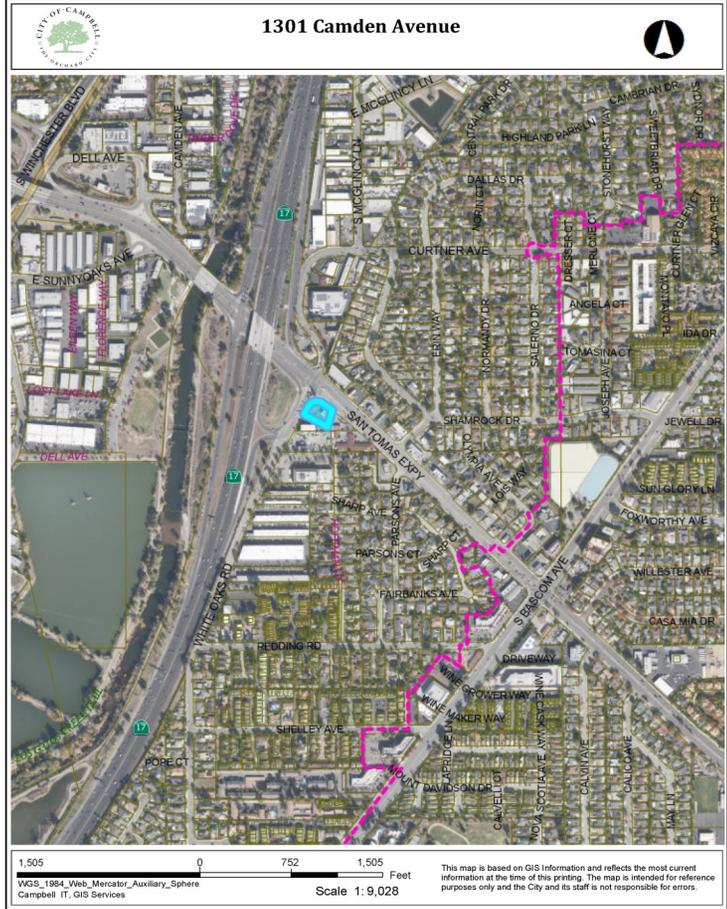


# Location of Proposed Project



**CITY OF CAMPBELL**  
 City of Campbell  
 70 North First Street  
 Campbell, CA 95008 -1423

# Project Image

**Elevation Colorboard**  
 City of Campbell - Planning Dept  
 Perspective Drawing



# Notice of Public Hearing

Dear Campbell Resident,

March 27, 2025

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:00 p.m., or shortly thereafter, on Tuesday April 8, 2025, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

**Project Address:** 1301 Camden Avenue  
**Zoning | Area Plan:** GC | N/A  
**Neighborhood Association(s):** N/A  
**Council District:** 1  
**File No.:** PLN-2023-196  
**APN:** 414-37-004  
**Applicant:** Gilbert Palmerin  
**Property Owner:** Shanlin Hou  
**Application Type:** Conditional Use Permit Modification, Site and Architectural Review Permit  
**Project Planner:** Nishant Seoni, Contract Associate Planner  
**Email Contact:** nishants@campbellca.gov  
**Phone Contact:** (415) 755-1254

## Project Description:

To formalize existing 24-hour operation and to allow changes to site signage, parking lot striping, and the building façade of an existing ("quick service") drive-through restaurant (d.b.a. Jack-in-the-Box).

## You may participate virtually or watch online:

- ◇ Register online to speak via Zoom:  
(<https://campbellca.gov/PCSignup>.)
- ◇ Watch YouTube live-stream:  
(<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal. To view the project plans, please scan the QR code.

\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traducción en Español





FY22 Reimage Program - Scope of Work - Site				
Item	Description	Pkg B	Pkg C Reduction	Comments
<b>Site Lighting:</b>				
S-1.0	<b>Upgrade Site Lighting to LED Illumination</b> - Replace fixtures but re-use existing site light bases and poles if possible - Add new site light bases and poles if needed to address any dark areas of parking lot - If the existing speakerboard has a site light pole installed through the center of it, then a new separate site light pole w/ new base should be installed nearby - Regardless of if the existing site light poles have been previously painted or still have the factory finish, if they are damaged, discolored, faded, or have graffiti on them, they need to be repaired, prepped, and repainted - If the finish on the existing concrete site light bases is in poor condition, then they should either be "slurry-coated" with a Portland cement mix if not previously painted, or repainted with the Industrial Image paint specs if previously painted.	X	X	Site-adapt architect should review JIB's site lighting design standards as guidance for evaluating and developing a site lighting upgrade design for each specific restaurant. Don't forget to reinstall any existing bird control systems, abatement spikes, etc.
<b>Site Signage &amp; Related:</b>				
S-2.0	<b>Refurbish Pole &amp; Monument Street Signs</b> - Replace logo & readerboard faces to match updated sign standards - Prep & repaint pole structure & sign cabinets per updated paint specs - Convert internal illumination to LED	X	X	For all 15'x15' and smaller single & double-face signs, and all 10'x10'x10' and smaller cube signs - convert to LED modules per specs. For all 20'x20' double-face signs, and all 12'x12'x12' and larger cube signs, replace existing bulbs with high performance LED bulbs per specs.
S-2.1	<b>Refurbish Directional Signs</b> - Replace sign faces if faded, damaged, or missing - Verify existing sign posts are vertically straight and adjust if required - Prep & repaint pole structure & sign cabinets per updated paint specs - Convert internal illumination to LED	X	X	
S-2.2	<b>Height Detector</b> - If the existing height detector is not the current new restaurant style specification, then a new one must be installed - If the existing height detector is the current new restaurant style specification, then it needs to be in like-new condition or refurbished	X	X	- Older spec height detectors include anything mounted to a site light pole, conduit on a spring, flat bar on horizontal swivel, etc. - Refurbishing includes prep & repaint, new decals, the height reference on horizontal bar is 2" lower than lowest overhang point, etc.
S-2.3	<b>Previewboard</b>			Verify the existing previewboard is optimally placed on the driver's side of the car approximately 20' before the speakerboard position. If not, consider relocating to optimal position if space permits.
	<b>Pkg B Option 1 - Temporarily re-use existing previewboard</b> - Prep & repaint the previewboard and extender pole structure & cabinets - Thoroughly clean inside & outside of previewboard face and extenders/replace if clouded or damaged - Replace existing lamps and ballasts so internal illumination is refreshed	Option 1 or 2 Req'd		Defer decision of new static or new digital drive-thru menuboards until a future date. FO chooses to defer the decision regarding new static menuboard with single pole weather canopy vs. new digital menuboard with new separate single pole weather canopy and speakerpost. FO will be required to implement one of these new menuboard systems with 180 days after JIB has finalized selection of the preferred digital menuboard solution that will be made available. In the interim and as part of the current Reimage project, the existing menuboard will need to be minimally refurbished.
	<b>Pkg B Option 2 - Install new static previewboard</b> - Install new cabinet door style static previewboard with lug-ons and extenders * Note: FO will not be required to replace the new static menuboards with digital menuboards in the future	Option 1 or 2 Req'd	Optional	Forgo possible future digital menuboards in favor of installing new static menuboards with this project.
	<b>Pkg C - Retrofit &amp; Re-use existing previewboard</b> - Prep & repaint the previewboard and extender pole structure & cabinets - Thoroughly clean inside & outside of previewboard face and extenders/replace if clouded or damaged - Replace existing internal illumination with LED		X	
S-2.4	<b>Speakerboard</b>			Verify the existing speakerboard is optimally placed on the driver's side of the car approximately 20' after the previewboard position. If not, consider relocating to optimal position if space permits.
	<b>Pkg B Option 1 - Temporarily re-use existing menuboard</b> - Prep & repaint the menuboard and extender pole structure & cabinets - Thoroughly clean inside & outside of menuboard face and extenders/replace if clouded or damaged - Replace existing lamps and ballasts so internal illumination is refreshed - Existing speaker and mic can be re-used if in good condition, and are fully operational within expected lifecycle - Existing OCS screen can be reused if in good condition and functioning properly - If the existing speakerboard has a site light pole installed through the center/top of the board, then a new separate site light base/pole must be installed and the menuboard must be replaced	Option 1 or 2 Req'd		Defer decision of new static or new digital drive-thru menuboards until a future date. FO chooses to defer the decision regarding new static menuboard with single pole weather canopy vs. new digital menuboard with new separate single pole weather canopy and speakerpost. FO will be required to implement one of these new menuboard systems with 180 days after JIB has finalized selection of the preferred digital menuboard solution that will be made available. In the interim and as part of the current Reimage project, the existing menuboard will need to be minimally refurbished.
	<b>Pkg B Option 2 - Install new static menuboard</b> - FO chooses to move forward and install a new LED static menuboard as part of the Reimage project including new extenders, lug-on hardware, speaker, mic, OCS, and single pole weather canopy (unless a twin-pole weather canopy already exists, then it can be kept and re-used). * Note: FO will not be required to replace the new static menuboards with digital menuboards in the future.	Option 1 or 2 Req'd	Optional	Forgo possible future digital menuboards in favor of installing new static menuboards with this project.
	<b>Pkg C - Retrofit &amp; Re-use existing menuboard</b> - Prep & repaint the menuboard and extender pole structure & cabinets - Thoroughly clean inside & outside of menuboard face and extenders/replace if clouded or damaged - Replace existing internal illumination with LED - Existing speaker and mic can be re-used if in like-new condition, and are fully operational within expected lifecycle - Existing OCS screen can be reused if in like-new condition and functioning properly		X	
S-2.5	<b>Operational Signage</b> - Install (1) Mobile or Delivery / Drive-Thru Waiting Parking sign for every (20) existing parking spaces	X	X	Temporary cone markers are available if parking signage is not preferred
S-2.6	<b>ADA Parking Signage</b> Verify existing ADA parking spaces have required parking signs installed	X	X	If re-using existing signs, they must be in like-new condition.

FY22 Reimage Program - Scope of Work - Site				
Item	Description	Pkg B	Pkg C Reduction	Comments
<b>General Site Improvements:</b>				
S-3.0	<b>Paving, Curbs and Sidewalks</b>			
S-3.1	- Repair potholes, areas of broken paving or sidewalks, damaged curbs, etc.	X	X	
S-3.2	- Power wash all concrete flatwork areas to remove gum and other residues	X	X	
S-3.3	- Fill all paving area cracks with self-leveling sealant to prevent water infiltration and extend paving life	X	X	
S-3.4	- Sealcoat asphalt paving areas	X	X	- If a sealcoat was completed within the 12 months prior to when reimage construction is scheduled, then an additional sealcoat is recommended but is not required.
S-3.5	- Restripe parking lot including ADA parks and path of travel, traffic pattern arrows, and designated fire lane curbs - only repaint previously painted curbs - recommend not painting curbs unless required by municipality	X	X	
S-3.6	- Replace damaged or missing wheel stops - all wheel stops to be pinned in the correct position with rebar spikes	X	X	
	<b>Landscaping &amp; Irrigation</b> - Recommend installing drip irrigation instead of spray heads in front of menuboards to prevent overspray on faces, and along dining room glazing to prevent overspray on the windows - Convert entire landscape package & irrigation system to local-code-approved drought tolerant landscape design package - Recommend installing stepping stones in front of menuboards to prevent landscaping damage when changing inserts - Install or replace annual color if desired - Replace all old growth, dead, or missing shrubs			***Optional
S-3.7	<b>Replace dead or missing grass with new sod</b> - All landscape beds should be freshly mulched as part of the project. Install new shredded hardwood mulch, river rock, or decomposed granite in all landscape beds to match existing - Note - River rock & decomposed granite will remain long-term while shredded hardwood mulch will require periodic replacement - If existing mulch in beds is "mounded" significantly higher than the landscape bed itself, excess mulch & bedding material will be removed before re-mulching - Verify operation of irrigation timer and set watering time appropriate to updated landscape needs - Trim all trees by raising all canopies to approx. 12' above paving grade and thinning out canopy, branches and removing any dead limbs - Repair broken irrigation heads	X	X	
S-3.8	<b>Enclosures, Fences, &amp; Retaining Walls</b> - Repair any damaged enclosure walls, steel gates, fences, retaining walls - Verify enclosure gate locking mechanisms and cane bolts are functioning properly - Repair enclosure walls, steel gates, fences, retaining walls using new paint scheme (if previously painted)	X	X	
S-3.9	- Repaint all protection pipe bollards using new paint scheme and install new 3M red reflective tape at the top of the bollards per details	X	X	
S-3.10	<b>Patio Areas &amp; Miscellaneous</b> - Repair or replace damaged patio railings, and repaint patio railing using new paint scheme if not prefinished metal - Replace patio furniture, umbrellas, and trash receptacles per Industrial specs	X	X	
S-3.11	<b>Miscellaneous</b> - Install a trash receptacle with a chute anchored into paving or on a concrete pad - positioned before the building but after the D/T speakerboard, so it is easily accessible to the driver of a vehicle in the D/T lane so they can deposit trash before arriving at the D/T window. - MK9 restaurants w/fireplace - clean fireplace glass, verify safety screen is properly installed, and repaint as needed.	X	X	
<b>Add-On Enhancement Options</b>				
S1	<b>Drive-Thru Entry Portal</b> - Replace the existing height detectors with the Drive-Thru Entry Portal			***Option only applies if pre-approved through the project nomination process
S2	<b>New Trash &amp; Recycle Enclosure</b> - Replace the existing trash enclosure with a new one built to match the typical enclosures that are constructed on new restaurants			***Option only applies if pre-approved through the project nomination process
S3	<b>Y-Lane Drive-Thru Lane Addition</b> - Modification of the existing drive-thru lane by adding a second entry lane to allow for an additional set of drive-thru menuboards			***Option only applies if pre-approved through the project nomination process

v.8/10/2022



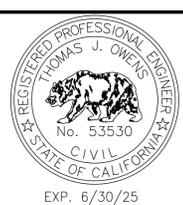
**Jack In the Box®**  
 9357 SPECTRUM CENTER BLVD.  
 SAN DIEGO, CA 92123  
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**DATES**  
 RELEASE: MARCH 04, 2022  
 P.M. UPDATES: APRIL 29, 2022  
 SUBMITTAL DATE:  
 1: \_\_\_\_\_  
 2: \_\_\_\_\_  
 3: \_\_\_\_\_  
 BID: \_\_\_\_\_  
 CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

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**OWENS DESIGN CONSULTANTS**  
 145 N. 2ND AVENUE, SUITE 5  
 OAKDALE, CA 95361  
 (209) 522-8031 - Fax: (209) 522-4738 - www.owensdesign.com



EXP: 6/30/25  
**SITE INFORMATION**  
 MK TYPE: MK3  
 JIB #: #426  
 ADDRESS:  
 1301 Camden Ave  
 Campbell, CA, 95008  
 DRAWN BY: GPalmerin  
 PROJECT #: \_\_\_\_\_  
 SCALE: AS NOTED

**REIMAGE PROGRAM SCOPE MATRIX TS2.0**

FY22 Reimage Program - Scope of Work - Building Interior				
Item	Description	Pkg B	Pkg C Reduction	Comments
<b>HVAC System:</b>				
BI-1.0	- Clean plenums & air ducts, and replace all HVAC system filters. - After construction is complete and before performing the building's air balance, replace all HVAC system filters. - Perform 3rd party test and air balance after construction has been completed to optimize performance of the buildings HVAC systems and provide for a positive building air balance.			HVAC System maintenance is strongly recommended for all projects.
<b>Public Area Floor:</b>				
BI-2.0	If existing dining room and restroom floor tile is in good condition and resupply tile is still available for any necessary repairs, then OK to keep & reuse. - Replace cracked, chipped, or broken tile as needed. Replace missing grout. - If keeping and reusing floor tile, then complete a professional deep cleaning and degreasing of the existing tile & grout - Former core drill holes need to be patched/repaired	X	X	Package B projects are strongly recommended to include the Add-on Enhancement Option BI-E1 Dining Area, Front Counter, & Restroom Tile Upgrade to address floor tile availability issues.
<b>Public Area Walls &amp; Front Service Counter:</b>				
BI-3.0	OK to keep and re-use existing countertop unless it is a Tribella finish, or if existing countertop is not in good condition (cracked, chipped, stained, etc.) then it needs to be replaced	X	X	See Add-on Enhancement Option BI-E1 Dining Area, Front Counter, & Restroom Tile Upgrade for requirements.
BI-3.1	Replace all wall and front counter area wall finishes based on MK Style designs	X	X	If existing walls are previously painted brick or slump block, then it is OK to prep and repaint based on MK Style designs
BI-3.2	If restroom walls have existing wall tile and the floor tile is not being replaced, then the existing wall tile is OK to keep and re-use as long as repairs are made to any chipped, cracked, or damaged tile	X	X	If existing restroom walls have half-height wall tile, then remove and replace with new wall panels and paint per drawings. If existing restroom walls have no tile, then install new wall panels and paint per drawings.
BI-3.3	Applicable MK9 Buildings - Restaurants w/fireplace - clean fireproof glass, verify safety screen is properly installed, and repaint surround as needed	X	X	
BI-3.4	Applicable MK9 Buildings - Laminated cabinets existing behind front service counter and in the dining room need to be replaced with stainless steel cabinets	X	X	
<b>Public Area Doors &amp; Windows:</b>				
BI-4.0	Remove window frame mounted POP panels in dining room, and patch or seal holes	X	X	
BI-4.1	Replace solar blinds in the dining area if missing, faded, damaged, or not functioning correctly	X	X	
BI-4.2	Replace kitchen entry, public area storage or maintenance, and restroom doors with new including updated finish and hardware. Repaint all doorframes based on MK Style designs	X	X	
BI-4.3	Install stainless steel kick plates on both sides of bottoms of all interior doors	X	X	
BI-4.4	Remove any red film installed on the glass of the D/T window area and install solar blinds if needed	X	X	
<b>Public Area Ceilings:</b>				
BI-5.0	If existing, remove front-of-house red decorative artery, ceiling wedges, ceiling fans, and old vinyl-coated gyp ceiling tile in the dining, drink station, and front service counter areas	X	X	
BI-5.1	Replace all public area HVAC and speaker grilles with new white equipment	X	X	
BI-5.2	Replace existing public area ceiling grid and tile (incl vinyl coated gyp tile as required) as per the Industrial finish specs	X		
BI-5.3	Prep & repaint existing ceiling grid & tile only if in good condition - if it has more than (1) coat of existing paint, or is rusted or in poor condition, then it must be replaced with new Industrial Image ceiling grid & tile incl vinyl coated gyp tile as required.		X	
BI-5.4	Prep & repaint restroom ceilings as per the Industrial finish specs	X	X	
<b>Public Area Lighting:</b>				
BI-6.0	Replace existing 2x4 drop ceiling lay-in fixtures and recessed can lights with new 2x2 LED lay-in fixtures per the MK Style designs	X	X	
BI-6.1	Replace pendant lights per MK Style dining room layout designs	X	X	
BI-6.2	Remove restroom décor fixture above the mirror and install a blank cover on j-box	X	X	
BI-6.3	Replace the existing restroom recessed can lights with recessed 1x4 LED fixtures per specs (will require sheetrock work)	X	X	If restrooms have a light switch to operate the fans & lights, then it is recommended that the switch be replaced by a ceiling-mounted motion sensor to operate the fans & lights in each restroom
<b>Furniture:</b>				
BI-7.0	Replace all booths, tables, chairs, trash receptacles, high chairs, low walls, rail panels, etc. following the MK Style design using a new restaurant style furniture package (incl non-elec. communal tables) which will require some floor tile repair based on an optimized dining room seating configuration	X		
BI-7.1	- Replace all booths, tables, chairs, trash receptacles, high chairs, low walls, etc. using a "like-for-like" placement so that the existing core-drill positions can be maintained and floor tile repair work is minimized. - If existing, remove all tall railing panels (with artwork inserts) in the dining room and replace with short railing panels		X	
BI-7.2	All bar tops will need to be retrofitted using the appropriate conversion kit		X	
<b>Décor &amp; Signage:</b>				
BI-8.0	Install wall art, wall badge, graphics, and various other décor elements as specified in the MK Style designs	X	X	
BI-8.1	Install hanging "Pick-Up" sign over the front counter based on the MK Style designs	X	X	
BI-8.2	Replace existing interior menu & breakfast boards with new restaurant style edge-lit LED menu boards	X	X	
BI-8.3	Add new, or replace any non-JIB 24-hour drive-thru hanging window sign with brand-specific 24-hour drive-thru hanging window sign	X	X	
BI-8.4	If the dining room Freestyle & ice machine service lines are exposed to the public at the self-serve drink station, then stainless chase should be installed.	X	X	
BI-8.5	Replace all public area service signage: - Dining room maximum occupancy sign - Restroom wall & door signage - Handwash & cleanliness signage in restrooms - Install franchise plaque at front counter	X	X	
BI-8.6	Replace Play Network music system if missing or not functioning properly	X	X	
<b>Restrooms &amp; Specialties:</b>				
BI-9.0	Restrooms should be inspected for sewer gas odors and make necessary repairs if odors are present	X	X	
BI-9.1	Restroom exhaust fans should be connected to the light fixture switch or motion sensor and the fans need to be fully operational	X	X	
BI-9.2	Sinks, toilets, & urinals - replace with new porcelain and plumbing faucets/fixtures per plans	X	X	
BI-9.3	If restroom has existing partitions that are not stainless steel, then replace them with stainless steel finished partitions per Industrial specs	X	X	
BI-9.4	Replace trash receptacles (the black "bullet" trash receptacles should be replaced with new "Simple Human" spec receptacles)	X	X	
BI-9.5	Install coat hooks on the back of the restroom or stall doors	X	X	
BI-9.6	Install baby-changing tables (if space permits) as long as the restroom remains ADA compliant. If installed, they need to be installed in both restrooms, not just the woman's restroom	X	X	
BI-9.7	All restrooms are required to have a mirror installed. If graffiti or other vandalism is a concern, then choose to install the replaceable plex covering over the Sentry mirror to protect the mirror's reflective surface as offered through Smallwares. Otherwise, install the standard spec Bobrick mirror.	X	X	
BI-9.8	Replace all restroom convenience fixtures & accessories with new: - Toilet paper dispensers - Soap & sanitizer dispensers - Paper towel dispensers if hand dryers are not provided - Toilet seat cover dispensers - Sanitary napkin disposal	X	X	

FY22 Reimage Program - Scope of Work - Building Interior				
Item	Description	Pkg B	Pkg C Reduction	Comments
<b>Add-On Enhancement Options</b>				
BI1	<b>Dining Area, Front Service Counter &amp; Restroom Tile Upgrade</b> - Installation of new premium Industrial Image finishes for the guest-facing areas - New front countertop and other solid surface work - New floor tile in the public areas, including dining and restroom - New wall tile and front counter face - New wall tile in the drink station area - New wall tile as a wainscot in the dining area and hallway - New wall tile on the restroom walls			***Option only applies if pre-approved through the project nomination process
BI2	<b>Kitchen &amp; BOH Floor, Wall, Ceiling, &amp; Lighting Upgrade</b>			***Option only applies if pre-approved through the project nomination process
BI3	<b>MK1 - MK7 Kitchen Equipment Simplification/Efficiency Upgrade</b>			***Only applicable for MK1 thru MK7 Building Types
BI4	<b>MK8 - MK10 Kitchen Equipment Simplification/Efficiency Upgrade</b>			***Only applicable for MK8 thru MK10 Building Types
BI5	<b>Kitchen Replacement to MK12 Style</b>			***Only applicable for MK1 thru MK5 Building Types

v.8/10/2022

FY22 Reimage Program - Scope of Work - Building Exterior				
Item	Description	Pkg B	Pkg C Reduction	Comments
<b>Walls, Soffits, &amp; Mansard Roofs:</b>				
BE-1.0	If existing, remove existing stretch frames/banners from drive-thru exterior wall and patch holes prior to repaint	X	X	
BE-1.1	Repair any damaged, rotted, or cracked wall finishes	X	X	
BE-1.2	MK1-6 Pkg B only: Replace sloped mansard roofing system with vertical parapet walls per MK Style designs	X		
BE-1.3	MK7A, 7B, 7C, 8A Pkg B only: Replace sloped mansard composition, shake shingles, tile or other roofing with standing seam metal roofing per MK Style designs	X		
BE-1.4	MK1-7C Pkg C only: Existing sloped mansard roofing shingles should be in a good state of repair. Any damaged or missing shingles must be replaced.		X	
BE-1.5	MK7D, 8B & 8C only: - Prep and repaint standing seam metal roofing if it was previously painted - Remove fiberglass cones on building exterior corners & support columns and patch to match adjoining materials/finishes	X	X	
BE-1.6	Remove existing surface-applied 2" metal banding on building exterior walls and patch holes prior to repaint	X		
BE-1.7	Install exterior wall tile as per the MK Style designs	X		
BE-1.8	Repaint building exterior and exterior service access and storage room doors using new paint specs per MK Style designs	X	X	
BE-1.9	Install additional architectural screening elements behind new logo signs based on MK Style designs		X	
<b>Lighting:</b>				
BE-2.0	Replace existing lighting with LED, and add LED accent lighting per MK Style designs	X	X	
<b>Doors &amp; Windows:</b>				
BE-3.0	Remove the existing POP metal frame system that is surface-mounted on the outside of the D/T window which includes the hours of operation and POP	X	X	
BE-3.1	Replace all graffiti, etched, scratched, clouded, cracked, or otherwise damaged glass panes panel, patch/seal holes in mullion system or replace as necessary.	X	X	
BE-3.2	Replace damaged, worn-out, or non-operating door handles, hinges, push bars, closers, etc. (replace if finishes are worn off)	X	X	
BE-3.3	Prep & repaint air curtain if existing on building exterior, replace if not in proper working condition	X	X	
BE-3.4	Exterior rear delivery service door, and exterior closet doors, should be inspected for damage and be replaced if needed incl frames & hinges (continuous piano hinge for rear kitchen delivery door)	X	X	
BE-3.5	Replace existing exterior dining room door handles with logo-shaped door handles	X		
BE-3.6	MK1-7 - Replace the existing shorter/smaller drive-thru window with the new restaurant style window. This includes reworking the window mullions in the D/T area to allow for the larger sized drive-thru window.	X		
BE-3.7	MK1-7: If the existing storefront glazing is a single-pane non-insulated system, then replace w/dual-pane insulated glazing, full height (Preferred). If the existing storefront is half-height and the lower walls are slump block, masonry, or provide structural support: replace existing single-pane with new dual-pane.	X		Existing dual pane storefront glazing in good condition is allowed to remain
BE-3.8	MK1-7: If existing interior wall finishes are covering exterior glazing (typically occurs in some building types at the drink station area), then the existing storefront and exterior wall system should be modified so the interior wall finishes are no longer installed over of exterior glazing.	X		
<b>Signage:</b>				
BE-4.0	Replace all building logo signs based on MK Style designs. Bldg. logo signs not installed inside branding panels will require a halo lighting kit.	X	X	Don't forget to reinstall any bird control systems, abatement spikes ect.
BE-4.1	Replace existing POP snap-lock frame with the associated corrugated surround and gooseneck light fixture with the new spec externally illuminated POP snap-lock frame with new spec gooseneck light fixture.	X	X	
BE-4.2	If the restaurant has a "Cash Window" aka "double bubble", then install "Pay Here" and "Pick-Up Here" vertical signs outside of D/T windows, and install removable "Window Closed" sign in cash window area when not in use.	X	X	
BE-4.3	If "Dining Room Hours of Operations" signs exist on the outside of the dining room entries or the D/T window, then remove them and replace with hours of operation window decals	X	X	
BE-4.4	Install illuminated street address # sign	X		
BE-4.5	Replace all existing building awnings with flat metal canopies based on MK Style designs	X		
BE-4.6	Replace existing building awning fabric with new fabric based on MK Style designs		X	Verify frames are undamaged and repair/replace if needed
BE-4.7	Install illuminated branding panels based on MK Style designs	X		
<b>Add-On Enhancement Options</b>				
BE1	<b>MK9A - Remove Fire Place &amp; Chimney System</b> - Remove the existing fire place and chimney system on MK9A style buildings			***Only applicable for MK9A Building Types
BE2	<b>Upgrade Sloped Mansard Roofing System to Vertical Parapet Design</b> - Partial removal and modification of the sloped mansard portion of the roof structure to add a vertical-aligned and more modern parapet wall system. This design element is required for the MK1 thru MK6 building types, but is optional for the MK7C thru MK8C building types			***Required for the MK1 thru MK6 buildings ***Optional for the MK7C thru MK8C buildings only if pre-approved through the project nomination process

v.8/10/2022



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**DATES**

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P.M. UPDATES: APRIL 29, 2022

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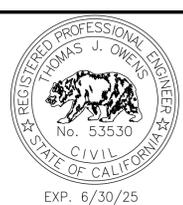
BID: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

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- △ \_\_\_\_\_
- △ \_\_\_\_\_

**OWENS DESIGN CONSULTANTS**  
145 N. 2ND AVENUE, SUITE 5  
OAKDALE, CA 95361  
(209) 522-8031 -fax: (209) 522-4738 - www.owensdesign.com



EXP: 6/30/25

**SITE INFORMATION**

MK TYPE: MK3

JIB #: #426

ADDRESS:

1301 Camden Ave

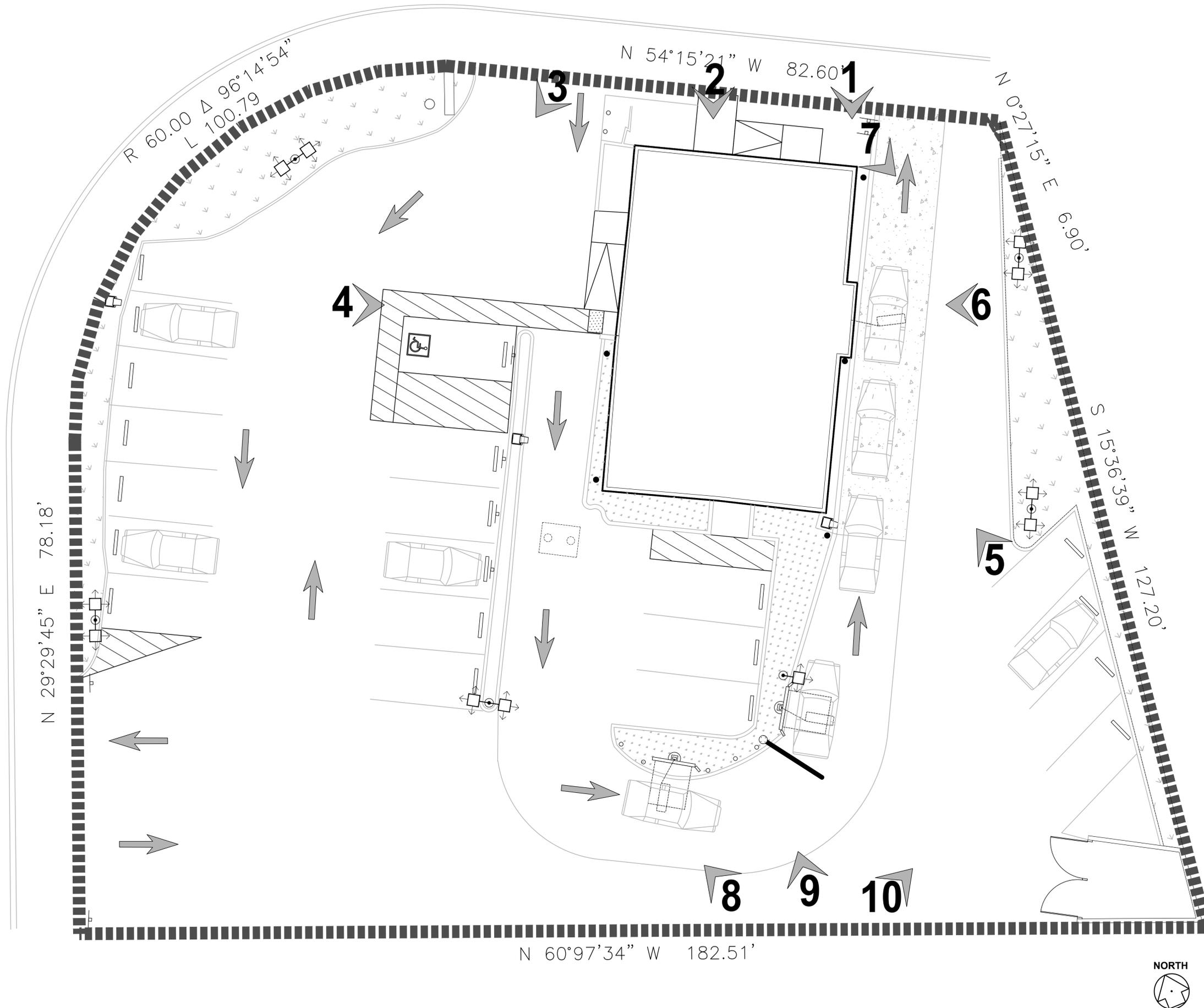
Campbell, CA, 95008

DRAWN BY: GPalmerin

PROJECT #:

SCALE: AS NOTED

**REIMAGE PROGRAM SCOPE MATRIX TS2.1**



N 29°29'45" E 78.18'

R 60.00 Δ 96°14'54"  
L 100.79

N 54°15'21" W 82.60'

N 0°27'15" E 9.90'

S 15°36'39" W 127.20'

N 60°97'34" W 182.51'



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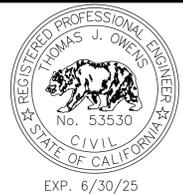
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**REVISIONS**

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ADDRESS:  
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Campbell, CA, 95008

DRAWN BY: GPalmerin

PROJECT #: \_\_\_\_\_

SCALE: NO SCALE

**SITE PHOTOGRAPH**

**PS1.0**

# Site Photograph Sheet



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10



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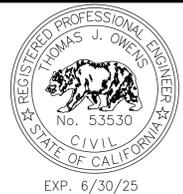
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CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

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Campbell, CA, 95008

DRAWN BY: GPalmerin

PROJECT #: \_\_\_\_\_

SCALE: NO SCALE

**SITE PHOTOGRAPH**

**PS2.0**

**SITE LEGEND**

-  PROPERTY BOUNDARY LINE
-  EXISTING SIDEWALK
-  PROPOSED SIDEWALK
-  EXISTING CURB AND GUTTER
-  PROPOSED CURB AND GUTTER
-  TREE

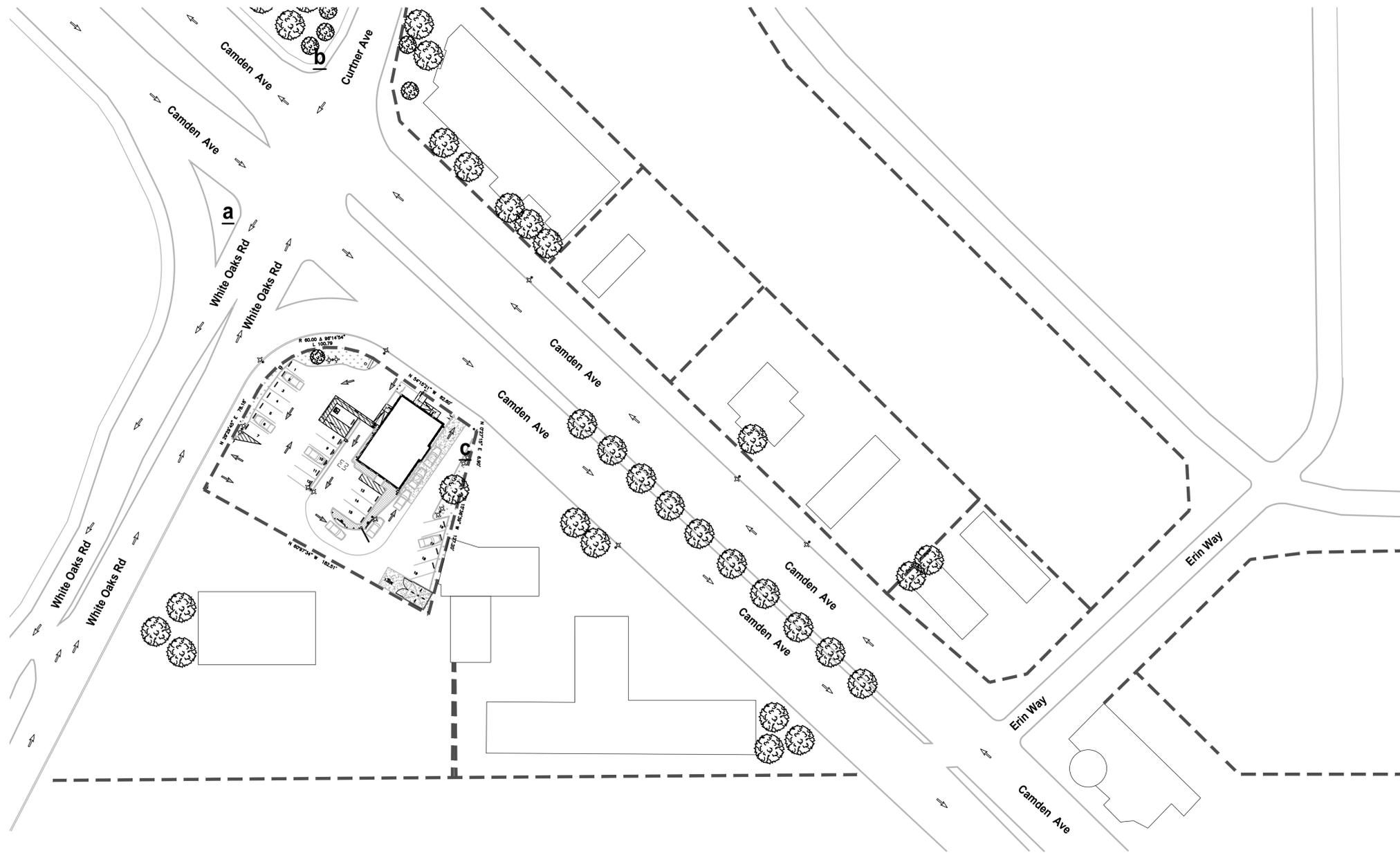
**GENERAL CONDITIONS**

GENERAL CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CAISSONS, WALLS, ETC., AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.

**GENERAL NOTES**

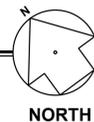
1. GENERAL CONTRACTOR SHALL PROVIDE, AS REQUESTED BY CONSTRUCTION MANAGER, "COMING SOON" SIGNAGE, SEE DETAIL 9/SD2.1.
2. ALL SITE CONCRETE PAVING SHALL BE SPRAYED WITH A CURING COMPOUND AS SOON AS CONCRETE IS SET UP.

**LEGAL DESCRIPTION**



**SITE PLAN**

SCALE: 1" = 500'



PERSPECTIVE A



PERSPECTIVE B



PERSPECTIVE C



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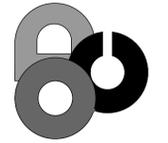
BID: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

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Oakdale, CA 95361  
(209) 522-8031 - fax: (209) 522-4738 - www.odcengr.com



EXP. 6/30/25

**SITE INFORMATION**

MK TYPE: MK3

JIB #: #426

ADDRESS:

1301 Camden Ave

Campbell, CA, 95008

DRAWN BY: GPalmerin

PROJECT #:

SCALE: 1" = 10'

**STREETSCAPING PLAN**

**SS1.0**

CALL STATE UTILITY NOTIFICATION CENTER  
1-800-000-0000  
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

**SITE LEGEND**

- PROPERTY BOUNDARY LINE
- [Pattern] PROPOSED ASPHALT PAVING
- [Pattern] PROPOSED CONCRETE PAVING
- [Pattern] EXISTING SIDEWALK
- [Pattern] PROPOSED SIDEWALK
- [Pattern] EXISTING CURB AND GUTTER
- [Pattern] PROPOSED CURB AND GUTTER
- [Symbol] CURB RAMPS
- [Symbol] PROPOSED LED SITE LIGHTING
- [Symbol] BUILDING ENTRANCE
- [Symbol] WHEEL STOP
- [Symbol] ACCESSIBLE PARKING SPACES
- [Symbol] BIKE RACK
- [Symbol] # NUMBER OF PARKING STALLS
- [Pattern] LIMITS OF WORK
- [Symbol] VEHICLE STACKING

**GENERAL CONDITIONS**

GENERAL CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CAISSONS, WALLS, ETC., AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.

**GENERAL NOTES**

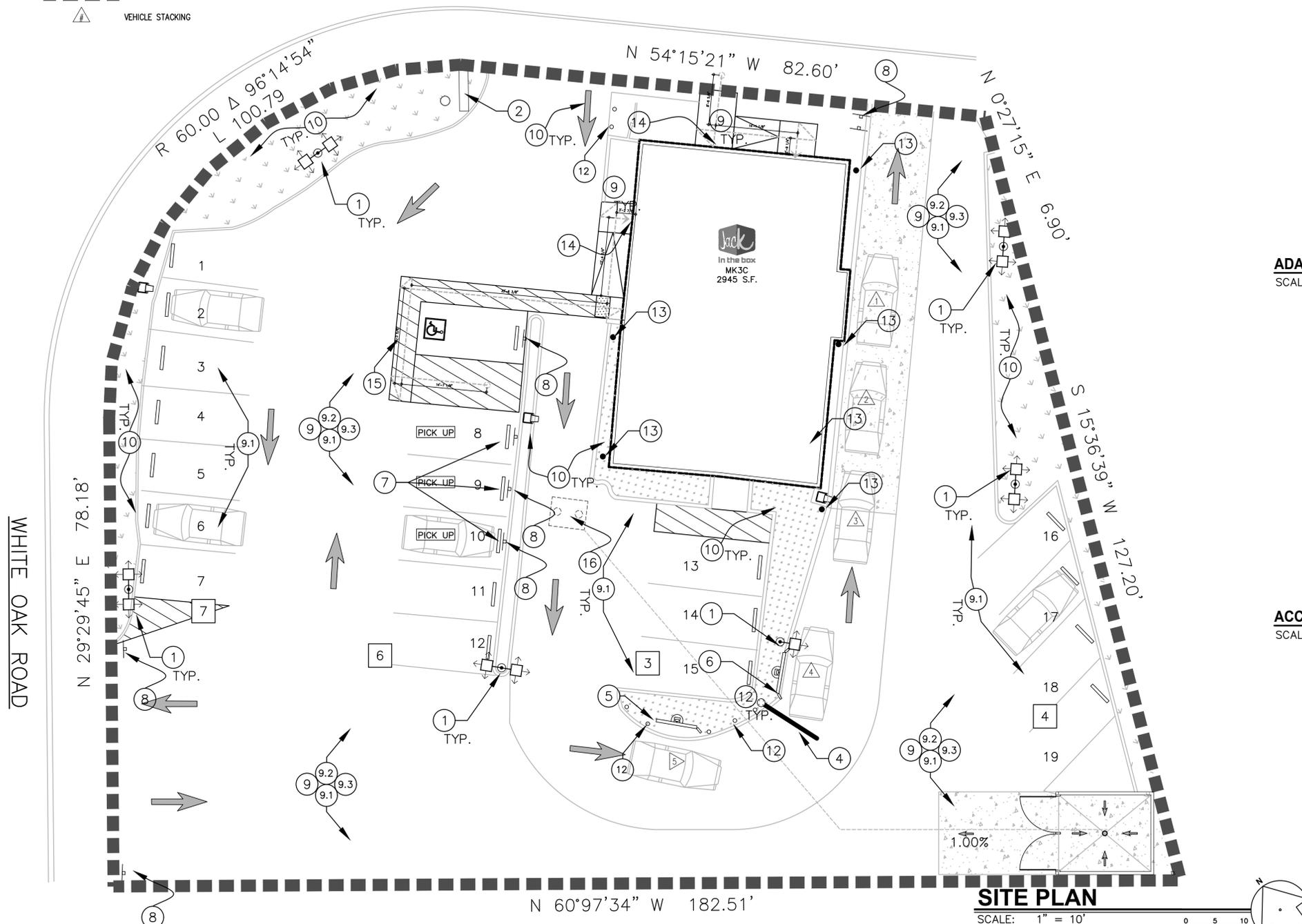
1. GENERAL CONTRACTOR SHALL PROVIDE, AS REQUESTED BY CONSTRUCTION MANAGER, "COMING SOON" SIGNAGE, SEE DETAIL 9/SD2.1
2. ALL SITE CONCRETE PAVING SHALL BE SPRAYED WITH A CURING COMPOUND AS SOON AS CONCRETE IS SET UP.

