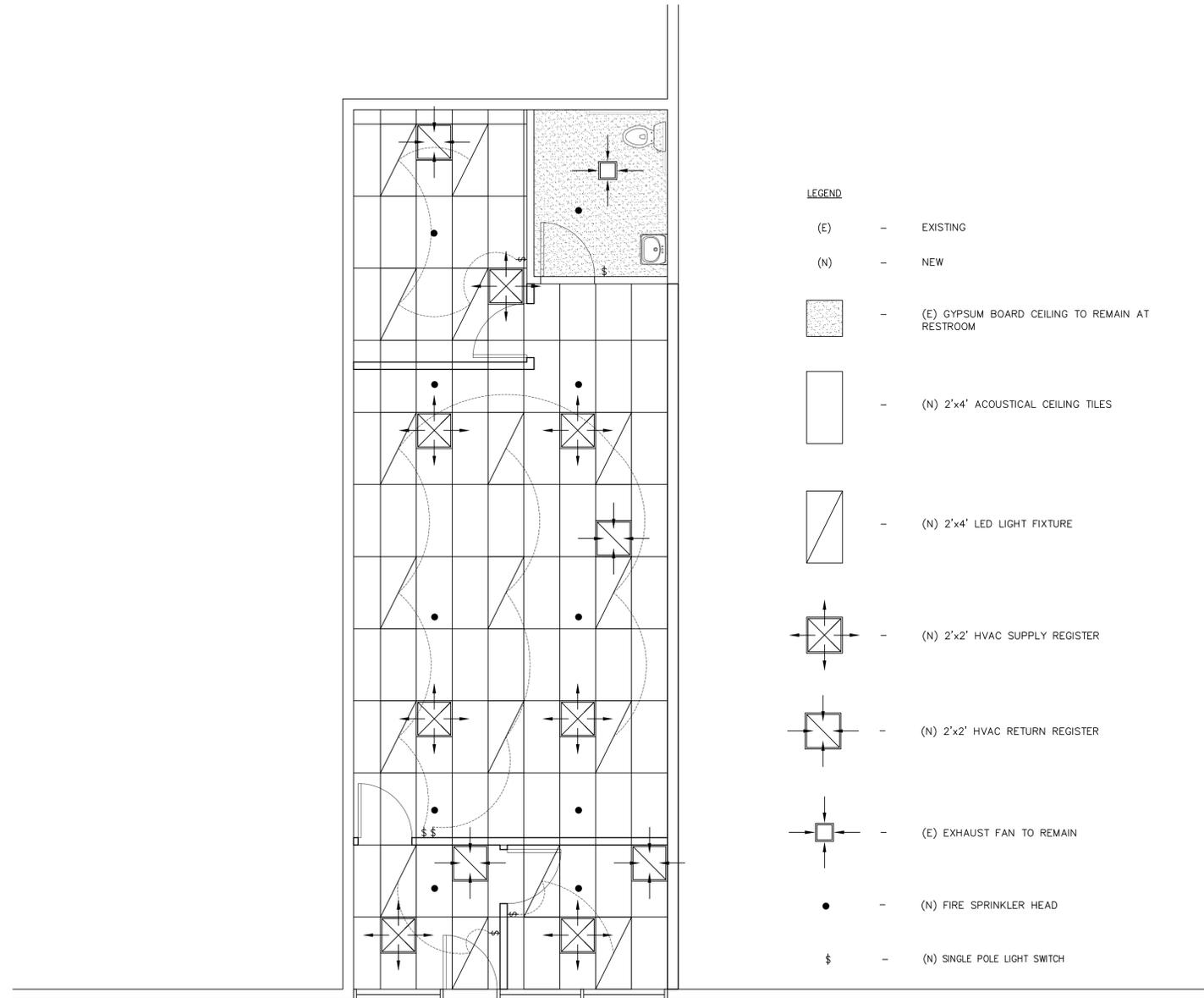


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REFLECTED CEILING
 PLAN - UNIT B

UNIT B TENANT
 IMPROVEMENTS
 1581 W CAMPBELL AVENUE
 CAMPBELL CA 95008

DRAWN	JA
CHECKED	JPA
DATE	FEBRUARY 25, 2025
SCALE	AS NOTED
JOB NO.	25-26001
SHEET	3



REFLECTED CEILING PLAN - UNIT B
 SCALE 1/4" = 1'-0"



TAQUERIA LOS PERICOS

AUTHENTIC MEXICAN FOOD



MON - FRI
8:30 am. To 8:00 pm.
SAT - SUN
8:30 am. To 8:00 pm.

NO PETS
ALLOWED

FOR LEASE
PC INC
408-879-4000



ERICOS
FOOD



FOR LEASE
R INC
408-879-4900

Corona
Extra
Mexican
Food





Corona
Extra
Mexican
Food

FOR LEASE
RC
INC
408-879-4000

Hair Cuts
Hair Color
Perms
Manicure

D



TAMERALOS PERCOS
AUTHENTIC MEXICAN FOOD

FOR LEASE
PC
408-879-4033

D