**PARKING CALCULATION**

EXISTING PARKING:	20 SPACES
ACCESSIBLE PARKING PROVIDED:	1 SPACES
STANDARD PARKING PROVIDED:	19 SPACES
TOTAL PARKING PROVIDED:	20 SPACES

**LEGAL DESCRIPTION**

**CAMDEN AVENUE**



**SITE PLAN**

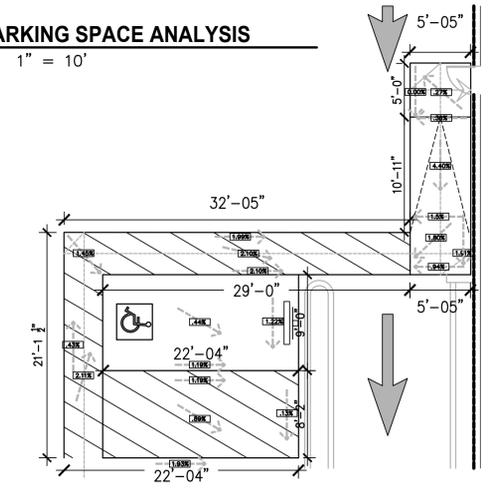
SCALE: 1" = 10'

**KEY NOTES**

- 1 LIGHT POLES AND BASES TO REMAIN AND BE REPAINTED "DOVE TAIL" SW 7018. EXISTING CONCRETE BASES IN POOR CONDITION TO BE SLURRY COATED OR REPAINTED WITH INDUSTRIAL IMAGE PAINT PER SPECS.
- 2 CUBE SIGN TO BE CONVERTED TO LED MODULES PER SPECS BY SIGN VENDOR.PREP & REPAINT POLE STRUCTURE.
- 3 NOT USED
- 4 INSTALL NEW HEIGHT DETECTOR. SEE DETAIL 20/SD2.1.
- 5 CONTRACTOR TO PREP & REPAINT THE EXISTING PREVIEW BOARD AND EXTENDER POLE STRUCTURE & CABINETS. THOROUGHLY CLEAN INSIDE & OUTSIDE OF PREVIEW BOARD FACE AND EXTENDERS/REPLACE IF CLOUDED OR DAMAGED. REPLACE EXISTING INTERNAL ILLUMINATION WITH LED
- 6 CONTRACTOR TO PREP & REPAINT THE EXISTING MENUBOARD AND EXTENDER POLE STRUCTURE & CABINETS. THOROUGHLY CLEAN INSIDE & OUTSIDE OF MENUBOARD FACE AND EXTENDERS/REPLACE IF CLOUDED OR DAMAGED. REPLACE EXISTING INTERNAL ILLUMINATION WITH LED
- 7 INSTALL 3 MOBILE/DELIVERY PICK-UP SIGNS
- 8 CONTRACTOR TO VERIFY CONDITION, LOCATION AND HEIGHT REQUIREMENTS OF ACCESSIBLE PARKING SIGN, SEE DETAIL 8/SD2.1. ADD SECONDARY SIGN AS REQUIRED BY LOCAL JURISDICTION
- 9 POWER WASH ALL CONCRETE FLATWORK AREAS TO INCLUDE WALK-WAYS AND DRIVE-THRU TO REMOVE GUM AND OTHER RESIDUES. FILL ALL PAVING AREA CRACKS WITH SELF-LEVELING SEALANT TO PREVENT WATER INFILTRATION AND EXTEND PAVING LIFE.
- 9.1 PERFORM REPAIRS TO DAMAGED CONCRETE CURBS AS REQUIRED.
- 9.2 FILL ALL PAVING AREA CRACKS WITH SELF-LEVELING SEALANT AND PROVIDE SEALCOAT TO ASPHALT PAVING AREAS.
- 9.3 RESTRIPE PARKING LOT INCLUDING ADA PARKS AND PATH OF TRAVEL, SYMBOLS, TRAFFIC PATTERN ARROWS, AND DESIGNATED FIRE LANE CURBS ONLY REPAINT PREVIOUSLY PAINTED CURBS
- 10 EXISTING LANDSCAPING TO REFURBISHED.
- 11 EXISTING TRASH ENCLOSURE TO REMAIN, REPAIR AS REQUIRED. VERIFY ENCLOSURE GATE LOCKING MECHANISMS AND CANE BOLTS ARE FUNCTIONING PROPERLY REPAINT STEEL GATES USING NEW PAINT SCHEME.
- 12 REPAINT ALL PROTECTION PIPE BOLLARDS USING NEW PAINT SCHEME AND INSTALL NEW 3M RED REFLECTIVE TAPE AT THE TOP OF THE BOLLARDS PER DETAILS.
- 13 INSTALL BARRIER POSTS AT PREVIEW BOARD PERIPHERAL TO BUILDING CORNERS; SEE DETAIL 4/SD2.1. CONTRACTOR TO PROVIDE SLEEVES THROUGH CURB AND GUTTER WHERE APPROPRIATE.
- 14 APPLY INTERNATIONAL SYMBOL OF ACCESSIBILITY DECAL ON DOOR.
- 15 IF REQUIRED, RE-GRADE AND INSTALL NEW CONCRETE PAVING FOR ACCESSIBLE PARKING SPACES TO MEET ACCESSIBLE SLOPE REQUIREMENTS.
- 16 INSPECT GREASE TRAPS FOR MAINTAINANCE, REPAIRS ARE REPLACEMENTS

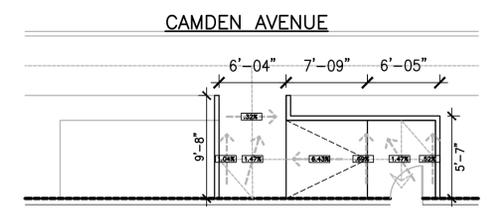
**ADA PARKING SPACE ANALYSIS**

SCALE: 1" = 10'



**ACCESS RAMPS ANALYSIS**

SCALE: 1" = 10'



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 145 N. 2ND AVENUE, SUITE 5  
 Oakland, CA 95361  
 (209) 522-8031 - fax: (209) 522-4788 - www.odcengr.com



EXP. 6/30/25

**SITE INFORMATION**

MK TYPE: MK3

JIB #: #426

ADDRESS:

1301 Camden Ave

Campbell, CA, 95008

DRAWN BY: GPalmerin

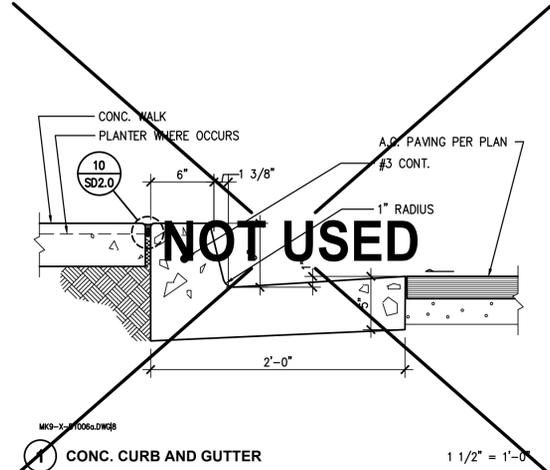
PROJECT #:

SCALE: 1" = 10'

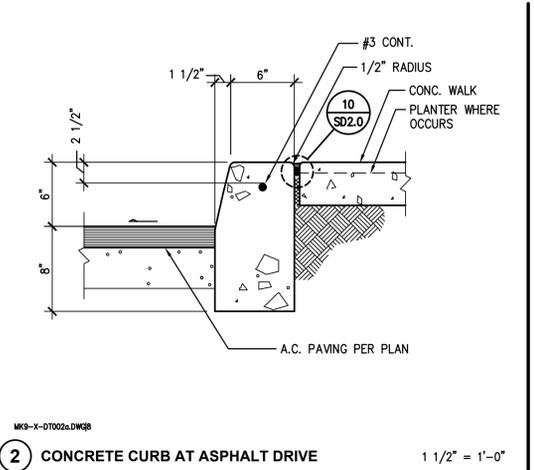
**SITE PLAN**

**SD1.0**

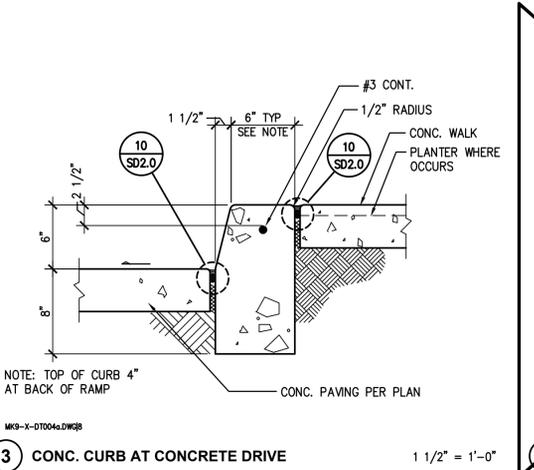
CALL STATE UTILITY NOTIFICATION CENTER  
 1-800-000-0000  
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES



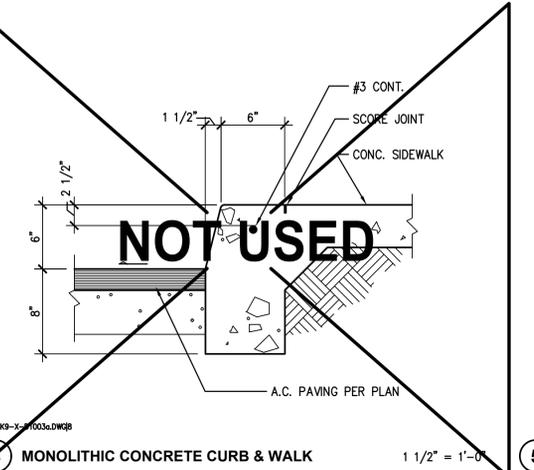
1 CONCRETE CURB AND GUTTER 1 1/2" = 1'-0"



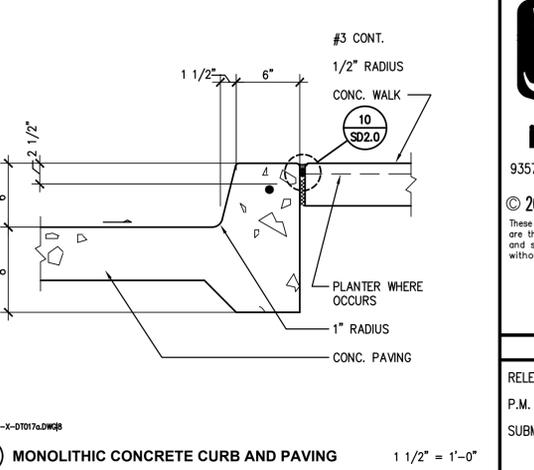
2 CONCRETE CURB AT ASPHALT DRIVE 1 1/2" = 1'-0"



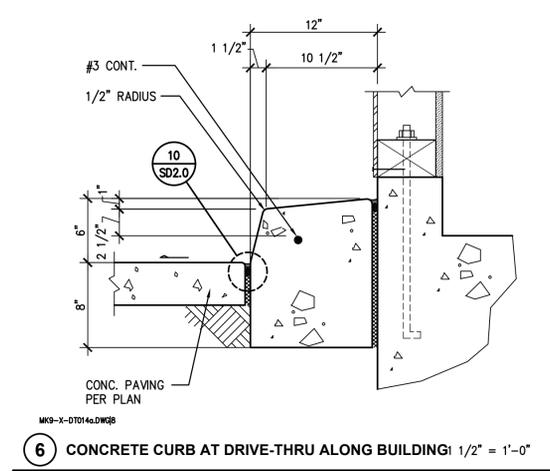
3 CONCRETE CURB AT CONCRETE DRIVE 1 1/2" = 1'-0"



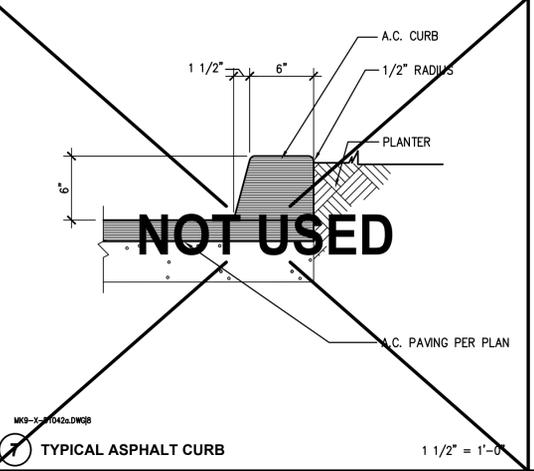
4 MONOLITHIC CONCRETE CURB & WALK 1 1/2" = 1'-0"



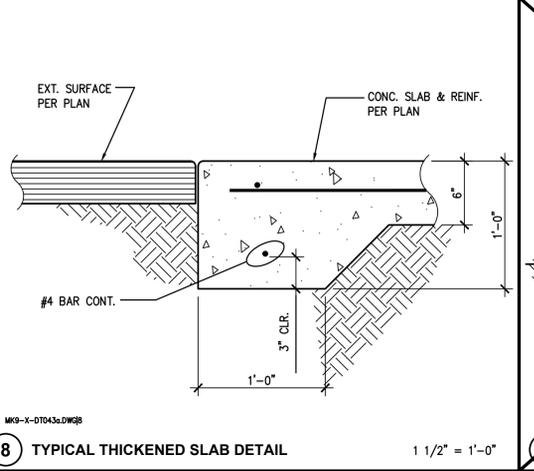
5 MONOLITHIC CONCRETE CURB AND PAVING 1 1/2" = 1'-0"



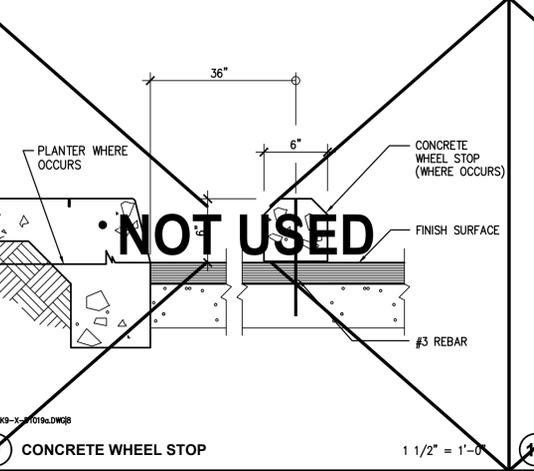
6 CONCRETE CURB AT DRIVE-THRU ALONG BUILDING 1 1/2" = 1'-0"



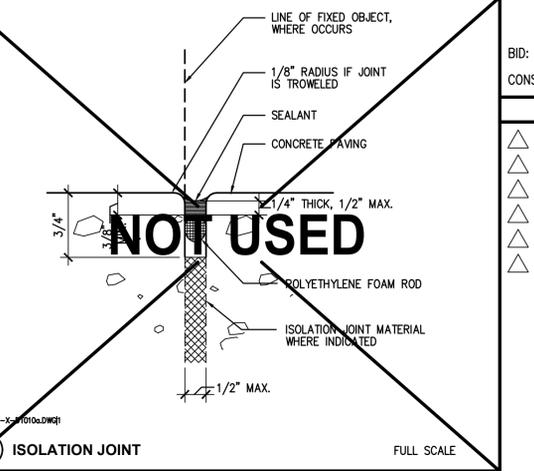
7 TYPICAL ASPHALT CURB 1 1/2" = 1'-0"



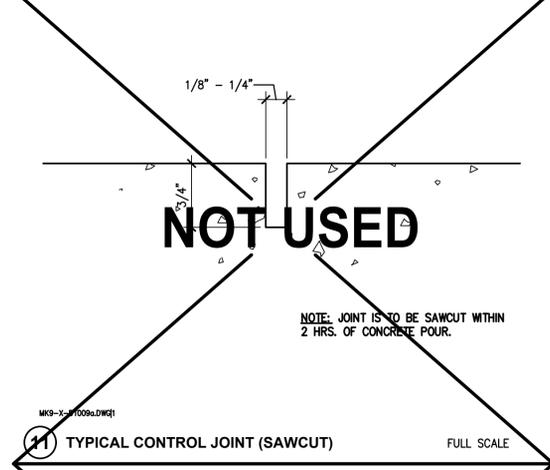
8 TYPICAL THICKENED SLAB DETAIL 1 1/2" = 1'-0"



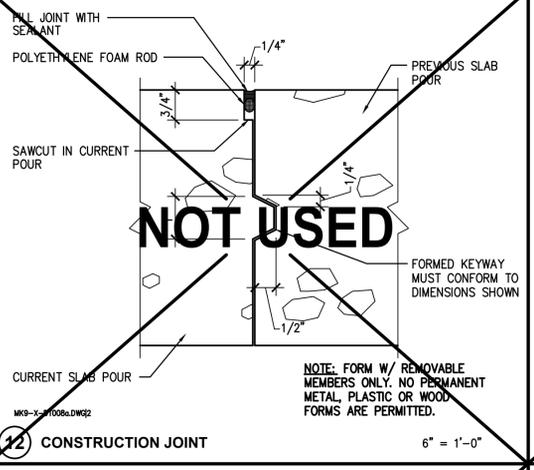
9 CONCRETE WHEEL STOP 1 1/2" = 1'-0"



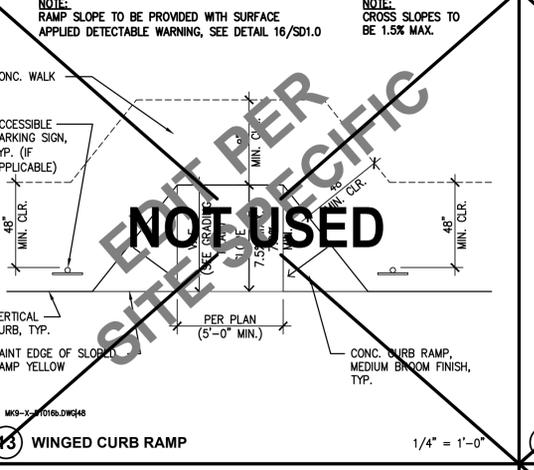
10 ISOLATION JOINT FULL SCALE



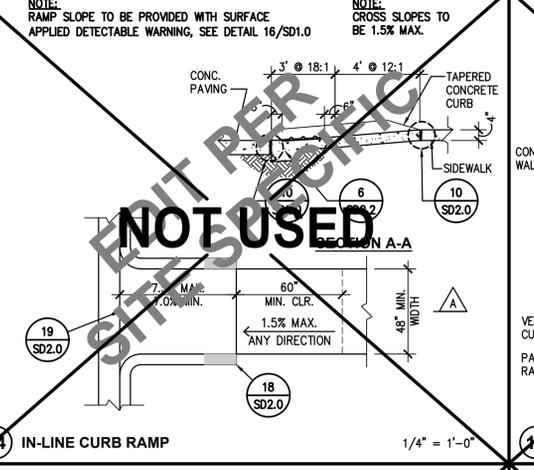
11 TYPICAL CONTROL JOINT (SAWCUT) FULL SCALE



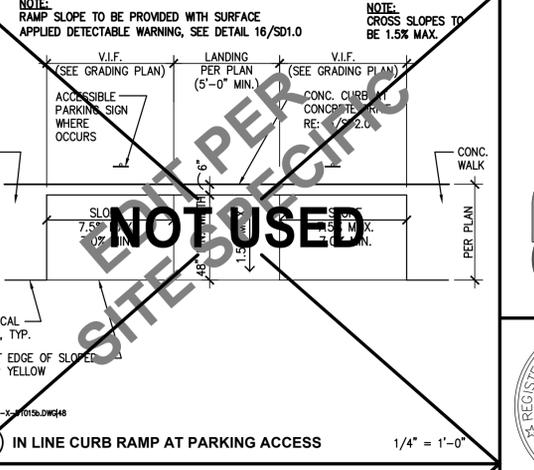
12 CONSTRUCTION JOINT 6" = 1'-0"



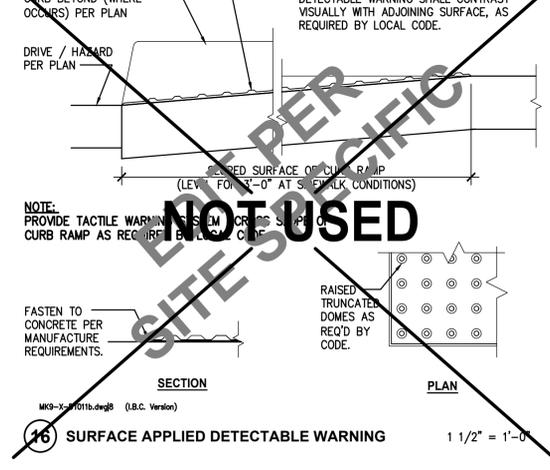
13 WINGED CURB RAMP 1/4" = 1'-0"



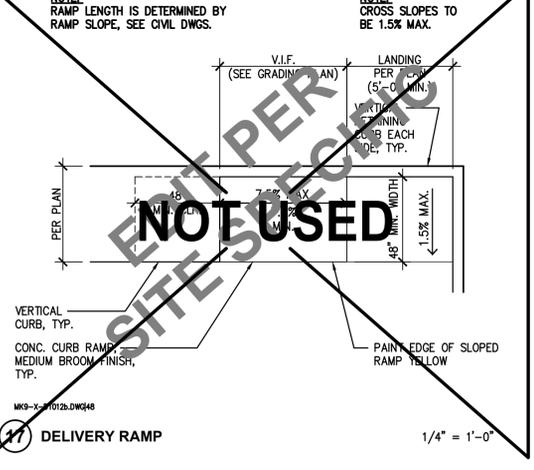
14 IN-LINE CURB RAMP 1/4" = 1'-0"



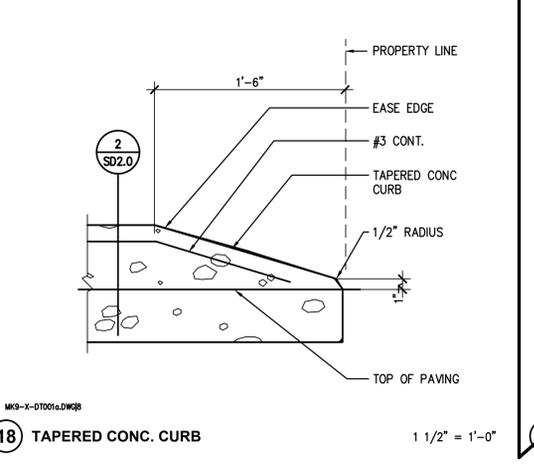
15 IN LINE CURB RAMP AT PARKING ACCESS 1/4" = 1'-0"



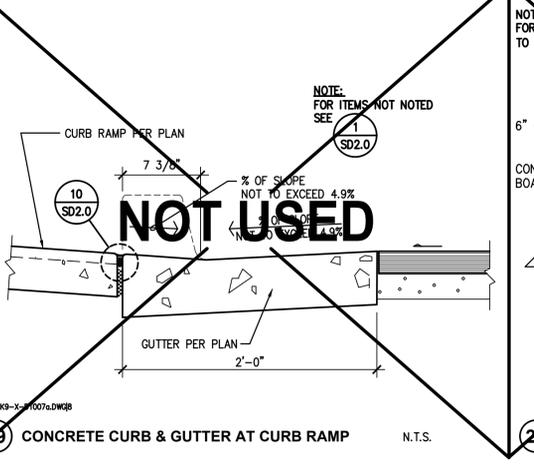
16 SURFACE APPLIED DETECTABLE WARNING 1 1/2" = 1'-0"



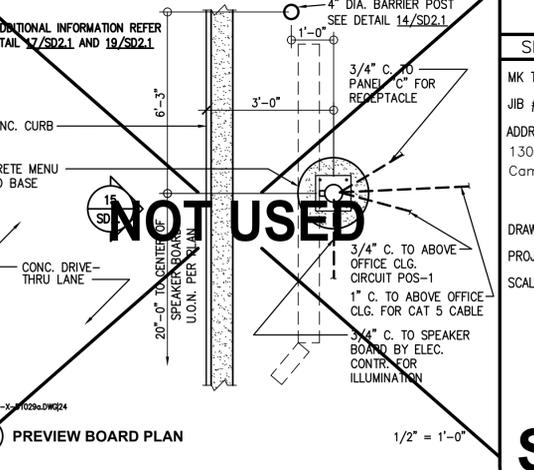
17 DELIVERY RAMP 1/4" = 1'-0"



18 TAPERED CONC. CURB 1 1/2" = 1'-0"



19 CONCRETE CURB & GUTTER AT CURB RAMP N.T.S.



20 PREVIEW BOARD PLAN 1/2" = 1'-0"

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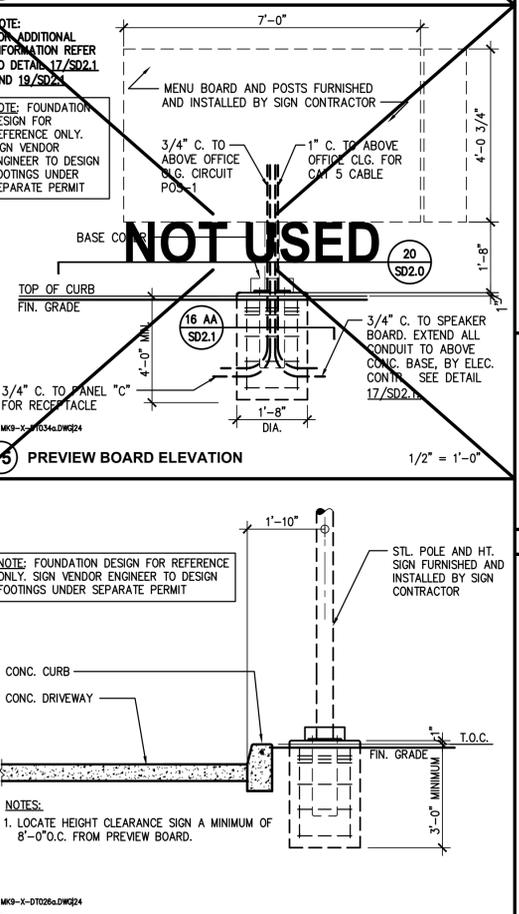
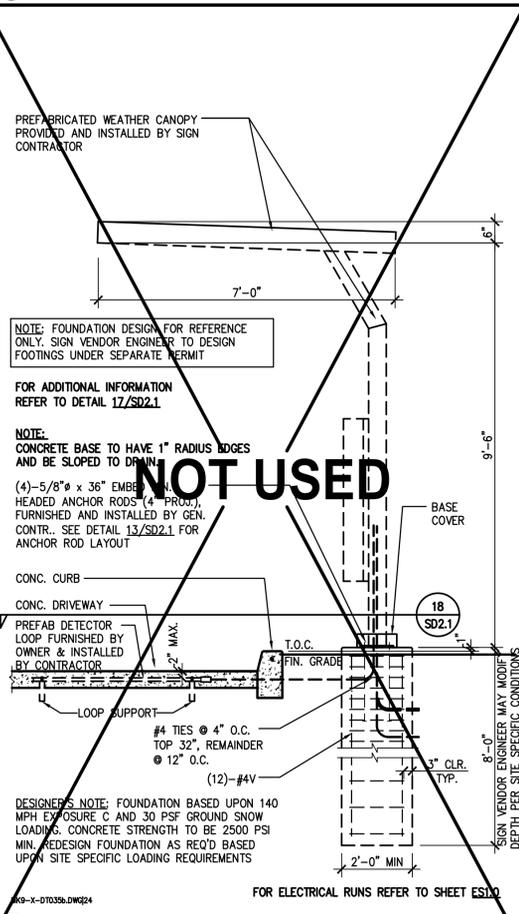
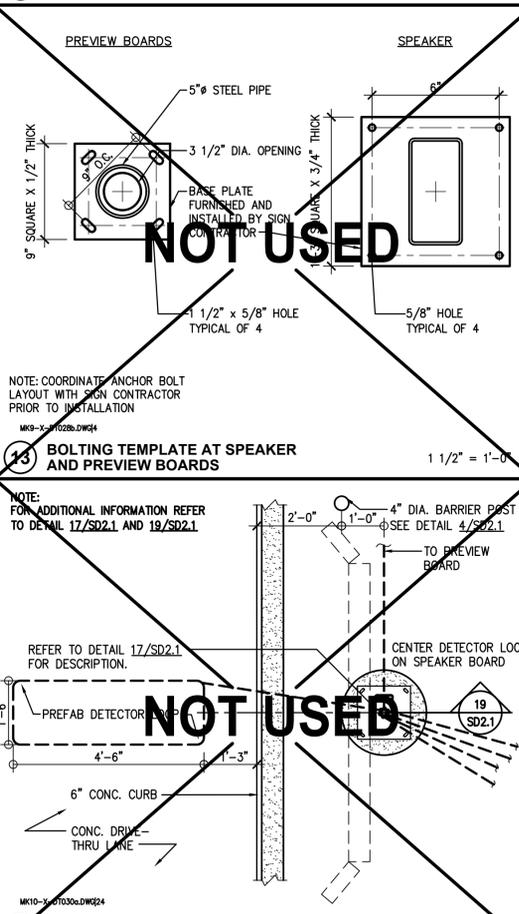
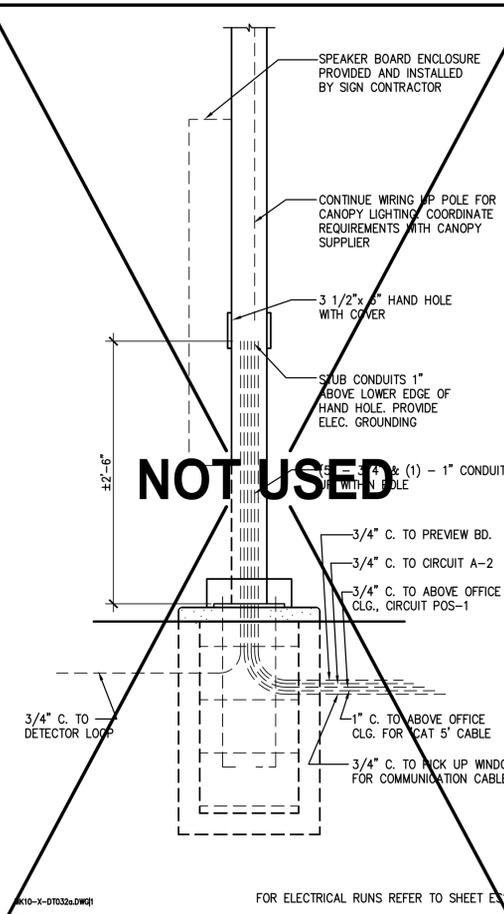
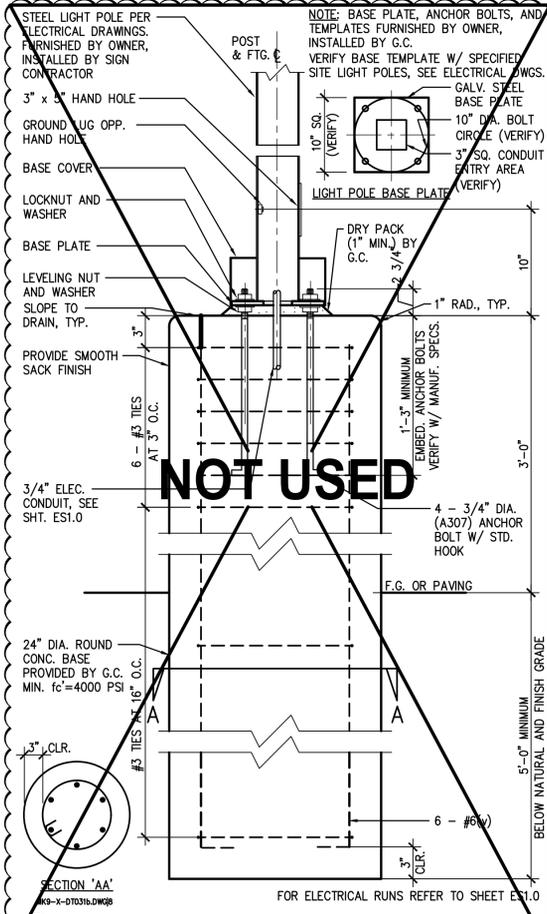
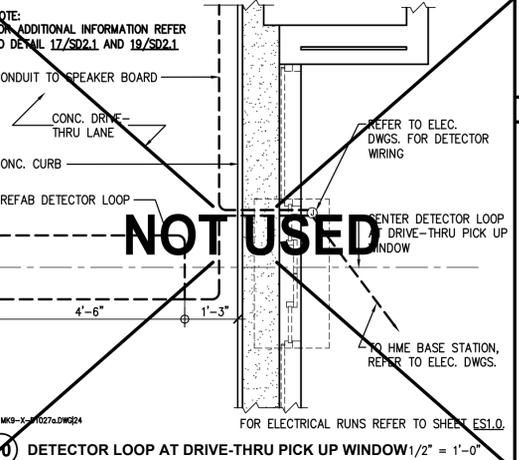
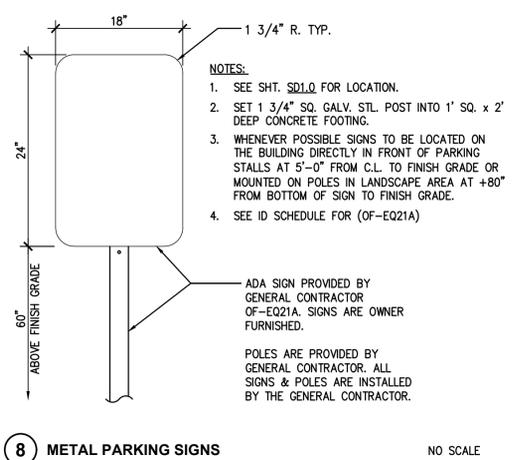
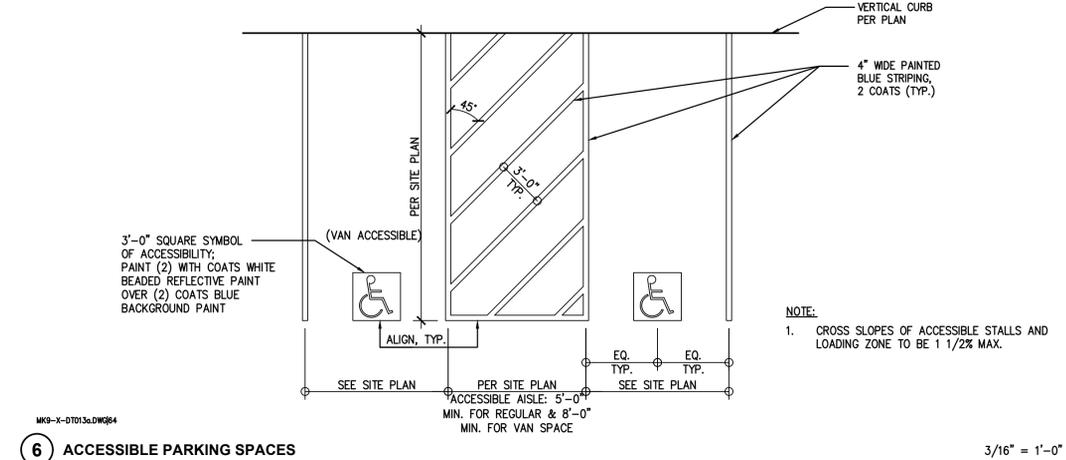
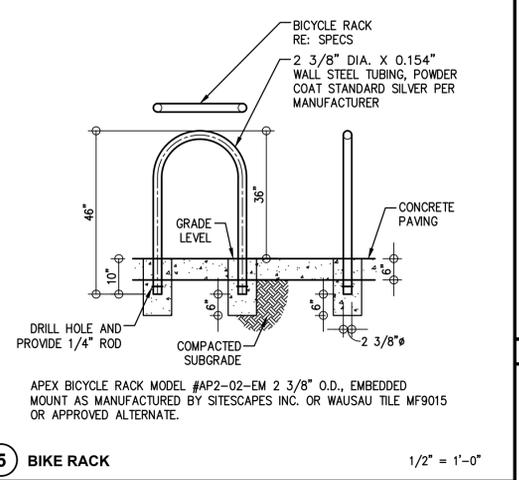
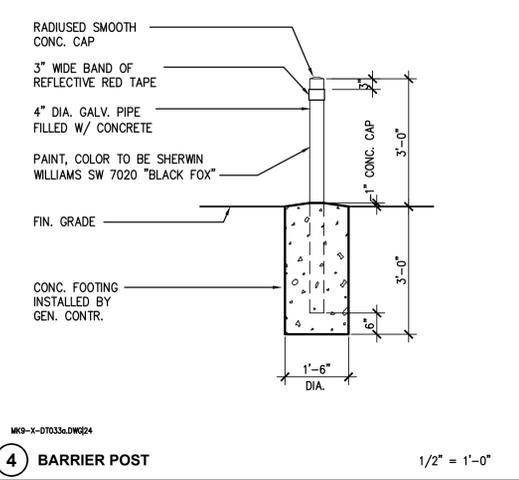
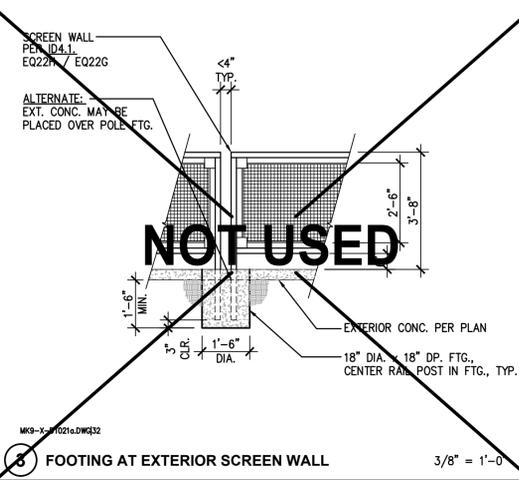
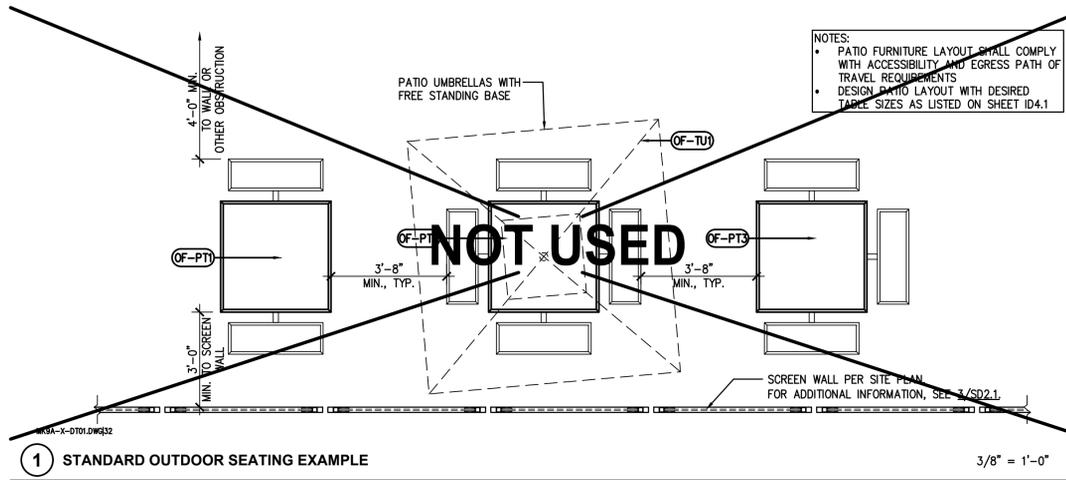
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OWENS DESIGN CONSULTANTS  
145 N. 2ND AVENUE, SUITE 5  
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REGISTERED PROFESSIONAL ENGINEER  
THOMAS J. OWENS  
No. 53530  
CIVIL  
STATE OF CALIFORNIA  
EXP. 6/30/25

SITE INFORMATION  
MK TYPE: MK3  
JOB #: #426  
ADDRESS:  
1301 Camden Ave  
Campbell, CA, 95008  
DRAWN BY: GPalmerin  
PROJECT #:  
SCALE: AS NOTED

DETAILS  
SD2.0



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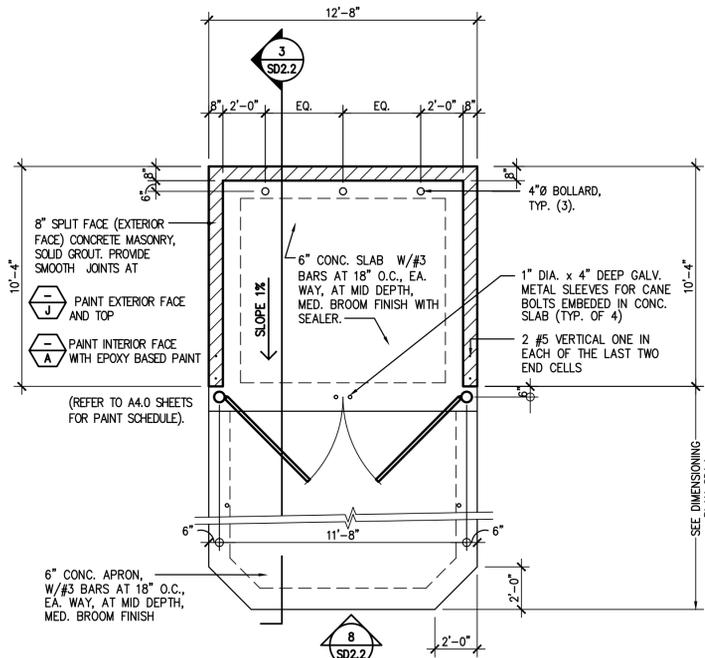
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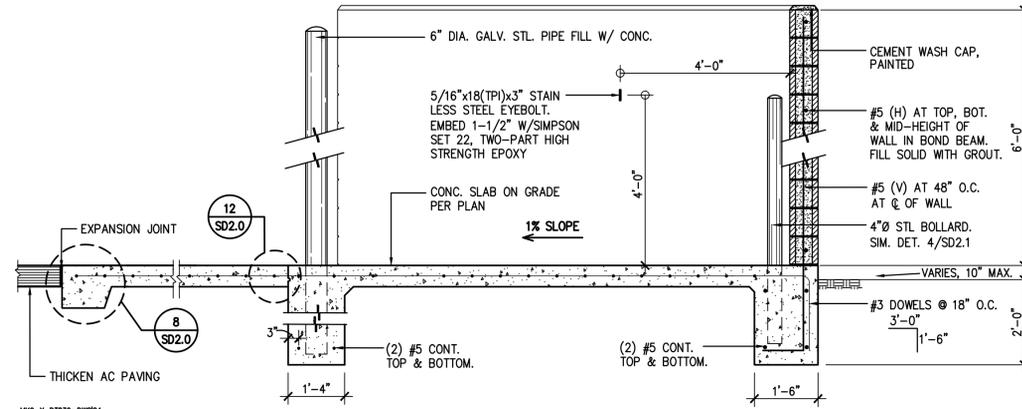
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**DETAILS**  
**SD2.1**



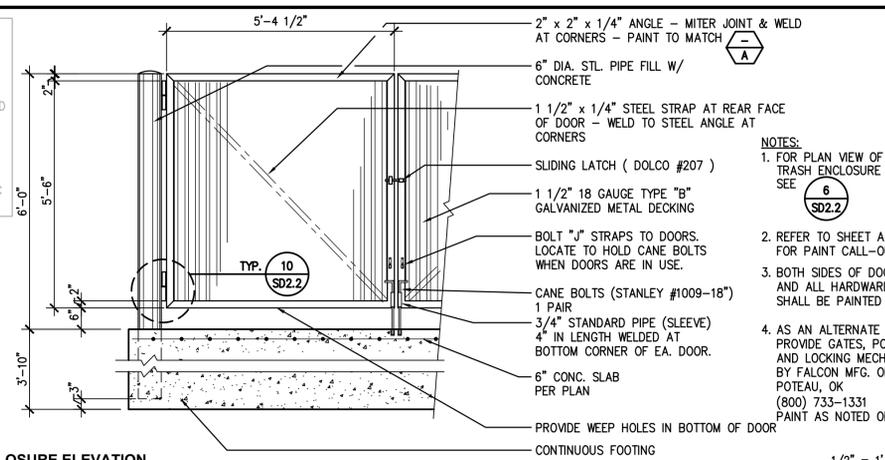
**NOTES**

1. ALL CONC. BLOCK MORTAR JOINTS SHALL BE FLUSH & SMOOTH AT INSIDE FACE.
2. SEE SITE PLAN FOR LOCATION OF TRASH ENCLOSURE.
3. SEE EXTERIOR ELEVATIONS SHEET A4.0 FOR FINISH SCHEDULE.
4. THE TRASH ENCLOSURE PAD SHALL BE SEALED WITH A "NON-PIGMENTED" CLEAR CONCRETE SEALER.

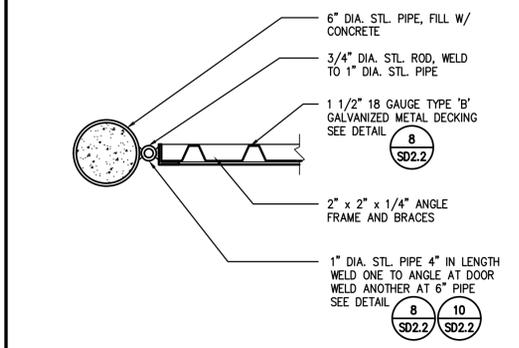


**3 TRASH ENCLOSURE SECTION**

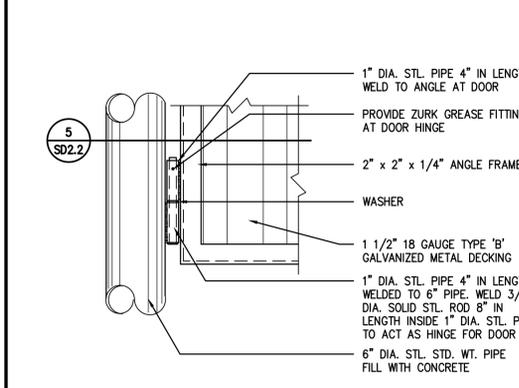
DESIGNER NOTES:  
 -VERIFY TRASH RECEPTACLE HEIGHT WITH LOCAL JURISDICTION. ADJUST TRASH ENCLOSURE AND GATE HEIGHTS ACCORDINGLY TO SCREEN TRASH RECEPTACLE.  
 -FOUNDATION & WALL TO MEET SITE SPECIFIC DESIGN LOADS.



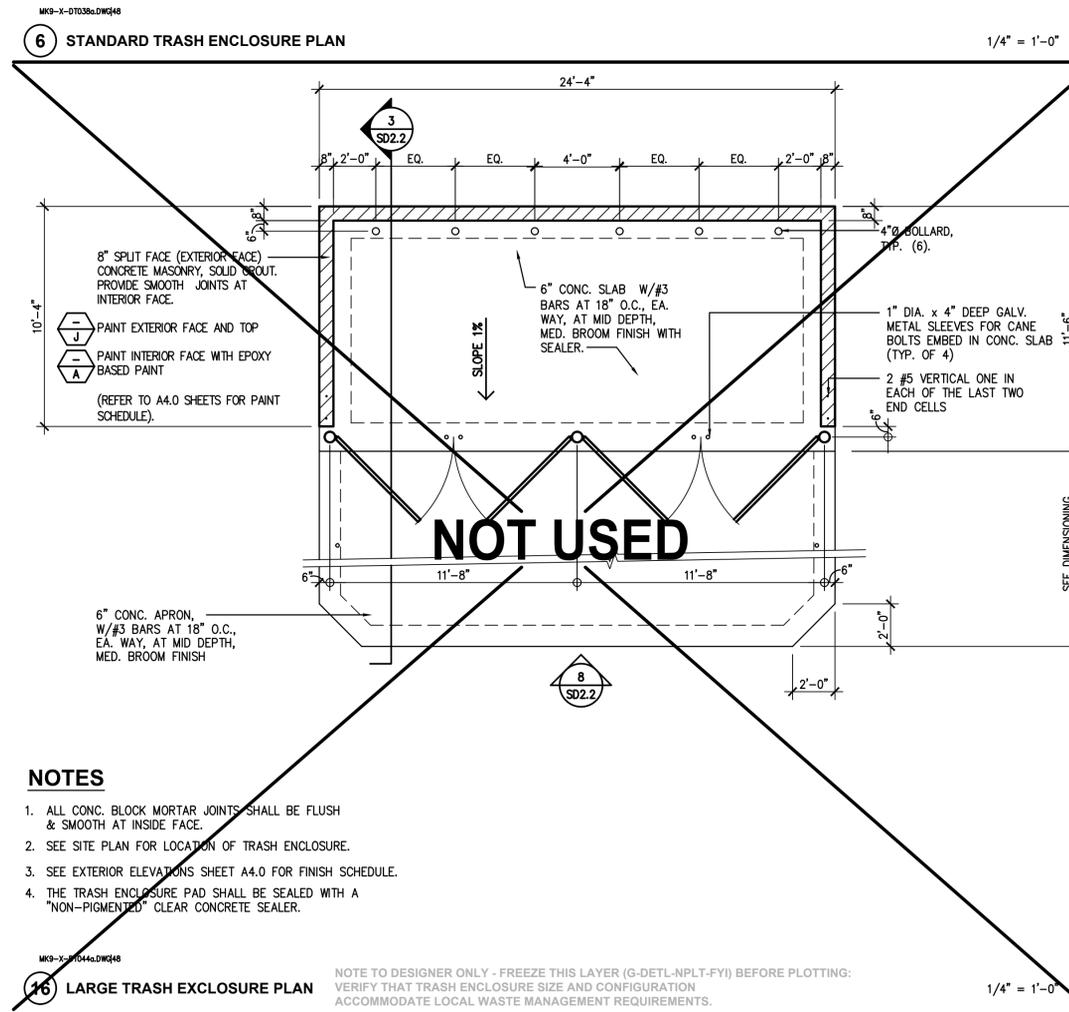
**8 TRASH ENCLOSURE ELEVATION**



**5 JAMB AT TRASH ENCLOSURE - PLAN**



**10 JAMB AT TRASH ENCLOSURE - ELEVATION**

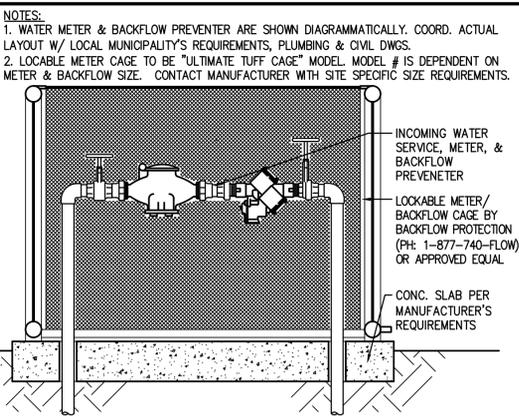


**NOTES**

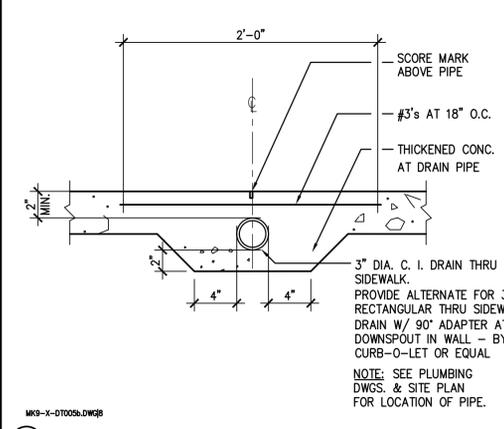
1. ALL CONC. BLOCK MORTAR JOINTS SHALL BE FLUSH & SMOOTH AT INSIDE FACE.
2. SEE SITE PLAN FOR LOCATION OF TRASH ENCLOSURE.
3. SEE EXTERIOR ELEVATIONS SHEET A4.0 FOR FINISH SCHEDULE.
4. THE TRASH ENCLOSURE PAD SHALL BE SEALED WITH A "NON-PIGMENTED" CLEAR CONCRETE SEALER.

**16 LARGE TRASH ENCLOSURE PLAN**

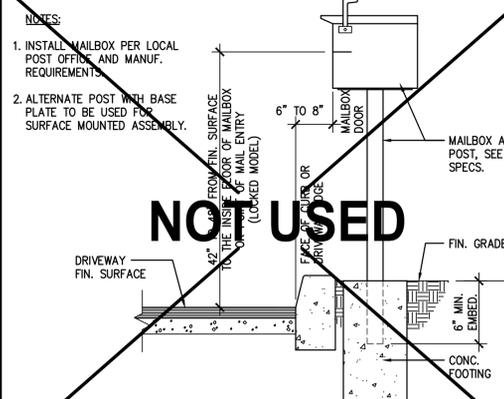
NOTE TO DESIGNER ONLY - FREEZE THIS LAYER (G-DETL-NPLT-FYI) BEFORE PLOTTING: VERIFY THAT TRASH ENCLOSURE SIZE AND CONFIGURATION ACCOMMODATE LOCAL WASTE MANAGEMENT REQUIREMENTS.



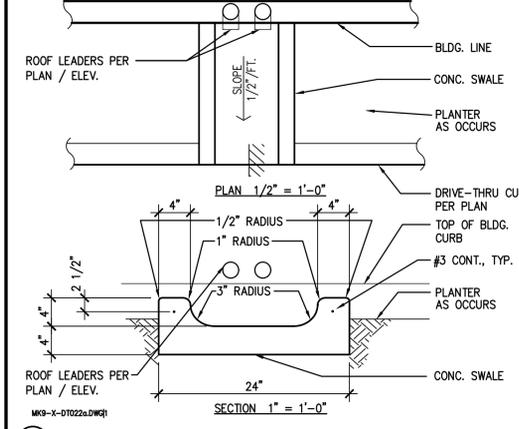
**18 WATER METER ANTI-THEFT CAGE**



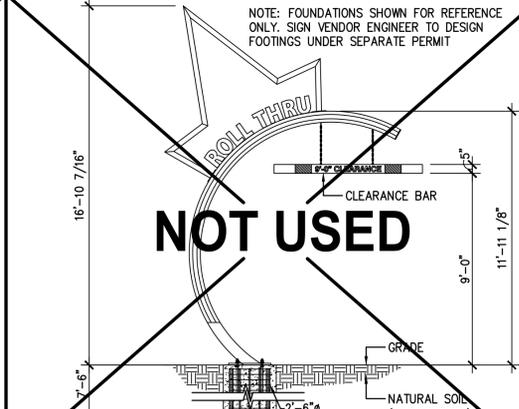
**14 DRAIN UNDER CONCRETE WALK**



**19 MAILBOX**



**15 ROOF DRAIN SWALE**



**20 DRIVE-THRU ENTRY PORTAL**

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**REVISIONS**

NO.	DESCRIPTION

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 EXP. 6/30/25

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 1301 Camden Ave  
 Campbell, CA, 95008  
 DRAWN BY: GPalmerin  
 PROJECT #:  
 SCALE: AS NOTED

**DETAILS**

**SD2.2**



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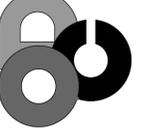
BID: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

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EXP. 6/30/25

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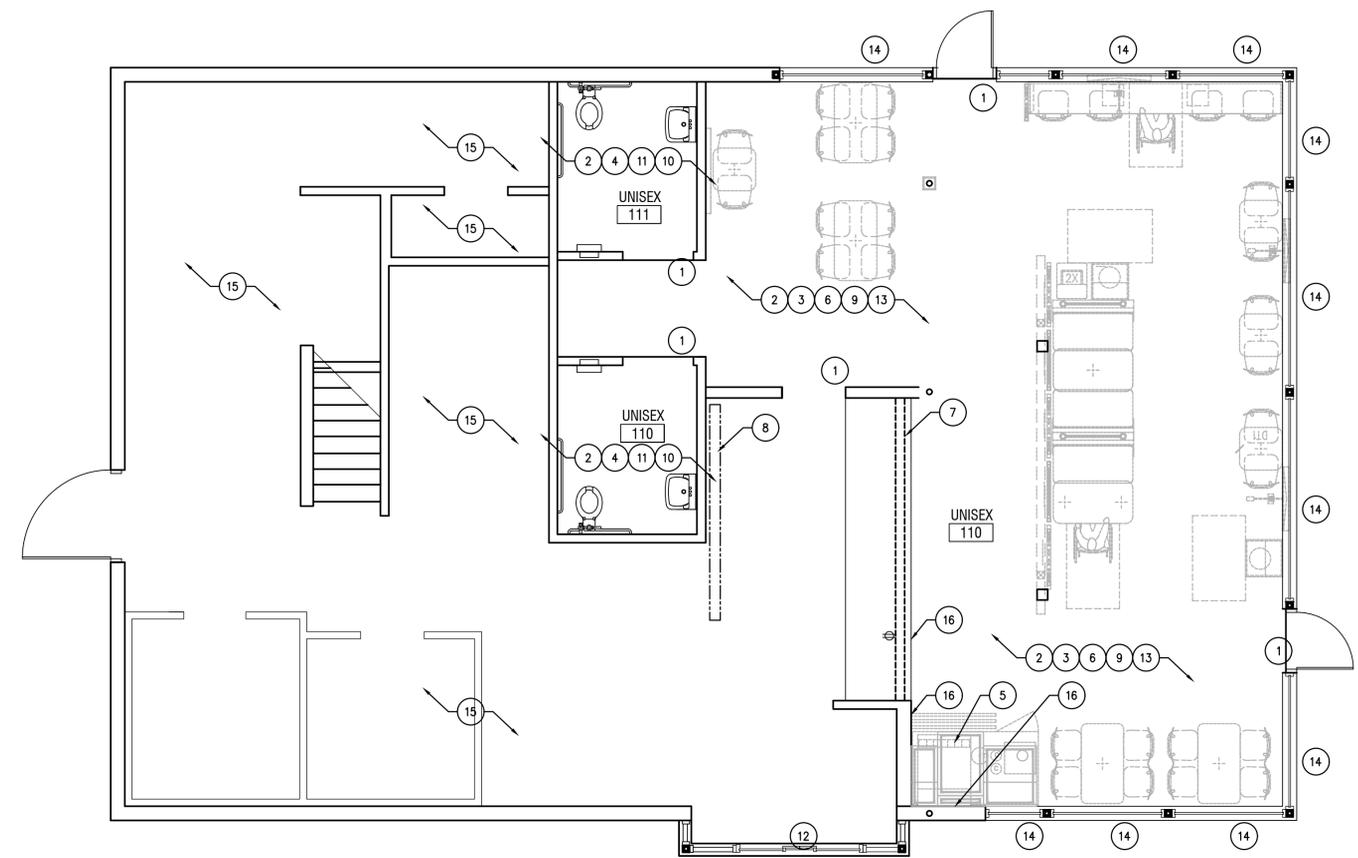
SCALE: 1/4" = 1'-0"

**DEMO FLOOR PLAN**

**D1.0**

**KEY NOTES**

- 1 EXISTING RESTROOM DOORS AND KITCHEN DOORS TO REMAIN
- 2 EXISTING FLOOR TILE AND COVE BASE TO REMAIN, PATCH AND REPAIR AS REQUIRED, REFER TO ID4.0 FOR FINISHES
- 3 REMOVE EXISTING DECORATIVE WALL FINISHES TO GYP BOARD SHEATHING OR TO SUBSTRATE. REPLACE GYP BOARD IN IRREPARABLE AREAS FOR INSTALLATION OF NEW INTERIOR FINISHES AT DRINK STATION, RESTROOM VESTIBULE AREA AND DINING ROOM WALLS. SKIM COAT WALLS AND PREP FOR NEW FINISHES. REFER TO ID SHEETS FOR NEW FINISHES.
- 4 EXISTING WALL TILE NOT BEING REPLACED, PATCH AND REPAIR AS REQUIRED.
- 5 EXISTING BEVERAGE MACHINE, ICE MAKER AND STAINLESS STEEL CABINETS SHALL BE REMOVED AND REPLACED FOR NEW EQUIPMENT. GC SHALL REMOVE AS REQUIRED FOR NEW WALL FINISHES.
- 6 EXISTING FURNITURE AND TRASH RECEPTACLES TO BE REMOVED AND DISPOSED. (THE BLACK 'BULLET' TRASH RECEPTACLES SHOULD BE REPLACED WITH NEW 'SIMPLE HUMAN' SPEC RECEPTACLES). PATCH SLAB AS REQUIRED.
- 7 EXISTING BAR COUNTER TO BE RETROFITTED USING APPROPRIATE CONVERSION KIT. PATCH AND REPAIR DAMAGED TILE AS REQUIRED.
- 8 REPLACE EXISTING MENU BOARD, AND BREAKFAST BOARD (IF APPLICABLE) WITH NEW, PROVIDED AND INSTALLED BY SIGN COMPANY. G.C. TO PROVIDE BLOCKING AS REQUIRED. PATCH AND REPAIR CEILING GRID, TILES, OR WALLS AS REQUIRED. VERIFY LOCATION OF BREAKFAST MENU BOARD IN FIELD.
- 9 REMOVE EXISTING ARTWORK AS REQUIRED. PREP WALLS FOR NEW FINISHES AND INSTALLATION OF NEW ART WORK.
- 10 INSPECT RESTROOMS FOR SEWER GAS ODORS AND MAKE NECESSARY REPAIRS IF ODORS ARE PRESENT
- 11 REMOVE AND REPLACE ALL RESTROOM CONVENIENCE FIXTURES & ACCESSORIES WITH NEW (TOILET PAPER DISPENSERS, SOAP & SANITIZER DISPENSERS, PAPER TOWEL DISPENSERS, IF HAND DRYERS ARE NOT PROVIDED, TOILET SEAT COVER DISPENSERS AND SANITARY NAPKIN DISPOSAL)
- 12 REMOVE AND REPLACE FOR NEW DRIVE THRU WINDOW.
- 13 REMOVE NON-JOB 24-HOUR DRIVE-THRU HANGING WINDOW SIGN AND REPLACE WITH BRAND-SPECIFIC 24-HOUR DRIVE-THRU HANGING WINDOW SIGN
- 14 EXISTING STOREFRONT MAY REMAIN IF IT IS DUAL-PANE AND IN GOOD CONDITION. IF THEY NEED TO BE REPLACED, CHOOSE FROM THE FOLLOWING:
- 15 NO WORK THIS AREA UNLESS OTHERWISE NOTED.
- 16 EXISTING WALL TILE TO BE REMOVED AND REPLACED ACCORDING TO SCHEDULE.



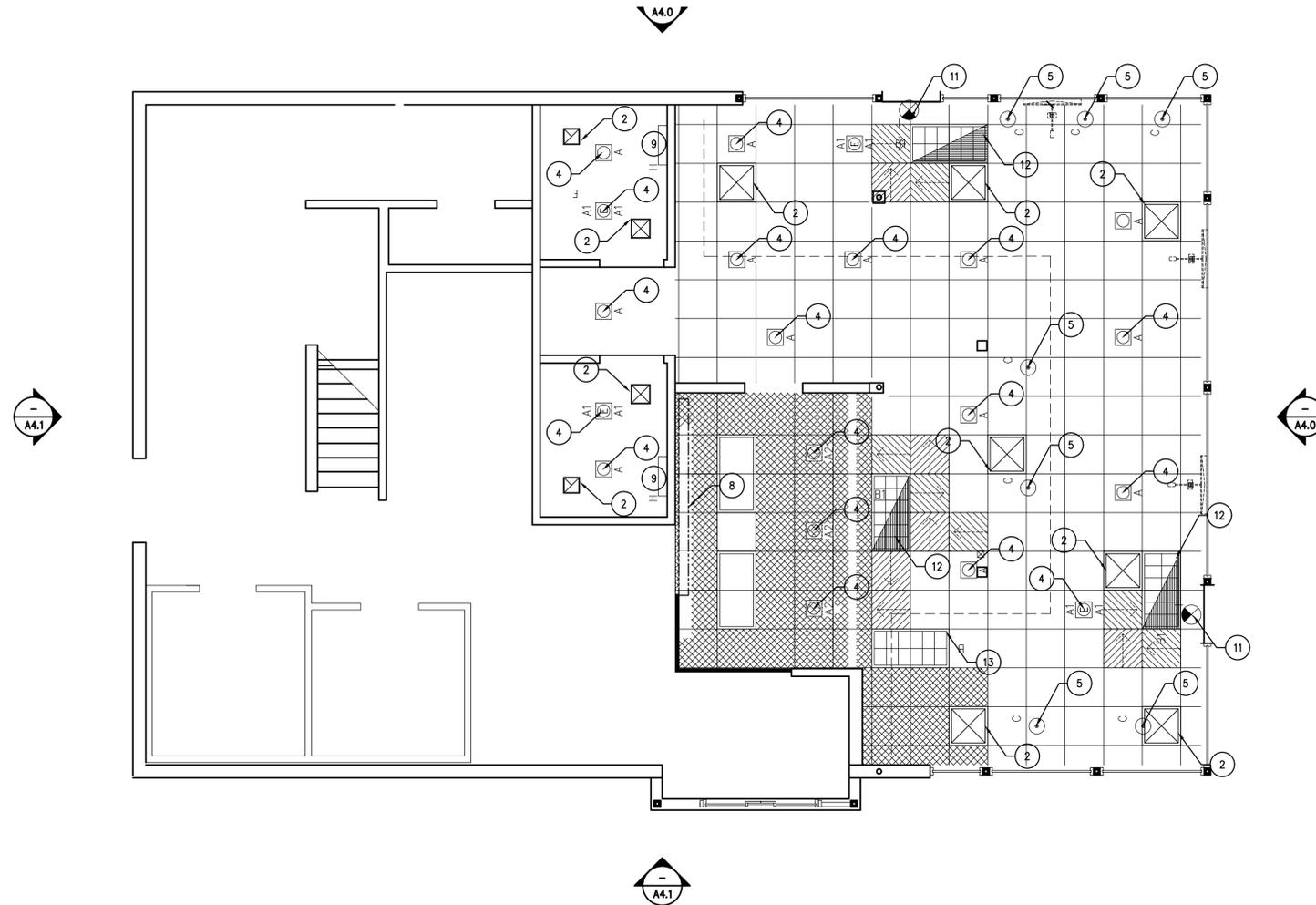
GRILLE, REGISTER AND DIFFUSER SCHEDULE									
MARK	MANUFACTURER	MODEL	TYPE	NECK SIZE (L" X W")	FACE SIZE (L" X W")	FRAME	FINISH	NC	ACCESSORIES
A	TITUS	OMNI-AA	SQUARE MODULAR SUPPLY DIFFUSER	PER PLAN	24" X 24"	LAY-IN	WHITE	<30	
B	TITUS	TMS-AA	SQUARE CONE SUPPLY DIFFUSER	PER PLAN	12" X 12"	SURFACE	WHITE	<30	
C	TITUS	50F	EGGCRATE EXHAUST GRILLE	10" X 10"	12" X 12"	SURFACE	WHITE	<30	STR
D	TITUS	350RL	HINGED RETURN GRILLE	46" X 22"	48" X 24"	LAY-IN	WHITE	<30	
E	TITUS	PAS-AA	PERFORATED DIFFUSER-ADJUST PATTERN DIFFUSERS FOR THROW DISTRIBUTION INDICATED ON PLAN	PER PLAN	24" X 24"	LAY-IN	WHITE	<30	
F	TITUS	50F	EGGCRATE EXHAUST GRILLE	10" X 10"	12" X 12"	LAY-IN	WHITE	<30	STR,VO
G	TITUS	TMS-AA	SQUARE CONE SUPPLY DIFFUSER	PER PLAN	12" X 12"	LAY-IN	WHITE	<30	VO
H	TITUS	350RL	HINGED RETURN GRILLE	22" X 22"	24" X 24"	LAY-IN	WHITE	<30	
I	TITUS	TMS-AA	SQUARE CONE SUPPLY DIFFUSER	PER PLAN	24" X 24"	LAY-IN	WHITE	<30	

ACCESSORIES:  
 OBD-OPPOSED BLADE DAMPER, STR-SQUARE TO ROUND TRANSITION, VO-VESTIBULE OPTION.

NOTES:  
 1) ACCEPTABLE ALTERNATE MANUFACTURERS INCLUDE: CARNES, KRUEGER, METALAIRE, PRICE, AND TUTTLE & BAILEY.

### KEY NOTES

- 1 REMOVE AND REPLACE ALL OF DINING ROOM CEILING GRID AND TILES, SEE ID DRAWINGS FOR NEW SPECS.
- 2 REMOVE AND REPLACE ALL OF DINING ROOM SPEAKERS, DIFFUSERS AND RETURN AIR GRILLES COMPLETE. SEE ID DRAWINGS FOR NEW SPECS
- 3 EXISTING BACK OF HOUSE CEILING GRID, TILE LIGHTING AND DIFFUSERS TO REMAIN.
- 4 REMOVE EXISTING RECESSED CAN LIGHTS, & WIRING BACK AS REQUIRED. PREP OPENING FOR NEW GYP. BOARD IN-FILL. SEE RCP FOR NEW ADDITIONAL CEILING MOUNTED LIGHT FIXTURE
- 5 REMOVE PENDANTS AND TERMINATE AT J-BOX.
- 6 REMOVE EXISTING CEILING METAL WEDGES AND REPLACE WITH CEILING TILES. (IF APPLICABLE)
- 7 REMOVE EXISTING RED CEILING TRACK. REPAIR/REPLACE CEILING TILES. (IF APPLICABLE)  
REMOVE EXISTING CEILING FANS AND REPLACE CEILING TILES. (IF APPLICABLE)
- 8 REPLACE EXISTING MENU BOARD, AND BREAKFAST BOARD (IF APPLICABLE) WITH NEW, PROVIDED AND INSTALLED BY SIGN COMPANY. S.C. TO PROVIDE BLOCKING AS REQUIRED. PATCH AND REPAIR CEILING GRID, TILES, OR WALLS AS REQUIRED. VERIFY LOCATION OF BREAKFAST MENU BOARD IN FIELD.
- 9 REMOVE EXISTING VANITY LIGHT OVER SINK. PATCH WALL FINISHES.
- 10 REMOVE EXISTING LIGHT AND PREP FOR REPLACEMENT.
- 11 REMOVE AND REPLACE ALL EMERGENCY LIGHTS
- 12 REMOVE ALL 4' X 2' TROFFER FIXTURES



### LEGEND

- CEILING GRID WEDGES
- 2x2 FLUORESCENT TROFFER
- 2x4 FLUORESCENT TROFFER
- PENDANT LIGHT FIXTURE
- CAN LIGHT FIXTURE
- CEILING FAN
- EXIT SIGN
- SECURITY CAMERA
- SUPPLY DIFFUSER
- RETURN DIFFUSER
- EXHAUST FAN
- AREA OF EXISTING WASHABLE TILE (VERIFY IN FIELD AND CODE REQUIREMENTS)

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 PROJECT #:  
 SCALE: 1/4" = 1'-0"

**DEMO RCP**  
**D2.0**





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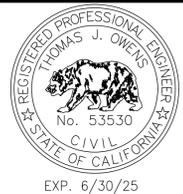
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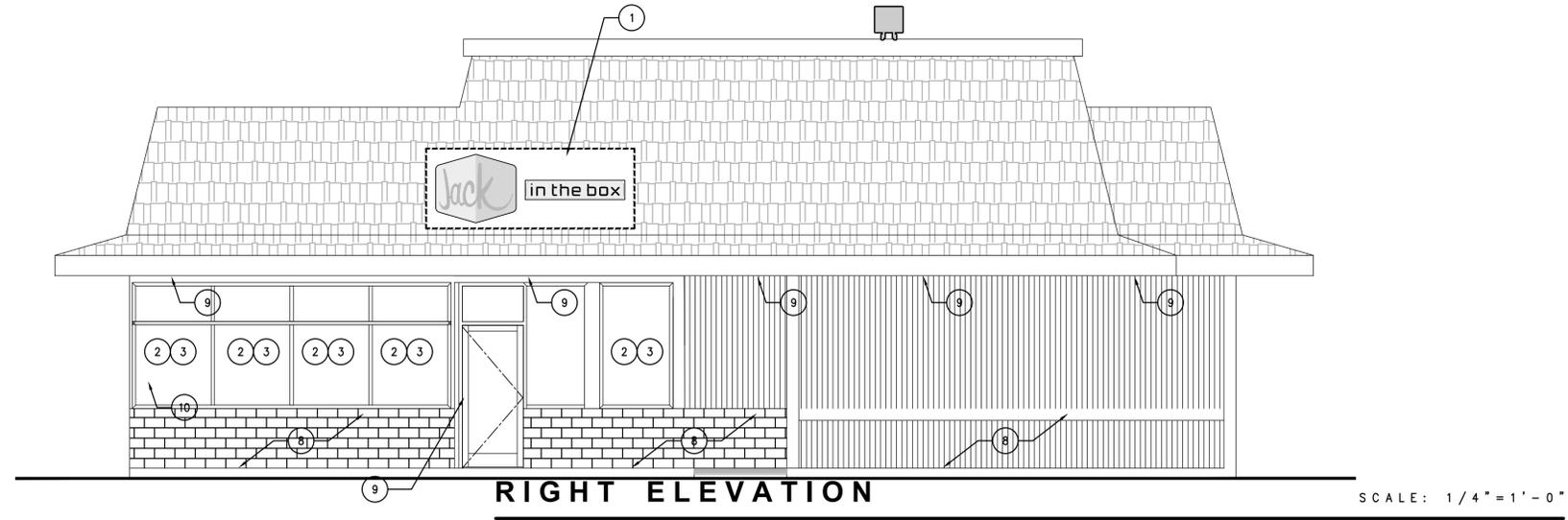
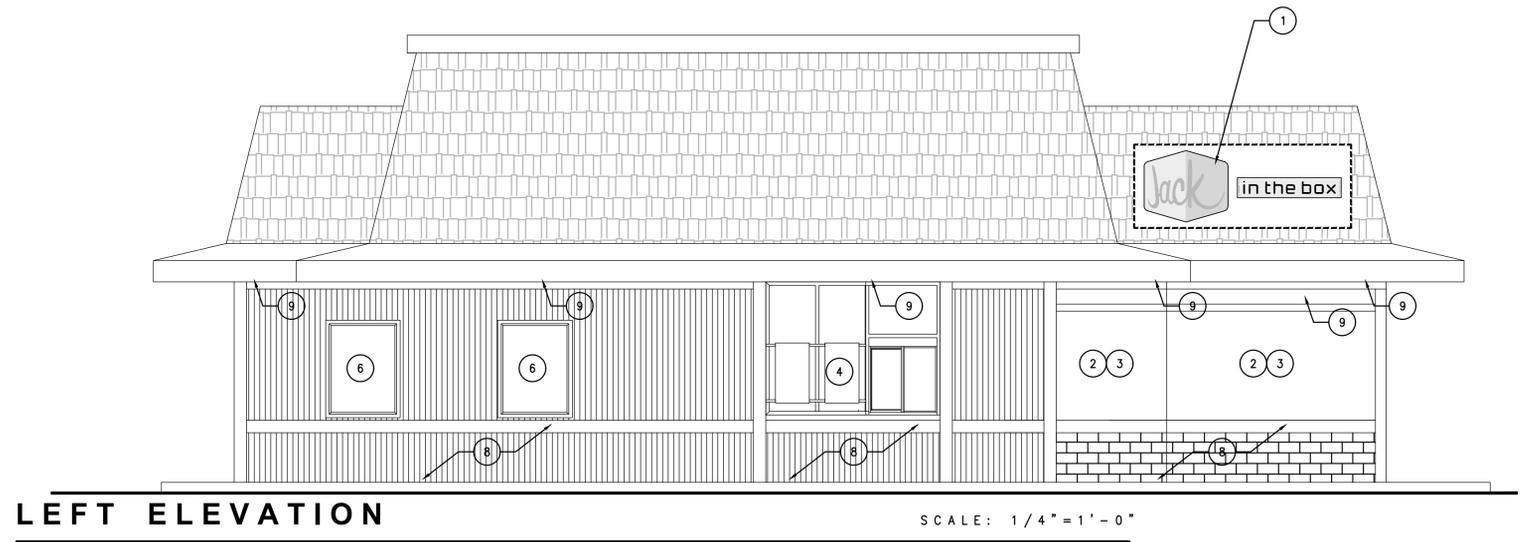
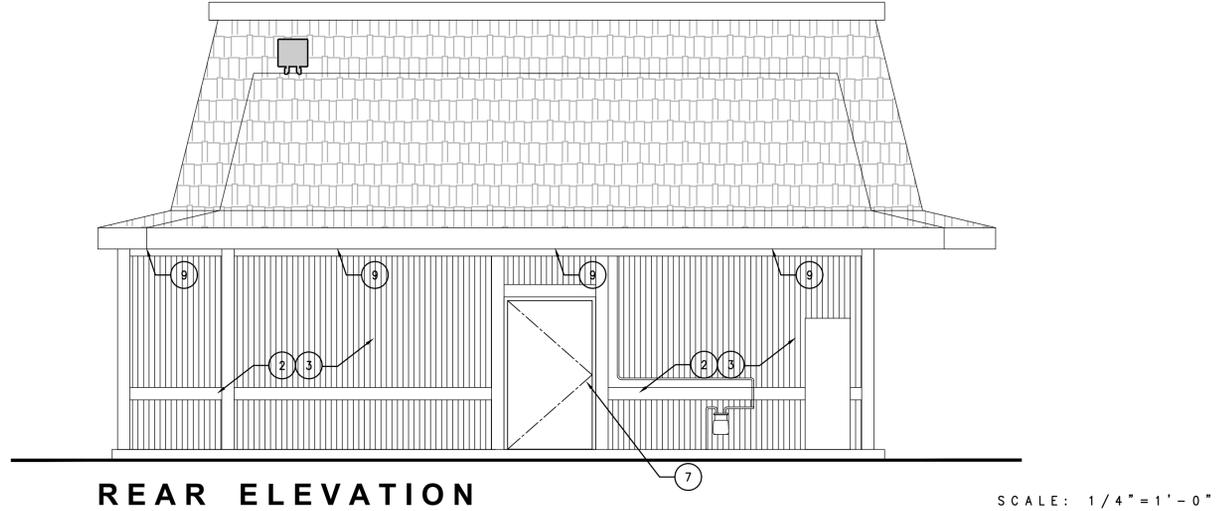
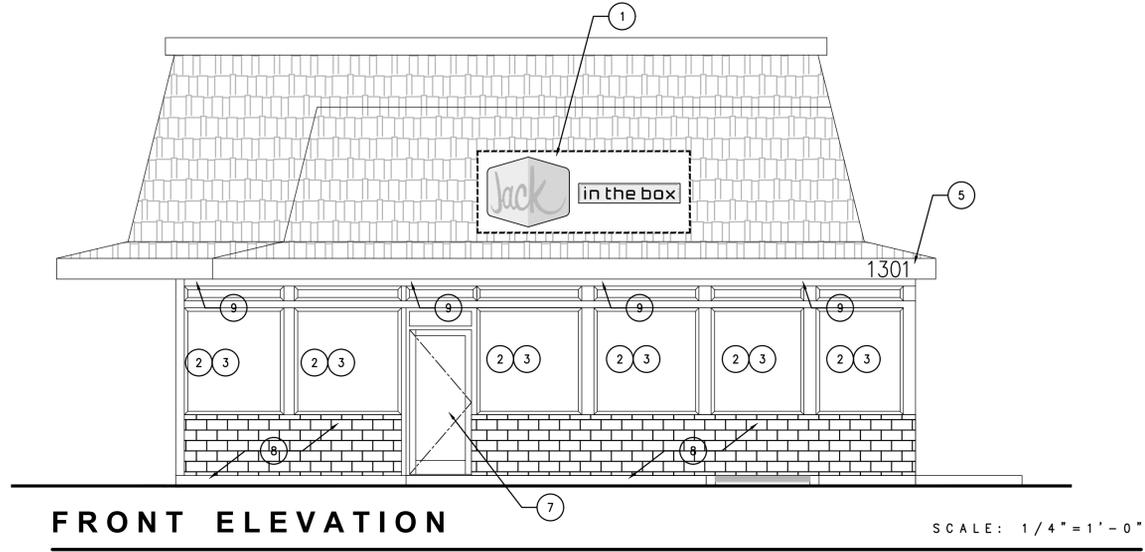
DRAWN BY: GPalmerin

PROJECT #:

SCALE: AS NOTED

**DEMO ELEVATIONS**

**D4.0**



**KEY NOTES**

- REMOVE EXISTING BUILDING SIGNAGE. PROTECT/RETAIN EXISTING ELECTRICAL CONNECTIONS FOR REUSE.
- EXISTING STOREFRONT TO REMAIN IF IT IS DUAL-PANE AND IN GOOD CONDITION. IF THEY NEED TO BE REPLACED, CHOOSE FROM THE FOLLOWING:
- REMOVE AND REPLACE ALL GRAFFITI, ETCHED, SCRATCHED, CLOUDED, CRACKED OR OTHERWISE DAMAGED GLASS PANES PANEL, PATCH/SEAL HOLES IN MULLION SYSTEM OR REPLACE AS NECESSARY.
- REMOVE EXISTING DRIVE-THRU WINDOW. PREPARE FOR REPLACEMENT WITH NEW DOUBLE PANE DRIVE-THRU WINDOW.
- REMOVE EXISTING BUILDING ADDRESS AND PATCH WALL AS REQUIRED TO MATCH EXISTING FINISH.
- REMOVE THE EXISTING GRAY POP METAL FRAME SYSTEM THAT IS SURFACE-MOUNTED ON THE OUTSIDE OF THE D/T WINDOW WHICH INCLUDES THE HOURS OF OPERATION AND A POP PANEL.
- REMOVE EXISTING DOOR HANDLE AND PREP FOR NEW.
- REPAIR ANY DAMAGED, ROTTEN OR CRACKED WALL FINISHES
- REMOVE AND REPLACE NON OPERATIONAL SOFFIT LIGHTS.
- REMOVE EXISTING HOURS OF OPERATIONS SIGNS & FRAMES ON EXTERIOR BUILDING WALLS AND REPLACE WITH HOURS OF OPERATION DECALS INSTALLED INSIDE THE DINING ROOM ON THE GLASS PER INSTALLATION DETAILS

**GENERAL NOTES**

- REPAIR ANY DAMAGED, ROTTED, OR CRACKED WALL FINISHES
- REPAIR ANY DAMAGED SOFFITS OR METAL FASCIA
- REPLACE ALL GRAFFITI'D, ETCHED, SCRATCHED, CLOUDED, CRACKED, OR OTHERWISE DAMAGED GLASS PANES PANEL, PATCH/SEAL HOLES IN MULLION SYSTEM OR REPLACE AS NECESSARY.
- ADD OR REPLACE GRAFFITI-GUARD ON GLAZING PANELS IF NEEDED.
- REPLACE DAMAGED, WORN-OUT, OR NON-OPERATING DOOR HANDLES, HINGES, PUSH BARS, CLOSERS, ETC.  
\* IF THE FINISHES ON THE HANDLES & PUSH BARS ARE WORN-OFF THEN THEY SHOULD BE REPLACED
- REPLACE ALL EXISTING LIGHT FIXTURES W/LED AND ADD LED FIXTURES AS PER MK-STYLE DESIGNS

**GENERAL NOTES**

1. ALL DIMENSIONS SHOWN TO FACE OF EXTERIOR WALLS ARE FACE OF EXISTING WALL. ALL DIMENSIONS SHOWN TO NEW INTERIOR WALLS ARE TO FACE OF EXISTING WALL.
2. ALL FINISH SURFACES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF CLASS C OR HIGHER (FLAME SPREAD INDEX 76 THROUGH 200 & A SMOKE DENSITY RATING OF 450).
3. FOR ITEMS FURNISHED BY OTHERS & INSTALLED BY GENERAL CONTRACTOR SEE INTERIOR DRAWINGS.
4. EXIT AISLES SHALL MEET ALL APPLICABLE CODES.
5. REFER TO A7.0 FOR RESTROOM FLOOR PLANS AND INTERIOR ELEVATIONS.
6. IF THE EXISTING COUNTERTOP IS TRIBELLA FINISH (ORANGE/TAN SOLID SURFACE), THEN REPLACE WITH NEW SPEC.
7. RESTROOMS SHOULD BE INSPECTED FOR SEWER GAS ODORS AND MAKE NECESSARY REPAIRS IF ODORS ARE PRESENT.
8. SEE SCOPE OF WORK ABOVE

**KEY NOTES**

- 1 NEW RESTROOM DOORS AND SERVICE DOORS. REFER TO ID SHEETS.
- 2 EXISTING FLOOR TILE AND COVE BASE TO REMAIN, PATCH AND REPAIR AS REQUIRED, REFER TO ID4.0 FOR FINISHES
- 3 PATCH AND REPAIR EXISTING GYP BOARD SHEATHING OR TO SUBSTRATE. REFER TO ID SHEETS FOR NEW FINISHES.
- 4 EXISTING WALL TILE AND THE FLOOR TILE TO REMAIN, PATCH AND REPAIR AS REQUIRED.
- 5 NEW PLUMBING FIXTURES. REPLACE ALL FIXTURES WITH NEW TO MATCH EXISTING. SEE A7.0 FOR MORE INFORMATION.
- 6 EXISTING BEVERAGE MACHINE AND STAINLESS STEEL CABINETS SHALL BE REPLACED. GC SHALL REMOVE AND RE-INSTALL AS REQUIRED FOR NEW WALL FINISHES. PROVIDE PROTECTION OF EQUIPMENT AS REQUIRED. DO NOT STORE EQUIPMENT OUTSIDE IN INCLEMENT WEATHER. IF THE SERVICE LINES ARE EXPOSED TO THE PUBLIC AT THE SELF-SERVE DRINK STATION, THEN A STAINLESS CHASE SHOULD BE INSTALLED.
- 7 SEE ID DRAWINGS FOR NEW FURNITURE AND TRASH RECEPTACLES.
- 8 EXISTING MENU BOARD, AND BREAKFAST BOARD TO REMAIN. G.C. TO PROVIDE BLOCKING AS REQUIRED. PATCH AND REPAIR CEILING GRID, TILES, OR WALLS AS REQUIRED. VERIFY LOCATION OF BREAKFAST MENU BOARD IN FIELD.
- 9 GC SHALL INSTALL NEW BLOCKING IN WALLS AS REQUIRED FOR NEW ARTWORK. PATCH AND PREP WALLS AS REQUIRED.
- 10 REPLACE EXISTING WINDOW SHADES IN DINING ROOM IF DAMAGED OR MISSING.
- 11 INSTALL NEW WALL FINISHES BELOW FRONT COUNTER. SEE ID DRAWINGS FOR INTERIOR ELEVATIONS AND FINISH SCHEDULE.
- 12 NO WORK THIS AREA UNLESS OTHERWISE NOTED.
- 13 REPLACE EXISTING FR OPERATOR PLAQUE AT FRONT COUNTER
- 14 REPLACE EXISTING DINING ROOM MAX OCCUPANCY SIGN.
- 15 EXISTING COUNTERTOP TO REMAIN IF IN GOOD CONDITION, UNLESS IS IT IS A TRIBELLA FINISH.
- 16 REMOVE RED FILM INSTALLED ON THE GLASS OF THE D/T WINDOW AREA
- 17 ADD NEW, OR REPLACE ANY NON-JIB 24-HOUR DRIVE-THRU HANGING WINDOW SIGN WITH BRAND-SPECIFIC 24-HOUR DRIVE-THRU HANGING WINDOW SIGN
- 18 REPLACE EXISTING RESTROOM WALL & DOOR SIGNAGE. SEE ID SHEET FOR MORE INFORMATION
- 19 REPLACE EXISTING HANDWASH & CLEANLINESS SIGNAGE IN RESTROOMS
- 20 EXISTING STOREFRONT MAY REMAIN IF IT IS DUAL-PANE AND IN GOOD CONDITION. IF THEY NEED TO BE REPLACED, CHOOSE FROM THE FOLLOWING:



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SAN DIEGO, CA 92123  
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**DATES**

RELEASE: MARCH 04, 2022  
P.M. UPDATES: APRIL 29, 2022  
SUBMITTAL DATE:  
1: \_\_\_\_\_  
2: \_\_\_\_\_  
3: \_\_\_\_\_

BID: \_\_\_\_\_  
CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

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**OWENS DESIGN CONSULTANTS**  
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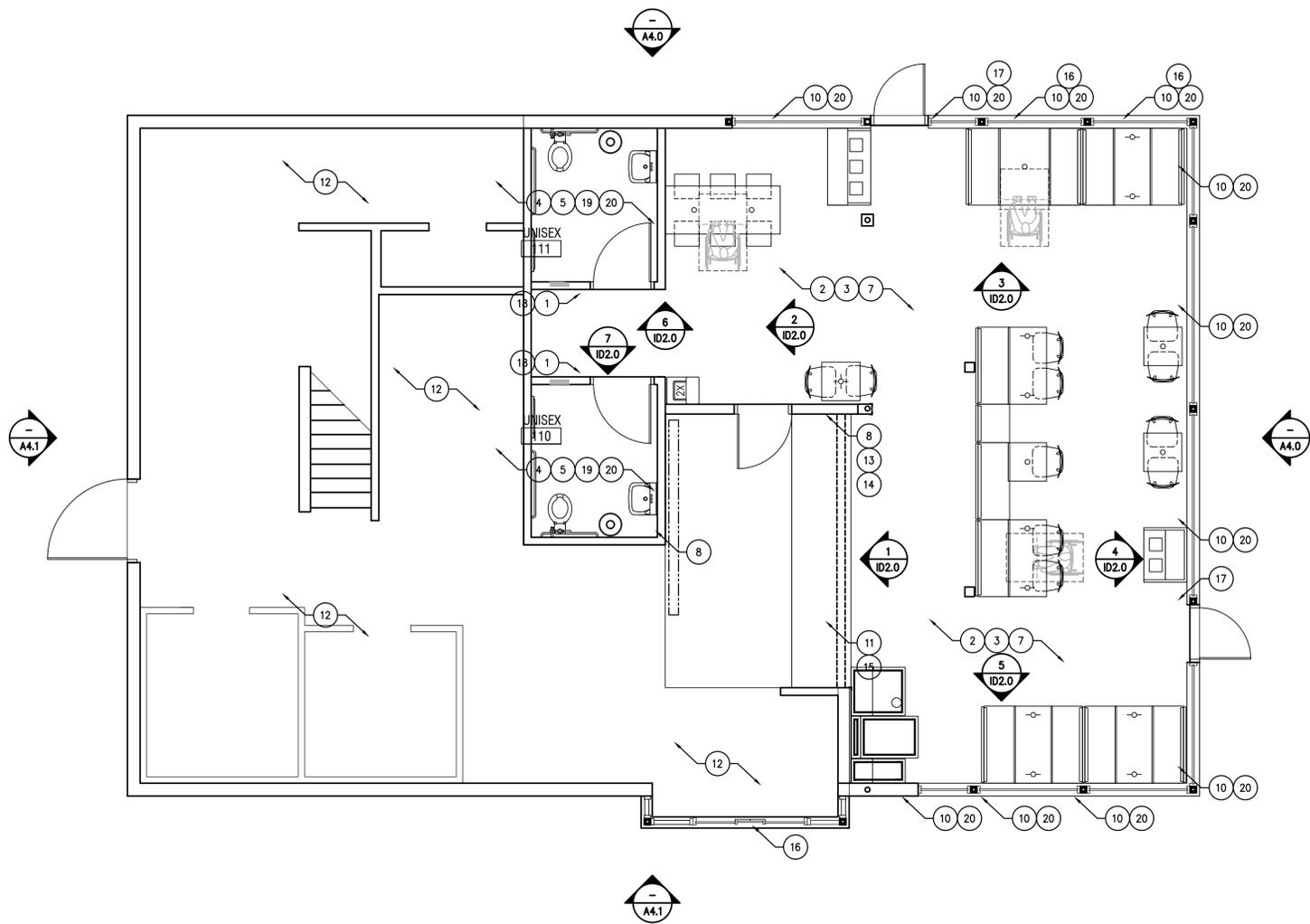
EXP. 6/30/25

**SITE INFORMATION**

MK TYPE: MK3  
JIB #: #426  
ADDRESS:  
1301 Camden Ave  
Campbell, CA, 95008  
DRAWN BY: GPalmerin  
PROJECT #:  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN**

**A1.0**



**LEGEND**

SEE SCOPE OF WORK ABOVE

SEATS: 35 SEATS, 2 ADA SEATS.

SCOPE OF WORK SQUARE FOOTAGE:

- A.) DINNING ROOM: 735 SF
- B.) BATHROOMS: 105 SF
- C.) KITCHEN: 341 SF



GRILLE, REGISTER AND DIFFUSER SCHEDULE									
MARK	MANUFACTURER	MODEL	TYPE	NECK SIZE (L" X W")	FACE SIZE (L" X W")	FRAME TYPE	FINISH	NC	ACCESSORIES
A	TITUS	OMNI-AA	SQUARE MODULAR SUPPLY DIFFUSER	PER PLAN	24" X 24"	LAY-IN	WHITE	<30	
B	TITUS	TMS-AA	SQUARE CONE SUPPLY DIFFUSER	PER PLAN	12" X 12"	SURFACE	WHITE	<30	
C	TITUS	50F	EGGCRATE EXHAUST GRILLE	10" X 10"	12" X 12"	SURFACE	WHITE	<30	STR
D	TITUS	350RL	HINGED RETURN GRILLE	46" X 22"	48" X 24"	LAY-IN	WHITE	<30	
E	TITUS	PAS-AA	PERFORATED DIFFUSER-ADJUST PATTERN DIFFUSERS FOR THROW DISTRIBUTION INDICATED ON PLAN	PER PLAN	24" X 24"	LAY-IN	WHITE	<30	
F	TITUS	50F	EGGCRATE EXHAUST GRILLE	10" X 10"	12" X 12"	LAY-IN	WHITE	<30	STR, VO
G	TITUS	TMS-AA	SQUARE CONE SUPPLY DIFFUSER	PER PLAN	12" X 12"	LAY-IN	WHITE	<30	VO
H	TITUS	350RL	HINGED RETURN GRILLE	22" X 22"	24" X 24"	LAY-IN	WHITE	<30	
I	TITUS	TMS-AA	SQUARE CONE SUPPLY DIFFUSER	PER PLAN	24" X 24"	LAY-IN	WHITE	<30	

ACCESSORIES:  
OBD-OPPOSED BLADE DAMPER, STR-SQUARE TO ROUND TRANSITION, VO-VESTIBULE OPTION.

NOTES:  
1) ACCEPTABLE ALTERNATE MANUFACTURERS INCLUDE: CARNES, KRUEGER, METALAIRE, PRICE, AND TUTTLE & BAILEY.

**GENERAL NOTES**

- A. ALL HEIGHT SHOWN ARE FROM TOP OF CONCRETE SLAB (F.F.I.).
- B. DIMENSIONS ARE FROM FINISH FLOOR AND / OR FINISHED DRYWALL.
- C. ALL LIGHT FIXTURES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. PENDANTS SHALL BE CENTERED ON TABLE UNO. IN GENERAL, FIXTURES SHALL BE ALIGNED AND LOCATED AS SHOWN, SEE DETAILS 12/103.1 AND 16/103.1
- D. LATERAL FORCE BRACING FOR SUSPENDED CEILING SYSTEM, SEE DETAIL 11/103.1.
- E. ALL GRILLES, FIXTURE TRIM, SPEAKERS AND UNITS LOCATED IN CEILING SHALL BE FINISHED TO MATCH THE ADJACENT CEILING FINISH COLOR.
- F. COORDINATE REMOVAL AND REINSTALLATION OF EXISTING CAMERAS OR SPEAKERS WITH VENDOR.
- G. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES BEFORE ORDERING AND INSTALLING MATERIAL.
- H. RECOMMENDED TO CLEAN HVAC PLENUMS & AIR DUCTS, AND REPLACE ALL HVAC SYSTEM FILTERS.
- I. RECOMMENDED TO CONDUCT A FULL BUILDING HVAC AIR BALANCE WITH 3RD PARTY COMPANY LIKE MELINK TO VERIFY SYSTEMS ARE FUNCTIONING PROPERLY, IMPROVE AIR QUALITY, AND ELIMINATE/MINIMIZE NUISANCE ODOR AND SMOKE CAPTURE ISSUES

**KEY NOTES**

- 1) REPLACE ALL OF DINING ROOM CEILING GRID AND TILES, SEE ID DRAWINGS FOR NEW SPECS.
- 2) EXISTING BACK OF HOUSE CEILING GRID AND TILE TO REMAIN.
- 3) INSTALL NEW 2' x 2' FLAT PANEL LED LIGHT FIXTURE. INFILL EXISTING CEILING GRID AS REQUIRED AT FORMER 2' x 4' TROFFER LIGHT LOCATIONS.
- 4) INSTALL NEW RECESSED LED CAN LIGHT FIXTURES IN FORMER CAN LIGHT LOCATIONS.
- 5) INSTALL NEW PENDANTS AS SHOWN. CENTER OVER TABLES. GC SHALL PROVIDE NEW BLOCKING AS REQUIRED.
- 6) INSTALL NEW CHANDELIER AS SHOWN. CENTER OVER TABLES. GC SHALL PROVIDE NEW BLOCKING AS REQUIRED.
- 7) INSTALL NEW CEILING TILES TO MATCH EXISTING CONSTRUCTION. REPLACE WASHABLE CEILING TILES AT FRONT COUNTER AND CONDIMENT COUNTER, AND REGULAR CEILING TILES AT ALL OTHER LOCATIONS INCLUDING ALL FORMER CAN LIGHT, WEDGE CEILING TILE, CEILING FANS AND FORMER RED CEILING TRACK LOCATIONS.
- 8) WHERE FORMER VANITY LIGHT WAS REMOVED, PATCH WALL FINISH AS REQUIRED. INSTALL BLANK COVER PLATE OVER JUNCTION BOX, AND PAINT TO MATCH ADJACENT WALL / CEILING FINISH.
- 9) INSTALL NEW 1' x 4' FLAT PANEL LED LIGHT FIXTURES AS SHOWN.
- 10) IN-FILL EXISTING GYP. BOARD CEILING AT FORMER LIGHT FIXTURE OPENINGS AS REQUIRED. PREP AND PAINT CEILING PER ID DRAWINGS.
- 11) PREP AND PAINT ALL EXISTING CEILING HEADERS, TRIM GRID AND TILE PER ID DRAWINGS.
- 12) CEILING MOUNTED LIGHT UNDER CANOPY. G.C TO PAINT CONDUIT TO MATCH CANOPY COLORS.
- 13) LINE OF NEW CANOPY.
- 14) WALL MOUNTED LIGHT FIXTURE.
- 15) INSTALL HANGING PICK-UP SIGN OVER THE FRONT COUNTER BASED ON THE MK STYLE DESIGNS
- 16) REPLACE PLAY NETWORK MUSIC SYSTEM IF MISSING OR NOT FUNCTIONING PROPERLY
- 17) REPLACE ALL OF DINING ROOM SPEAKERS, DIFFUSERS AND RETURN AIR GRILLES COMPLETE. SEE ID DRAWINGS FOR NEW SPECS
- 18) RESTROOM EXHAUST FANS SHOULD BE CONNECTED TO THE LIGHT FIXTURE SWITCH OR MOTION SENSOR AND THE FANS NEED TO BE FULLY OPERATIONAL

**Jack In the Box**  
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**DATES**

RELEASE: MARCH 04, 2022

P.M. UPDATES: APRIL 29, 2022

SUBMITTAL DATE:

1: \_\_\_\_\_

2: \_\_\_\_\_

3: \_\_\_\_\_

BID: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

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**SITE INFORMATION**

MK TYPE: MK3

JIB #: #426

ADDRESS:  
1301 Camden Ave  
Campbell, CA, 95008

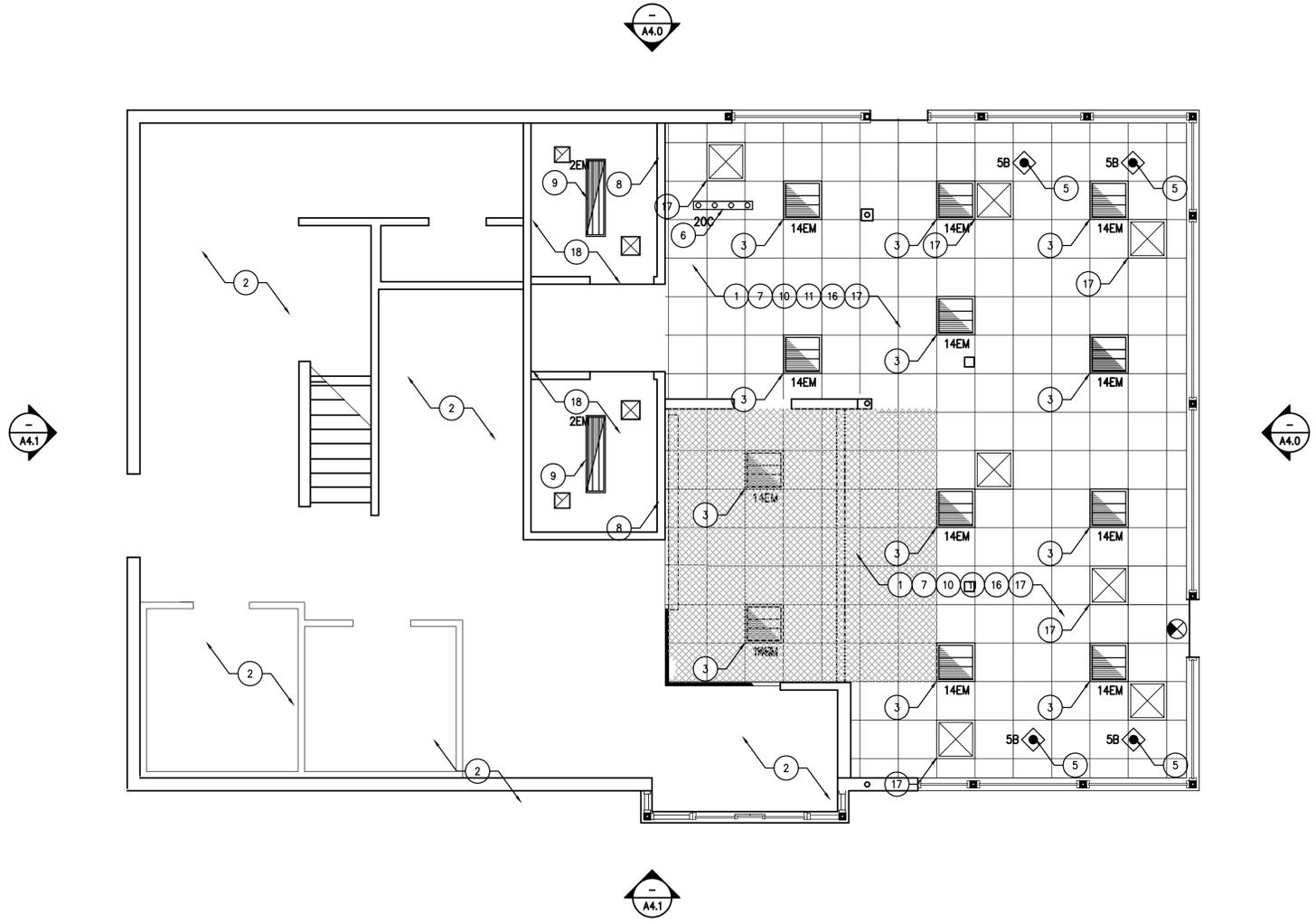
DRAWN BY: GPalmerin

PROJECT #: \_\_\_\_\_

SCALE: 1/4" = 1'-0"

**REFLECTED CEILING PLAN**

**A2.0**



**LIGHTING SCHEDULE**

- 14A 2'X2' RECESSED LED BACKLIT FLAT PANEL, NUVO 65-571, 40W,4600 LUMENS, 100V-277V, 3500K COLOR, 0-10V DIMMING
- 2EM 1X4 LED EM BACKLIT FLAT PANEL; 1X4 BACKLIT PANEL FLANGE KIT, 3500K COLOR TEMP
- 14B 2'X2' RECESSED LED BACKLIT FLAT PANEL, NUVO 65-571, 40W,4600 LUMENS, 100V-277V, 3500K COLOR, 0-10V DIMMING; REFER TO KEY NOTES ON E3.0 FOR ADDITIONAL INFORMATION
- 5B BOOTH PENDANT LIGHT, CARTONE, 20.75"H X 17"W X 59"OAH, LINE VOLTAGE, STEEL FRAME OLDE BRONZE FINISH,
- 20C "LAKE" BRONZE PENDANT FIXTURE 36"W X 10"H WITH 36" STEM.
- 1A 5/8" RETROFIT BAFFLE - TRIM LED MODULE, 90 CRI, 3500K, MATTE WHITE, HIGH LUMEN

**LEGEND**

- 2' X 2' DIFFUSER
- 2' X 4' RETURN AIR GRILLE
- DIFFUSER
- EXHAUST FAN
- EXIT LIGHT
- CEILING DESIGNATION
- CEILING FINISH. SEE FINISH SCHEDULES
- AREA OF EXISTING WASHABLE TILE (VERIFY IN FIELD AND WITH CODE REQUIREMENTS)



MK90/MK108/MK11A/REMODELS UPDATED 04/29/2022					
LIGHTING SCHEDULE					
ITEM #	PLAN SYMBOL	DESCRIPTION	MFR/MODEL	LAMP	WATTS/FIXTURE
1A		5 1/2" RETROFIT BAFFLE - TRIM LED MODULE, 90 CRI, 3500K, MATTE WHITE, HIGH LUMEN	COOPER LIGHTING SOLUTIONS #L1560WH12935 #H750CAT (6" ROUGH IN HSG)	INTEGRAL WITH FIXTURE	12
1C		6" DIA. ARCHITECTURAL WALL WASH DOWNLIGHT, 0-10V DIMMING TO 10%, 3500K, IN ACOUSTIC TILE CEILING.	HALO # HCS20D10-HM612835 61RWWW	INTEGRAL WITH FIXTURE	30
2A		1X4 LED BACKLIT FLAT PANEL; 1X4 BACKLIT PANEL FLANGE KIT, 4400-4600L, 100V-277V, 0-10V DIMMING ONLY, 3500K COLOR TEMP	NUVO 65-573 1X4 BACKLIT PANEL FLANGE KIT: NUVO 65-588	INTEGRAL WITH FIXTURE	40
2B		1X4 LED BACKLIT FLAT PANEL; 1X4 BACKLIT PANEL FLANGE KIT, 4400-4600L, 100V-277V, 0-10V DIMMING ONLY, 3500K COLOR TEMP	NUVO 65-573 1X4 BACKLIT PANEL FLANGE KIT: NUVO 65-588	INTEGRAL WITH FIXTURE	40
2EM		1X4 LED EM BACKLIT FLAT PANEL; 1X4 BACKLIT PANEL FLANGE KIT, 3500K COLOR TEMP	NUVO 65-577 1X4 LED EM BACKLIT FLAT PANEL NUVO 65-577 PANEL FLANGE KIT: NUVO 65-588	INTEGRAL WITH FIXTURE	40
3B		"LAKE 1" MINI PENDANT FIXTURE, BRONZE FINISH WITH COPPER ACCENTS 8"W X 13.75"H WITH 36" STEM.	SATCO #60-5855	(1)- BULBRITE #776801 5 WATT LED NOSTALGIC LAMP (LAMP FURNISHED WITH LIGHTING PACKAGE, E.C. TO INSTALL)	5
4A		PENDANT WITH SATIN ALUMINUM FINISH AND BLACK CORD.	BASELITE CORPORATION #JL416/58/BLK	(1) GE 76038 LED LED150A2/827 (LAMP NOT INCLUDED, E.C. TO PROVIDE)	15
5A		BOOTH PENDANT LIGHT, EDGE 30, 19"W X 11"L X 11"H, LINE VOLTAGE, WHITE FINISH, THERMOPLASTIC MATERIAL.	ARTEMIDE #1294018A	(1) CREE A19-40W-27K-B1 (LAMP FURNISHED WITH LIGHTING PACKAGE, E.C. TO INSTALL)	5
5B		BOOTH PENDANT LIGHT, CARTONE, 20.75"H X 17"W X 59"OAH, LINE VOLTAGE, STEEL FRAME OLDE BRONZE FINISH.	KICHLER #4252502 (OLDE BRONZE)	(1) BULBRITE 776801 (LAMP FURNISHED WITH LIGHTING PACKAGE, E.C. TO INSTALL)	5
6A		2X4 LED BACKLIT FLAT PANEL; 0-10V DIMMING ONLY, 5500L - 5750L, 3500K COLOR TEMP	NUVO 65-572	INTEGRAL WITH FIXTURE	50
7A		PLASTIC LED EXIT SIGN, SINGLE FACE, AC W/BATTERY BACKUP, RED LETTERS, WHITE HOUSING, WIRED TO REMOTE HEAD "7B" WHERE INDICATED.	LSI: EXRUBWBHSD2	INTEGRAL WITH FIXTURE	3.6
7B		REMOTE LED FIXTURE WITH SINGLE HEAD, WET LOCATION RATED.	LSI: SRL S GR-SDC-WL	INTEGRAL WITH FIXTURE	1.5 EA
8A		4' SURFACE MOUNTED LED LINEAR LUMINAIRE, 40 W, 5200 LUMENS, 500K COLOR, 102-277 V, POLYCARBONATE HOUSING SUITABLE FOR WATER AND DUST PROTECTION.	BARRON, TRACE LITE: VPA-4-40-C	INTEGRAL WITH FIXTURE	40
9A		VAPOR TIGHT HOOD LIGHT, FURNISHED WITH HOOD. INSTALLED BY E.C.	FURNISHED WITH HOOD	1-100W TB19	100
10A		VAPORTIGHT POLE TOP LIGHT WITH RED GLASS GLOBE, CAST WEATHERPROOF BOX AND GLASS GLOBE GUARD. MOUNT FIXTURE WITH GLOBE "UP".	RAB LIGHTING VX200-3/4-GD200DG-GL200R (RED)	(1)- LED14A19/DIM/O/827 (LAMP FURNISHED WITH LIGHTING PACKAGE, E.C. TO INSTALL)	14
11A		LED WALL MOUNTED SCONCE FIXTURE, 3625 LUMENS, BRONZE FINISH.	LIGHTWAY # DXRW18-LED-U-25W-4-M13	INTEGRAL WITH FIXTURE	25
11B		LED WALL MOUNTED SCONCE FIXTURE, BRONZE FINISH (CLOSED TOP FOR DARK SKY COMPLIANCE)	LIGHTWAY # DXRW18-LED-U-25W-4-M13-TC	INTEGRAL WITH FIXTURE	25
11C		LED WALL MOUNTED SCONCE FIXTURE, BRONZE FINISH, REMOTE EMERGENCY BACK-UP VIA INVERTER.	LIGHTWAY # DXRW18-LED-U-25W-4-M13	INTEGRAL WITH FIXTURE	25
12A		SELF-CONTAINED EMERGENCY LIGHTING UNIT WITH L.E.D. LAMP HEADS, MAINTENANCE-FREE 3.6 VOLT NI-CAO BATTERY, WHITE FINISH AND SELF-TEST/SELF-DIAGNOSTICS.	EXTRONIX # LED-90-02	INTEGRAL WITH FIXTURE	2.2
13A		RECESSED LOW PROFILE LED SOFFIT LUMINAIRE, 4815 LUMENS, 4000K, COLOR TEMP, UNIVERSAL 120-277V, SILVER FINISH	BARRON: SCP-R-36-P-VS-4K-SV	INTEGRAL WITH FIXTURE	36
13B		RECESSED LOW PROFILE LED SOFFIT LUMINAIRE, 4815 LUMENS, 4000K, COLOR TEMP, UNIVERSAL 120-277V, SILVER FINISH, EMERGENCY OPERATION VIA INVERTER	BARRON: SCP-R-36-P-VS-4K-SV	INTEGRAL WITH FIXTURE	36
13C		CPY SERIES SURFACE MOUNT CANOPY LUMINAIRE, 4000K, COLOR TEMP, 60W, UNIVERSAL VOLTAGE 120-277V, SILVER FINISH	CREE # CPY250-B-DM-F-A-UL-SV-40K	INTEGRAL WITH FIXTURE	60
13D		CPY SERIES SURFACE MOUNT CANOPY LUMINAIRE, 4000K, COLOR TEMP, 31W, UNIVERSAL VOLTAGE 120-277V, SILVER FINISH	CREE # CPY250-B-DM-F-C-UL-SV-40K	INTEGRAL WITH FIXTURE	40
13E		12"x12" RECESSED CANOPY FIXTURE, 4400 LUMENS, 4000K COLOR TEMP, 36W,	ATLANTIC # LRF12X12-SYL44-4K-120-SQ12PRWH-GS	INTEGRAL WITH FIXTURE	36

LIGHTING SCHEDULE					
ITEM #	PLAN SYMBOL	DESCRIPTION	MFR/MODEL	LAMP	WATTS/FIXTURE
REIMAGE 3EM		12"x12" RECESSED CANOPY FIXTURE, 4400 LUMENS, 4000K COLOR TEMP, 36W, INTEGRAL EMER. BATTERY.	ATLANTIC # LRF12X12-SYL44-4K-120-EM-SQ12PRWH-GS	INTEGRAL WITH FIXTURE	36
13F		SURFACE MOUNT CANOPY FIXTURE, 4500 LUMENS, 4000K COLOR TEMP, 36W, SILVER FINISH.	LUMINAIRE# CCSI-DP-45-40K-SV	INTEGRAL WITH FIXTURE	36
REIMAGE 13F-EM		SURFACE MOUNT CANOPY FIXTURE, 4500 LUMENS, 4000K COLOR TEMP, 36W, SILVER FINISH, INTEGRAL EMER. BATTERY.	LUMINAIRE# CCSI-DP-45-40K-SV-881	INTEGRAL WITH FIXTURE	36
14A		2'X2 RECESSED LED BACKLIT FLAT PANEL, NUVO 65-571, 40W,4600 LUMENS, 100V-277V, 3500K COLOR, 0-10V DIMMING	NUVO 65-571	INTEGRAL WITH FIXTURE	40
14B		2'X2 RECESSED LED BACKLIT FLAT PANEL, NUVO 65-571, 40W,4600 LUMENS, 100V-277V, 3500K COLOR, 0-10V DIMMING; REFER TO KEY NOTES ON E.3.0 FOR ADDITIONAL INFORMATION	NUVO 65-571	INTEGRAL WITH FIXTURE	40
14C		2'X2 SURFACE MOUNTED LED BACKLIT FLAT PANEL, NUVO 65-571, 40W,4600 LUMENS, 100V-277V, 3500K COLOR, 0-10V DIMMING	LED FLAT PANEL: NUVO 65-571 2X2 SURFACE MOUNT FRAME: NUVO 65-596	INTEGRAL WITH FIXTURE	40
14D		2'X2 SURFACE MOUNTED LED BACKLIT FLAT PANEL, NUVO 65-571, 40W,4600 LUMENS, 100V-277V, 3500K COLOR, 0-10V DIMMING	LED FLAT PANEL: NUVO 65-571 2X2 SURFACE MOUNT FRAME: NUVO 65-596	INTEGRAL WITH FIXTURE	40
REIMAGE 14EM		2'X2 SURFACE MOUNTED LED BACKLIT FLAT PANEL, NUVO 65-575, 40W,4600 LUMENS, 100V-277V, 3500K COLOR, 0-10V DIMMING	EMERGENCY PANEL- NUVO 65-575 2X2 SURFACE MOUNT FRAME: NUVO 65-596	INTEGRAL WITH FIXTURE	40
15A		LINEAR LENSED LED STRIPLIGHT, LINKABLE 120VAC, [11.8", 47.3"] LONG WITH HARDWIRE J-BOX AND CONNECTORS. VERIFY LENGTH WITH COVE DIMENSION PRIOR TO ORDERING	DALUME DLNL-20-DLV-TS354 DLNL-10-DLV-TS354 DLNL-5-DLV-TS354 DLN41 DLN4A3-72	INTEGRAL WITH FIXTURE	4,8,15
16A		24" LED UNDERCABINET LIGHT.	VersalED # VLUCA-B-24L-120V-40K	INTEGRAL WITH FIXTURE	10
17A		LED WALL WASH WITH 18" CUSTOM ARM, DURABLE DIE-CAST ALUMINUM HOUSING (BRONZE COLOR), TEMPERED GLASS LENS, 4000K COLOR TEMP, 120-277V	RAB# X17FA15; CUSTOM ARM/MOUNT 18"	INTEGRAL WITH FIXTURE	15
19A		WALL MOUNTED LED FIXTURE WITH AL HOUSING AND SILVER FINISH.	BARRON #BAWX-1-25-C-SV	INTEGRAL WITH FIXTURE	25
19B		WALL MOUNTED LED FIXTURE WITH AL HOUSING AND SILVER FINISH.	BARRON #BAWX-1-25-C-SV	INTEGRAL WITH FIXTURE	25
20C		"LAKE" BRONZE PENDANT FIXTURE 36"W X 10"H WITH 36" STEM.	SATCO #60-5854	(4)- BULBRITE #776801 5 WATT LED NOSTALGIC LAMPS (LAMP FURNISHED WITH LIGHTING PACKAGE, E.C. TO INSTALL)	25
22A		ROOF PARAPET MOUNTED LED FACADE WASH WITH ALUMINUM HOUSING AND DARK BRONZE FINISH. FOLLOW MOUNTING/AIMING INSTRUCTIONS.	RAB # X17FA15	INTEGRAL WITH FIXTURE	15
23A		1" TRACK-MOUNTED LED FIXTURES WITH ALUMINUM HOUSING, BLACK FINISH. TRACK AVAILABLE IN 2, 4, 6 & 8FT LENGTHS	HALO TRACK LIGHTING HEAD #81211FL9035MB L652MB - 8' TRACK L651MB - 4' TRACK L650MB - 2' TRACK L901MB - LIVE END	INTEGRAL WITH FIXTURE	15.5
25A		"E3MINI" SERIES WAVE MINI INVERTER WITH REMOTE TEST SWITCH AND MONITOR. REFER TO KEY NOTES ON E.3.0 FOR ADDITIONAL INFORMATION.	ISOLITE # E3MINI-250-LC-MB	---	250
26A		4" ROUND LINEAR WALL FIXTURE WITH WHITE FINISH, 600 LUMENS PER FOOT INDIRECT, 800 LUMENS PER FOOT DIRECT.	PEERLESS # R04-LSL-4FT-MSL4-80CRI-40K-1600LMF-800LMF-DARK-ZT-120-SC1-032	INTEGRAL WITH FIXTURE	80
27A		LED WALL MOUNTED LED FIXTURE, BRONZE FINISH	Hi-Lite H-LED20-BRZ/24-1-BRZ (900 LUMENS, 3000K, 120V, NON DIMMING	INTEGRAL WITH FIXTURE	9
SL2		SINGLE SITE LIGHT ALL ALUMINUM WITH GRAY FINISH, TYPE 2 DISTRIBUTION, OPTIONAL BACK SHIELD FOR FULL CUTOFF, 120-277V 50/60Hz, UL LISTED FOR WET LOCATIONS, ASYMMETRICAL SIDE THROW TYPICALLY USED ONLY IF WIDER THROW NEEDED THAN TYPE 3, ARM MOUNT, 22 FT. SINGLE DRILLED STEEL POLE. ALL COMPONENTS SHALL HAVE GRAY FINISH.	LIGHT, EXT. SITE, MED. GRID LITE FIXTURE 38,000 LUMENS, GREY FINISH, 2M DISTRIBUTION, MODEL # GL3/37H/2RM/740/STD/10/1PS/00/SGY/ES	INTEGRAL WITH FIXTURE	384
SL3		SINGLE SITE LIGHT ALL ALUMINUM WITH GRAY FINISH, TYPE 3 DISTRIBUTION, OPTIONAL BACK SHIELD FOR FULL CUTOFF, 120-277V 50/60Hz, UL LISTED FOR WET LOCATIONS, ASYMMETRICAL SIDE THROW TYPICALLY USED ON PERIMETER IN DRIVE THRU LANE, ARM MOUNT, 22 FT. SINGLE DRILLED STEEL POLE. ALL COMPONENTS SHALL HAVE GRAY FINISH.	LIGHT, EXT. SITE, MED. GRID LITE FIXTURE 38,000 LUMENS, GREY FINISH, 3M DISTRIBUTION, MODEL # GL3/37H/3RM/740/STD/10/1PS/00/SGY/ES	INTEGRAL WITH FIXTURE	384

LIGHTING SCHEDULE					
ITEM #	PLAN SYMBOL	DESCRIPTION	MFR/MODEL	LAMP	WATTS/FIXTURE
SL4		SINGLE SITE LIGHT ALL ALUMINUM WITH GRAY FINISH, TYPE 4 DISTRIBUTION, OPTIONAL BACK SHIELD FOR FULL CUTOFF, 120-277V 50/60Hz, UL LISTED FOR WET LOCATIONS, ASYMMETRICAL FORWARD THROW TYPICALLY USED ON PERIMETER NEEDING MAXIMUM FORWARD THROW, ARM MOUNT, 22 FT. SINGLE DRILLED STEEL POLE. ALL COMPONENTS SHALL HAVE SILVER FINISH.	LIGHT, EXT. SITE, MED. GRID LITE FIXTURE 38,000 LUMENS, GREY FINISH, 4S DISTRIBUTION, MODEL # GL3/37H/4WS/740/STD/10/1PS/00/SGY/ES	INTEGRAL WITH FIXTURE	384
SL5		SINGLE SITE LIGHT ALL ALUMINUM WITH GRAY FINISH, TYPE 5 DISTRIBUTION, OPTIONAL BACK SHIELD FOR FULL CUTOFF, 120-277V 50/60Hz, UL LISTED FOR WET LOCATIONS, SYMMETRICAL THROW TYPICALLY USED IN CENTER PORTIONS OF PARKING LOT AND NEAR MENU BOARDS, ARM MOUNT, 22 FT. SINGLE DRILLED STEEL POLE. ALL COMPONENTS SHALL HAVE GRAY FINISH.	LIGHT, EXT. SITE, MEDIUM GRID LITE FIXTURE 38,000 LUMENS, GREY FINISH, 50 DISTRIBUTION, MODEL # GL3/37H/5Q/740/STD/10/1PS/00/SGY/ES	INTEGRAL WITH FIXTURE	384
SL6		TWIN SITE LIGHT ALL ALUMINUM WITH GRAY FINISH, TYPE 4 DISTRIBUTION, 120-277V 50/60Hz, UL LISTED FOR WET LOCATIONS, COMBINED SYMMETRICAL THROW TYPICALLY USED IN CENTER PORTIONS OF PARKING LOT AND NEAR MENU BOARDS WHERE MAXIMUM LIGHT IS DESIRED, ARM MOUNT, 22 FT. TWIN DRILLED STEEL POLE. ALL COMPONENTS SHALL HAVE GRAY FINISH.	LIGHT, EXT. SITE, MED. GRID LITE FIXTURE 38,000 LUMENS, GREY FINISH, 4S DISTRIBUTION, MODEL # GL3/37H/4WS/740/STD/10/1PS/00/SGY/ES	INTEGRAL WITH FIXTURE	768

**LIGHTING SCHEDULE GENERAL NOTES:**

- ALL LIGHT FIXTURES AND LAMPS SHALL BE SUPPLIED BY THE OWNER AND INSTALLED & WIRED BY THE CONTRACTOR, UNLESS OTHERWISE NOTED.
- RESTAURANT TO OPERATE 24/7.
- ALL FIXTURE TYPES ON SCHEDULE MAY NOT BE USED.
- SITE LIGHTING NOTES:
  - WHERE TWIN HEADS ARE DESIRED ON LOT PERIMETER, REVISE MOUNTING OPTIONS TO:
  - LOWER WATTAGE "GL" FIXTURE VERSIONS CAN BE SUBSTITUTED AS NEEDED TO CONFORM TO AHJ AND ENERGY COMPLIANCE REQUIREMENTS:
    - GL3-26H (173W)
    - GL3-20H (126W)
    - GL3-15L (108W)
    - GL3-12L (82W)
  - PROVIDE MOTION SENSORS FOR 50% OF SITE LIGHTING WHERE ENERGY CODES BEING ENFORCED REQUIRE THE MOTION SENSORS.

**NATIONAL ACCOUNT PRICING**

VILLA LIGHTING  
2929 CHOUTEAU AVENUE  
ST. LOUIS, MO 63103  
CONTACT: RONDA SCHRAGE  
800-325-0963  
ronda.schrage@villalighting.com

**Jack**  
**In the box**  
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SAN DIEGO, CA 92123  
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**DATES**

RELEASE: MARCH 04, 2022  
P.M. UPDATES: APRIL 29, 2022

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3: \_\_\_\_\_

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CONSTRUCTION: \_\_\_\_\_

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145 N. 2ND AVENUE, SUITE 5  
Oakdale, CA 95361  
(209) 522-8031 - fax: (209) 522-4738 - www.owensdesign.com

REGISTERED PROFESSIONAL ENGINEER  
THOMAS J. OWENS  
No. 53530  
CIVIL  
STATE OF CALIFORNIA  
EXP. 6/30/25

**SITE INFORMATION**

MK TYPE: MK3  
JOB #: #426  
ADDRESS:  
1301 Camden Ave  
Campbell, CA, 95008  
DRAWN BY: GPalmerin  
PROJECT #: \_\_\_\_\_  
SCALE: 1/4" = 1'-0"

**LIGHTING SCHEDULE**  
**A2.1**



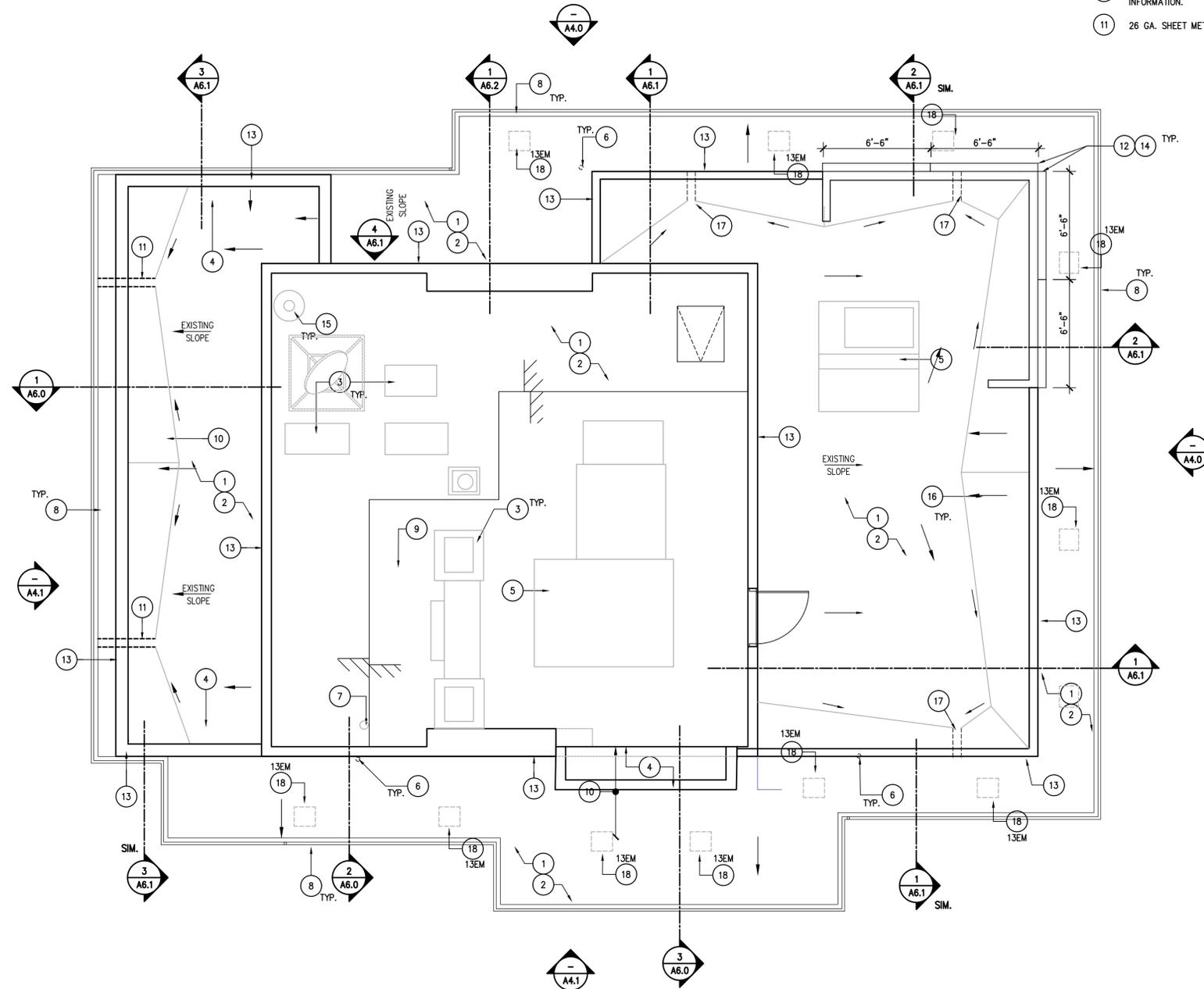
**GENERAL NOTES**

1. FOR ROOF FRAMING AND PLYWOOD LAYOUT INFORMATION, SEE STRUCTURAL DRAWINGS.

**KEY NOTES**

- 1 ROOFING & ROOF EQUIPMENT TO REMAIN. DESIGNER NOTE:  
• SCOPE OF WORK SHALL BE COORDINATED W/ FRANCHISEE, JIB FO OR CM.
- 2 REPAIR EXISTING ROOFING AS REQUIRED FOR NEW WORK OR REPLACE ROOFING COMPLETE W/ NEW CLASS "A" PVC ROOFING MEMBRANE. SEE SPECIFICATIONS.
- 3 EXISTING ROOF TOP EQUIPMENT TO REMAIN. TYP.
- 4 INSTALL ROOFING STRUCTURE AND MEMBRANE TO TIE INTO EXISTING TO REMAIN. SEE STRUCT. AND WALL SECTIONS FOR ADDITIONAL INFO.
- 5 EXISTING HVAC UNIT TO REMAIN.
- 6 DOWNSPOUT FOR ROOF DRAINAGE. FINISH TO MATCH METAL FASCIA.
- 7 EXISTING ROOF DRAIN TO REMAIN.
- 8 EXISTING 2x FRAMED INTEGRAL GUTTER BOX WITH NEW GUTTER INFILL AND METAL FASCIA. SEE A6 SHEET FOR ADDITIONAL INFO.
- 9 EXISTING ROOF ACCESS TO REMAIN AS IS.
- 10 INSTALL CRICKET. SEE WALL SECTION FOR ADDITIONAL INFORMATION.
- 11 26 GA. SHEET METAL SCUPPER, SEE DETAIL 02/A9.0

- 12 ILLUMINATED CORRUGATE WALL PANEL SYSTEM OVER WOOD FRAMING. DO NOT OVERLAP AT CORNERS. REFER TO STRUCTURAL AND WALL SECTIONS.
- 13 PARAPET WALL FRAMING PER WALL SECTIONS, REFER TO EXTERIOR ELEVATIONS AND STRUCTURAL DRAWINGS.
- 14 E.C. TO PROVIDE NEW J-BOXES FOR ILLUMINATED BRANDING PANEL SYSTEMS.
- 15 EXISTING EXHAUST FAN TO REMAIN.
- 16 EXISTING CRICKET TO REMAIN.
- 17 EXISTING SCUPPER TO REMAIN. REPAIR AS NEEDED TO TIE IN TO NEW EXTERIOR FINISH. SEE DETAIL 20/A9.0 FOR ADDITIONAL INFORMATION.
- 18 REMOVE AND REPLACE SOFFIT LIGHTS.



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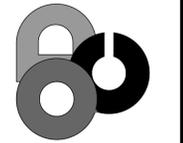
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**ROOF PLAN**

**A3.0**





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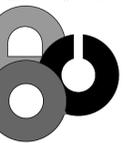
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EXP. 6/30/25

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ADDRESS:  
1301 Camden Ave  
Campbell, CA, 95008

DRAWN BY: GPalmerin

PROJECT #:

SCALE: AS NOTED

EXTERIOR ELEVATIONS

A4.0

GENERAL NOTES:

- ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C.).
- ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.
- FOR PANEL SYSTEM LAYOUT, SEE SHEET A4.2.
- FOR FACADE LUMINAIRES, SEE SHEET A2.1

EXTERIOR FINISH SCHEDULE

USE CHECKED BOX ONLY

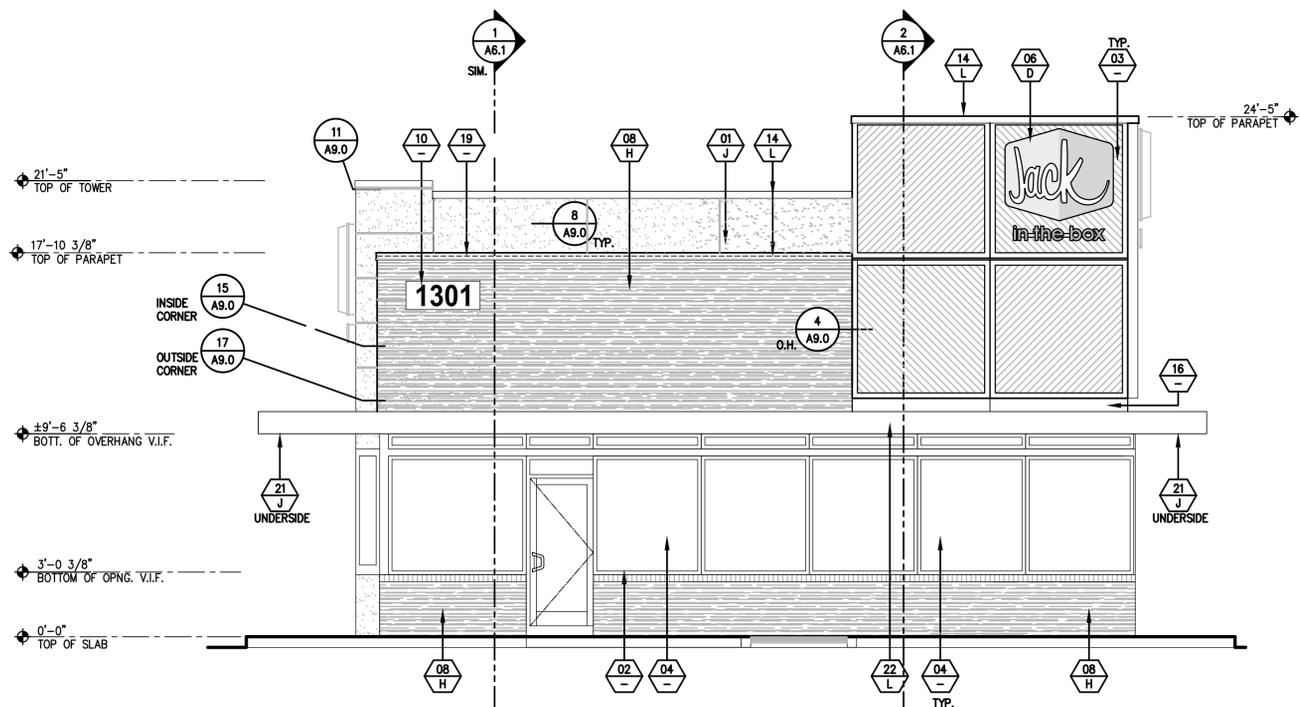
01 ← MATERIAL/FINISH ANTI-GRAFFITI COATING: DUMOND CPU647 GRAFFITI BARRIER  
 A ← COLOR COAT BY DUMOND CHEMICALS INC. (212) 869-6350  
 COLOR: CLEAR

MATERIAL/FINISH:

- 01 HARDIE ARCHITECTURAL PANEL SYSTEM WITH SAND FINISH
- 02 DOOR PULL, SEE DOOR SCHEDULE ← (OF-EQ13)
- 03 ILLUMINATED CORRUGATED WALL PANELS ← (OF-EQ10)
- 04 EXISTING ALUMINIUM STOREFRONT SYSTEM TO REMAIN
- 05 PAINT EXISTING CURBS TO MATCH ADJACENT WALL/FINISH COLOR
- 06 INTERNALLY ILLUMINATED SIGNAGE (O.F.O.I., NOT A PART OF THIS PERMIT)
- 07 WALL MOUNTED LIGHT FIXTURE, SEE DETAIL 16/A9.1 FOR FIXTURE ATTACHMENT
- 08 8" PORCELAIN WALL TILE
- 09 MOUNT LIGHTING FIXTURE WITHIN CANOPY
- 10 ILLUMINATED ADDRESS WITH 12" HEIGHT LETTERS (AS REQUIRED PER LOCAL JURISDICTION) (OF-EQ8)
- 11 DRIVE THRU WINDOW QUICKSERV, MODEL BPSC-4236 WITH SHELF BPSC-4236-CL-JIB
- 12 DISPLAY POSTER PANEL & SURROUND, SEE DETAIL 5/A9.2, 10/A9.2 (OF-EQ18) (OF-EQ19)
- 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
- 14 ALUMINIUM COPING
- 15 EXISTING CO2 FILL BOX METAL COVER
- 16 METAL FLASHING, PAINT TO MATCH BRANDING PANEL FRAME
- 17 MAIN ELECTRICAL SERVICE
- 18 ALUMINIUM REVEAL TRIM
- 19 PARAPET LED ROPE LIGHTING (SHOWN DASHED)
- 20 EXISTING WALL SIDING TO REMAIN. PREP FOR PAINT  
FACING STONE MATERIAL SHALL MATCH ACCORDING TO JIB GUIDELINES
- 21 SOFFIT
- 22 ALUMINIUM FASCIA TRIM
- 23 DOWNSPOUT, PAINT TO MATCH ADJACENT WALL/FINISH COLOR

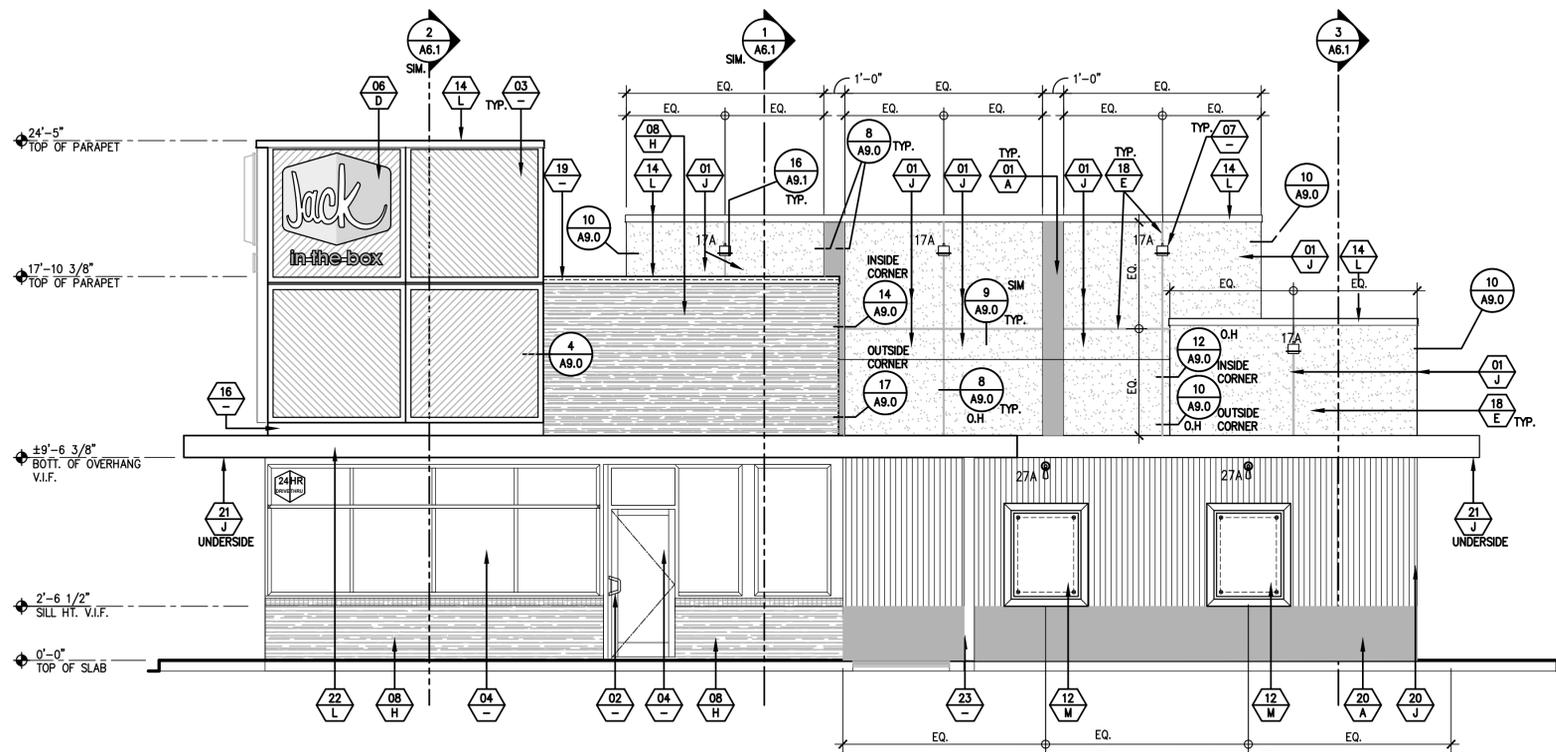
COLOR:

- A SHERWIN WILLIAMS: SW 7020 "BLACK FOX"
- B SHERWIN WILLIAMS: SW 6321 "RED BAY"
- C STANDARD STOREFRONT: CLEAR ANODIZED
- D WHITE TEXT ON RED BACKGROUND
- E CLEAR ANODIZED
- F COLOR/FINISH TO MATCH ADJACENT SURFACE
- G NOT USED
- H CROSSVILLE SPEAKEASY AV283, SWEET GEORGIA BROWN, WITH SAND BEIGE H148 GROUT (GC-T3)
- J SHERWIN WILLIAMS: SW 7016 "MINDFUL GRAY"
- K NATURAL CONCRETE, GRAY
- L RAL-7039 QUARTZ GREY
- M RAL-7022 UMBRA GREY



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

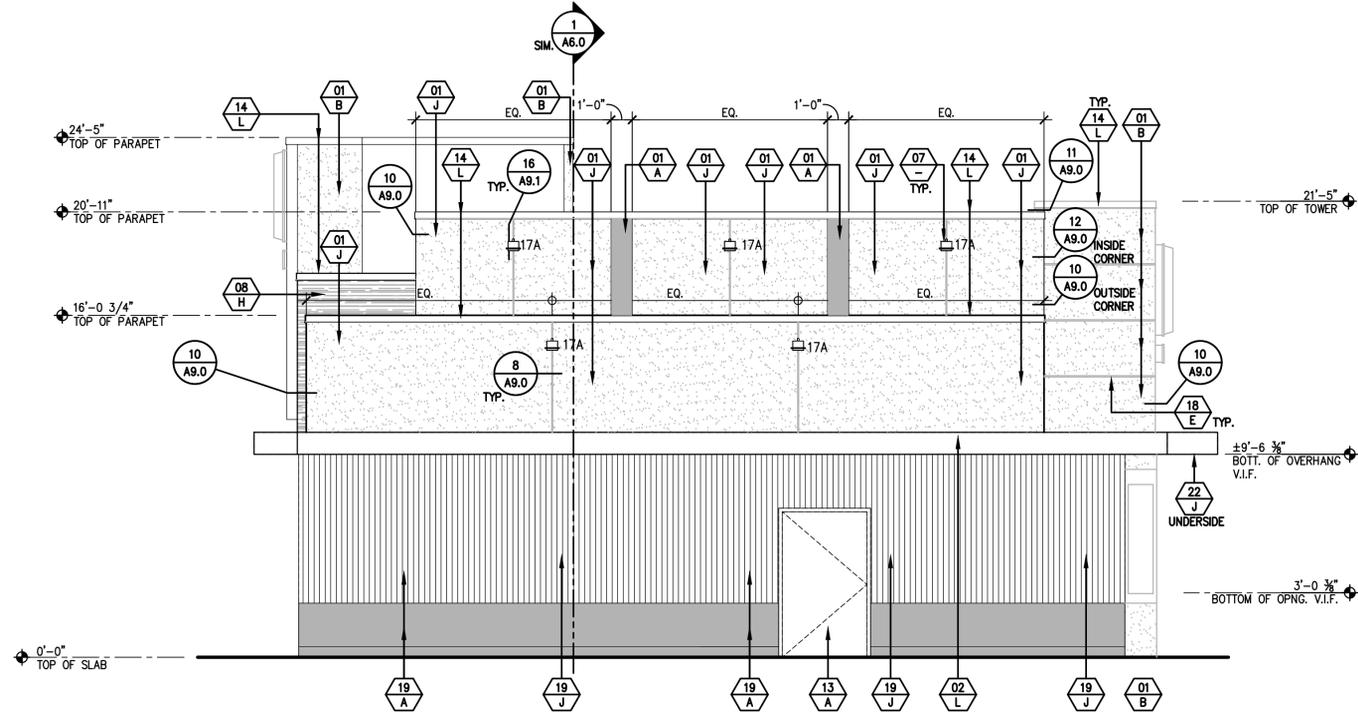


RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**

1. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C.).
2. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.
3. FOR PANEL SYSTEM LAYOUT, SEE SHEET A4.2.
3. FOR FACADE LUMINAIRES, SEE SHEET A2.1



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

**EXTERIOR FINISH SCHEDULE**

USE CHECKED BOX ONLY

- |    |                 |   |
|----|-----------------|---|
| 01 | MATERIAL/FINISH | ANTI-GRAFFITI COATING: DUMOND CPU647 GRAFFITI BARRIER |
| A  | COLOR           | COAT BY DUMOND CHEMICALS INC. (212) 869-6350          |
|    |                 | COLOR: CLEAR  |

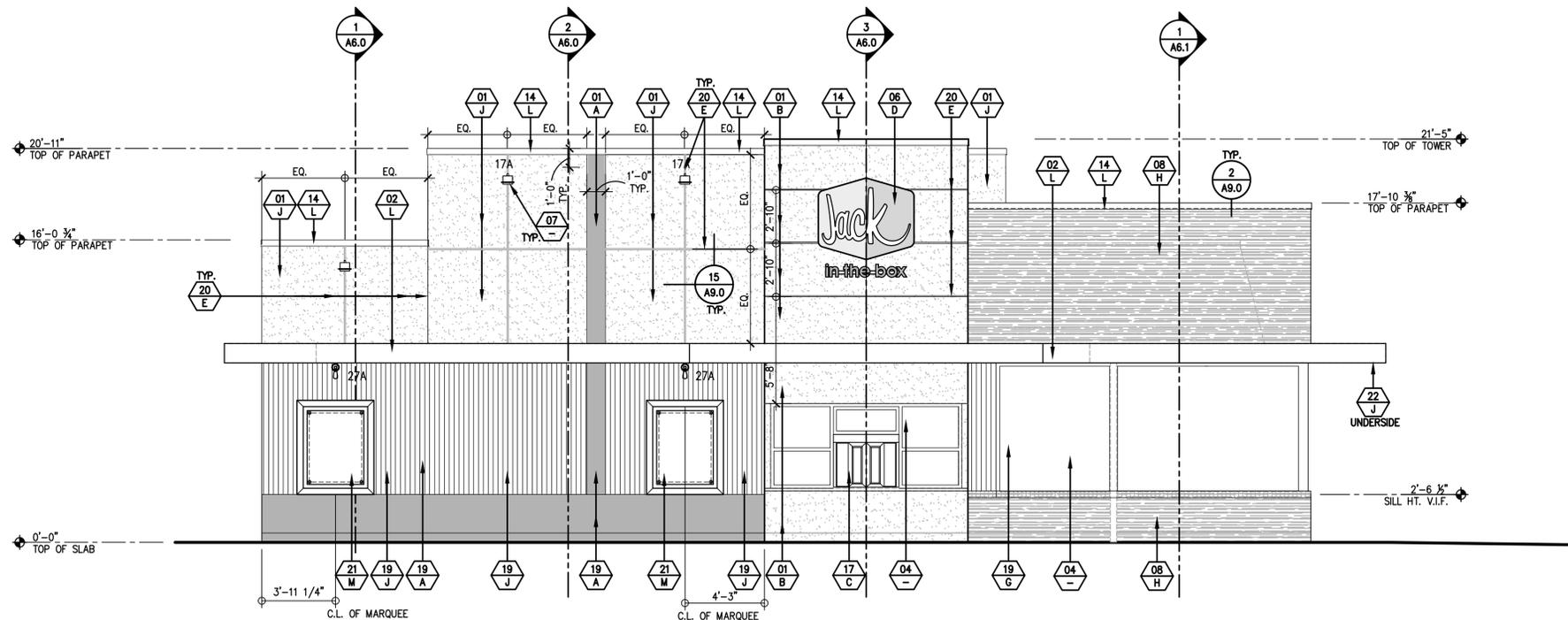
**MATERIAL/FINISH:**

- 01 HARDIE ARCHITECTURAL PANEL SYSTEM WITH SAND FINISH
- 02 DOOR PULL, SEE DOOR SCHEDULE <----- (OF-EQ13)
- 03 ILLUMINATED CORRUGATED WALL PANELS <----- (OF-EQ10)
- 04 EXISTING ALUMINIUM STOREFRONT SYSTEM TO REMAIN
- 05 PAINT EXISTING CURBS TO MATCH ADJACENT WALL/FINISH COLOR
- 06 INTERNALLY ILLUMINATED SIGNAGE (O.F.O.I., NOT A PART OF THIS PERMIT)
- 07 WALL MOUNTED LIGHT FIXTURE, SEE DETAIL 16/A9.1 FOR FIXTURE ATTACHMENT
- 08 8" PORCELAIN WALL TILE
- 09 MOUNT LIGHTING FIXTURE WITHIN CANOPY
- 10 ILLUMINATED ADDRESS WITH 12" HEIGHT LETTERS (AS REQUIRED PER LOCAL JURISDICTION) (OF-EQ8)
- 11 DRIVE THRU WINDOW QUICKSERV, MODEL BPSC-4236 WITH SHELF BPSC-4236-CL-JIB
- 12 DISPLAY POSTER PANEL & SURROUND, SEE DETAIL 5/A9.2, 10/A9.2 (OF-EQ18) & (OF-EQ19)
- 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
- 14 ALUMINIUM COPING
- 15 EXISTING CO2 FILL BOX METAL COVER
- 16 METAL FLASHING, PAINT TO MATCH BRANDING PANEL FRAME
- 17 MAIN ELECTRICAL SERVICE
- 18 ALUMINUM REVEAL TRIM
- 19 PARAPET LED ROPE LIGHTING (SHOWN DASHED)
- 20 EXISTING WALL SIDING TO REMAIN. PREP FOR PAINT
- 21 FACING STONE MATERIAL SHALL MATCH ACCORDING TO JIB GUIDELINES
- 22 SOFFIT
- 23 ALUMINUM FASCIA TRIM
- 23 DOWNSPOUT, PAINT TO MATCH ADJACENT WALL/FINISH COLOR

**COLOR:**

- |   |   |
|---|---|
| A | SHERWIN WILLIAMS: SW 7020 "BLACK FOX"                                       |
| B | SHERWIN WILLIAMS: SW 6321 "RED BAY"   |
| C | STANDARD STOREFRONT: CLEAR ANODIZED   |
| D | WHITE TEXT ON RED BACKGROUND  |
| E | CLEAR ANODIZED  |
| F | COLOR/FINISH TO MATCH ADJACENT SURFACE                                      |
| G | NOT USED  |
| H | CROSSVILLE SPEAKEASY AV283, SWEET GEORGIA BROWN, WITH SAND BEIGE H148 GROUT |
| J | SHERWIN WILLIAMS: SW 7016 "MINDFUL GRAY"                                    |
| K | NATURAL CONCRETE, GRAY  |
| L | RAL-7039 QUARTZ GREY  |
| M | RAL-7022 UMBRA GREY   |

GC-T3



**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"



**Jack In the Box**

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RELEASE: MARCH 04, 2022

P.M. UPDATES: APRIL 29, 2022

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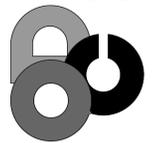
BID: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

REVISIONS

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**OWENS DESIGN CONSULTANTS**  
145 N. 2ND AVENUE, SUITE 5  
Oakdale, CA 95361  
(209) 522-8031 - fax: (209) 522-4738 - www.odcengr.com



SITE INFORMATION

MK TYPE: MK.3

JIB #: #426

ADDRESS:  
1301 Camden Ave  
Campbell, CA, 95008

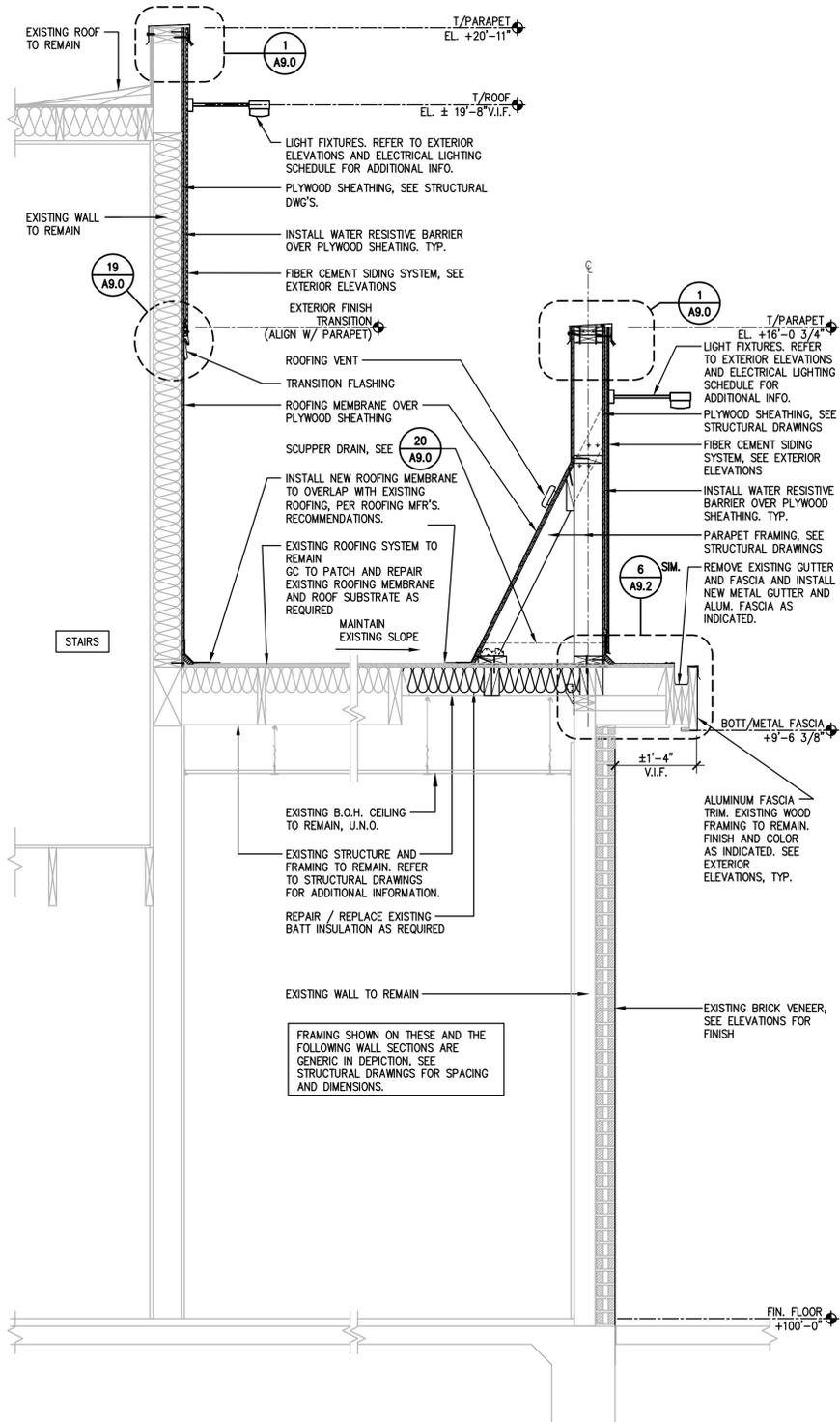
DRAWN BY: GPalmerin

PROJECT #:

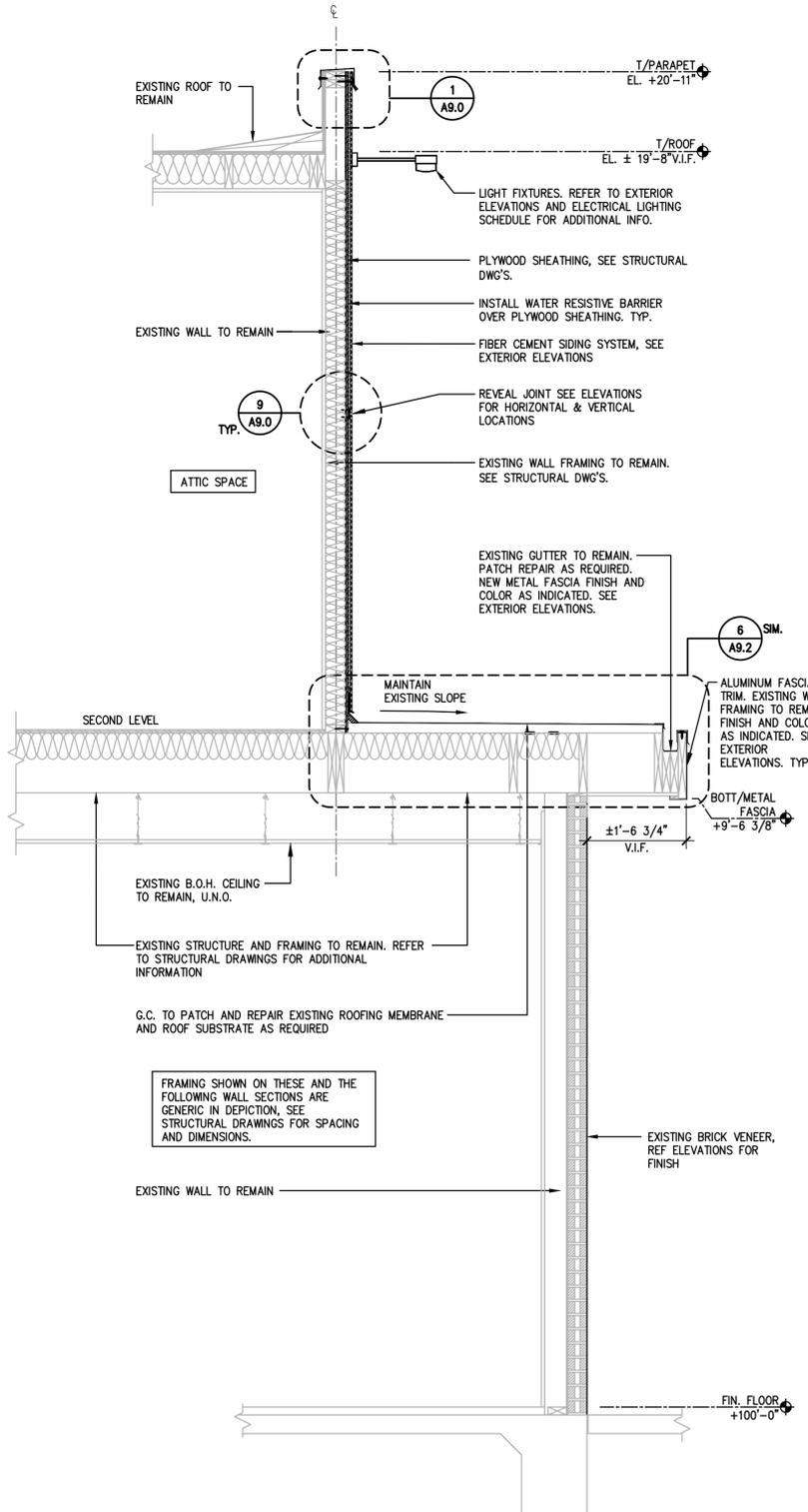
SCALE: AS NOTED

**EXTERIOR ELEVATIONS**

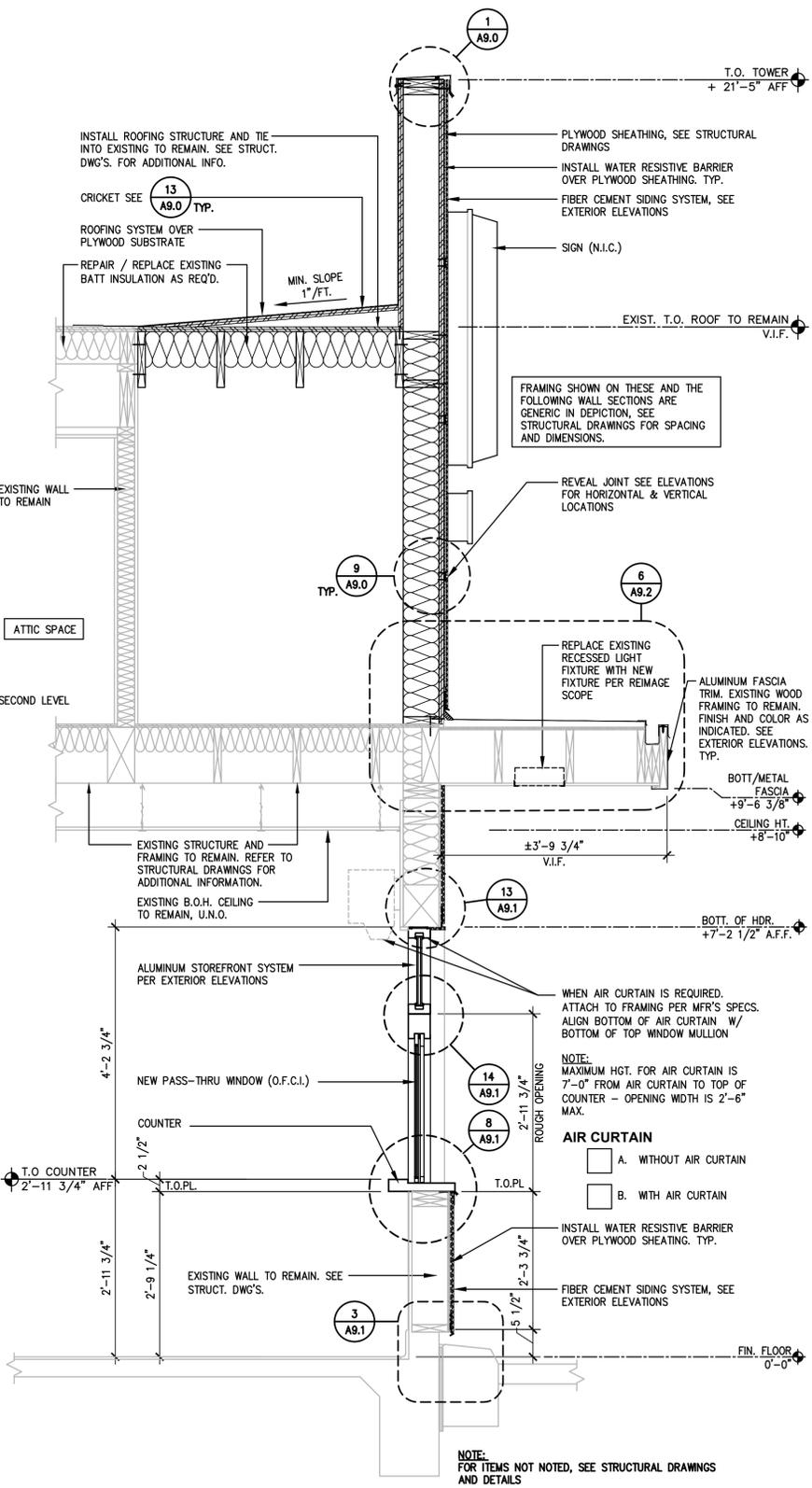
**A4.1**



1 WALL SECTION 3/4" = 1'-0"



2 WALL SECTION 3/4" = 1'-0"



3 WALL SECTION 3/4" = 1'-0"



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**REVISIONS**

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Oakdale, CA 95361  
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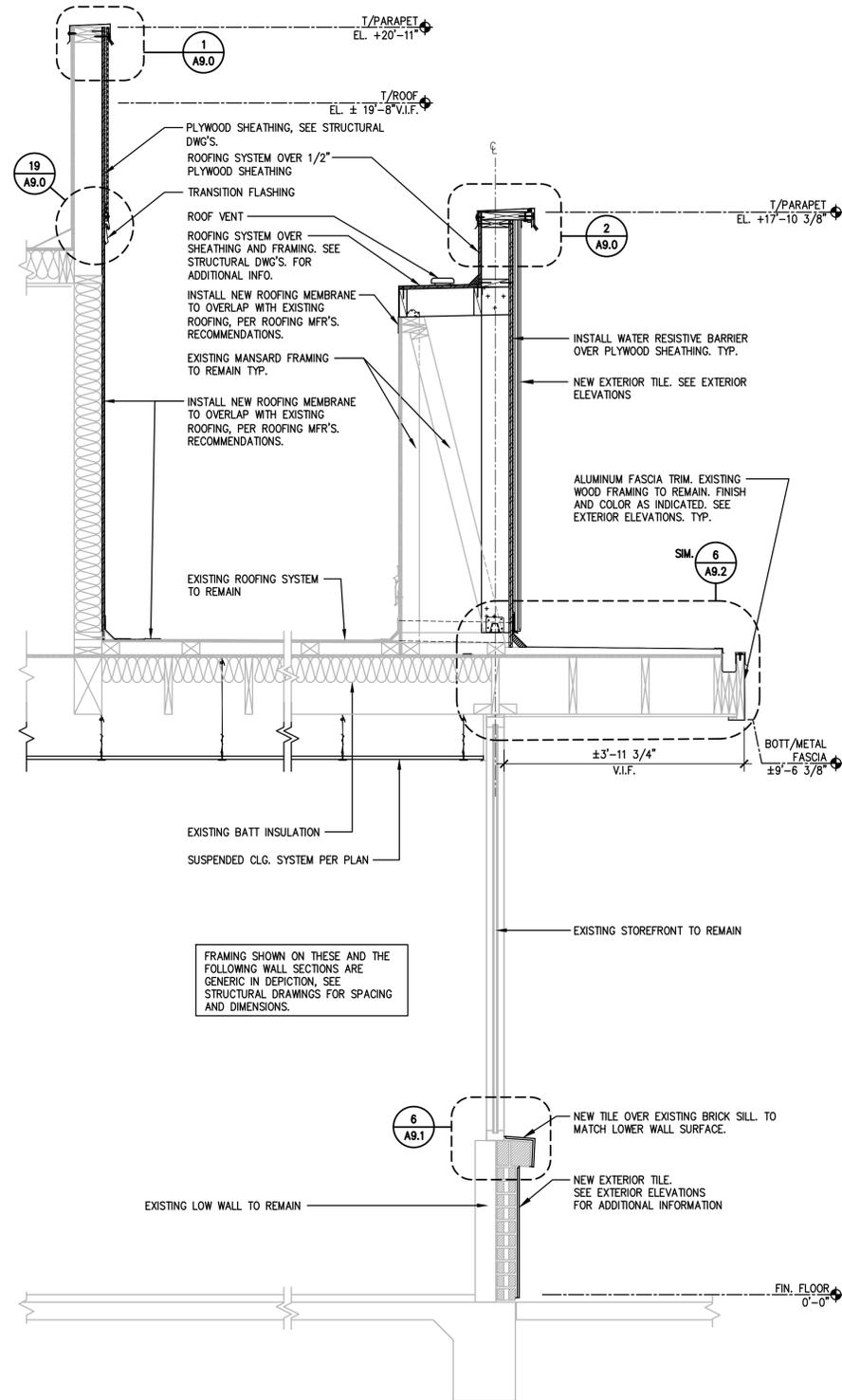


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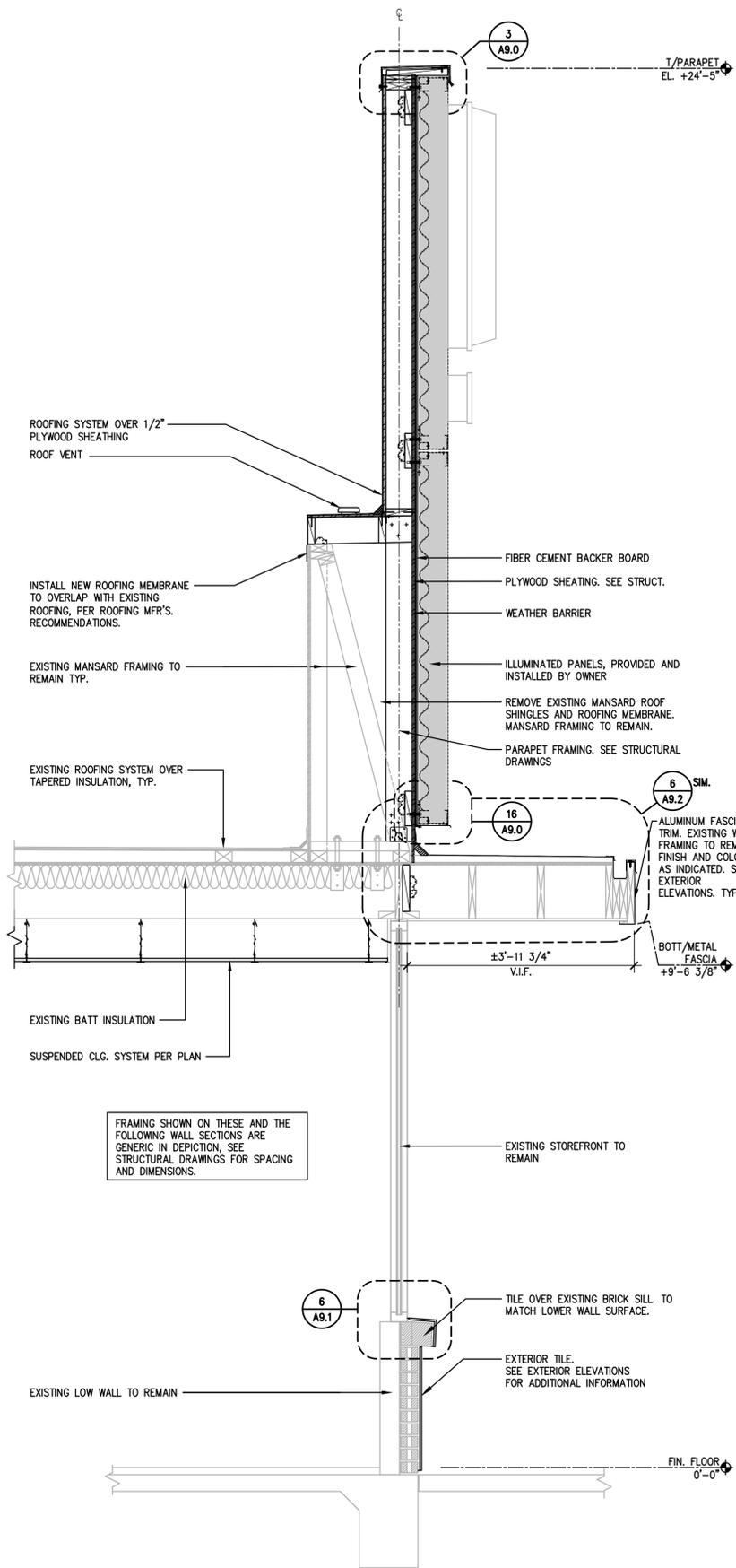
MK TYPE: MK3  
JIB #: #426  
ADDRESS:  
1301 Camden Ave  
Campbell, CA, 95008  
DRAWN BY: GPalmerin  
PROJECT #:  
SCALE: AS NOTED

**WALL SECTIONS**

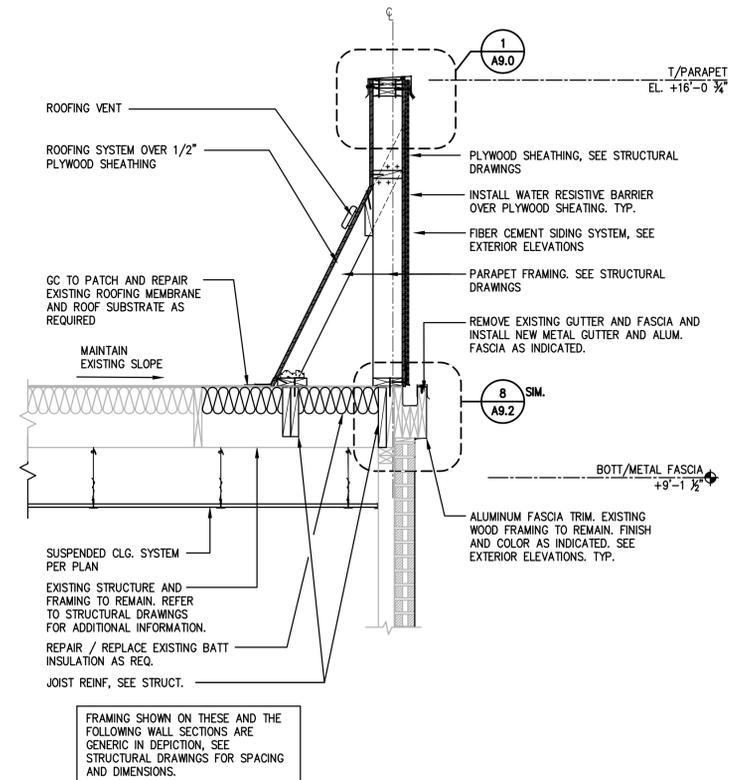
**A6.0**



1 WALL SECTION 3/4" = 1'-0"



2 WALL SECTION 3/4" = 1'-0"



3 WALL SECTION 3/4" = 1'-0"



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REGISTERED PROFESSIONAL ENGINEER  
THOMAS J. OWENS  
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CIVIL  
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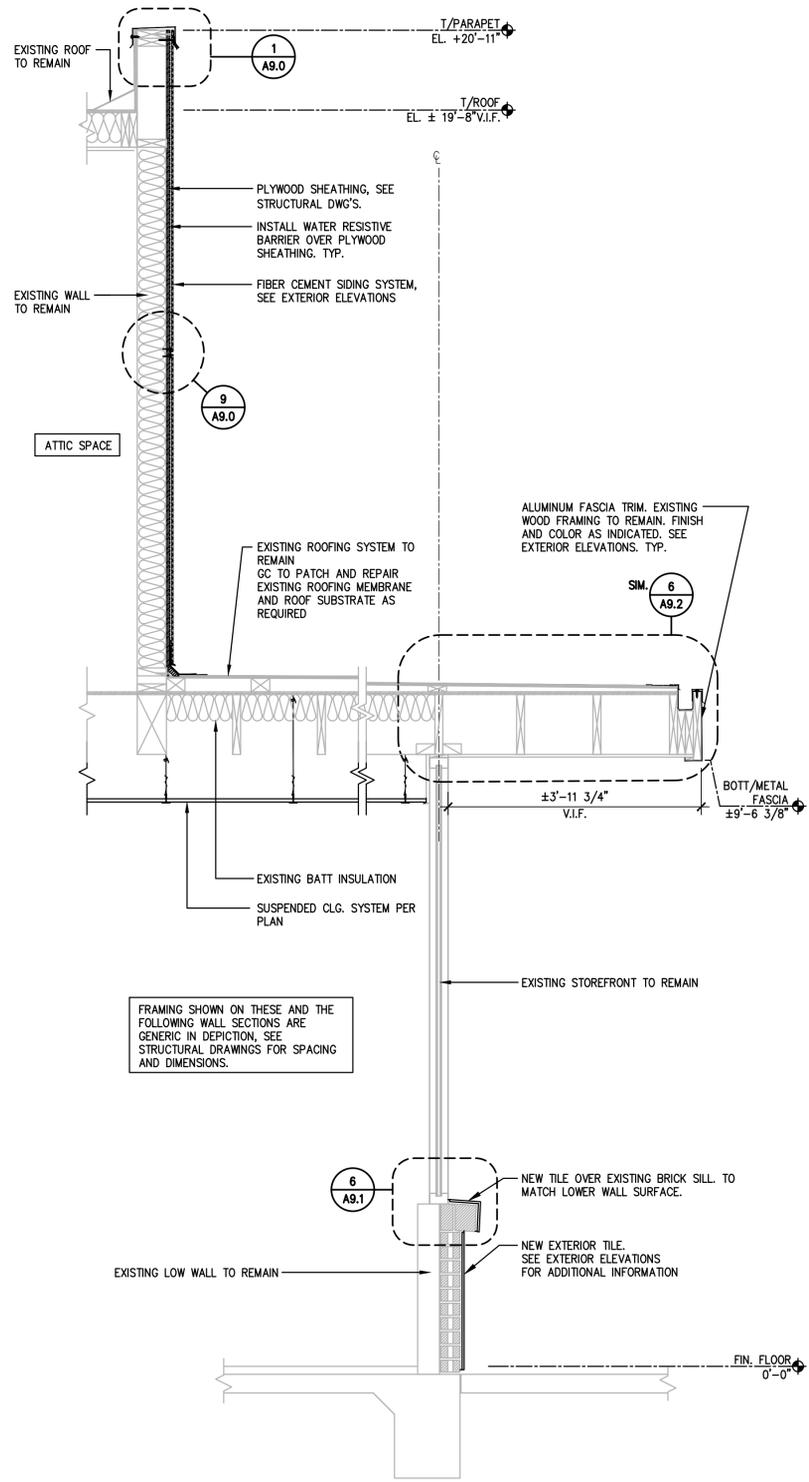
DRAWN BY: GPalmerin

PROJECT #:

SCALE: AS NOTED

WALL SECTIONS

A6.1



FRAMING SHOWN ON THESE AND THE FOLLOWING WALL SECTIONS ARE GENERIC IN DEPICTION. SEE STRUCTURAL DRAWINGS FOR SPACING AND DIMENSIONS.



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Oakdale, CA 95361  
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DRAWN BY: GPalmerin

PROJECT #:

SCALE: AS NOTED

**WALL SECTIONS**

**A6.2**



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No. 53530  
State of California  
EXP. 6/30/25

SITE INFORMATION

MK TYPE: MK3  
JOB #: #426  
ADDRESS:  
1301 Camden Ave  
Campbell, CA, 95008  
DRAWN BY: GPalmerin  
PROJECT #: \_\_\_\_\_  
SCALE: AS NOTED

**RESTROOM PLAN & INTERIOR ELEVATIONS**  
**A7.0**

**GENERAL NOTES**

- FOR ADDITIONAL ACCESSIBILITY INFORMATION SEE ID SHEETS.
- PROVIDE 2X BLOCKING IN WALLS AS REQUIRED FOR REINFORCEMENT OF ALL GRAB BARS, RESTROOM FIXTURES, PLUMBING LINES, WALL BUMPERS, ETC. SEE INTERIOR ELEVATIONS THIS SHEET, FOR FIXTURE AND ACCESSORY HEIGHTS AND LOCATIONS.
- SEE RESTROOM ACCESSORY SCHEDULE ON DRAWING ID4.0.

**KEY NOTES**

- REPLACE DAMAGED WALL TILE & COVE BASE AS NECESSARY.
- EXISTING TOILET ROOM PLUMBING FIXTURES SHALL REMAIN SEE LIST BELOW. REPLACE IF DAMAGED OR MISSING AS REQUIRED TO MATCH EXISTING FIXTURE. REMOVE AND RE-INSTALL AS REQUIRED FOR NEW WALL FINISH INSTALLATION.
  - TOILETS
  - URINALS
  - SINKS
  - FAUCETS
- REPLACE THE FOLLOWING TOILET ROOM ACCESSORIES. NOTE ALL OTHER ACCESSORIES SHALL REMAIN UNLESS DAMAGED OR MISSING. REMOVE AND RE-INSTALL AS REQUIRED FOR NEW WALL FINISH INSTALLATION. INSTALL ACCESSORIES PER A.D.A. REQUIREMENTS.
  - MIRROR INSTALL NEW ANTI-GRAFFITI MIRROR. SEE DETAIL 4/ID3.1.
  - PAPER TOWEL DISPENSERS / HAND DRYERS.
  - SANITARY DISPOSAL
  - TOILET SEAT COVER DISPENSER
  - SOAP DISPENSER
  - TOILET PAPER DISPENSER
  - FREESTANDING TRASH RECEPTACLES OR REPLACE WITH RECESSED WASTE RECEPTACLES.
  - INSTALL HAND WASH & RESTROOM CHECK SIGNAGE.
- ADD "HAND WASH" AND "RESTROOM CHECKED" SIGN IF NOT EXISTING, SEE ID SCHEDULE **GC-EQ2** SILICON SEAL ALL SIDES.
- REPLACE EXISTING FREESTANDING TRASH RECEPTACLE WITH NEW WASTE RECEPTACLE.
- REPLACE EXISTING TOILET ROOM DOOR. SEE FLOOR PLAN AND DOOR SCHEDULE.
- INSTALL NEW TOILET ROOM SIGNAGE.
- INSTALL NEW BABY-CHANGING TABLE

DOOR SCHEDULE							
NUMBER	SIZE (w x ht. x thickness)	TYPE	MATERIAL	FINISH	HARDWARE SET	NOTES	REMARKS
102	3'-0" x 6'-8" x 1 3/4"	D	LAM./S.C. WD.	R2	4	4 - SINGLE ACCOMMODATION	UNDERCUT DOOR 1", PROVIDE SIGNAGE ON DOORS, SEE 2/ID3.1
103	3'-0" x 6'-8" x 1 3/4"	D	LAM./S.C. WD.	R2	6	6 - MULTIPLE ACCOMMODATION (1) (4) (10) (11)	UNDERCUT DOOR 1", PROVIDE SIGNAGE ON DOORS, SEE 2/ID3.1
104	3'-0" x 6'-8" x 1 3/4"	C	LAM./S.C. WD.	R2	7	(12)	UNDERCUT DOOR 1", PROVIDE SIGNAGE ON DOORS, SEE 2/ID3.1

DOOR TYPES			
	FOR DOOR SIGNAGE, SEE 2/ID3.1		FOR DOOR FINISH, SEE DOOR SCHEDULE
	KICK PLATE EA. FACE		KICK PLATE EA. FACE

DOOR HARDWARE SCHEDULE			
SET NO.	ITEM	QTY	DESCRIPTION
4	HINGE	3	IVES 3CB1 4.5 X 4.5 - 652
	DEADBOLT	1	FALCON #005164-000-626
	STRIKE	1	FALCON SC81 RW/PA - 689
	CLOSER	1	ALUMINUM FINISH
	SEE NOTES (4)	1	ALUMINUM FINISH
	KICK PLATE	2	ROCKWOOD K1050 10"x34" US32D
	FLOOR DOOR STOP	1	ROCKWOOD 441CU US26D
6	PUSH PLATE	1	IVES 8200 3"x12" - US32D
	PULL PLATE	1	TRIMCO 1135 HOSPITAL ARM PULL - US32D
	DOOR SILENCER	3	ROCKWOOD 608
	HINGE	1	IVES 3CB1 4.5 X 4.5 - 652
	PUSH PLATE	1	IVES 8200 3"x12" - 630
	PULL PLATE	1	TRIMCO 1135 HOSPITAL ARM PULL - US32D
	CLOSER	1	FALCON SC81 RW/PA - 689 ALUMINUM FINISH
7	KICK PLATE	1	IVES 8400 10" HIGH LDW - 630
	STOP	1	IVES FS438 - 626
	HINGE	1	U.S. ALUMINUM DH299 CONTINUOUS GEAR HINGE (COLOR TO MATCH DOOR FINISH)
	RIM CYLINDER	1	FALCON #953H 626
	CYL. GUARD	1	ADAMS RITE #MS 4043-121
	IC CORE ONLY	1	FALCON C606-626 KEYPED PER CM
	PANIC BAR	1	FALCON 1592NL-OP US28
SIGN	1	ADAMS RITE #20-0255	
7	KICK PLATE	2	IVES 8400 10" HIGH LDW - 630
	THRESHOLD	1	NATIONAL GUARD PRODUCTS 350 X MSLA - 689
	CLOSER	1	FALCON SC71 SS - 689 COLOR TO MATCH DOOR FINISH.
	MOUNTING PLATE	1	FALCON SC70-18PA - 689 COLOR TO MATCH DOOR FINISH.
	FLOORSTOP	1	ROCKWOOD 462

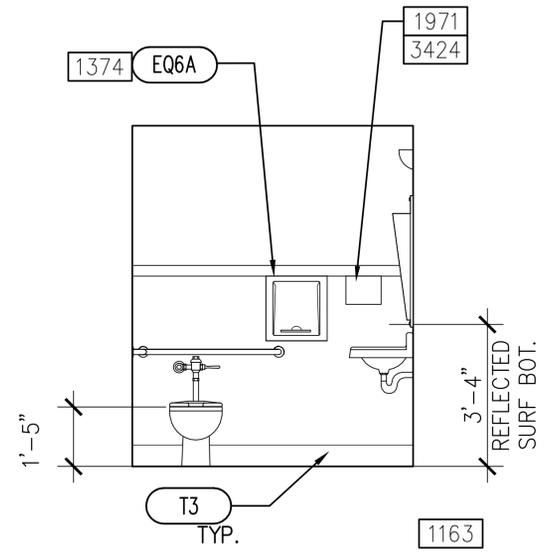
  

**DOOR HARDWARE NATION ACCOUNT VENDOR:**  
LOCKNET CONTACT: Thomas Howard @ 1-800-887-4307 / construction@locknet.com

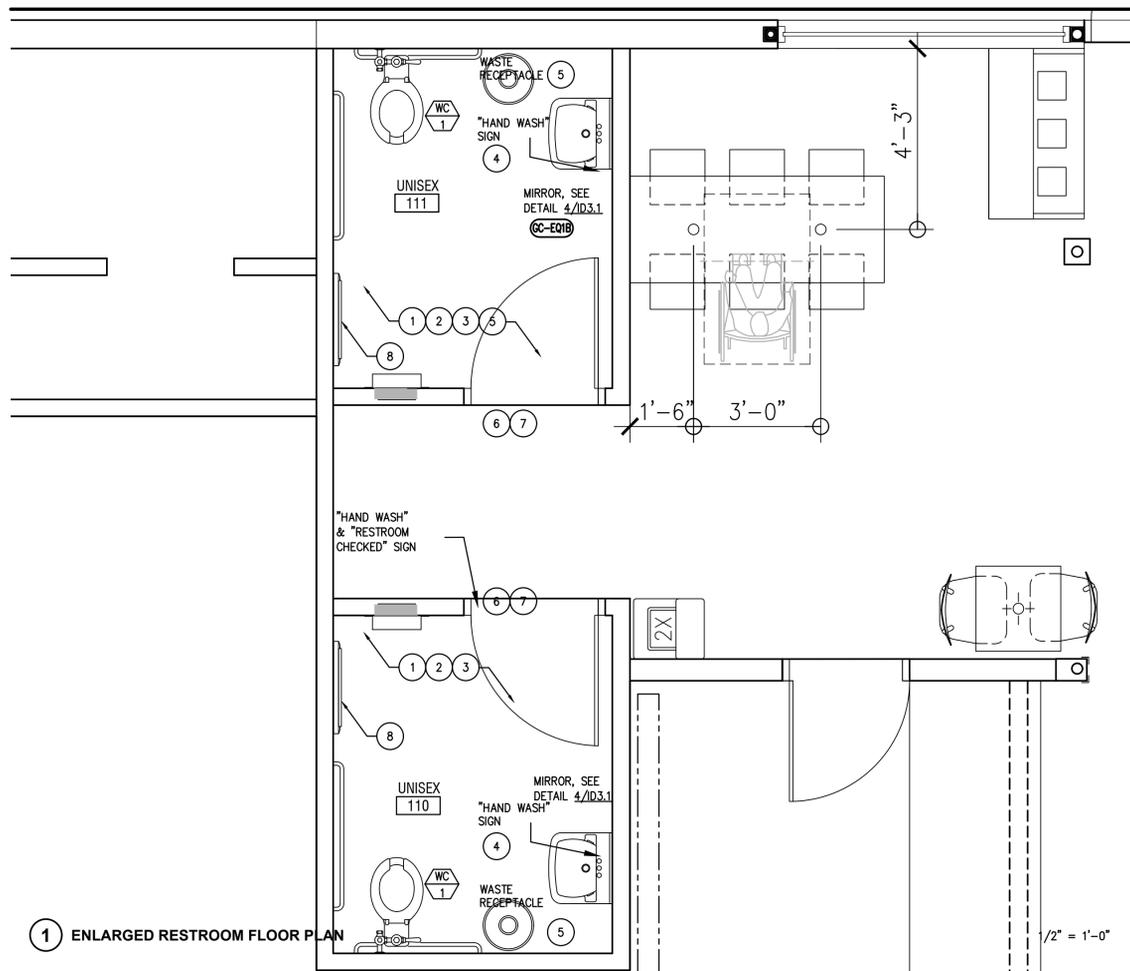
  

**DOOR HARDWARE KEY NOTES**

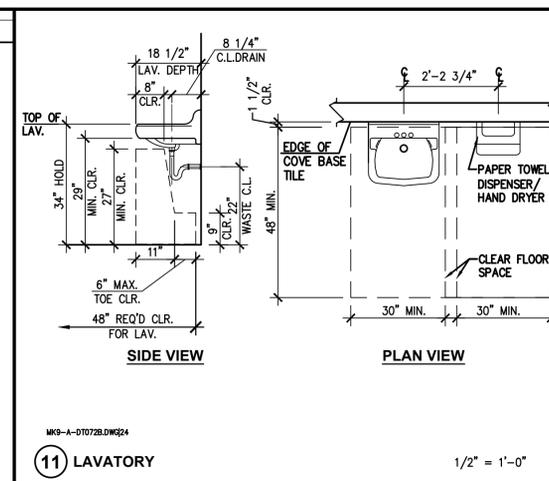
- FINISH FIVE SIDES OF DOOR.
- ALL DOOR CLOSERS ARE TO BE ADJUSTED TO COMPLY WITH THE FOLLOWING REQUIREMENTS:
  - MAXIMUM EFFORT TO OPERATE DOORS (PUSH/PULL) SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS.
  - SWEEP PERIOD OF DOORS FROM AN OPEN POSITION OF 70 DEGREES SHALL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
- EXISTING RESTROOM DOOR FRAME TO REMAIN, PREP. AND SPRAY APPLIED PAINT GC-PS. USE DARK BRONZE FINISH IF FRAME NEEDS TO BE REPLACED.
- FOR HIGH VANDALISM PRONE STORES, FINISH FOUR SIDES OF DOOR (PL). FINISH RESTROOM SIDE OF DOOR STAINLESS STEEL (WITH SW. TEXTURE), PAINT HINGE SIDE TO MATCH DOOR FRAME. COORDINATE REQUIREMENT WITH JIB FBC OR CM.
- KITCHEN DOOR TO HAVE A 'VIEW PANE'. SEE TYPE 'C' DOOR.



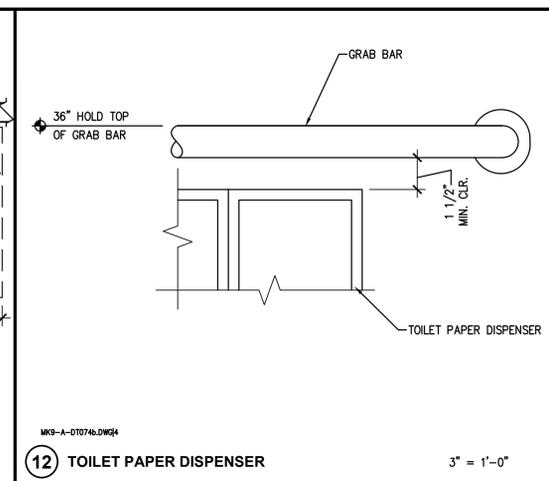
**ENLARGED RESTROOM ELEVATION**



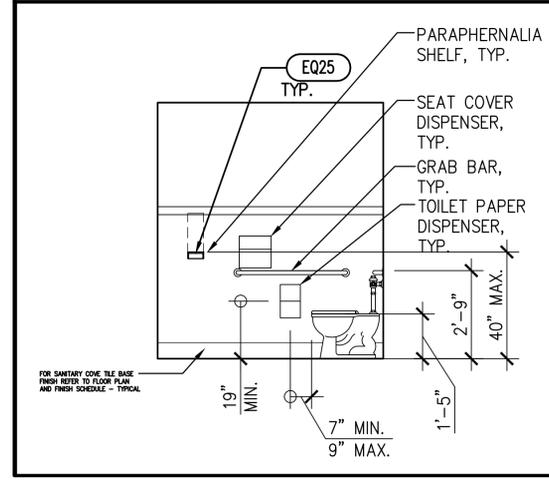
1 ENLARGED RESTROOM FLOOR PLAN



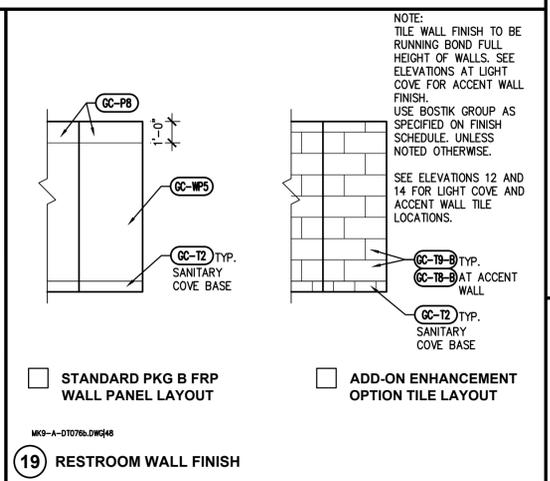
11 LAVATORY 1/2" = 1'-0"



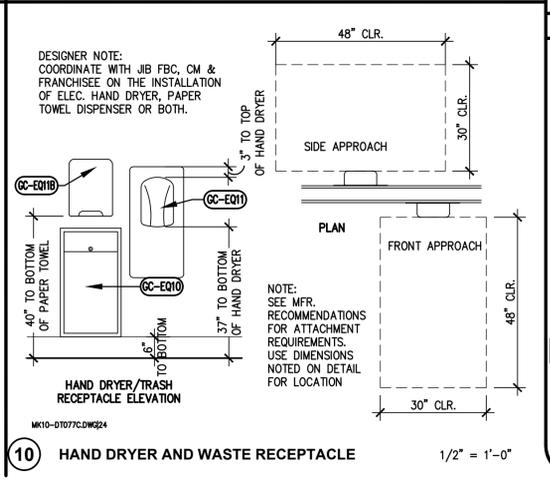
12 TOILET PAPER DISPENSER 3" = 1'-0"



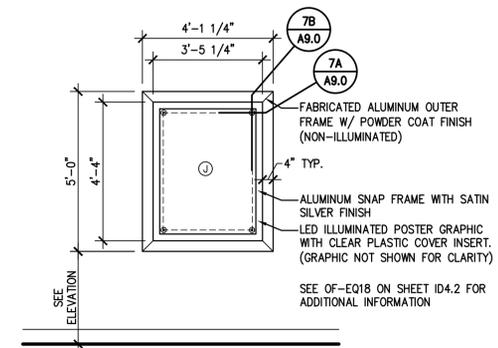
9 TYPICAL TOILET PARTITION INSTALLATION 3" = 1'-0"



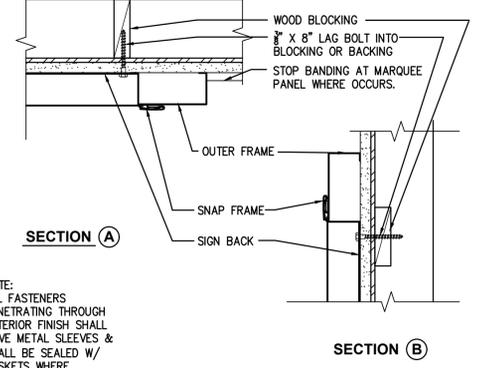
19 RESTROOM WALL FINISH



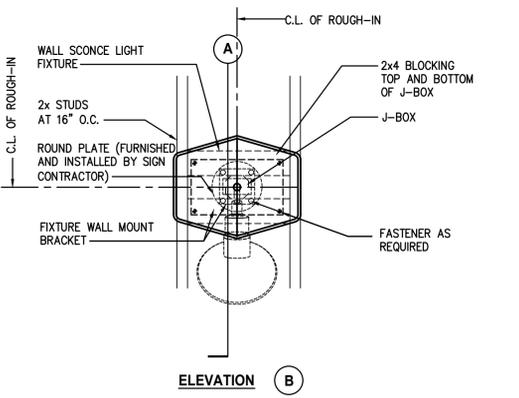
10 HAND DRYER AND WASTE RECEPTACLE 1/2" = 1'-0"



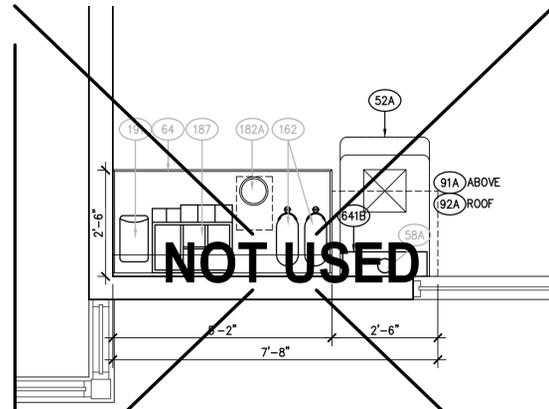
2 DISPLAY POSTER PANEL - SINGLE 3/8" = 1'-0"



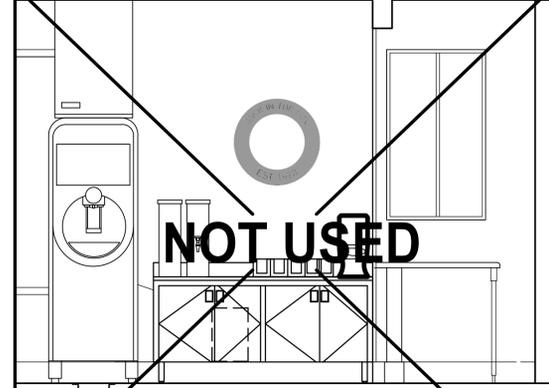
7 DISPLAY POSTER PANEL BLOCKING 1 1/2" = 1'-0"



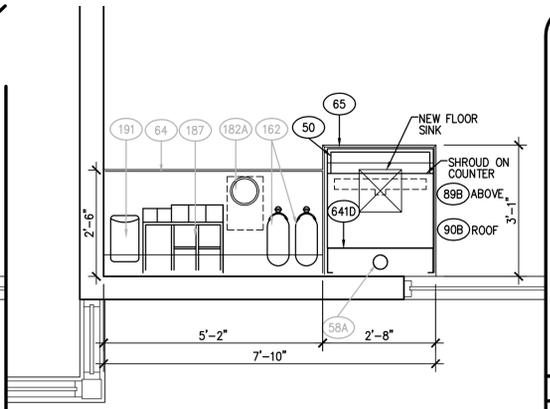
16 LIGHT SUPPORT DETAIL 1" = 1'-0"



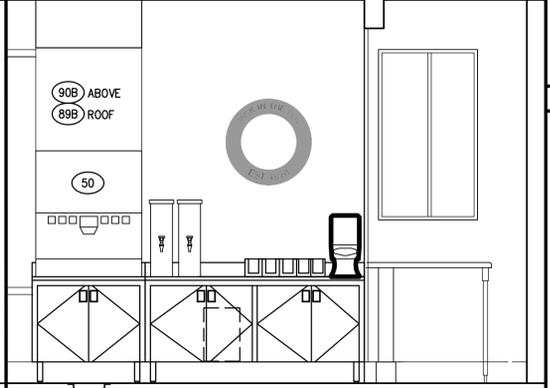
4 PLAN AT SELF SERVE (FREESTYLE OPTION) 1/2" = 1'-0"



9 ELEVATION AT SELF SERVE (FREESTYLE OPTION) 1/2" = 1'-0"



5 PLAN AT SELF SERVE (LEGACY/BEVARIETY OPTION) 1/2" = 1'-0"



10 ELEVATION AT SELF SERVE (LEGACY/BEVARIETY OPTION) 1/2" = 1'-0"

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SAN DIEGO, CA 92123  
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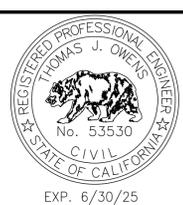
RELEASE: MARCH 04, 2022  
P.M. UPDATES: APRIL 29, 2022  
SUBMITTAL DATE:  
1: \_\_\_\_\_  
2: \_\_\_\_\_  
3: \_\_\_\_\_

BID: \_\_\_\_\_  
CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

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**OWENS DESIGN CONSULTANTS**  
145 N. 2ND AVENUE, SUITE 5  
Oakdale, CA 95361  
(209) 522-8031 - fax: (209) 522-4738 - www.owensdesign.com



**SITE INFORMATION**

MK TYPE: MK3  
JIB #: #426  
ADDRESS:  
1301 Camden Ave  
Campbell, CA, 95008  
DRAWN BY: G.Malmerin  
PROJECT #:  
SCALE: AS NOTED

**DETAILS**

**A9.0**



In the box

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EXP. 6/30/25

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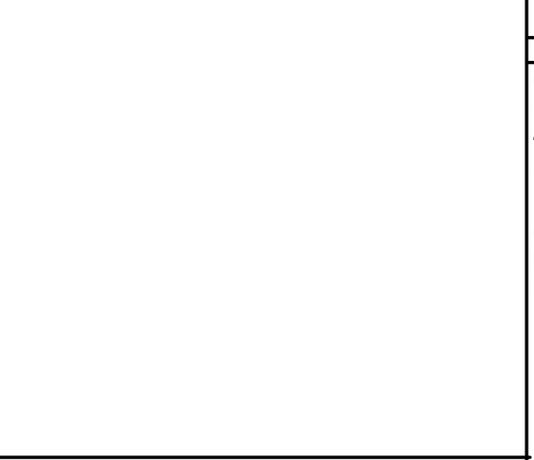
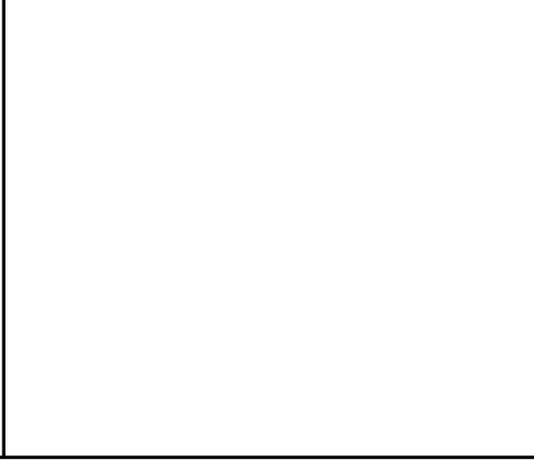
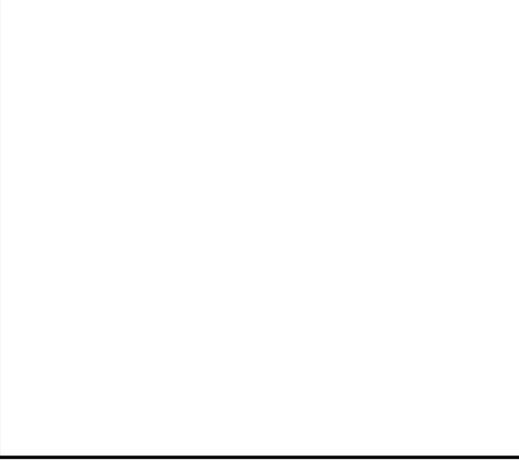
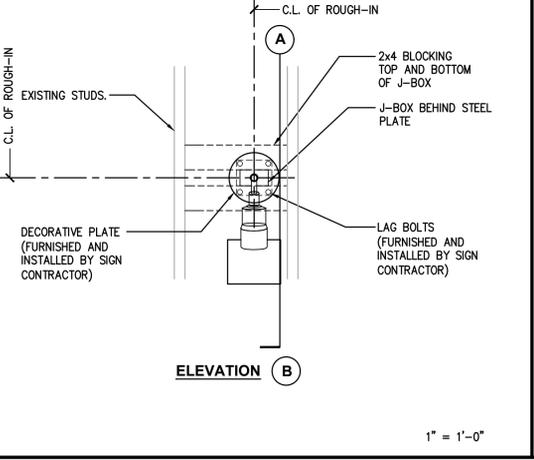
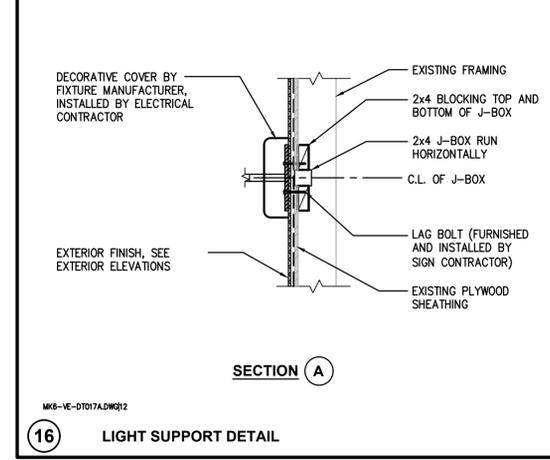
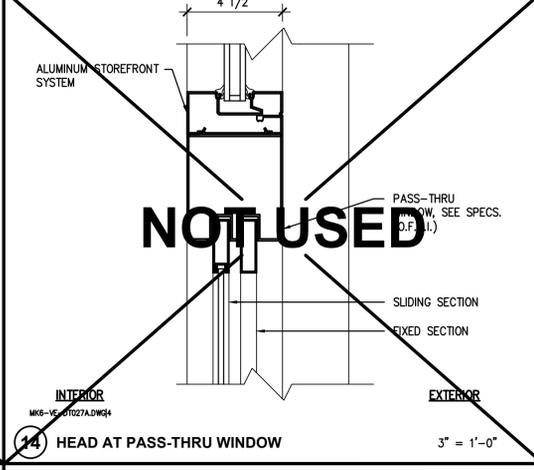
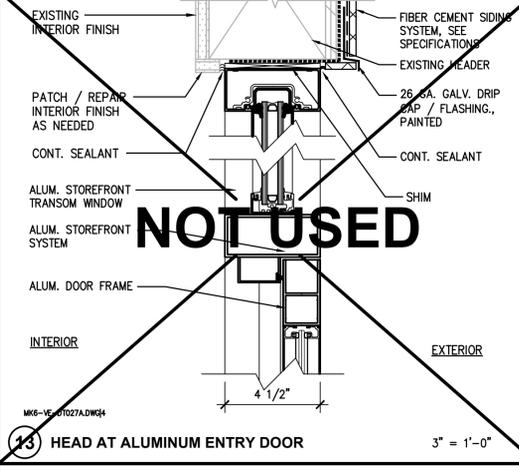
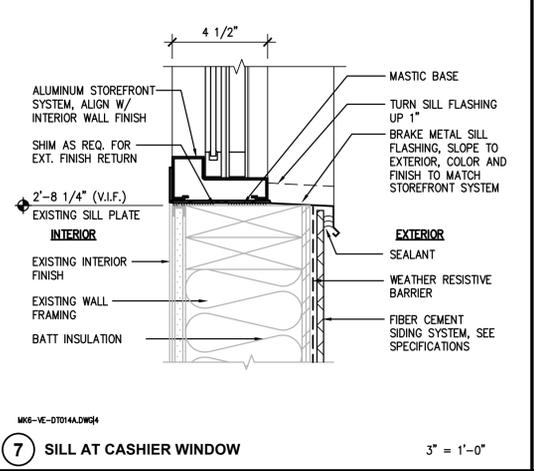
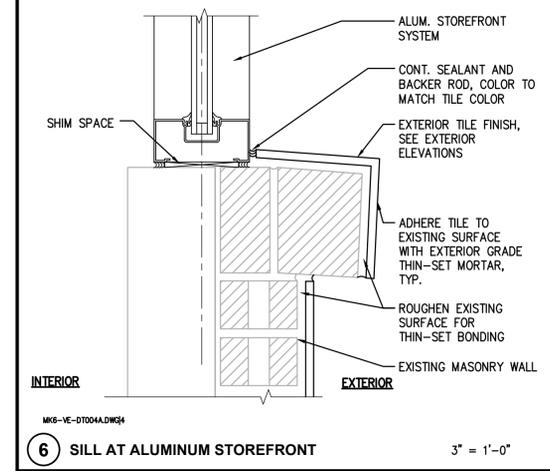
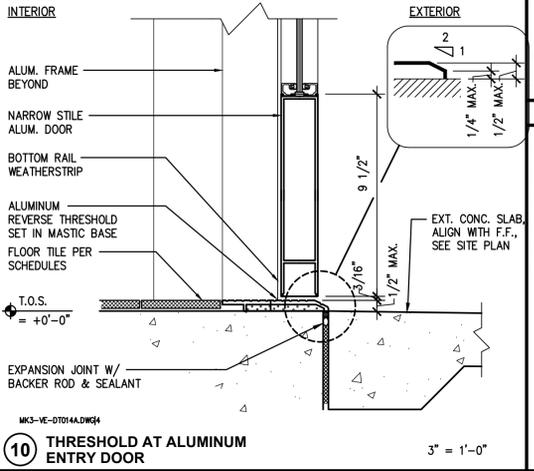
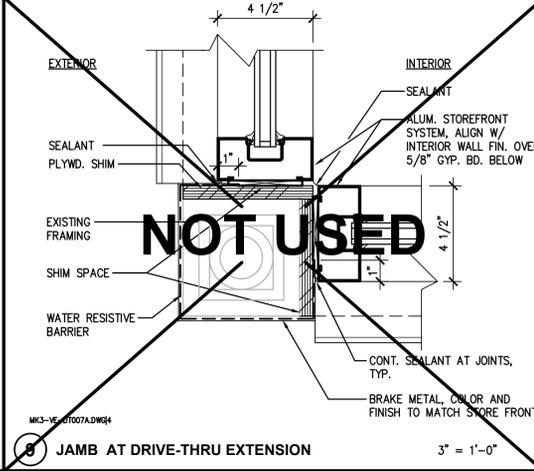
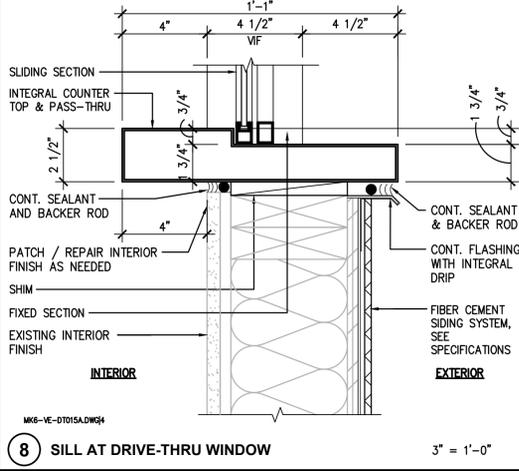
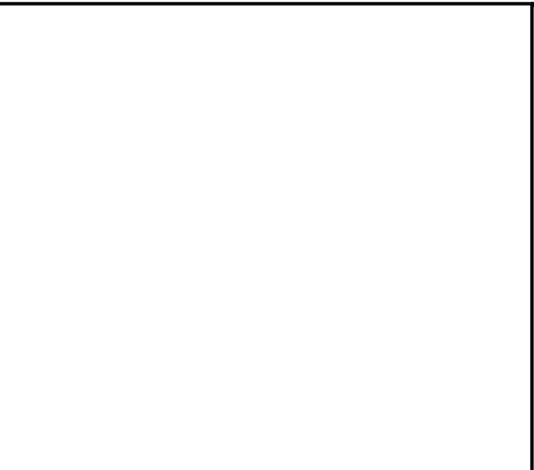
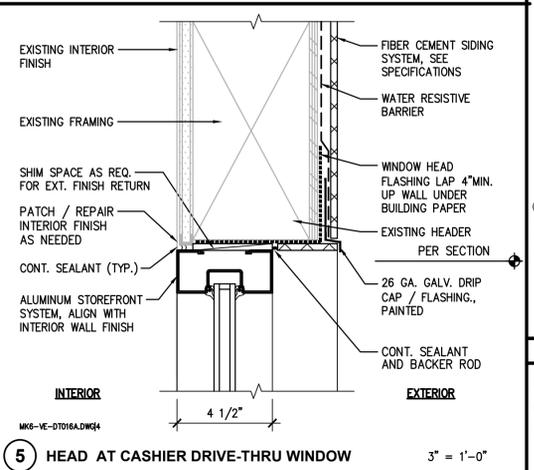
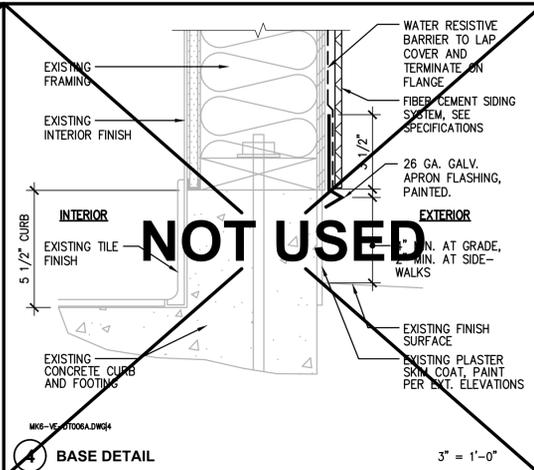
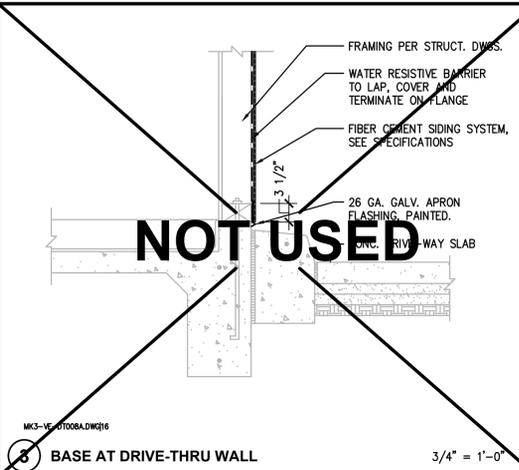
DRAWN BY: GPalmerin

PROJECT #:

SCALE: AS NOTED

DETAILS

**A9.1**



16 LIGHT SUPPORT DETAIL 1" = 1'-0"



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CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

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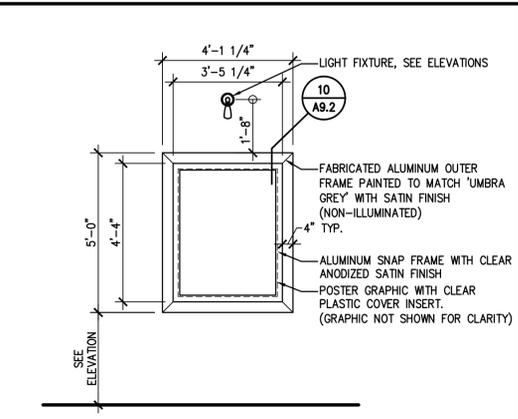
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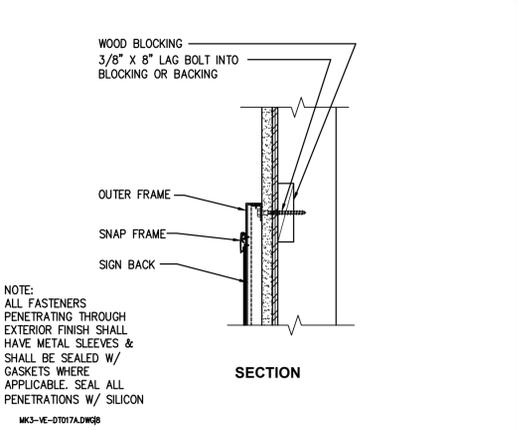
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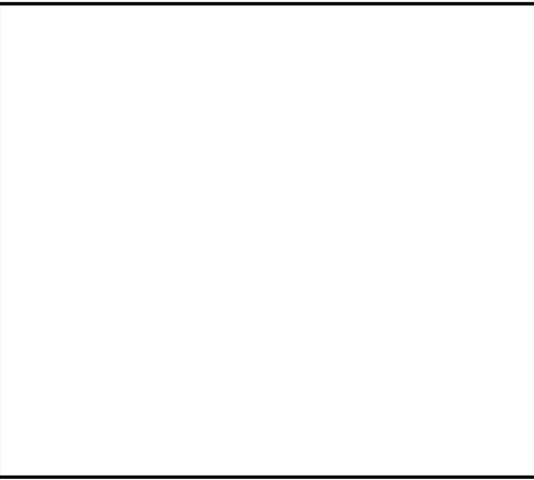
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**5** DISPLAY POSTER PANEL - SINGLE 3/8" = 1'-0"



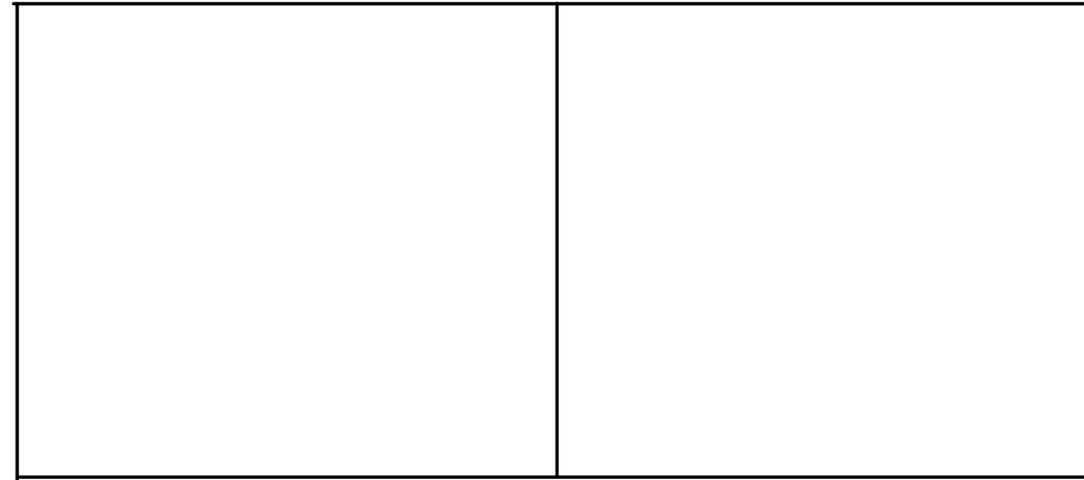
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**10** DISPLAY POSTER PANEL BLOCKING 1 1/2" = 1'-0"



MK3-VE-07005.DWG54

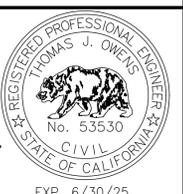
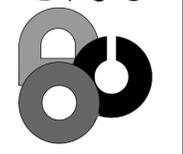
**8** OVERHANG DETAIL 3" = 1'-0"



MK3-VE-ST002.DWG98

**6** OVERHANG DETAIL 1 1/2" = 1'-0"

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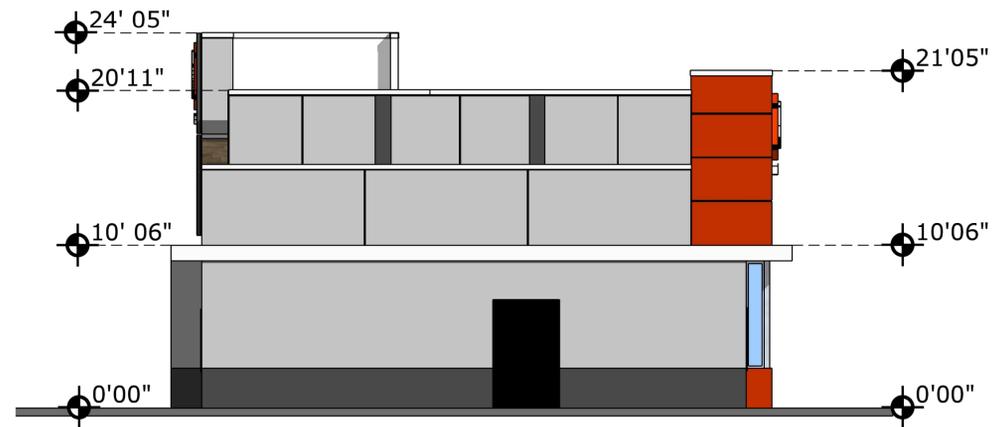
**A9.2**

# Elevation Colorboard

City of Campbell - Planning Dept



Right Elevation



Rear Elevation



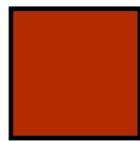
Left Elevation



Front Elevation



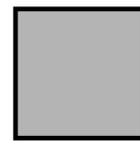
Crossville Speakeasy  
AV283



Sherwin Williams  
Red Bay - SW 7020



Sherwin Williams  
Black Fox - SW 6321



Sherwin Williams  
Mindful Gray - SW 7016



Sherwin Williams  
Quartz Grey - Ral-7039



**Owens Design Consultants**

145 N 2nd Ave #5, Oakdale, CA 95361  
(209) 522-8031

**Jack in the Box #426**

1301 Camden Ave, Campbell, CA 95008



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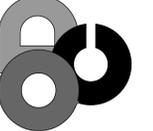
BID: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

- △ \_\_\_\_\_
- △ \_\_\_\_\_
- △ \_\_\_\_\_
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**OWENS DESIGN CONSULTANTS**  
145 N. 2ND AVENUE, SUITE 5  
Oakdale, CA 95361  
(209) 522-8031 - fax: (209) 522-4738 - www.owensdc.com



REGISTERED PROFESSIONAL ENGINEER  
THOMAS J. OWENS  
No. 53530  
CIVIL  
STATE OF CALIFORNIA  
EXP. 6/30/25

**SITE INFORMATION**

MK TYPE: MK3

JIB #: #426

ADDRESS:  
1301 Camden Ave  
Campbell, CA, 95008

DRAWN BY: GPalmerin

PROJECT #: \_\_\_\_\_

SCALE: NO SCALE

**COLORED ELEVATIONS**

# Elevation Colorboard

City of Campbell - Planning Dept  
 Perspective Drawing



**Owens Design Consultants**

145 N 2nd Ave #5, Oakdale, CA 95361  
 (209) 522-8031

**Jack in the Box #426**

1301 Camden Ave, Campbell, CA 95008



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 SAN DIEGO, CA 92123

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**DATES**

RELEASE: MARCH 04, 2022

P.M. UPDATES: APRIL 29, 2022

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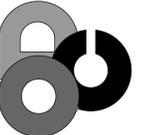
BID: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

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DRAWN BY: GPalmerin

PROJECT #: \_\_\_\_\_

SCALE: NO SCALE

**COLORED ELEVATIONS**

**ECB2.0**

# Elevation Colorboard

City of Campbell - Planning Dept  
 Perspective Drawing



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**REVISIONS**

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 EXP. 6/30/25

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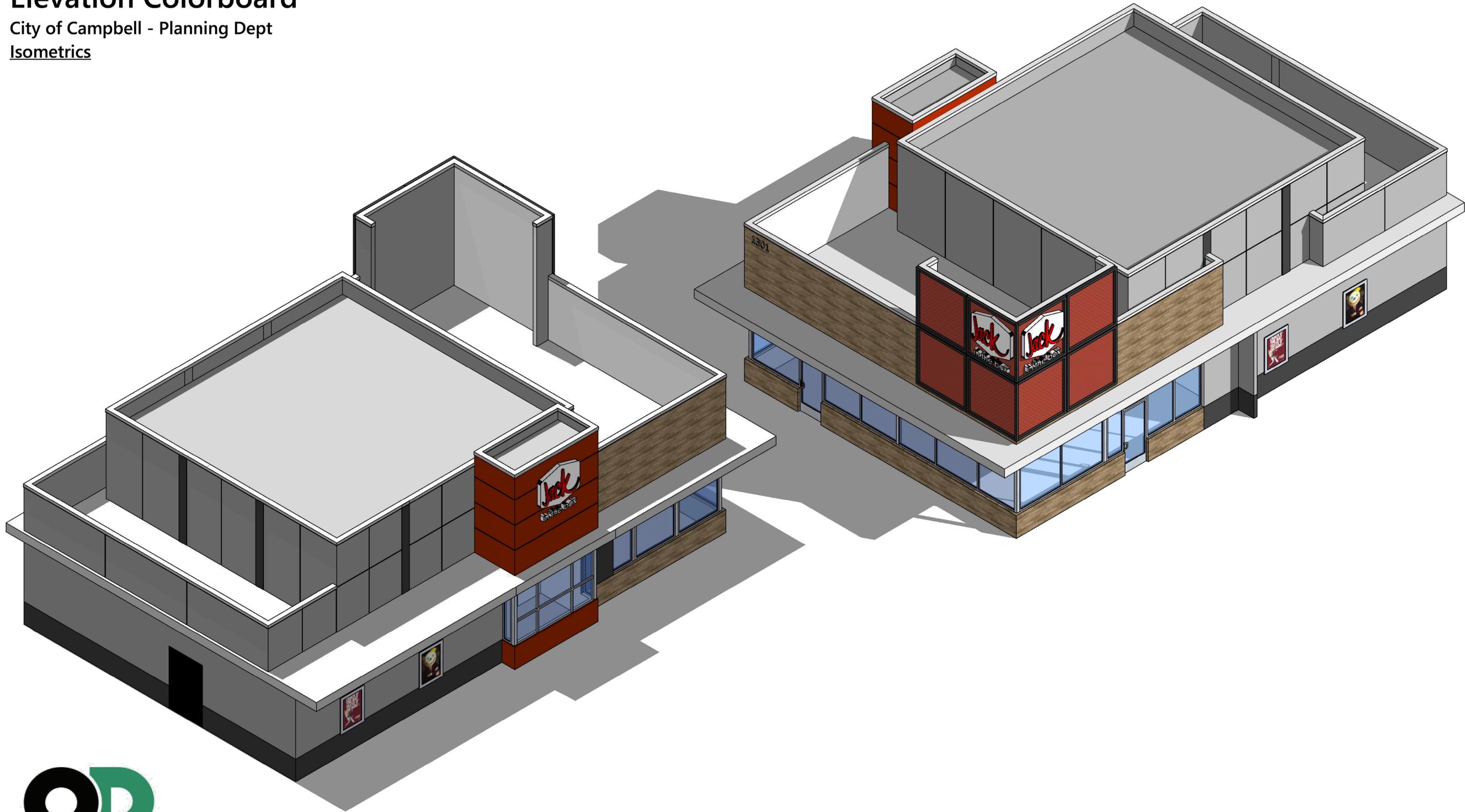
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 SCALE: NO SCALE

**COLORED ELEVATIONS**

**ECB3.0**

# Elevation Colorboard

City of Campbell - Planning Dept  
Isometrics



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**REVISIONS**

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EXP. 6/30/25

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Campbell, CA, 95008

DRAWN BY: GPalmerin

PROJECT #: \_\_\_\_\_

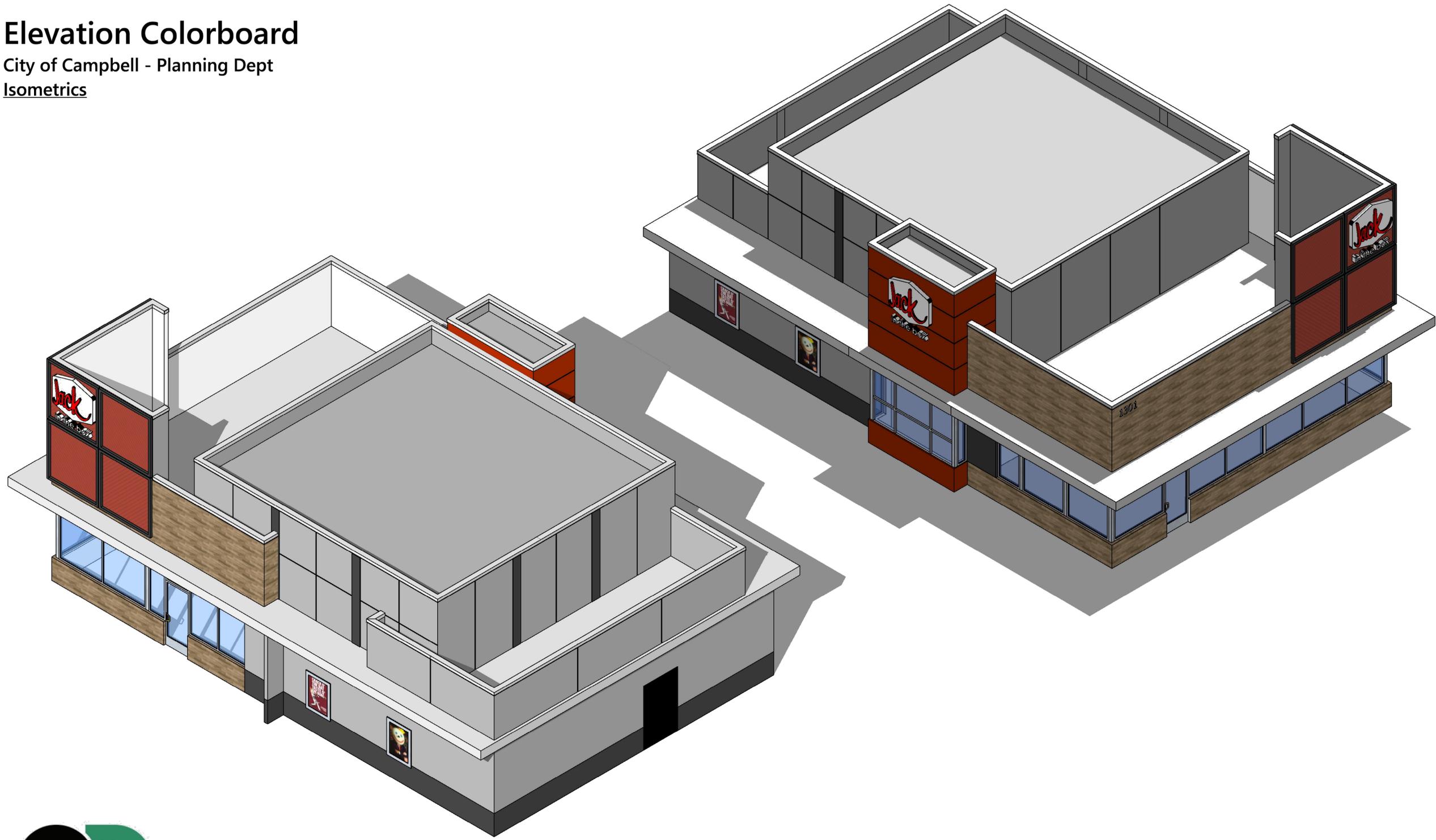
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**COLORED ELEVATIONS**

**ECB4.0**

# Elevation Colorboard

City of Campbell - Planning Dept  
Isometrics



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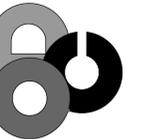
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CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

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EXP. 6/30/25

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1301 Camden Ave  
Campbell, CA, 95008

DRAWN BY: GPalmerin

PROJECT #: \_\_\_\_\_

SCALE: NO SCALE

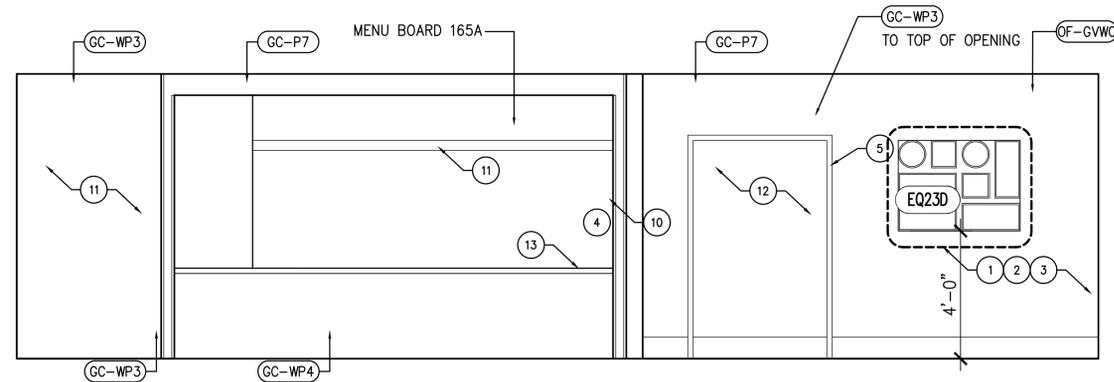
**COLORED  
ELEVATIONS**

**ECB5.0**

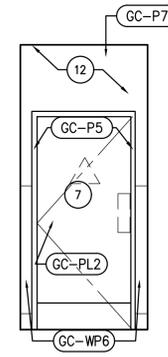


**KEY NOTES**

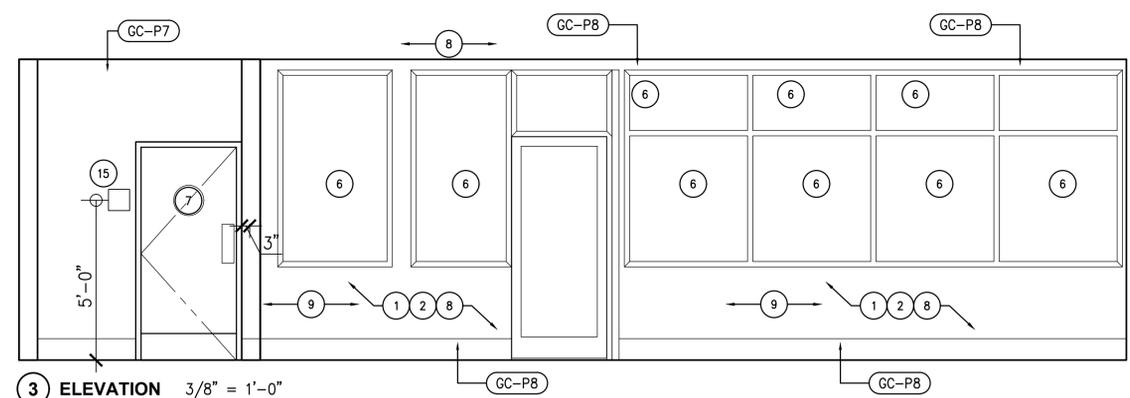
- ① SEE FINISH SCHEDULE ON SHEET ID4.0 AND ID4.1.
- ② EXISTING COVE BASE TO REMAIN.
- ③ REPLACE EXISTING SOLID SURFACE SILL CAP WITH NEW SPEC (IF APPLICABLE) (OF-SS3)
- ④ REPLACE EXISTING FR OPERATOR PLAQUE AT FRONT COUNTER IF DAMAGED OR MISSING
- ⑤ REPLACE EXISTING DINING ROOM MAX OCCUPANCY SIGN AND REST ROOM WALL SIGNS IF DAMAGED OR MISSING.
- ⑥ REPLACE EXISTING WINDOW SHADES IN DINING ROOM IF DAMAGED OR MISSING.
- ⑦ NEW DOOR. SEE DOOR SIGNAGE DETAILS ON ID3.1 AND DOOR SCHEDULE ON ID4.0.
- ⑧ REPLACE EXISTING WALL FINISHES AND TRIM WITH NEW PAINT. SEE FINISH SCHEDULE ON ID4.0.
- ⑨ REPLACE EXISTING WALL FINISHES AND TRIM WITH NEW DECORATIVE WALL PANEL. SEE FINISH SCHEDULE ON ID4.0.
- ⑩ REPLACE EXISTING WALL FINISHES AND TRIM WITH NEW FRP WALL PANEL. SEE FINISH SCHEDULE ON ID4.0.
- ⑪ REPLACE EXISTING SERVICE AREA & DRINK STATION BACK WALL FINISHES NEW FRP WALL PANEL. SEE FINISH SCHEDULE ON ID4.0.
- ⑫ REPLACE EXISTING RESTROOM VESTIBULE NORTH & EAST WALL FINISHES WITH NEW GRAPHIC MURAL. SEE FINISH SCHEDULE ON ID4.0.
- ⑬ EXISTING COUNTERTOP TO REMAIN IF IN GOOD CONDITION, UNLESS IS IT A TRIBELLA FINISH. OTHERWISE REPLACE WITH (OF-SS1)
- ⑭ INSTALL HANGING PICK-UP SIGN OVER THE FRONT COUNTER BASED ON THE MK STYLE DESIGNS
- ⑮ INSTALL NEW BRaille SIGNAGE NEXT TO BATHROOM DOORS.



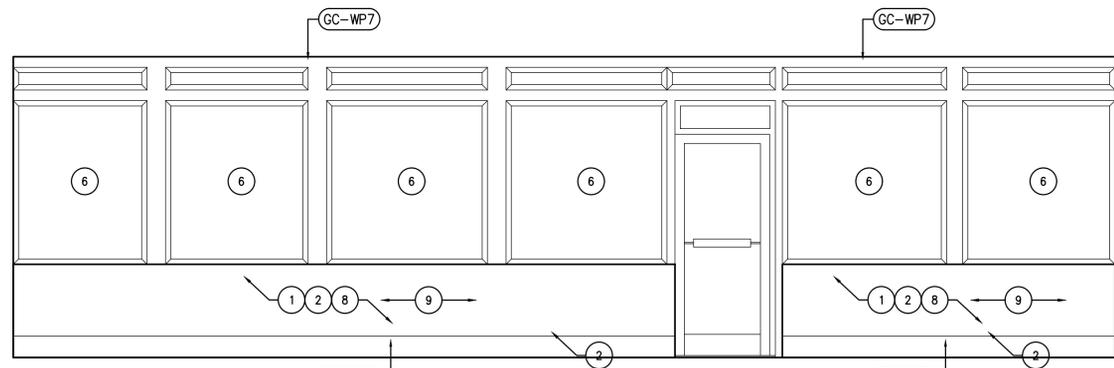
① ELEVATION 3/8" = 1'-0"



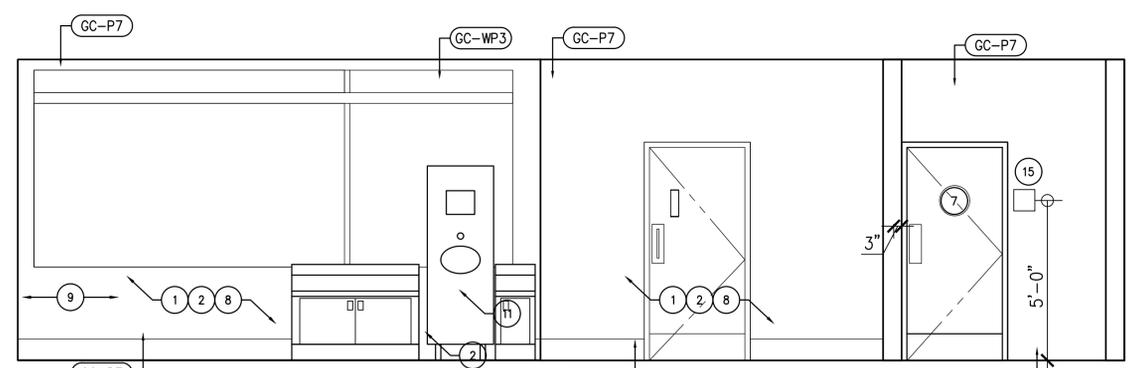
② ELEVATION 3/8" = 1'-0"



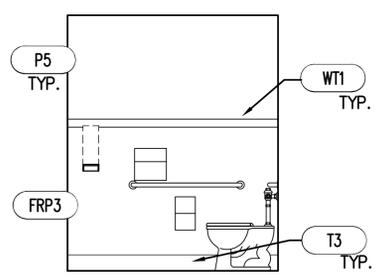
③ ELEVATION 3/8" = 1'-0"



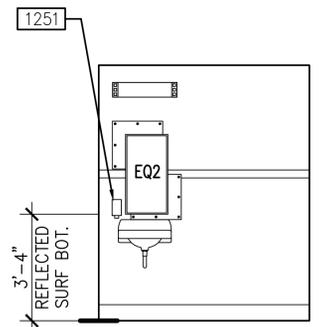
④ ELEVATION 3/8" = 1'-0"



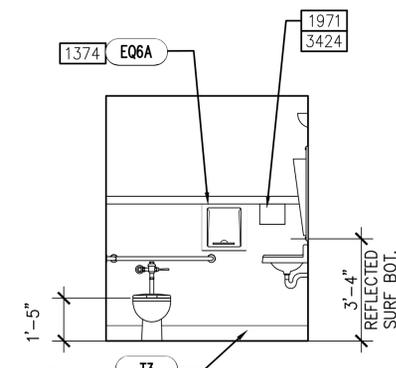
⑤ ELEVATION 3/8" = 1'-0"



⑥ ELEVATION 3/8" = 1'-0"



⑦ ELEVATION 3/8" = 1'-0"



⑧ ELEVATION 3/8" = 1'-0"



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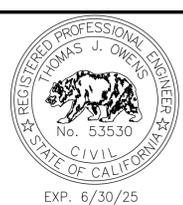
1: \_\_\_\_\_  
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BID: \_\_\_\_\_  
CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

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**SITE INFORMATION**

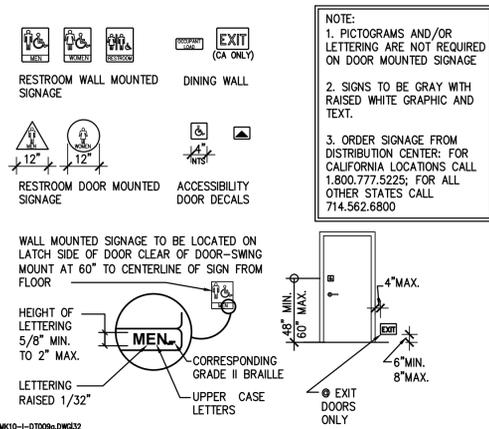
MK TYPE: MK3  
JIB #: #426  
ADDRESS:  
1301 Camden Ave  
Campbell, CA, 95008

DRAWN BY: GPalmerin  
PROJECT #:  
SCALE: AS NOTED

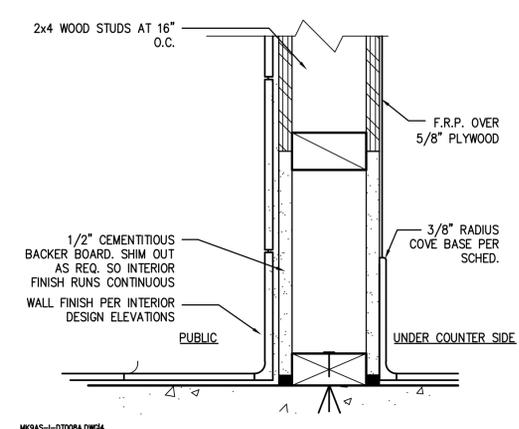
**PACKAGE B**

**INTERIOR ELEVATIONS**

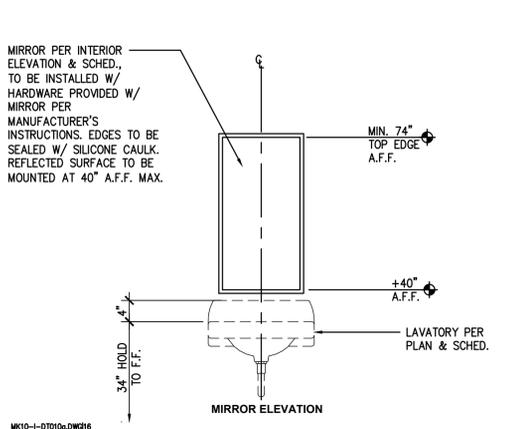
**ID2.0**



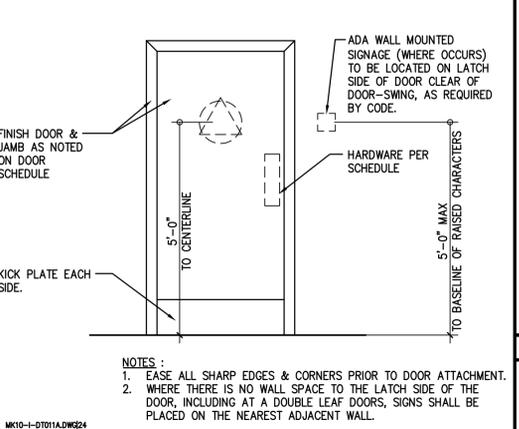
2 ACCESSIBILITY SIGNAGE 3/8" = 1'-0"



3 LOW WALL AT SERVICE COUNTER 3" = 1'-0"

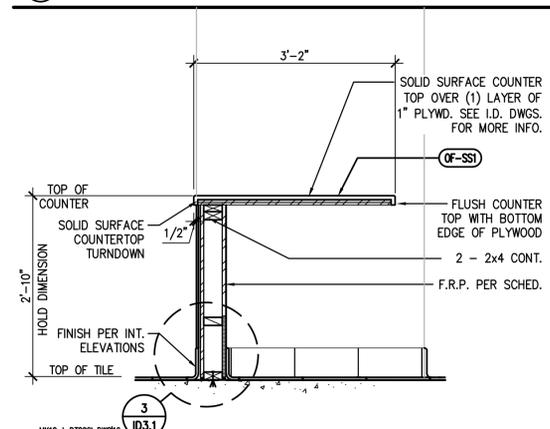


4 RESTROOM MIRROR 3/4" = 1'-0"



5 INTERIOR DOOR FINISH 1/2" = 1'-0"

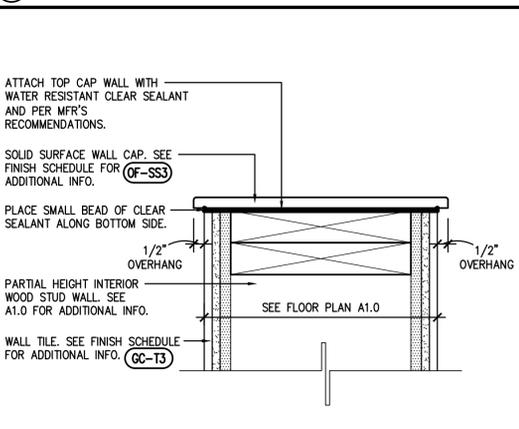
1 3/4" = 1'-0"



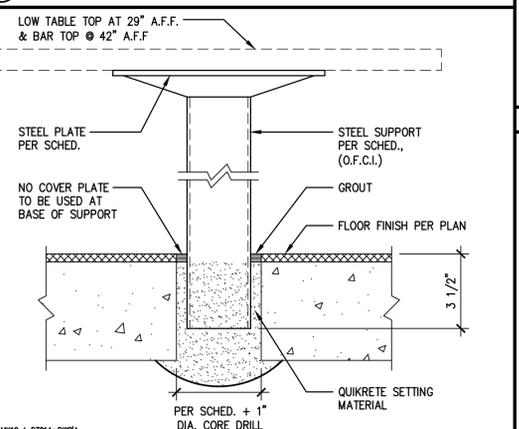
6 SERVICE COUNTER SECTION 3/4" = 1'-0"

7 3" = 1'-0"

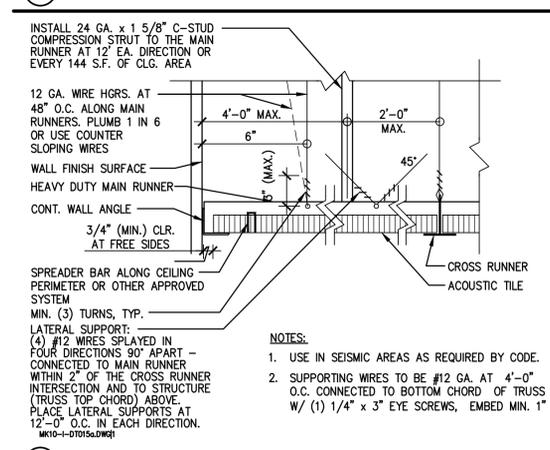
8 3" = 1'-0"



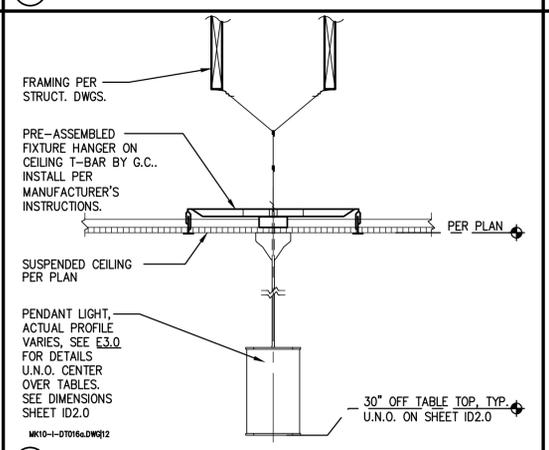
9 WALL CAP / AT PARTIAL HEIGHT WALL 3" = 1'-0"



10 TYPICAL CORE DRILL 3" = 1'-0"



11 CEILING LATERAL FORCE BRACING NO SCALE

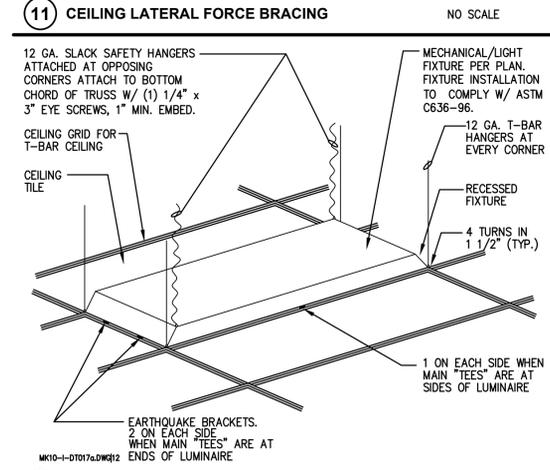


12 STANDARD PENDANT LAMP HANGER 1" = 1'-0"

13 1" = 1'-0"

14 1" = 1'-0"

15 1" = 1'-0"

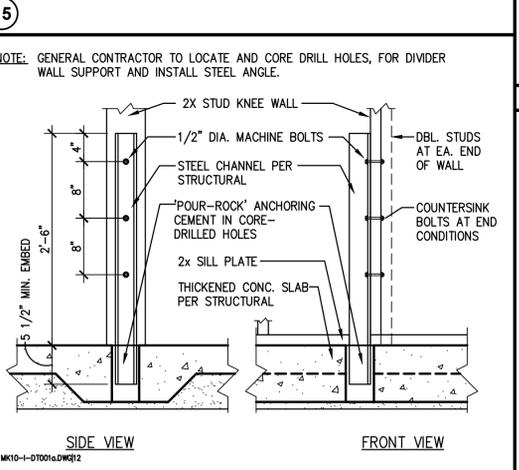


16 CEILING FIXTURE BRACING 1" = 1'-0"

17 1" = 1'-0"

18 1" = 1'-0"

19 1" = 1'-0"



20 CHANNEL AT LOW WALL 1" = 1'-0"

**Jack**  
**In the box**  
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**REVISIONS**

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 No. 53530  
 CIVIL  
 STATE OF CALIFORNIA  
 EXP. 6/30/25

**SITE INFORMATION**

MK TYPE: MK3  
 JIB #: #426  
 ADDRESS:  
 1301 Camden Ave  
 Campbell, CA, 95008  
 DRAWN BY: GPalmerin  
 PROJECT #:  
 SCALE: AS NOTED

**DETAILS**

**ID3.1**

INDUSTRIAL IMAGE PACKAGE

CONTRACTOR FURNISHED SCHEDULE ( ALL ITEMS NOTED ON THIS SCHEDULE TO BE PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS NOTED OTHERWISE )

PATCH TILE SCHEME ONE

ITEM	PRODUCT	MANUFACTURER	DESCRIPTION	SIZE	GROUT COLOR	CONTACT	NOTES
GC-T1	FLOOR TILE COVE BASE	DALTILE	PORTFOLIO CHOCOLATE P708	24" X 24" X 5/16" 6" X 12" X 5/16"	MATCH EXISTING COLOR		3/16" GROUT JOINT, VERANDA GRAVEL P501
GC-T2	FLOOR TILE COVE BASE	DALTILE	THEORETICAL DEEP COPPER TH98	24" X 24" X 5/16" 6" X 12" X 5/16"	MATCH EXISTING COLOR		3/16" GROUT JOINT, VERANDA RUST P502
GC-T3	WALL TILE	DALTILE	PORTFOLIO CHOCOLATE P708	24" X 24" X 5/16"	MATCH EXISTING COLOR		3/16" GROUT JOINT, VERANDA GRAVEL P501
GC-T4	WALL TILE	DALTILE	THEORETICAL DEEP COPPER TH98	24" X 24" X 5/16"	MATCH EXISTING COLOR		3/16" GROUT JOINT, VERANDA RUST P502
GC-T5	WALL TILE	DALTILE	THEORETICAL TRUE BEIGE TH92	24" X 24" X 5/16"	MATCH EXISTING COLOR		3/16" GROUT JOINT, VERANDA SAND P505
GC-T6	WALL TILE	DALTILE	THEORETICAL ABSTRACT BLACK TH99	24" X 24" X 5/16"	MATCH EXISTING COLOR		3/16" GROUT JOINT, VERANDA GUNMETAL

PATCH TILE SCHEME TWO

ITEM	PRODUCT	MANUFACTURER	DESCRIPTION	SIZE	GROUT COLOR	CONTACT	NOTES
GC-T1	FLOOR TILE	CROSSVILLE TILE	COTTO AMERICAN BROWN	18" X 18" X 3/8"	MATCH EXISTING COLOR	TONI HALE (931) 456-3997	3/16" GROUT JOINT / MATCH EXISTING
GC-T2	FLOOR TILE	CROSSVILLE TILE	VISTA AMERICANA PALUSADES	18" X 18" X 3/8"	MATCH EXISTING COLOR	TONI HALE (931) 456-3997	3/16" GROUT JOINT
GC-T3	WALL TILE	CROSSVILLE TILE	COTTO AMERICAN BROWN	12" X 12" X 3/8"	MATCH EXISTING COLOR	TONI HALE (931) 456-3997	3/16" GROUT JOINT
GC-T4	WALL TILE	CROSSVILLE TILE	ECOCYCLE GOLD RUSH	12" X 12" X 3/8"	MATCH EXISTING COLOR	TONI HALE (931) 456-3997	3/16" GROUT JOINT

PAINT

ITEM	PRODUCT	MANUFACTURER	DESCRIPTION	SIZE	CONTACT	NOTES
GC-P2	PAINT	SHERWIN WILLIAMS	SW7005 PURE WHITE SATIN FINISH		LENNA GARCIA (714) 404-8212	
GC-P3	PAINT	SHERWIN WILLIAMS	SW7016 MINDFUL GRAY SATIN FINISH		LENNA GARCIA (714) 404-8212	
GC-P4	PAINT	SHERWIN WILLIAMS	SW7018 DOVETAIL SATIN FINISH		LENNA GARCIA (714) 404-8212	
GC-P5	PAINT	SHERWIN WILLIAMS	SW7020 BLACK FOX SATIN FINISH		LENNA GARCIA (714) 404-8212	
GC-P7	PAINT	SHERWIN WILLIAMS	SW6229 TEMPE STAR SATIN FINISH		LENNA GARCIA (714) 404-8212	ACCENT (TEAL)
GC-P8	PAINT	SHERWIN WILLIAMS	SW6721 EXPRESSIVE PLUM SATIN FINISH		LENNA GARCIA (714) 404-8212	
GC-P9	PAINT	SHERWIN WILLIAMS	SW6990 CAMVAR SEMI GLOSS		LENNA GARCIA (714) 404-8212	
GC-P10	PAINT	SHERWIN WILLIAMS	SW7039 QUARTZ GREY SATIN FINISH		LENNA GARCIA (714) 404-8212	

SUSPENDED CEILING SYSTEM

ITEM	PRODUCT	MANUFACTURER	DESCRIPTION	SIZE	CONTACT	NOTES
GC-CT1	SUSPENDED CEILING TILE AND GRID	ARMSTRONG	ULTIMA 1/2" REGULAR ITEM 1911	24"X24"X3/8"	DEBORAH PICKENS dpickens@armstrongceilings.com (480)695-9053	SUSPENDED GRID TO BE PRELUDE XL 1/2" COLOR WHITE
GC-CT2	SUSPENDED TILE AND GRID	ARMSTRONG	ULTIMA HEALTHZONE 1/2" REGULAR IN WHITE	24"X24"X3/8"	DEBORAH PICKENS dpickens@armstrongceilings.com (480)695-9053	SUSPENDED GRID TO BE PRELUDE XL 1/2" COLOR WHITE
GC-CT3	KITCHEN SUSPENDED ACOUSTICAL CEILING TILE AND GRID	ENVIRONMENTAL AT ARMSTRONG	VINYL ROCK 1/2" (VINYL CLAD CEILING ITEM #670) GYPSUM LAY-IN CEILING WITH EMBOSSED VINYL SURFACE.	24"X48"X1/2"	DEBORAH PICKENS dpickens@armstrongceilings.com (480)695-9053	SUSPENDED GRID TO BE ARMSTRONG PRE-FINISHED PRELUDE XL COLOR TO MATCH TILE. FLAME SPREAD INDEX 25 OR LESS. CEILING TILE PURCHASED THROUGH ARMSTRONG

WALL PANELS

ITEM	PRODUCT	MANUFACTURER	DESCRIPTION	SIZE	CONTACT	NOTES
GC-WP3	FRP WALL PANELS	MARLITE	SYMMETRIX SANI-COAT C100 G63 WHITE	4'X8' SHEET 3/4" GAUGE	JOHN DEMATOS (217)361-5453 (jdematos@marlite.com)	
GC-WP4	FRP WALL PANELS	PANOLAM	X75FW05SLZ-PNY S'MORES	3'X8' SHEET 3/8" GAUGE	DAN SOMSAK (714)300-3816 (dan_somsak@panolam.com)	
GC-WP5	FRP WALL PANELS	PANOLAM	X75NA104SD-NYR COOL CHIC	5'X8' SHEET 3/4" GAUGE	DAN SOMSAK (714)300-3816 (dan_somsak@panolam.com)	
GC-WP6	FRP WALL PANELS	PANOLAM	X75FA056SD-NYM COOKIES & CREAM	4'X8' SHEET 3/4" GAUGE	DAN SOMSAK (714)300-3816 (dan_somsak@panolam.com)	
GC-WP7	HIGH DENSITY FIBERBOARD	DPI	KINGSTON BRICK #100110052	4'X8' SHEET 1/4" GAUGE		

TRIM

ITEM	PRODUCT	MANUFACTURER	DESCRIPTION	SIZE	CONTACT	NOTES
GC-TR4	TRANSITION STRIP	-	1/4" STAINLESS STEEL CORNER GUARD	-		PROVIDED AT CORNERS WITH PAINT OR WALL MURAL WITH WAINSCOT TILE (NOT APPLICABLE TO ALL PROJECTS)
GC-TR5	EDGE TRIM	SCHLUTER	5/8" JOLLY - A480MGS	-		USED WITH KINGSTON BRICK FIBERBOARD
GC-TR6	WALL GUARD	NU-TREE	NT-250 DOVE GRAY-13	3/4"D X 3 1/2"H X 144"L		NT-LABR-CUT - CUSTUM CUT/6" SECTIONS

GENERAL NOTES

- JACK IN THE BOX INC. HAS ESTABLISHED NATIONAL ACCOUNT PRICING WITH EMER, CROSSVILLE, ARMSTRONG, SHERWIN WILLIAMS, CRANE COMPOSITES, BRADLEY & BOBRICK. IN ORDER FOR THE CONTRACTOR TO TAKE ADVANTAGE OF THIS SPECIAL PRICING, THEY MUST INFORM THE NATIONAL ACCOUNT MANUFACTURERS THAT THE MATERIALS WILL BE USED IN A JACK IN THE BOX RESTAURANT WHEN PLACING AN ORDER. BE PREPARED TO PROVIDE THE JOB #. SEE "CONTACTS".
- IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY QUANTITIES AND ITEMS BEFORE ORDERING.
- MOUNT ALL CEILING HUNG PANELS FROM A MINIMUM OF THREE POINTS TO STRUCTURE ABOVE.
- IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL FIELD DIMENSIONS WITH SIZE OF PRE-FABRICATED UNITS TO CONFIRM FIT AND FINISH.
- ALL FLOORING TRANSITIONS SHALL COMPLY WITH A.D.A. TRANSITION REQUIREMENTS.
- NO EQUIPMENT SUBSTITUTIONS ARE ALLOWED WITHOUT JACK IN THE BOX APPROVAL.
- PAINT FORMULAS BASED ON SUBSTRATE, VERIFY WITH SHERWIN WILLIAMS BEFORE ORDERING.

NOTE: SEE ID4.2 FOR LEAD TIMES

LAMINATE

ITEM	PRODUCT	MANUFACTURER	DESCRIPTION	SIZE	CONTACT	NOTES
GC-PL2	DOOR LAMINATE	WILSONART	7960K-18 STUDIO TEAK	SEE PLAN	HAZEL STRICKON 206-321-3294	

EQUIPMENT

ITEM	PRODUCT	MANUFACTURER	DESCRIPTION	SIZE	CONTACT	NOTES
GC-EQ1	RESTROOM MIRROR	SENTRY	SMS1836	18"X36"	SALES@SENTRYMIRROR.COM	ANTI-GRAFFITI OPTION WITH REPLACEABLE FILMS
GC-EQ1B	RESTROOM MIRROR	BOBRICK	2908-1836	18"X36"	(877) 837-7745 (MAIN) (617) 431-5121 (DIRECT) MIKED@NEWTONDISTRIBUTING.COM	
GC-EQ2	SOAP DISPENSER	SSDC	ECOLAB MYSTIC SOAP DISPENSER	9.34"X11.2"X14.9"	ITEM IS OWNER PROVIDED	SMALLWARES ORDER L#1954 CARTRIDGES
GC-EQ3	BABY CHANGING STATION	KOALA KARE	KB200-SS, COLOR GREY 01	37"X23"	(877) 837-7745 (MAIN) (617) 431-5121 (DIRECT) MIKED@NEWTONDISTRIBUTING.COM	HORIZONTAL WALL MOUNTED, STAINLESS STL, EXTENDS 15" WHEN OPEN
GC-EQ4	TOILET SEAT COVER DISPENSER	BOBRICK	SURFACE MOUNTED B-221		(877) 837-7745 (MAIN) (617) 431-5121 (DIRECT) MIKED@NEWTONDISTRIBUTING.COM	
GC-EQ5	TOILET PAPER DISPENSER	BRADLEY	SURFACE MOUNTED B-5126		(877) 837-7745 (MAIN) (617) 431-5121 (DIRECT) MIKED@NEWTONDISTRIBUTING.COM	PROVIDE ANTI-THEFT SPINDLE
GC-EQ6	GRAB BAR	BOBRICK	B-5086 X 18" SATIN FINISH	1 1/4"X36"	(877) 837-7745 (MAIN) (617) 431-5121 (DIRECT) MIKED@NEWTONDISTRIBUTING.COM	
GC-EQ7	GRAB BAR	BOBRICK	B-5086 X 36" SATIN FINISH	1 1/4"X36"	(877) 837-7745 (MAIN) (617) 431-5121 (DIRECT) MIKED@NEWTONDISTRIBUTING.COM	
GC-EQ8	GRAB BAR	BOBRICK	B-5086 X 42" SATIN FINISH	1 1/4"X42"	(877) 837-7745 (MAIN) (617) 431-5121 (DIRECT) MIKED@NEWTONDISTRIBUTING.COM	
GC-EQ9	UTILITY HOOK	BOBRICK	B-6717	2"X1 1/4"	(877) 837-7745 (MAIN) (617) 431-5121 (DIRECT) MIKED@NEWTONDISTRIBUTING.COM	MOUNT UTILITY HOOK SO TOP OF BRACKET IS BETWEEN 38" TO 40" ABOVE FINISH FLOOR ON EACH PARTION DOOR
GC-EQ10	RECESSED WASTE RECEPTACLE	BOBRICK	B-3644	17 3/16"X30 5/8"	(877) 837-7745 (MAIN) (617) 431-5121 (DIRECT) MIKED@NEWTONDISTRIBUTING.COM	PROVIDE LINERMATE 12GA. WASTE LINER 3944-134
GC-EQ11	HAND DRYER	EXCEL THIN AIR HAND DRYER,	TA-SB-110-120V, 89S (BRUSHED STAINLESS STEEL)	DRYER-9 1/8"X13 15/16"X4" SPLASH GUARD: 15.25"W X 31.25"H	(877) 837-7745 (MAIN) (617) 431-5121 (DIRECT) MIKED@NEWTONDISTRIBUTING.COM	MOUNT STAINLESS STEEL GUARD FOR THIN AIR ELECTRIC HAND DRYER #4 BRUSHED FINISH MOD. NEWTON NDB95-TA
GC-EQ11B	MANUAL HAND TOWEL DISPENSER	TORK	HAND TOWEL DISPENSER, L#4640 & L#4650 BLACK #5510282 w/RECESSED TRIM RING KIT. STAINLESS # 3106220	14.65"H X 13.2"W X 8.1"D	(877) 837-7745 (MAIN) (617) 431-5121 (DIRECT) MIKED@NEWTONDISTRIBUTING.COM	REMODELS: FRANCHISEE TO ORDER FROM BUENA PARK SMALLWARES DEPOT.
GC-EQ12	SANITARY NAPKIN DISPOSAL	BOBRICK	B-270	7 1/2"X10"	(877) 837-7745 (MAIN) (617) 431-5121 (DIRECT) MIKED@NEWTONDISTRIBUTING.COM	
GC-EQ13	STAINLESS STEEL FLOOR-TO-CEILING PARTITIONS	BRADLEY	STAINLESS STEEL 5WL FINISH	PER PLANS	(877) 837-7745 (MAIN) (617) 431-5121 (DIRECT) MIKED@NEWTONDISTRIBUTING.COM	
GC-EQ14	STAINLESS STEEL HAT AND COAT RACK	BRADLEY	9943-9946	VARIABLES	(877) 837-7745 (MAIN) (617) 431-5121 (DIRECT) MIKED@NEWTONDISTRIBUTING.COM	VERIFY WITH F.O. ON WHICH SIZE IS REQUIRED.
GC-EQ6	GRAB BAR	BOBRICK	B-5086 X 18" SATIN FINISH	1 1/4"X18"	(877) 837-7745 (MAIN) (617) 431-5121 (DIRECT) MIKED@NEWTONDISTRIBUTING.COM	
GC-EQ14	KNOX BOX	KNOX	3200 SERIES STANDARD CAPACITY	4"HX5"WX3"D		INSTALL AS HIGH AS LOCAL JURISDICTION/FIRE MARSHALL ALLOWS IN LOCATION THEY REQUIRE.

TILE UPGRADE ADD-ON ENHANCEMENT

UNLESS NOTED OTHERWISE ALL GROUT TO BE TRUCOLOR PREMIXED BY BOSTIK IN COLORS NOTED ON SCHEDULE. ALL GROUT JOINTS TO BE 1/8" UNLESS NOTED OTHERWISE.

ITEM	PRODUCT	MANUFACTURER	DESCRIPTION	SIZE	GROUT COLOR	CONTACT	NOTES
GC-T1	FLOOR TILE	CROSSVILLE TILE	GOTHAM AV324 MAINLINE	12" X 24" X 3/8"	FRENCH GRAY H142	TONI HALE (931) 456-3997	3/16" GROUT JOINT
GC-T2	WALL COVE BASE TILE	CROSSVILLE TILE	GOTHAM AV324 MAINLINE	6" X 12" X 3/8"	FRENCH GRAY H142	TONI HALE (931) 456-3997	MITER ALL INSIDE CORNERS
GC-T3	WALL TILE	CROSSVILLE TILE	SPEAKEASY AV283 SWEET GEORGIA BROWN	8" X 36" X 3/8"	SAND BEIGE H148	TONI HALE (931) 456-3997	3/16" GROUT JOINT. OFFSET TILE 33%
GC-T4	THIN BRICK VENEER	CORONADO STONE	WIRECUT BRICK MIDNIGHT SKY MORTAR	2" X 8" X 1/2"	MIDNIGHT SKY MORTAR	(800) 847-8663 SALES@CORONADO.COM	USE FLATS AND CORNERS. INSTALL PER MANUFACTURERS SPECIFICATIONS AND SMOOTH BRUSHED JOINT.
GC-T5	WALL TILE/THIN BRICK VENEER	CORONADO STONE	SPECIAL USED BRICK RUSTIC BLEND	3" X 8" X 1/2"	NATURAL GREY MORTAR	(800) 847-8663 SALES@CORONADO.COM	INSTALL PER MANUFACTURER'S SPECIFICATIONS AND 1/2" SMOOTH BRUSHED JOINT.
GC-T7-B	WALL TILE	CROSSVILLE TILE	SIMPATIDO FELLOWSHIP CUBE 12X24 GLOSS LWT02.11224CUBG	12"X24"	BOSTIK WHITE H152	TONI HALE (931) 456-3997	
GC-T8-B	ACCENT WALL TILE	EMSER TILE	ARTWORK SILVER MINI HEXAGON	12" X 35"	FRENCH GRAY H142	jackinthebox@emser.com	
GC-T9-B	WALL TILE	CROSSVILLE TILE	READY TO WEAR AV312 HAND IN GLOVE	12" X 24" X 3/8"	MISTY GRAY H144	TONI HALE (931) 456-3997	

ITEM	PRODUCT	MANUFACTURER	DESCRIPTION	SIZE	CONTACT	NOTES
GC-P6	ACRYLIC SEALER	SHERWIN WILLIAMS	H&C SHIELDCRETE ACRYLIC GLAZE COAT		ART CHAPARRO (310) 403-8221	SEALANT FOR SANDBLASTED AND NEW THIN BRICK WALLS, APPLY TWO COATS. APPLY WHEN ON OPTIONAL OPEN CEILING EXPOSED
GC-TR1	TILE TRANSITION STRIP	SCHLUTER	SCHIENE AE150	9/16"	myocum@schluter.com 714-329-0355	PROVIDE AT CORNER TRANSITIONS FOR GC-T5. MITER CORNERS
GC-TR2	TILE TRANSITION STRIP	SCHLUTER	JOLLY A110TSBG GREIGE	7/16"	myocum@schluter.com 714-329-0355	PROVIDE AT CORNER TRANSITIONS FOR GC-T7-B AND GC-T9-B. MITER CORNERS
GC-TR2B	TILE TRANSITION STRIP	SCHLUTER	JOLLY A110TSB BEIGE	7/16"	myocum@schluter.com 714-329-0355	PROVIDE AT CORNER TRANSITIONS FOR GC-T3. MITER CORNERS
GC-TR2C	TILE TRANSITION STRIP	SCHLUTER	JOLLY A110TSG PEWTER	7/16"	myocum@schluter.com 714-329-0355	PROVIDE AT CORNER TRANSITIONS FOR GC-T8-B. MITER CORNERS

KITCHEN & BOH FINISH UPGRADE ADD ON ENHANCEMENT

ITEM	PRODUCT	MANUFACTURER	DESCRIPTION	SIZE	CONTACT	NOTES	
GC-T10	QUARRY FLOOR TILE	EMSER TILE	E-QUARRY LAVA Q01EQUALA0606	6" X 6" X 3/8"	#9 NATURAL GRAY	jackinthebox@emser.com	GROUT TO BE CEG-LITE 100% SOLIDS COMMERCIAL EPOXY GROUT, 3/16" GROUT JOINT
GC-T11	QUARRY FLOOR TILE	EMSER TILE	E-QUARRY LAVA ABRASIVE Q01EQUALA0606A	6" X 6" X 3/8"	#9 NATURAL GRAY	jackinthebox@emser.com	GROUT TO BE CEG-LITE 100% SOLIDS COMMERCIAL EPOXY GROUT, 3/16" GROUT JOINT
GC-T12	QUARRY TILE COVE BASE	EMSER TILE	E-QUARRY LAVA Q01EQUALA0606CB	6" RADIUS COVED. PROVIDE OUTSIDE AND INSIDE CORNERS	#9 NATURAL GRAY	jackinthebox@emser.com	GROUT TO BE CEG-LITE 100% SOLIDS COMMERCIAL EPOXY GROUT, 3/16" GROUT JOINT
GC-WP1	WALL PANEL	INPRO	SANI-SURFACE WALL CLADDING PURE WHITE - 0383	4'X10'	NATALIE GREHN 800-222-5556 x5162 ngrhn@inprocorp.com	ORDER & INSTALL WITH MATCHING TRIM (PURE WHITE - 0383)	



In the box®

9357 SPECTRUM CENTER BLVD. SAN DIEGO, CA 92123

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DATES

RELEASE: MARCH 04, 2022

P.M. UPDATES: APRIL 29, 2022

SUBMITTAL DATE:

1: \_\_\_\_\_

2: \_\_\_\_\_

3: \_\_\_\_\_

BID: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

REVISIONS

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OWENS DESIGN CONSULTANTS  
145 N. 2ND AVENUE, SUITE 5  
Oakdale, CA 95361  
(209) 522-8031 - fax: (209) 522-4728 - www.odcengr.com



EXP. 6/30/25

SITE INFORMATION

MK TYPE: MK3

JIB #: #426

ADDRESS:

1301 Camden Ave

Campbell, CA, 95008

DRAWN BY: GPalmerin

PROJECT #:

SCALE: NONE

SCHEDULE

ID4.0

**INDUSTRIAL IMAGE PACKAGE**

**OWNER FURNISHED SCHEDULE ( ALL ITEMS NOTED ON THIS SCHEDULE TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR UNLESS NOTED OTHERWISE )**

**DINING TABLES**

ITEM	PRODUCT	TABLE TOP SIZE	HEIGHT	TABLE BASE	NOTES
OF-B55L	ACCESSIBLE 55" BAR COUNTER TOP 32" COUNTER TOP HEIGHT	17 3/4"X55 3/8" IN SOLID SURFACE CORIAN SAGEBRUSH	32"	TWO 3" DIA. COLUMNS CORE DRILLED WITH TIGER DRYLAC BROWN FINISH 49/62721.	SUPPORT COLUMNS TO HAVE POWER. GC TO ASSEMBLE. FOR NO POWER OPTION ADD "N" AT THE END OF CALL OUT (OF-D55L-N)
OF-B55H	55" BAR COUNTER TOP 42.2" COUNTER TOP HEIGHT	17 3/4"X55 3/8" IN SOLID SURFACE CORIAN SAGEBRUSH	42.2"	TWO 3" DIA. COLUMNS CORE DRILLED WITH TIGER DRYLAC BROWN FINISH 49/62721.	SUPPORT COLUMNS TO HAVE POWER. GC TO ASSEMBLE. FOR NO POWER OPTION ADD "N" AT THE END OF CALL OUT (OF-D55H-N)
OF-B84H	84" BAR COUNTER TOP- HIGH	17 3/4"X84 7/8" IN SOLID SURFACE CORIAN SAGEBRUSH	42.2"	TWO 3" DIA. COLUMNS CORE DRILLED WITH TIGER DRYLAC BROWN FINISH 49/62721.	SUPPORT COLUMNS TO HAVE POWER. GC TO ASSEMBLE. FOR NO POWER OPTION ADD "N" AT THE END OF CALL OUT (OF-D84L-N)
OF-DT1	TWO TOP TABLE- LOW	24"X24" IN SOLID SURFACE AVONITE F1-7501 MOON CRYSTAL	29"	3" DIA. CORE DRILLED STRAIGHT CENTER COLUMN WITH TIGER DRYLAC BROWN FINISH 49/62721.	
OF-DT1-F	TWO TOP TABLE LOW	24"X24" IN SOLID SURFACE AVONITE F1-7501 MOON CRYSTAL	29"	FREESTANDING CROSS BASE WITH STRAIGHT 3" DIA. COLUMN WITH TIGER DRYLAC BROWN FINISH 49/62721.	
OF-DT2	TWO TOP TABLE- HIGH	24"X24" IN SOLID SURFACE AVONITE F1-7501 MOON CRYSTAL	42"	3" DIA. CORE DRILLED STRAIGHT CENTER COLUMN WITH TIGER DRYLAC BROWN FINISH 49/62721.	
OF-DT3	SIX TOP BOOTH TABLE- LOW	24"X72" IN SOLID SURFACE AVONITE F1-7501 MOON CRYSTAL	29"	TWO FREESTANDING T BASES WITH STRAIGHT 3" DIA. COLUMN WITH TIGER DRYLAC BROWN FINISH 49/62721.	
OF-DT4-F	ACCESSIBLE FOUR TOP TABLE- LOW	24"X48" IN SOLID SURFACE AVONITE F1-7501 MOON CRYSTAL	29"	TWO FREESTANDING T BASES WITH STRAIGHT 3" DIA. COLUMN WITH TIGER DRYLAC BROWN FINISH 49/62721.	FOR NON ADA OPTIONS ADD "N" AT THE END OF CALLOUT (OF-DT4-FN)
OF-DT5-A	FOUR TOP BOOTH TABLE- LOW	24"X48" A: SOLID SURFACE- AVONITE MOON CRYSTAL	29"	3" DIA. CORE DRILLED STRAIGHT CENTER COLUMN WITH TIGER DRYLAC BROWN FINISH 49/62721.	
OF-DT8-A	ACCESSIBLE FOUR TOP BOOTH TABLE- LOW	32 1/2"X48" A: SOLID SURFACE- AVONITE MOON CRYSTAL	29"	3" DIA. CORE DRILLED STRAIGHT CENTER COLUMN, OFFSET ADA, WITH TIGER DRYLAC BROWN FINISH 49/62721.	FOR NON ADA OPTIONS ADD "N" AT THE END OF CALLOUT (OF-DT8-AN)
OF-DT10	FOUR TOP TABLE- HIGH	24"X48" IN SOLID SURFACE AVONITE F1-7501 MOON CRYSTAL	42"	3" DIA. CORE DRILLED STRAIGHT CENTER COLUMN WITH TIGER DRYLAC BROWN FINISH 49/62721.	
OF-DT12	30" DIA. ROUND TABLE- LOW	30" DIA. IN SOLID SURFACE AVONITE F1-7501 MOON CRYSTAL	29"	3" DIA. CORE DRILLED STRAIGHT CENTER COLUMN WITH TIGER DRYLAC BROWN FINISH 49/62721.	
OF-DT13	30" DIA. ROUND- HIGH	30" DIA. IN SOLID SURFACE AVONITE F1-7501 MOON CRYSTAL	42"	3" DIA. CORE DRILLED STRAIGHT CENTER COLUMN WITH TIGER DRYLAC BROWN FINISH 49/62721.	
OF-DT14-C	120" COMMUNAL TABLE- HIGH	30"X120" C: CORIAN SOLID SURFACE- SAGEBRUSH	42"	THREE 3" COLUMNS CORE DRILLED WITH TIGER DRYLAC BROWN FINISH 49/62721.	SUPPLY POWER * FOR NO POWER OPTION ADD "N" AT THE END OF CALL OUT (OF-DT14-CN)
OF-DT15-C	72" COMMUNAL TABLE- LOW	30"X72" C: CORIAN SOLID SURFACE- SAGEBRUSH	32"	TWO FREESTANDING T BASES WITH STRAIGHT 3" DIA. COLUMN WITH TIGER DRYLAC BROWN FINISH 49/62721.	SUPPLY POWER * FOR NO POWER OPTION ADD "N" AT THE END OF CALL OUT (OF-DT15-CN)
OF-DT16-C	72" COMMUNAL TABLE- LOW	30"X72" C: CORIAN SOLID SURFACE- SAGEBRUSH	32"	TWO 3" DIA. COLUMNS CORE DRILLED WITH TIGER DRYLAC BROWN FINISH 49/62721.	SUPPLY POWER * FOR NO POWER OPTION ADD "N" AT THE END OF CALL OUT (OF-DT16-CN)
OF-DT17-C	72" COMMUNAL TABLE- HIGH	30"X72" C: CORIAN SOLID SURFACE- SAGEBRUSH	42"	3" DIA. CORE DRILLED COLUMN, OFFSET ADA, WITH TIGER DRYLAC BROWN FINISH 49/62721.	SUPPLY POWER * FOR NO POWER OPTION ADD "N" AT THE END OF CALL OUT (OF-DT17-CN)
OF-DT18-C	48" COMMUNAL TABLE - LOW	30"X48" C: CORIAN SOLID SURFACE- SAGEBRUSH	32"	TWO 3" DIA. COLUMNS CORE DRILLED WITH TIGER DRYLAC BROWN FINISH 49/62721.	SUPPLY POWER * FOR NO POWER OPTION ADD "N" AT THE END OF CALL OUT (OF-DT18-CN)
OF-DT19-C	96" COMMUNAL TABLE- LOW	30"X96" C: CORIAN SOLID SURFACE- SAGEBRUSH	32"	TWO 3" DIA. COLUMNS CORE DRILLED WITH TIGER DRYLAC BROWN FINISH 49/62721.	SUPPLY POWER * FOR NO POWER OPTION ADD "N" AT THE END OF CALL OUT (OF-DT19-CN)
OF-DT20-C	96" COMMUNAL TABLE- HIGH	30"X96" C: CORIAN SOLID SURFACE- SAGEBRUSH	42"	3" DIA. CORE DRILLED COLUMN, WITH TIGER DRYLAC BROWN FINISH 49/62721.	SUPPLY POWER * FOR NO POWER OPTION ADD "N" AT THE END OF CALL OUT (OF-DT20-CN)

**ELECTRONICS**

ITEM	PRODUCT	DESCRIPTION	SIZE	NOTES
OF-EL1	PLAY NETWORK SOUND SYSTEM		SEE ELEVATION FOR SIZE AND LOCATION	OWNER FURNISHED AND OWNER INSTALLED

**INTERIOR GRAPHICS**

ITEM	PRODUCT	DESCRIPTION	SIZE	NOTES
OF-GVWC	GRAPHIC VINYL WALL COVERING	CUSTOM DIGITAL FLOOR TO CEILING GRAPHIC WALL COVERING	SEE ELEVATION FOR SIZE AND LOCATION	PREP WALLS PER SPECIFICATIONS, INSTALL PER MANUFACTURE RECOMMENDATIONS.
OF-18-B	WALL ART	CUSTOM WALL ART	18"X30"	IMAGES 01, 02, 03, 04, 05
OF-30-B	WALL ART	CUSTOM WALL ART	30"X30"	IMAGES 06, 07, 08
OF-MWB	METAL WALL BADGE	CUSTOM WALL ART	24" DIA.	-
OF-RV-A OF-RV-B OF-RV-C	RESTROOM VESTIBULE WALL COVERING	WHITE LETTERING A: HOPE YOU COUNTED YOUR FRIES BEFORE YOU LEFT THE TABLE B: WHERE ARE YOU GOING? TACOS ARE THE OTHER WAY C: HURRY YOUR BURGER IS GETTING LONELY	SEE ELEVATION FOR SIZE AND LOCATION	PREP WALLS PER SPECIFICATIONS, INSTALL PER MANUFACTURER RECOMMENDATIONS

**EXTERIOR PATIO FURNITURE**

ITEM	PRODUCT	DESCRIPTION	SIZE	NOTES
OF-WR1	EXTERIOR TRASH RECEPTACLE	MF3053-66 IN GRAY W/TF1407 LID		
OF-WR2	EXTERIOR TRASH RECEPTACLE W/ CHUTE ATTACHMENT	MF3053-66 IN GRAY		
OF-PT1	PATIO TABLE	WAUSAU TILE INC. - MF1022 METAL FRAME: 72 ALUMINUM, METAL MESH: 126 CHARCOAL	75"X42"X31"	INSTALL WITH ANCHOR KIT #7208
OF-PT2	PATIO TABLE (ADA)	SWAUSAU TILE INC. - MF1020 METAL FRAME: 72 ALUMINUM, METAL MESH: 126 CHARCOAL	74"X74"X31"	INSTALL WITH ANCHOR KIT #7206
OF-PT3	SQUARE PATIO TABLE (ADA)	WAUSAU TILE INC. - MF1021(ADA) METAL FRAME: 72 ALUMINUM, METAL MESH: 126 CHARCOAL	74"X58"X31"	INSTALL WITH ANCHOR KIT #7207
OF-TU1	OUTDOOR TABLE UMBRELLA	TUUCI PATIO UMBRELLA - UJIB6.SS06003NO - JOCKEY RED #6003	6.5 FT. SQUARE / 8" ALUMINUM POLE	TUUCI STAND - JIBBASE-ACF65 - SILVER - 20" DIA. x 14.2" H, 65 LBS

**SEATING**

ITEM	PRODUCT	DESCRIPTION	SIZE	NOTES
OF-CH1.L	WOOD DINING CHAIR-LOW	SEAT AND BACK: WALNUT ACCENT METAL: GUNMETAL	20"W X 18"D X 32"H SEAT HEIGHT 18"	GC MUST ASSEMBLE.
OF-CH1.H	WOOD DINING CHAIR-HIGH	SEAT AND BACK: WALNUT ACCENT METAL: GUNMETAL	20.25"W X 18.3"D X 46.3"H SEAT HEIGHT 30"	GC MUST ASSEMBLE.
OF-CH3.L	UPHOLSTERED STOOL- LOW	SEAT FINISH: VINYL RBL-501 POPPY (RED) FRAME FINISH: STEEL WITH DURA CLEARCOAT MATTE	15 1/2"W X 15 1/2"D X 19"H	
OF-CH3.H	UPHOLSTERED STOOL-HIGH	SEAT FINISH: VINYL RBL-501 POPPY (RED) FRAME FINISH: STEEL WITH DURA CLEARCOAT MATTE	15 1/2"W X 15 1/2"D X 30"H	
OF-CH4.H	UPHOLSTERED STOOL-HIGH	SEAT FINISH: VINYL CLA-920 GRAPE (PURPLE) FRAME FINISH: STEEL WITH DURA CLEARCOAT MATTE	15 1/2"W X 15 1/2"D X 30"H	
OF-BTS1-A OF-BTS1-B	SINGLE ONE SEAT BOOTH, BACK AND SEAT	BACK FINISH: WOLF GORDON VINYL-CALISTOGA-MATADOR CGT-8495 BOOTH FRAME: TIGER DRYLAC BROWN FINE TEXTURE -049/6272 WITH MESH SCREEN A: UPHOLSTERED SEAT FINISH: WOLF GORDON VINYL-CARACU-STROM CAU-8797 B: HARD SEAT FINISH: THERMO FOIL-CERUSED TAUPE-537800-3D LAMINATES	24"W X 21 1/4"D X 48"H	
OF-BTS2-A OF-BTS2-B	SINGLE TWO SEATS BOOTH, BACK AND SEAT	BACK FINISH: WOLF GORDON VINYL-CALISTOGA-MATADOR CGT-8495 BOOTH FRAME: TIGER DRYLAC BROWN FINE TEXTURE -049/6272 WITH MESH SCREEN A: UPHOLSTERED SEAT FINISH: WOLF GORDON VINYL-CARACU-STROM CAU-8797 B: HARD SEAT FINISH: THERMO FOIL-CERUSED TAUPE-537800-3D LAMINATES	48"W X 21 1/4"D X 48"H	
OF-BTD-A OF-BTD-B	DOUBLE BOOTH, BACK AND SEAT	BACK FINISH: WOLF GORDON VINYL-CALISTOGA-MATADOR CGT-8495 BOOTH FRAME: TIGER DRYLAC BROWN FINE TEXTURE -049/6272 WITH MESH SCREEN A: UPHOLSTERED SEAT FINISH: WOLF GORDON VINYL-CARACU-STROM CAU-8797 B: HARD SEAT FINISH: THERMO FOIL-CERUSED TAUPE-537800-3D LAMINATES	48"W X 41"D X 48"H	
OF-BQ1-A OF-BQ1-B	ONE SEAT BANQUETTE BOOTH, BACK AND SEAT	BACK FINISH: WOLF GORDON VINYL-CALISTOGA-MATADOR CGT-8495 BOOTH FRAME: TIGER DRYLAC BROWN FINE TEXTURE -049/6272 WITH MESH SCREEN A: UPHOLSTERED SEAT FINISH: WOLF GORDON VINYL-CARACU-STROM CAU-8797 B: HARD SEAT FINISH: THERMO FOIL-CERUSED TAUPE-537800-3D LAMINATES	24"W X 21 1/4"D X 48"H	
OF-BQ2-A OF-BQ2-B	TWO SEATS BANQUETTE BOOTH, BACK AND SEAT	BACK FINISH: WOLF GORDON VINYL-CALISTOGA-MATADOR CGT-8495 BOOTH FRAME: TIGER DRYLAC BROWN FINE TEXTURE -049/6272 WITH MESH SCREEN A: UPHOLSTERED SEAT FINISH: WOLF GORDON VINYL-CARACU-STROM CAU-8797 B: HARD SEAT FINISH: THERMO FOIL-CERUSED TAUPE-537800-3D LAMINATES	48"W X 21 1/4"D X 48"H	

**GENERAL NOTES**

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- IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY QUANTITIES AND ITEMS BEFORE ORDERING.
- MOUNT ALL CEILING HUNG PANELS FROM A MINIMUM OF THREE POINTS TO STRUCTURE ABOVE.
- IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL FIELD DIMENSIONS WITH SIZE OF PRE-FABRICATED UNITS TO CONFIRM FIT AND FINISH.
- ALL FLOORING TRANSITIONS SHALL COMPLY WITH A.D.A. TRANSITION REQUIREMENTS.
- NO EQUIPMENT SUBSTITUTIONS ARE ALLOWED WITHOUT JACK IN THE BOX APPROVAL.
- PAINT FORMULAS BASED ON SUBSTRATE, VERIFY WITH SHERWIN WILLIAMS BEFORE ORDERING.
- G.C. TO INSTALL RUBBER BUMPER AT TABLE EDGES AGAINST WALL MURAL TO PROTECT THE GRAPHIC.



**Jack**  
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 SAN DIEGO, CA 92123

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**DATES**

RELEASE: MARCH 04, 2022

P.M. UPDATES: APRIL 29, 2022

SUBMITTAL DATE:

1: \_\_\_\_\_

2: \_\_\_\_\_

3: \_\_\_\_\_

BID: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

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 145 N. 2ND AVENUE, SUITE 5  
 OAKDALE, CA 95361  
 (209) 522-8031 - fax: (209) 522-4788 - www.odcengr.com



EXP. 6/30/25

**SITE INFORMATION**

MK TYPE: MK3

JIB #: #426

ADDRESS:

1301 Camden Ave

Campbell, CA, 95008

DRAWN BY: GPalmerin

PROJECT #:

SCALE: NONE

**SCHEDULE**

**ID4.1**

**INDUSTRIAL IMAGE PACKAGE**

**OWNER FURNISHED SCHEDULE ( ALL ITEMS NOTED ON THIS SCHEDULE TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR UNLESS NOTED OTHERWISE )**

**EQUIPMENT**

ITEM	PRODUCT	DESCRIPTION	SIZE	NOTES
OF-EQ1	SINGLE TRASH RECEPTACLE	CUSTOM FABRICATED WALL WITH STUDIO TEAK LAMINATE ON STEEL FRAME IN TIGER DRYLAC BROWN FINISH 49/62721	21 1/4"W X 27" X 44"H	MEDALLION: TRASH
OF-EQ2-TR OF-EQ2-TT	TWO COMPARTMENT TRASH	CUSTOM FABRICATED WALL PANEL WITH STUDIO TEAK LAMINATE ON STEEL FRAME TIGER DRYLAC BROWN FINISH 49/62721 TR: TRASH/ RECYCLE MEDALLION TT: TRASH/TRASH MEDALLION	34"W X 27"X 44"H	TRASH/RECYCLE OPTION ADD "TR" AT THE END OF THE CALL OUT (OF-EQ-TR) AND FOR TRASH/TRASH ADD "TT" (OF-EQ-TT)
OF-EQ3-TRC OF-EQ3-TTT	THREE COMPARTMENT TRASH	CUSTOM FABRICATED WALL PANEL WITH STUDIO TEAK LAMINATE ON STEEL FRAME TIGER DRYLAC BROWN FINISH 49/62721 TRC: TRASH/RECYCLE/COMPOST TT: TRASH/TRASH/TRASH MEDALLION	48"W X 27" X 44"H	TRASH/RECYCLE/COMPOST OPTION ADD "TRC" AT THE END OF THE CALL OUT (OF-EQ-TRC) AND FOR TRASH/TRASH/TRASH ADD "TTT" (OF-EQ-TTT)
OF-EQ4	DESIGNER HIGH CHAIR BY KOALA	#KB105-01 GREY		
OF-EQ5	PICK UP SIGNAGE	BLACK		INSTALL OVER SERVICE COUNTER
OF-EQ6	WINDOW SHADES	ROLL-A-SHADE LEGACY SYSTEM, SILVER OR BLACK FINISH TO MATCH MULLIONS W/ FASCIA FABRIC: SHEAR WEAVE 4100 10% W UGI GREY STONE		SHADES TO BE INSTALLED FRAME TO FRAME WITHIN WINDOW.
OF-EQ7 OF-EQ7N	NOT USED			
OF-EQ8	ILLUMINATED ADDRESS CABINET	RAL 7022 (UMBRA GRAY) CABINET WITH WHITE ACRYLIC NUMBERS		120V POWER, U.L. LISTED.
OF-EQ9	NEIGHBORHOOD SIGN	RAL 9004 (SIGNAL BLACK)		OPTIONAL OVER ENTRY CANOPY - TEXT SELECTED BY FRANCHISE OPERATOR AND JIB MARKETING
OF-EQ10	RED EXTERIOR BRANDING PANELS	CUSTOM FABRICATED CORRUGATED PLASTIC MATCHING SW RED BAY WITH POWDER COATED METAL FRAME IN RAL 7039 (QUARTZ GREY)	6' X 6' WITH 3" FRAME	
OF-EQ11	GRAY EXTERIOR BRANDING PANELS	CUSTOM FABRICATED CORRUGATED PLASTIC MATCHING SW GAUNTLET GRAY WITH POWDER COATED METAL FRAME IN RAL 9004 (SIGNAL BLACK)	6' X 6' WITH 3" FRAME	
OF-EQ12	NOT USED			
OF-EQ13	EXTERIOR LOGO DOOR HANDLE	CUSTOM FABRICATED RED LOGO DOOR HANDLE WITH POWDER COATED METAL		OF-EQ13L WHEN PULL IS ON RIGHT SIDE OF DOOR
OF-EQ18	SINGLE INTERNALLY ILLUMINATED DISPLAY POSTER	RAL 7022 (UMBRA GRAY)	4'-1 1/4"W X 5'-0"H	
OF-EQ20	EXTERIOR METAL FASCIA	RAL 7039 (QUARTZ GREY) OR RAL 9004 (SIGNAL BLACK) AS NOTED ON PLANS	6'-7 1/8"W X 4'-9"H	
OF-EQ21A	PARKING SIGN	POLE MOUNTED PARKING SIGN, UP TO 4 SPOTS AVAILABLE #PS00L1, MFR. PARKWOOD	18"W X 24"L	OWNER TO PROVIDE SIGN, GC TO PROVIDE POLE & INSTALL BOTH SIGN & POLE. POLE TO BE INSTALLED AT 60" FROM B.O. OF POLE TO B.O. SIGN. SEE SITE PLAN SHEETS FOR LOCATION. SIGN MAY BE MOUNTED TO BUILDING WALL IF NEEDED.
OF-EQ21B	NOT USED			
OF-EQ22G	EXTERIOR RAILING	CUSTOM RAIL WITH TIGER DRYLAC RAL 7039 QUARTZ GREY FINISH W/ CLEAR COAT	2'-8"	
OF-EQ22H	EXTERIOR RAILING	CUSTOM RAIL WITH TIGER DRYLAC RAL 7039 QUARTZ GREY FINISH W/ CLEAR COAT	4'-8"	
OF-EQ22	EXTERIOR CANTILEVERED METAL CANOPY	RAL 7039 (QUARTZ GREY) OR RAL 9004 (SIGNAL BLACK) AS NOTED ON PLANS	12"H X 3'-0"D (4'-0"D FOR CALIFORNIA PROJECTS). LENGTHS AS NOTED ON EXTERIOR ELEVATIONS.	LIGHT FIXTURES MOUNTED WITHIN THE CANOPY AS CALLED OUT ON ELECTRICAL SHEETS, PROVIDED BY SIGN VENDOR.
OF-EQ23	EXTERIOR METAL CANOPY	RAL 7039 (QUARTZ GREY) OR RAL 9004 (SIGNAL BLACK) AS NOTED ON PLANS	8"H X 3'-0"D. LENGTHS AS NOTED ON EXTERIOR ELEVATIONS (4', 6', 7.5', 8', 9.5', 10', 12')	LIGHT FIXTURES MOUNTED WITHIN THE CANOPY AS CALLED OUT ON ELECTRICAL SHEETS
OF-EQ24	EXTERIOR METAL DRIVE-THRU CANOPY	RAL 7039 (QUARTZ GREY) OR RAL 9004 (SIGNAL BLACK) AS NOTED ON PLANS	8"H X 4'-0"D. LENGTHS AS NOTED ON EXTERIOR ELEVATIONS (7.5', 8', 9.5', 12')	LIGHT FIXTURES MOUNTED WITHIN THE CANOPY AS CALLED OUT ON ELECTRICAL SHEETS
OF-EQ25	EXTERIOR METAL CANOPY FASCIA	RAL 7039 (QUARTZ GREY) OR RAL 9004 (SIGNAL BLACK) AS NOTED ON PLANS	8'-8"W X 8"H	
OF-EQ26	RESTROOM SIGN	HAND WASHED & RESTROOM CHECKED	8"W X 10"H	
OF-EQ27	FREESTANDING WASTE RECEPTACLE	SIMPLE HUMAN CW1407	16"x30"	

**SOLID SURFACE**

ITEM	PRODUCT	DESCRIPTION	SIZE	NOTES
OF-SS1	SOLID SURFACE -SERVICE COUNTERTOP	MOON CRYSTAL F1-7501	SEE PLAN FOR SIZE AND FIELD VERIFY	
OF-SS2	SOLID SURFACE - COUNTER SURROUND STRIPS	GRENADINE K3-8810 WITH MIRROR POLISH	SEE PLAN FOR SIZE AND FIELD VERIFY	GC TO PAINT BACK OF SOLID SURFACE STRIP SW7005 PURE WHITE
OF-SS3	SOLID SURFACE - WALL CAP	CORIAN - CONCRETE	SEE PLAN FOR SIZE AND FIELD VERIFY	

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- MOUNT ALL CEILING HUNG PANELS FROM A MINIMUM OF THREE POINTS TO STRUCTURE ABOVE.
- IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL FIELD DIMENSIONS WITH SIZE OF PRE-FABRICATED UNITS TO CONFIRM FIT AND FINISH.
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**STANDARD LEAD TIMES - GC TO VERIFY BEFORE STARTING ANY WORK**

PRODUCT	MANUFACTURER	LEAD TIME
DOOR HARDWARE	LOCKNET	10 DAYS
LAMINATE	WILSONART	10 DAYS
PAINT	SHERWIN WILLIAMS	5-7 DAYS
RESTROOM EQUIPMENT	ECOLAP / SSDC	-
	ESSITY	4 WEEKS
	NEWTON DISTRIBUTING	2-5 DAYS (3 WEEKS ON PARTITIONS)
	SENTRY MIRROR	2-3 DAYS
SUSPENDED CEILING TILE	ARMSTRONG	2 WEEKS
TILE	DALTILE	2 WEEKS
SUSPENDED CEILING TILE	CROSSVILLE TILE	2 WEEKS
TRIM	SCHLUTER	5-7 DAYS
VINYL WALL COVERING	MOMENTUM TEXTILES & WALLCOVERING	4 WEEKS
WALL GUARD	INPRO	7 DAYS
WALL PANEL	MARLITE	3-6 WEEKS
	PANOLAM	4 WEEKS
KITCHEN EQUIPMENT CONSOLIDATORS (KEC)	H+K INTERNATIONAL	10-12 WEEKS
	JUST ABOUT COMMERCIAL KITCHENS, INC.	10-12 WEEKS
LIGHTING	VILLA LIGHTING	3 WEEKS
OPERATOR PLAQUE	GOLD MEDALLION AWARDS	2-3 DAYS
SIGNAGE	NATIONAL SIGN SYSTEM	6-8 WEEKS
	SIGNTECH	6-8 WEEKS



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2: \_\_\_\_\_

3: \_\_\_\_\_

BID: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

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 145 N. 2ND AVENUE, SUITE 5  
 Oakland, CA 95361  
 (209) 522-8031 - fax: (209) 522-4788 - www.odcengr.com



**SITE INFORMATION**

MK TYPE: MK3

JIB #: #426

ADDRESS:  
 1301 Camden Ave  
 Campbell, CA, 95008

DRAWN BY: GPalmerin

PROJECT #:

SCALE: NONE

**SCHEDULE**

**ID4.2**

## DIVISION 1 - GENERAL REQUIREMENTS

The General Conditions of the Contract for Construction, AIA Document #A201, latest edition and information for bidders list by Jack in the Box Inc. representative of the American Institute of Architects is hereby made a part of the contract documents to the same extent as if written out in full.

All work shall be performed in a first-class manner and shall conform to all applicable codes of the building site.

Changes to that specified shall be submitted to the Owner's representative, in the form of detailed drawings and specifications, for the approval of the Architect. Proposals that alter the Contract and/or permit documents, site conditions and/or structural elements, shall be prepared under the direction of and signed by an architect or engineer, registered in the state of location of work.

The additional cost of professional services, permits, fees, inspection, and other required costs due to the proposal of change, shall be paid for by the Contractor without cost to Owner.

The Owner reserves the right to occupy the premises at any time before completion. Such occupancy shall not constitute final acceptance of all or any part of the work included in the Contract.

The Contractor shall verify all dimensions and elevations before starting work and shall notify the Architect immediately of any discrepancies. Any conflicts found on the Drawing shall be resolved before proceeding with the work.

The Contractor shall determine the location of utility services in the area to be excavated and notify Owner's representative prior to beginning excavation.

The "building cost" shall include all work within the building area (above and below grade) and extend out to the outer face of concrete planter curbs and drive-thru curb.

All work beyond this building area shall be listed separately as "site costs" and shall include all on-site and off-site work (off-site shall incorporate any and all work outside the property line and shall be in full accordance with all governing agencies). The work generally included is grading, paving, curbs, wall or fences, yard lighting, all utilities, landscaping and sprinkler systems, etc.

Include all costs for bonds, inspection, etc.

If any discrepancies are shown or information that is deemed by the Contractor as necessary is missing at the time of bidding, the Owner must be notified in writing prior to signing of a Contract.

Clean-up upon completion of each subcontractor's work: All rubbish and debris shall be removed from the location of work by the subcontractor at his expense.

### SUPPLEMENTAL CONDITIONS:

#### A. KITCHEN EQUIPMENT:

Buying of equipment by Owner, installation as indicated on Kitchen drawings. See note on Sealant, Division 7.

#### B. INTERNATIONAL COLD STORAGE (ICS) Walk-in Box:

##### Installation:

Walk-in cooler and freezer are supplied by the manufacturer, site constructed and erected as one piece, and installed inside the building as depicted in the drawings by G.C. If a crane is necessary for the installation, it will be the responsibility of the G.C. to arrange for the crane.

##### Electrical Connections:

G.C. shall coordinate with manufacturer to install and open refrigerant lines of the walk-in system(s). The E.C. shall make the electrical connections to all required components as shown on the drawings. All wiring shall be done by E.C.

##### Flashing, Trim and Tie downs:

Flashing, trim kits, thresholds and tie downs are supplied by manufacturer and installed by the G.C.

##### INTERNATIONAL COLD STORAGE

P.O. Box 425, 215 E. 13th  
Andover, KS 67002  
(800) 835-0001 x166 Attn. James Watkins  
e-mail address: James.watkins@icsco.com

#### C. Ice Machine:

Owner provides compressor, condenser, evaporator refrigeration piping and accessories. Contractor provides condensate drains, refrigerant, heat tape for drain lines, pipe insulation, and roof top equipment platforms. Contractor installs, starts up and tests all equipment, piping, and accessories. See Kitchen Equipment Schedule, on kitchen drawings.

#### D. Seating and Tables:

Provided by Owner, assembled and installed by General Contractor. See see Interior Design (ID) sheets.

#### E. Wall Corner Guards: (in kitchen)

Furnished by Owner and installed by Food Service Equipment Contractor. See Food Service Equipment, See Kitchen drawings.

#### F. Syrup, Water and CO2 Lines:

The Beverage Contractor shall provide and install syrup, water and CO2 lines from syrup rack and carbonators to each drink station. Refer to plumbing drawings.

## DIVISION 2 - SITE WORK

### 1. SITE WORK:

Clear and remove from site, trees, brush and refuse from within limits of construction and paving. Remove all obstructions that interfere with building construction and paving as indicated or required, and portions of public sidewalks and curbs to extent necessary to provide new driveways and sidewalks.

Locate existing underground utilities by careful hand excavation before starting earthwork operations. If utilities are to remain in place, provide protection from damage during construction operations. Contact local Utility Company for information regarding underground utilities.

Should uncharted or incorrectly charged piping or other utilities be encountered during excavation, consult the Owner immediately for directions as to procedure. Repair damaged utilities to the satisfaction of the Utility Owner. Cooperate with the Owner, and public and private Utility Companies in keeping services and facilities in operation.

Barricade open excavation and post with warning lights for the safety of persons, operating warning lights during hours from dusk to dawn each day.

Protect structure, utilities, sidewalks, pavements and other facilities immediately adjacent to excavations, from damages caused by settlement, lateral movement, undermining washout and other hazards.

All fill and backfill shall be selected fill material compacted to at least 90% of the Maximum Density Obtainable by the ASTM D1557 method of compaction. Unless noted otherwise on the grading plan and earthwork specifications, use non-expansion fill material at building area and under walks. Refer to soil boring reports for additional requirements. Contractor shall rough grade site to within 2" of finish grades, i.e. to within 3' of top of curbs and walks.

## DIVISION 7 - STANDING-SEAM METAL ROOF PANELS

### PART 1 - GENERAL

#### 1.1 SUMMARY

A. Section includes standing-seam metal roof panels at the mansard.

#### 1.2 ACTION SUBMITTALS

A. PRODUCT DATA: FOR EACH TYPE OF PRODUCT.

1. Include construction details, material descriptions, dimensions of individual components and profiles, and finishes for each type of panel and accessory.

B. SHOP DRAWINGS:

1. Include fabrication and installation layouts of metal panels; details of edge conditions, joints, panel profiles, corners, anchorages, attachment system, trim, flashings, closures, and accessories; and special details.

2. ACCESSORIES: Include details of the flashing, trim, and anchorage systems.

C. SAMPLES FOR INITIAL SELECTION: For each type of metal panel indicated with factory-applied color finishes.

1. Include similar samples of trim and accessories involving color selection.

D. SAMPLES FOR VERIFICATION: For each type of exposed finish required, prepared on samples of size indicated below.

1. METAL PANELS: 12 inches (305 mm) long by actual panel width. include clips, fasteners, closures, and other metal panel accessories.

#### 1.3 INFORMATIONAL SUBMITTALS

A. QUALIFICATION DATA: For installer.

B. PRODUCT TEST REPORTS: For each product, for tests performed by a qualified testing agency.

C. Field quality-control reports.

D. SAMPLE WARRANTIES: For special warranties.

#### 1.4 CLOSEOUT SUBMITTALS

A. MAINTENANCE DATA: For metal panels to include in maintenance manuals.

#### 1.5 QUALITY ASSURANCE

A. INSTALLER QUALIFICATIONS: An entity that employs installers and supervisors who are trained and approved by manufacturer.

#### 1.6 DELIVERY, STORAGE, AND HANDLING

A. Deliver components, metal panels, and other manufactured items so as not to be damaged or deformed. package metal panels for protection during transportation and handling.

B. Unload, store, and erect metal panels in a manner to prevent bending, warping, twisting, and surface damage.

C. Stack metal panels horizontally on platforms or pallets, covered with suitable weathertight and ventilated covering. Store metal panels to ensure dryness, with positive slope for drainage of water. Do not store metal panels in contact with other materials that might cause staining, denting, or other surface damage.

D. Retain strippable protective covering on metal panels during installation.

#### 1.7 FIELD CONDITIONS

A. WEATHER LIMITATIONS: Proceed with installation only when existing and forecasted weather conditions permit assembly of metal panels to be performed according to manufacturers' written instructions and warranty requirements.

#### 1.8 COORDINATION

A. Coordinate metal panel installation with low-slope roofing installation and other adjoining work to provide a leakproof, secure, and noncorrosive installation.

#### 1.9 WARRANTY

A. SPECIAL WARRANTY: Manufacturer's standard form in which manufacturer agrees to repair or replace components of metal panel systems that fail in materials or workmanship within specified warranty period.

1. Failures include, but are not limited to, the following:  
A. Structural failures including rupturing, cracking, or puncturing.  
B. Deterioration of metals and other materials beyond normal weathering.

2. WARRANTY PERIOD: Two years from date of substantial completion.

B. SPECIAL WARRANTY ON PANEL FINISHES: Manufacturer's standard form in which manufacturer agrees to repair finish or replace metal panels that show evidence of deterioration of factory-applied finishes within specified warranty period.

1. EXPOSED PANEL FINISH: Deterioration includes, but is not limited to, the following:  
A. Color fading more than 5 hunter units when tested according to ASTM D2244.  
B. Chalking in excess of a no. 8 rating when tested according to ASTM D4214.  
C. Cracking, checking, peeling, or failure of paint to adhere to bare metal.

2. FINISH WARRANTY PERIOD: 20 years from date of substantial completion.

### PART 2 - PRODUCTS

#### 2.1 PERFORMANCE REQUIREMENTS

A. ENERGY PERFORMANCE: Provide roof panels according to one of the following when tested according to CRRC-1:

1. Three-year, aged solar reflectance of not less than 0.63 and emissivity of not less than 0.75.

B. STRUCTURAL PERFORMANCE: Provide metal panel systems capable of withstanding the effects of the following loads, based on testing according to ASTM E1592:

1. WIND LOADS: As indicated on drawings.

C. THERMAL MOVEMENTS: Allow for thermal movements from ambient and surface temperature changes by preventing buckling, opening of joints, overstressing of components, failure of joint sealants, failure of connections, and other detrimental effects; base calculations on surface temperatures of materials due to both solar heat gain and nighttime-sky heat loss.

1. TEMPERATURE CHANGE (RANGE): 120 deg F (67 deg C), ambient; 180 deg F (100 deg C), material surfaces.

#### 2.2 STANDING-SEAM METAL ROOF PANELS

A. GENERAL: Provide factory-formed metal roof panels designed to be installed by lapping and interconnecting raised side edges of adjacent panels with joint type indicated and mechanically attaching panels to supports using concealed clips in side laps. include clips, cleats, pressure plates, and accessories required for weathertight installation.

1. STEEL PANEL SYSTEMS: Unless more stringent requirements are indicated, comply with ASTM E1514.

2. ALUMINUM PANEL SYSTEMS: Unless more stringent requirements are indicated, comply with ASTM E1637.

B. TRAPEZOIDAL-RIB, SEAMED-JOINT, STANDING-SEAM METAL ROOF PANELS: Formed with raised trapezoidal ribs at panel edges and a flat pan between ribs; designed for sequential installation by mechanically attaching panels to supports using concealed clips located under one side of panels, engaging opposite edge of adjacent panels, and mechanically seaming panels together.

#### 1. AVAILABLE MANUFACTURERS:

- AEP-SPAN
- ARCHITECTURAL BUILDING COMPONENTS.
- ARCHITECTURAL ROOFING AND SIDING, INC.
- ATAS INTERNATIONAL, INC.
- BERRIDGE MANUFACTURING COMPANY.
- BHP STEEL BUILDING PRODUCTS USA INC.
- CENTRIA ARCHITECTURAL SYSTEMS.
- CUSTOM PANEL INDUSTRIES, LLC.
- DELCOA INDUSTRIES, INC.
- FABRAL, INC.
- INNOVATIVE METALS COMPANY, INC.
- K-METALS INC.
- MBC; DIV. OF NCI BUILDING SYSTEMS.
- MCELROY METAL, INC.
- MERCHANT & EVANS, INC.
- METAL-FAB MANUFACTURING, LLC.
- METAL SALES MANUFACTURING CORPORATION.
- MODERN METAL SYSTEMS, INC.
- MORIN CORPORATION; A METECNO GROUP COMPANY.
- PERMA-CLAD PRODUCTS.
- PETERSEN ALUMINUM CORPORATION.
- VICWEST; DIV. OF JENISYS ENGINEERED PRODUCTS.

2. METALLIC-COATED STEEL SHEET: Zinc-coated (galvanized) steel sheet complying with ASTM A653/A653M, G90 (Z275) coating designation, or aluminum-zinc alloy-coated steel sheet complying with ASTM A792/A792M, class AZ50 (class AZM150) coating designation; structural quality, preprimed by the coil-coating process to comply with ASTM A755/A755M.

- NOMINAL THICKNESS: 0.028 inch (0.71 mm).
- EXTERIOR FINISH: Two-coat fluoropolymer to match JIB branding colors
- COLOR: As selected by owner from manufacturer's full range as selected by JIB to match JIB branding colors
- An existing metal seam roof should be painted SW 7020 "Black Fox", but new metal seam roof should be pre-painted "Black".

3. CLIPS: One-piece fixed to accommodate thermal movement.

- MATERIAL: 0.064-inch- (1.63-mm-) nominal thickness, zinc-coated or aluminum-zinc alloy-coated steel sheet. (galvanized)

4. JOINT TYPE: As standard with manufacturer

5. PANEL COVERAGE: 18 inches (457 mm) .

6. PANEL HEIGHT: See drawings.

#### 2.3 UNDERLAYMENT MATERIALS

A. SELF-ADHERING SHEET UNDERLAYMENT, GRANULAR SURFACED: ASTM D 1970, minimum of 55 mils (1.4 mm) thick; glass-fiber-mat-reinforced, sbs-modified asphalt; mineral-granule surfaced; with release-paper backing; cold applied. provide primer for adjoining concrete surfaces and grout fill concrete panel joints to receive underlayment as recommended by underlayment manufacturer.

- AVAILABLE PRODUCTS:  
a. ALCO PRODUCTS, LLC; ALCO SHIELD GRANULAR ICE AND WATER PROTECTOR.  
b. ATLAS ROOFING CORPORATION; ATLAS WEATHERMASTER GRANULAR SE.  
c. CERTAINTED CORPORATION; WINTERGUARD.

B. SLIP SHEET: Manufacturer's recommended slip sheet, of type required for application.

#### 2.4 MISCELLANEOUS MATERIALS

A. MISCELLANEOUS METAL SUBFRAMING AND FURRING: ASTM C645; cold-formed, metallic-coated steel sheet. ASTM A653/A653M, G90 (Z275 hot-dip galvanized) coating designation or ASTM A792/A792M, class AZ50 (class AZM150) coating designation unless otherwise indicated. provide manufacturer's standard sections as required for support and alignment of metal panel system.

B. PANEL ACCESSORIES: Provide components required for a complete, weathertight panel system including trim, copings, fascia, mullions, sills, corner units, clips, flashings, sealants, gaskets, fillers, closure strips, and similar items. match material and finish of metal panels unless otherwise indicated.

- CLOSURES: Provide closures at eaves and ridges, fabricated of same metal as metal panels.
- BACKING PLATES: Provide metal backing plates at panel end splices, fabricated from material recommended by manufacturer.
- CLOSURE STRIPS: Closed-cell, expanded, cellular, rubber or crosslinked, polyolefin-foam or closed-cell laminated polyethylene; minimum 1-inch- (25-mm-) thick, flexible closure strips; cut or premoded to match metal panel profile. provide closure strips necessary to ensure weathertight construction.

C. FLASHING AND TRIM: Provide flashing and trim formed from same material as metal panels as required to seal against weather and to provide finished appearance. locations include, but are not limited to, eaves, rakes, corners, bases, framed openings, ridges, fascia, and fillers. finish flashing and trim with same finish system as adjacent metal panels.

D. PANEL FASTENERS: Self-tapping screws (for metal substrate) and wood screws (for wood substrate) designed to withstand design loads.

E. PANEL SEALANTS: Provide sealant type recommended by manufacturer that are compatible with panel materials, are nonstaining, and do not damage panel finish.

1. SEALANT TAPE: Pressure-sensitive, 100 percent solids, gray polyisobutylene compound sealant tape with release-paper backing. provide permanently elastic, nonsag, nontoxic, nonstaining tape 1/2 inch (13 mm) wide and 1/8 inch (3 mm) thick.

2. JOINT SEALANT: ASTM C920; elastomeric polyurethane or silicone sealant; of type, grade, class, and use classifications required to seal joints in metal panels and remain weathertight; and as recommended in writing by metal panel manufacturer.

3. BUTYL-RUBBER-BASED, SOLVENT-RELEASE SEALANT: ASTM C1311.

#### 2.5 FABRICATION

A. GENERAL: Fabricate and finish metal panels and accessories at the factory, by manufacturer's standard procedures and processes, as necessary to fulfill indicated performance requirements demonstrated by laboratory testing. comply with indicated profiles and with dimensional and structural requirements.

B. Provide panel profile, including major ribs and intermediate stiffening ribs, if any, for full length of panel.

C. Fabricate metal panel joints with factory-installed captive gaskets or separator strips that provide a weathertight seal and prevent metal-to-metal contact, and that minimize noise from movements.

D. SHEET METAL FLASHING AND TRIM: Fabricate flashing and trim to comply with manufacturer's recommendations and recommendations in smacna's "architectural sheet metal manual" that apply to design, dimensions, metal, and other characteristics of item indicated.

1. Form exposed sheet metal accessories that are without excessive oil canning, buckling, and tool marks and that are true to line and levels indicated, with exposed edges folded back to form hems.

2. SEAMS FOR ALUMINUM: Fabricate nonmowing seams with flat-lock seams. form seams and seal with epoxy seam sealer. rivet joints for additional strength.

3. SEAMS FOR OTHER THAN ALUMINUM: Fabricate nonmowing seams in accessories with flat-lock seams. tin edges to be seamed, form seams, and solder.

4. SEALED JOINTS: Form nonexpansion, but movable, joints in metal to accommodate sealant and to comply with smacna standards.

5. Conceal fasteners and expansion provisions where possible. Exposed fasteners are not allowed on faces of accessories exposed to view.

6. Fabricate cleats and attachment devices from same material as accessory being anchored or from compatible, noncorrosive metal recommended in writing by metal panel manufacturer.  
a. SIZE: As recommended by Smacna's "Architectural sheet metal manual" or metal panel manufacturer for application, but not less than thickness of metal being secured.

#### 2.6 FINISHES

A. Protect mechanical and painted finishes on exposed surfaces from damage by applying a strippable, temporary protective covering before shipping.

B. APPEARANCE OF FINISHED WORK: Variations in appearance of abutting or adjacent pieces are acceptable if they are within one-half of the range of approved samples. noticeable variations in same piece are unacceptable. Variations in appearance of other components are acceptable if they are within the range of approved samples and are assembled or installed to minimize contrast.

#### C. STEEL PANELS AND ACCESSORIES:

1. TWO-COAT FLUOROPOLYMER: AAMA 621. fluoropolymer finish containing not less than 70 percent pvdf resin by weight in color coat. Prepare, pretreat, and apply coating to exposed metal surfaces to comply with coating and resin manufacturers' written instructions.

2. CONCEALED FINISH: Apply pretreatment and manufacturer's standard white or light-colored acrylic or polyester backer finish consisting of prime coat and wash coat with a minimum total dry film thickness of 0.5 mil (0.013 mm)

### PART 3 - EXECUTION

#### 3.1 EXAMINATION

A. Examine substrates, areas, and conditions, with installer present, for compliance with requirements for installation tolerances, metal panel supports, and other conditions affecting performance of the work.

1. Examine solid mansard sheathing to verify that sheathing joints are supported by framing or blocking and that installation is within flatness tolerances required by metal roof panel manufacturer.

B. Examine roughing-in for components and systems penetrating metal panels to verify actual locations of penetrations relative to seam locations of metal panels before installation.

C. Proceed with installation only after unsatisfactory conditions have been corrected.

#### 3.2 PREPARATION

A. MISCELLANEOUS SUPPORTS: Install subframing, furring, and other miscellaneous panel support members and anchorages according to ASTM C754 and metal panel manufacturer's written recommendations.

#### 3.3 UNDERLAYMENT INSTALLATION

A. SELF-ADHERING SHEET UNDERLAYMENT: Install wrinkle free, complying with low-temperature installation restrictions of underlayment manufacturer if applicable. Install at locations indicated below, lapped in direction to shed water. Lap sides not less than 3-1/2 inches (89 mm). Lap ends not less than 6 inches (150 mm), staggered 24 inches (600 mm) between succeeding courses. roll laps with roller. Cover underlayment within seven days.

1. APPLY OVER THE ENTIRE MANSARD SURFACE.

B. SLIP SHEET: Apply slip sheet over underlayment before installing metal roof panels.

C. FLASHINGS: Install flashings to cover underlayment to comply with requirements specified in section 076200 "sheet metal flashing and trim."

#### 3.4 METAL PANEL INSTALLATION

A. GENERAL: Install metal panels according to manufacturer's written instructions in orientation, sizes, and locations indicated. install panels perpendicular to supports unless otherwise indicated. anchor metal panels and other components of the work securely in place, with provisions for thermal and structural movement.

1. Shim or otherwise plumb substrates receiving metal panels.

2. Flash and seal metal panels at perimeter of all openings. fasten with self-tapping screws. do not begin installation until air- or water-resistant barriers and flashings that will be concealed by metal panels are installed.

3. Install screw fasteners in predrilled holes.

4. Locate and space fasteners in uniform vertical and horizontal alignment.

5. Install flashing and trim as metal panel work proceeds.

6. Locate panel splices over, but not attached to, structural supports. Stagger panel splices and end laps to avoid a four-panel lap splice condition.

7. Align bottoms of metal panels and fasten with blind rivets, bolts, or self-tapping screws. Fasten flashings and trim around openings and similar elements with self-tapping screws.

8. Provide weathertight escutcheons for pipe- and conduit-penetrating panels.

#### B. FASTENERS:

1. STEEL PANELS: Use stainless-steel fasteners for surfaces exposed to the exterior; use galvanized-steel fasteners for surfaces exposed to the interior.

C. ANCHOR CLIPS: Anchor metal roof panels and other components of the work securely in place, using manufacturer's approved fasteners according to manufacturers' written instructions.

D. METAL PROTECTION: Where dissimilar metals contact each other or corrosive substrates, protect against galvanic action as recommended in writing by metal panel manufacturer.

E. STANDING-SEAM METAL ROOF PANEL INSTALLATION: Fasten metal roof panels to supports with concealed clips at each standing-seam joint at location, spacing, and with fasteners recommended in writing by manufacturer.

1. Install clips to supports with self-tapping fasteners.

2. Install pressure plates at locations indicated in manufacturer's written installation instructions.

3. SEAMED JOINT: Crimp standing seams with manufacturer-approved, motorized seamer tool so clip, metal roof panel, and factory-applied sealant are completely engaged.



In the box®

9357 SPECTRUM CENTER BLVD.  
SAN DIEGO, CA 92123

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### DATES

RELEASE: MARCH 04, 2022

P.M. UPDATES: APRIL 29, 2022

SUBMITTAL DATE:

1: \_\_\_\_\_

2: \_\_\_\_\_

3: \_\_\_\_\_

BID: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

### REVISIONS

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OWENS DESIGN CONSULTANTS  
145 N. 2ND AVENUE, SUITE 5  
Oakdale, CA 95361  
(209) 522-8011 - fax: (209) 522-4738 - www.owensgrp.com



EXP: 6/30/25

### SITE INFORMATION

MK TYPE: MK3

JIB #: #426

ADDRESS:

1301 Camden Ave  
Campbell, CA, 95008

DRAWN BY: GPalmerin

PROJECT #:

SCALE: NONE

GENERAL

SP1.0

8. EXTERIOR INSULATION AND FINISHING SYSTEM (EIFS):

ALTERNATE TO EXTERIOR LATH AND PLASTER

A. Work Included

Exterior Insulation and Finish System, Class PB: Dryvit Outsulation LCMD System 5 or architect approved equal, installed over a code approved water-resistive barrier (sheet type) and consists of a drainage medium and drainage accessories, expanded polystyrene insulation board, adhesive attachment method, base coat with reinforcing mesh and finish.

B. Fire Performance

- 1) Flame Spread: Conform to ASTM E84.
2) The EPS insulation board shall have a flame spread index not exceeding 25 and a smoke developed index not exceeding 450.
3) The adhesives and coatings shall have a flame spread index not exceeding 20 and a smoke developed index not exceeding 10.

C. Submittals

- 1) The General Contractor shall submit two samples of the EIFS system for each finish, texture, and color to be used on the project.

D. Materials

- 1) Acceptable Substrate:
a) Exterior grade gypsum sheathing meeting ASTM C 1396 (formerly C 79) requirements for water-resistant core.
b) Exterior sheathing having a water-resistant core with fiberglass mat facers meeting ASTM C 1177.
c) Exterior fiber reinforced cement or calcium silicate boards.
d) APA exterior or exposure 1 rated plywood, grade C-D or better, nominal 12.7 mm (1/2 in), minimum 4-ply.
e) Unglazed brick, cement plaster, concrete, or masonry.
f) APA exposure 1 rated oriented strand board (OSB), nominal 12.7 mm (1/2 in).
g) Exterior grade fire retardant treated plywood.
2) Air/Water-Resistive Barrier Components: Sheet Type Membranes - Code approved water-resistive barrier Dupont Tyvek Commercial Wrap D.
3) Flashing Materials: Used to protect substrate edges at terminations.
a) Sheet Type: Shall be Flashing Tape and Surface Conditioner.
1) A high density polyethylene film backed with a rubberized asphalt adhesive available in rolls 102 mm (4 in), 152 mm (6 in) and 229 mm (9 in) wide by 23 m (75 ft) long.
2) A water-based surface conditioner and adhesion promoter for the Flashing Tape.
4) A moisture cure, urethane-based adhesive used to adhere the Dryvit Drainage Strip and Drainage Track.
5) Accessories.
a) Drainage track or drainage strip.
b) Drainage Medium: Ultra-Lath by Plastic Components: An extruded polyolefin lath.
6) Insulation Boar: Expanded Polystyrene meeting the manufacturer's specification for Insulation Board, and the following requirements:
a) In the absence of specific wind load requirements, the thickness of the insulation board shall be minimum 25 mm (1 in); Projects located in shoreline or other high wind load areas will require special consideration. Contact manufacturer for specific recommendations.
7) Adhesives: Used to adhere the EPS to Expanded Metal Lath or Ultra Lath.
a) Cementitious: A liquid polymer-based material, which is field mixed with Portland cement. Shall be Primus or Genesis.
b) Ready mixed: A dry blend cementitious, copolymer-based product, field mixed with water. Shall be Primus DM, Genesis DM, Genesis DMS, Rapdry DM 35-50 or Rapdry DM 50-75.
8) Base Coat: Shall be compatible with the EPS insulation board and reinforcing mesh(es).
a) Cementitious: A liquid polymer-based material, which is field mixed with Portland cement. Shall be Primus or Genesis.
b) Noncementitious: A factory-mixed, fully formulated, water-based product. Shall be NCB.
c) Ready mixed: A dry blend cementitious, copolymer-based product, field mixed with water. Shall be Primus DM, Genesis DM, Genesis DMS, Rapdry DM 35-50 or Rapdry DM 50-75.
9) Reinforcing Mesh: A balanced, open weave, glass fiber fabric treated for compatibility with other system materials.
a) Shall be Standard, Standard Plus, Intermediate, Panzer 15, Panzer 20, Detail and Corner Mesh.
b) For all areas between finished grade and 8'-0" above finished floor, Panzer 20 must be installed under Standard or Standard Plus Mesh.
10) Finish: Shall be the type, color and texture as selected by the architect/owner and shall be one or more of the following:
a) Standard DPR (Dirt Pickup Resistance): Water-based, acrylic coating with integral color and texture and formulated with DPR chemistry.
b) Water-based, lightweight acrylic coating with integral color and texture and formulated with DPR chemistry.

DIVISION 8 - DOORS AND WINDOWS

1. METAL DOORS AND FRAMES:

- A) Doors and Frames as manufactured by Steelcraft, or approved equal, labeled or non-labeled and sized as indicated on the Drawings. Maximum U-factor of 0.65.
B) Steel doors shall be full-flush design L-16 (16 gauge) reinforced for finish hardware and with baked-on prime paint. Steel frames shall be Type F-14 (14 gauge) full-welded unit construction with corners mitered, reinforced and continuously welded full depth and width of frame. Proper reinforcement and cut-out for the finish hardware. Frames supplied with suitable jamb and base anchors, rubber bumpers and prime painted
STEELCRAFT
9017 Blue Ash Road
Cincinnati, OH 45242
(800) 243-9780
www.steelcraft.com
C) Approved Alternate Manufacturer:
REPUBLIC BUILDERS PRODUCTS
155 REPUBLIC DRIVE
McKenzie, TN 38201
(800) 733-3667

2. WOOD DOORS:

Flush interior wood doors as manufactured by Marshfield Door System, Inc. or approved equal. Door shall be manufactured per the millwork standards of the Architectural Woodwork Institute (AWI) for premium grade.

A. Solid Core:

- Mat-formed wood particle board, bonded core, Marshfield Signature Series, type DPC-1. See Door Schedule for thickness.
1) Face Veneer:
.048" thickness general purpose, high pressure laminate surfacings as indicated on drawing, using hot press construction
2) Adhesives:
Conforming to Type I, for interior and exterior door faces and Type II for core.
3) Doors to have metal louvers as indicated on the Drawing. Shall be 24 gauge with chevron type blades with free air 50% total area and prime painted.
Marshfield Door Systems, Inc.
1401 E. 4th STREET
MARSHFIELD, WI 54449
(800) 869-3667
www.marshfielddoors.com

B. Approved Alternate Manufacturer:

EGGERS INDUSTRIES
P.O. Box 1050
NEENAH, WI 54957
(920) 722-0357
www.eggersindustries.com

2A. DOUBLE ACTION IMPACT DOORS:

Double action solid core interior wood doors as manufactured by Eliason or approved equal.

A. Solid Core:

0.75" exterior grade solid wood core door, type SPC-3. Total door thickness 1"

- 1) Face Veneer:
20 Gauge full length stainless steel panels, both sides
2) Doors to have vision glass as indicated on the drawings. Vision glass shall be single pane, clear tempered glass.
3) Hinge:
EZ Swing hinges by Eliason

3. GLASS AND GLAZING:

A. Quality Assurance

- 1) Annealed glass shall comply with ASTM C1036 and tempered or heat strengthened glass shall comply with ASTM C1048.
2) Insulating units shall comply with ASTM E774 using ASTM E773 as the test method, and shall be certified by SIGMA (Sealed Insulating Glass Manufacturers Assoc.) or a similar approved testing program. Insulating units shall be rated: CGA.

B. Glazing

- A. Single Glazing
A. 1/4" clear float glass (\*Annealed or tempered per plans and as required by code)
B. Insulation units shall be configured as follows:
A 1" insulated glass
Outboard lite: 1/4" Clear
Type: Float Glass (\*Annealed or tempered per plans and as required by code
Overall unit thickness: 1" (nom.)
Insulating Unit Sealant: Primary seal Butyl Secondary seal Silicone
B. Provide 1" insulated glass with PPG Solarban 60 coating on #2 surface. Units to be manufactured by a PPG Certified fabricator. In geographic locations where the building shell can pass energy compliance without PPG Solarban 60 coating, said coating may be omitted
\*Glazing contractor shall be responsible by providing all tempered or laminated safety glass in all areas where required by governing codes.

C. Performance:

- 1) 1" clear insulated glass
a. Glass shall have a winter nighttime U-value of: 0.48 (Btu./Hr./Sq.Ft./F.)
b. Glass shall have a summer daytime U-value of: 0.55 (Btu./Hr./Sq.Ft./F.)
c. Solar Heat Gain Coefficient (SHGC) shall be: 0.40 maximum or as required by IECC 2009
d. Daylight transmittance shall be: 79%
e. Ultraviolet transmittance shall be: 50%
f. STC (Sound Transmission Class) rating: 36
2) 1" clear insulated glass with PPG Solarban 60
a. Glass shall have a winter nighttime U-value of: 0.29 (Btu./Hr./Sq.Ft./F.)
b. Glass shall have a summer daytime U-value of: 0.27 (Btu./Hr./Sq.Ft./F.)
c. Solar Heat Gain Coefficient (SHGC) shall be: 0.39 maximum or as required by IECC 2009
d. Daylight transmittance shall be: 70%
e. Ultraviolet transmittance shall be: 18%
f. STC (Sound Transmission Class) rating: 36
3) 1/4" clear float glass
a. Glass shall have a winter nighttime U-value of: 1.09 (Btu./Hr./Sq.Ft./F.)
b. Glass shall have a summer daytime U-value of: 1.03 (Btu./Hr./Sq.Ft./F.)
c. Solar Heat Gain Coefficient (SHGC) shall be: 0.40 maximum or as required by IECC 2009
d. Daylight transmittance shall be: 77%
e. Ultraviolet transmittance shall be: 65%
f. STC (Sound Transmission Class) rating: 36

D. Surface Conditions:

- 1) Prior to installation, carefully inspect installed work of other trades and verify work is completed to the point where the work of this section may proceed.
2) Verify that the glass is installed in the accordance with the original design and in the accordance with all pertinent codes and regulations.

E. Product Handling:

- 1) Protection: Use all means necessary to protect the products of this section before, during, and after installation, and to protect the work and the materials of all other trades.
2) Replacements: In the event of damage or breakage, immediately make all repairs and replacements necessary, this work shall be done at no expense to the owner.

F. Installation/Glazing:

- 1) Comply with the storefront manufacturer guidelines for glazing the insulating units into their framing systems.
2) Glaze using standard industry (Gana, Sigma and Aama) recommendations for insulating glass, with proper sealant.
3) Setting blocks should be 80-90 Shore A durometer neoprene, 4" (min.) length, with equal to glass thickness, and placed at quarter points of the glazing unit base. Anti-walk (edge) blocks should be 55-65 durometer neoprene with at least 1/16" clearance between block and glass.

4. ALUMINUM STOREFRONT SYSTEM:

The Storefront System shall be as noted on the Drawings and as manufactured by UNITED STATES ALUMINUM CORPORATION or approved equal.

A. Approved Manufacturers:

UNITED STATES ALUMINUM CORP. 200 Singleton Dr. Waco, TX 75185 (800) 627-6440 www.usalum.com
UNITED STATES ALUMINUM 3663 Bandini Blvd. Vernon, CA 90023 (800) 766-6063
UNITED STATES ALUMINUM 6969 West 73rd. St. Chicago, IL 60638 (800) 323-8480

Approved Alternate Manufacturer:

VISTAWALL ARCHITECTURAL PRODUCTS P.O. BOX 629 803 AIRPORT ROAD TERRELL, TX 75160 (800) 869-4567 www.vistawall.com
KAWNEER COMPANY, INC. Technology Park/Atlanta 555 Gulbridge Court NORCROSS, GA 30092 (770) 449-5555 or call local rep. www.kawneer.com

B. Storefront and Entrances:

General Description:

- 1) Work Included: Furnish all necessary materials, labor and equipment for the complete installation of aluminum framing as shown on the drawings and specified herein.
2) Storefront Framing: shall be Series 451 as manufactured by UNITED STATES ALUMINUM CORPORATION, or approved equal.
3) Doors: shall be UNITED STATES ALUMINUM Series 250 narrow stile single acting doors with continuous geared hinges and 10 inch bottom rail. Door bottom rails are to be weathered with BW200, an E.P.D.M. blade gasket sweep with concealed fasteners. See Finish Hardware Schedule for additional requirements.
4) Finish: See elevations for finish type and color.
a) Anodize: Aluminum extrusions shall be given a caustic etch followed by an anodic oxide treatment to obtain color and finish as noted on exterior elevations.
b) Paint: Factory applied by PPG Industries or Valspar licensed applicator. Coating shall consist of a 0.2 mil corrosion inhibiting primer and 1.0 mil top coat of 70% Kynar 500/Hylar 5000 resin as manufactured by PPG Industries or Valspar, Inc. Paint shall meet or exceed AAMA 2605-98 specification, performance requirements and test procedures.
5) Products Materials:
a) Extrusions shall be in compliance with ASTM B221 alloy T5 temper. Fasteners shall be aluminum, stainless steel or zinc plated steel per ASTM A 164. Perimeter anchors shall be aluminum or steel provided the steel is isolated from the aluminum.
b) Gaskets shall be "lock-in" type E.P.D.M. electrometric extrusions with a fiberglass non-stretch cord.
c) All head, sill, column, & transom flashing to be .040 aluminum to match store front finish.
d) All storefront break metal trim to be .060 aluminum to match store front finish.
6) Performance Requirements:
a) Air Infiltration: Shall be tested in accordance with ASTM 283. Infiltration shall not exceed .06 CFM of fixed area when tested at 6.24 P.S.F.
b) Water Infiltration: Shall be tested in accordance with ASTM E 331. No water penetration at test pressure of 8 P.S.F.
c) Structural Performance: Shall be tested in accordance with ASTM E 330 and based on 1/175 of the span. Allowable stress with a safety factor 1.65. System shall perform at wind load of 20 P.S.F.
d) Thermal Performance: For storefront frames and glazing, maximum U-factor of 0.60. For exterior entrance door frames and glazing, maximum U-factor of 0.90.

5. PASS-THRU WINDOW : (Furnished by Owner and Installed by Contractor)

Manual Operated, Self-Closing, Bi-parting Pass-Thru Window in anodized alum. frame. Pre-glazed. Window opening not to exceed 432 sq. in. See Exterior Elevations for Color. See Kitchen Drawings for additional information. Unit as manufactured by:

QUIKSERV CORP. P.O.Box 40466 Houston, TX 77240 (800) 388-8307 www.quikserv.com

6. FINISH HARDWARE:

A. Security Notes:

- Swinging Doors:
1) Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools.
Pass-Thru Window:
1) Bi-parting Pass-Thru window shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests equipped by Governing Code Section of locale.
2) Bi-parting doors and windows shall be provided with a device in the upper channel of the moving panels to prohibit raising and removing of the moving panels in the closed or partially open position.

B. Hardware Notes:

- 1) All hardware to be provided and installed by G.C. All hardware to be brand name as specified.
2) All locksets shall be equipped with six (6) pin interchangeable cores.
3) Keying:
All cylinders shall be removable core, master keyed to existing system.
4) Fabricator of Aluminum door shall install Owner-supplied cylinder and lock hardware before delivery to site.
5) Metallic sign over doors 1 stating: "This door must remain unlocked when the building is occupied". Letters shall not be less than 1" high on a contrasting background. This sign shall be provided by Owner, and installed by Contractor on Aluminum header frame. (2 signs total required).
6) Threshold configurations to comply with all accessibility requirements.
7) Hinges: Provide continuous hinges, color to match door finish at storefront and clear aluminum finish and exterior kitchen door.

C. Toilet Room Accessories:

Table with 3 columns: ITEM, QUANTITY, DESCRIPTION. Includes Grab Bar (1-1/4" diameter with Satin Finish) and Paper Towel Dispenser (Per Plan).

All other accessories to be furnished by owner & installed by contractor (O.F.C.I.). See restroom elevations.

DIVISION 9 - FINISHES

1. EXTERIOR LATH AND PLASTER:

A. Work Included

Lath and plaster work includes exterior Portland cement plaster scratch & brown coats and a finish texture coat. All work to be complete with required grounds and accessories. Plaster on plywood sheathing to be over two layers of Tyvek CommercialWrap D weather barrier and wire lath. Applicable codes: 2507, 2510 and 2512.

B. Plaster Materials:

- 1) Plastic cement: Table 2507.2
2) Aggregate: Natural sand, conforming to ASTM C35.
3) Water: Clean, potable, fresh and free from injurious amounts of acid, alkali, organic matter or other deleterious substances.

C. Plastic Cement Plaster Base Mixes:

- 1) Mix and proportion cement plaster as follows:
a) Scratchcoat (3/8" thick): 1 part plastic cement, 3 to 4 parts aggregate.
b) Brown coat (3/8" thick): 1 part plastic cement, 4 to 5 parts aggregate.
c) Finish (1/8" thick): 1 part white plastic cement and 3 parts aggregate. Finish to have both an integral color coat & painted finish. See elevations for color & texture.
d) Total stucco thickness to be +/- 7/8"
2) Mix only as much plaster as can be used in one (1) hour.
3) Mix material dry, to uniform color and consistency, before adding water.
4) Protect mixes from frost, dust and evaporation.
5) Do not retemper mixes after initial set has occurred.
6) Maintain minimum moist curing period and interval between coats. Cement Plasters Table 2512.6.

D. Wire Lath and Accessories:

Details and specifications are based on these products. Substitutions must be equal in function and design.

- 1) Wire-Fabric Lath / weather barrier:
- Stucco Rite with double layer of paper by K-Lath, or equal. Self furring sheet of galvanized welded wire fabric lath, laminated to two layers of Tyvek CommercialWrap D weather barrier Minimum 3.4 pounds per square yard of lath or
- Stucco Netting by K-Lath or equal - 1 1/2" x 17 gauge galvanized self furring (woven) wire lath. Minimum 1.4 pounds per square yard of lath. Apply over two layers of Tyvek CommercialWrap D weather barrier.

K-LATH
P.O. BOX 489
FONTANA, CA 92335
(951) 360-8288
www.klath.com

Approved Alternate Manufacturer:

AMICO
3245 FAYETTE AVENUE
BIRMINGHAM, AL 35208
(800) 366-2642
www.amico-lath.com

2) Accessories: (based on 7/8" Exterior Plaster)

- A) Metal trim as manufactured by "Superior Metal Trim" or equal.
• Expansion Control Scribe: Type SSV078-018G (17), 26 gauge galvanized steel.
• Foundation Weep Scribe: Type SWS078W-312G (7), 26 gauge galvanized steel. (ASTM C 926)
• Casing Bead: Type SJB078-200G (J-8)
• Single Piece Outside Corner Guard: as shown on exterior elevations and details, 26 gauge galvanized steel

SUPERIOR METAL TRIM
DELTA STAR, INC.
270 INDUSTRIAL RD.
SAN CARLOS, CA 94070
(800) 892-8673

Approved Alternate Manufacturer:

AMICO
3245 FAYETTE AVENUE
BIRMINGHAM, AL 35208
(800) 366-2642
www.amico-lath.com

- B) Arched Vinyl Casing Bead:
PVC arched vinyl casing bead, in appropriate ground sizes to match the exterior plaster thickness as indicated in the specifications or on the plans, as manufactured by Alabama Metal Industries Corporation (AMICO). These beads shall meet the requirements of ASTM C1063, ASTM D4216 and shall be installed per specifications and ASTM C1063.

AMICO
3245 FAYETTE AVENUE
BIRMINGHAM, AL 35208
(800) 366-2642
www.amico-lath.com

- C) Provide all other screens, moldings, trim, casing beads etc. as required for a complete installation.

SEE DIVISION 7.8 EXTERIOR INSULATION FINISHING SYSTEM FOR ALTERNATE

2A. GYPSUM DRYWALL: (UNLESS NOTED OTHERWISE)

All Paper faced Gypsum board to be:

- A. 5/8" thick Type "X" Fire Rated per ASTM C36 Type X equal to U.S.G. Sheetrock Brand, Firecode Core panels. Use 4 ft. wide panels.
B. Where noted on Finish Schedule use 5/8" thick water resistant Type "X" Fire Rated wallboard equal to U.S.G. Sheetrock Brand Gypsum Panels Mold Tough Firecode Core panels. Each sheet shall be marked by the manufacturer as to moisture resisting capability of the product. Seal all exposed and cut edges per manufacturer's recommendations.
US GYPSUM COMPANY OR GEORGIA-PACIFIC CORPORATION
P.O. BOX 806278 OR 55 Park Place
CHICAGO, IL 60680-4124 OR ATLANTA, GA 30303
(877) 874-6655 OR CALL LOCAL REP. (800) 284-5347

C. Install gypsum wallboard with long dimensions perpendicular to framing.

- 1) Nails:
Number 13 gauge, 1 3/8" long, 19/64" head or 0.098" Diameter, 1 3/8" long, annular ring nails, 7" o.c. center to ceiling, 7" o.c. at walls.
2) Screws:
Metal suspension. Type "S" Bogle, 1 1/4" long, 3/8" minimum penetration in metal framing, 8" o.c. At edges and 12" o.c. at intermediate studs.



In the box

9357 SPECTRUM CENTER BLVD. SAN DIEGO, CA 92123

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DATES

RELEASE: MARCH 04, 2022

P.M. UPDATES: APRIL 29, 2022

SUBMITTAL DATE:

- 1:
2:
3:

BID:

CONSTRUCTION:

REVISIONS

- Revision symbols (triangles) and lines for tracking changes.

OWENS DESIGN CONSULTANTS
145 N. 2ND AVENUE, SUITE 5
Oakdale, CA 95361
(209) 522-8001 - fax: (209) 522-4738 - www.odcengr.com



REGISTERED PROFESSIONAL ENGINEER
THOMAS J. OWENS
No. 53530
CIVIL
STATE OF CALIFORNIA
EXP: 6/30/25

SITE INFORMATION

MK TYPE: MK3

JIB #: #426

ADDRESS:

1301 Camden Ave
Campbell, CA, 95008

DRAWN BY: GPalmerin

PROJECT #:

SCALE: NONE

GENERAL

SP1.1



4. Wood – Stained  
Primer: One Coat Sherwood Natural Filler D70T1 as required (PRODUCT VOC 258 g/L) (COMPLIANT IN WOOD PRESERVATIVES CATEGORY)  
See Finish Schedule for appropriate color  
Stain: Wood Classics 250 VOC Stain or Minwax 250 VOC Stain (PRODUCT VOC <250 g/L) (CARB COMPLIANT)  
Finish: Minwax Waterbased Polyurethane Varnish: Sati, Semi-Gloss, Glos: 710337/710320/710313 Series (PRODUCT VOC <275 g/L) (CARB COMPLIANT)
5. Wood – Natural  
Finish: Minwax Waterbased Polyurethane Varnish: Sati, Semi-Gloss, Glos: 710337/710320/710313 Series (PRODUCT VOC <275 g/L) (CARB COMPLIANT)
6. Wood – Painted  
Primer: Multi Purpose Latex Primer B51-450 VOC 50 G/L (CARB COMPLIANT)  
See Finish Schedule for appropriate color  
Finish: Pro Industrial Waterborne Alkyd Urethane Enamel Semi Gloss VOC 50 G/L
7. Door Frames  
Primer: Extreme Bond Primer B 51W VOC  
See Finish Schedule for appropriate color  
Finish: Pro Industrial Waterborne Alkyd Urethane Enamel Semi Gloss VOC 50 G/L
8. Miscellaneous  
Construction visible through screen vents and grilles  
Finish: ProMar 200 Interior Latex Flat VOC Less Than 50 G/L

L. General Rules & Categories for VOC Emitted from AIM Coatings:

Key to Acronyms

(US) EPA: (United States) Environmental Protection Agency  
AIM: Architectural and Industrial Maintenance  
CARB: California Air Resource Board = Cal/EPA ARB  
SCAQMD: South Coast Air Quality Management District  
VOC: Volatile Organic Compound  
SCM: Suggested Control Measure

1. United States Environmental Protection Agency (USEPA)  
The USEPA AIM VOC national rule remains unchanged. USEPA AIM VOC regulations differ from state and local counterparts. Unlike other standards, the national rule does not set an absolute cap on coatings VOC content. National AIM rule, January 2005 (regulated by EPA) = US EPA AIM = Federal AIM VOC 40 CFR Part 59 Subpart D under authority of Section 183(e) of the Clean Air Act:  
US EPA AIM categories
  - Bond Breakers .....600 g/L
  - Concrete Protective Coatings .....400 g/L
  - Waterproofing Sealers and Treatments .....600 g/L
  - Concrete Curing Compounds .....350 g/L
  - Concrete Curing and Sealing Compounds .....700 g/L
  - Concrete Surface Retarders .....780 g/L
  - Form Release Compounds .....450 g/L
  - Industrial Maintenance .....450 g/L
2. California Air Resources Board (CARB)  
In 2007, CARB completed rulemaking for an update of its AIM VOC rule effective January 1, 2010. The 2010 rule incorporates category, definition and limit changes. California except South Coast:  
CARB SCM categories
  - Bond Breakers .....350 g/L
  - Concrete Curing Compounds .....350 g/L
  - Industrial Maintenance .....250 g/L
  - Primer, Sealer and Undercoaters .....100 g/L
  - Stain .....50 g/L
  - Waterproofing Concrete / Masonry Sealers .....400 g/L
  - Form Release Compounds .....250 g/L
  - Floor Coatings .....100 g/L
  - Waterproofing Membranes .....250 g/L
  - Reactive Penetrating Sealer .....350 g/L

9. LAMINATES:

- A. All laminates shall be manufactured by Nevamar Company, LLC. Refer to interior plans, elevations and finish schedule for specific finishes.

NATIONAL ACCOUNT:  
SEE SHEET ID4.Q FOR CONTACT INFORMATION.

**DIVISION 10 - SPECIALTIES**

1. PORTABLE FIRE EXTINGUISHERS:

(Furnished by Owner and Installed by Contractor).

Conform to N.F.P.A. Standard No. 10, and 96 and manufactured by:  
ANSUL FIRE PROTECTION or equal. Refer to Kitchen Equipment Schedule, Kitchen drawings.

ANSUL INCORPORATED  
TYCO INTERNATIONAL, LTD.  
1 STANTON RD.  
MARINETTE, WI 54143-2542  
(715) 735-7411

2. MOP HANGERS:

Furnished by Owner, installed by the General Contractor.

3. LOUVERS AND VENTS:

A. Soffit Vents & Parapet Louvers:

- 1) Soffit vent constructed of 28 ga., galvanized steel w/ plaster grounds, prime painted, no. 471 (3" x 22")
- 2) Parapet louver constructed of 28 ga., galvanized steel w/ birdscreen, no. 5320 (14" x 12")

ABLE SHEET METAL PRODUCTS INC.  
614 NORTH FORD BLVD.  
LOS ANGELES, CA 90022-1107  
(800)699-ABLE(2253)  
www.ablemetal.com  
or approved equal

B. Water Heater Room Louvered Vent:

- 1) MetalAire # OAL-2F (size per exterior elevation and door schedule) with bird screen. (Min. free area of 0.4 s.f. ea.)

METALAIRe, Inc.  
1310 NORTH HERCULES AVE.  
Clearwater, FL 33765  
ph: (727) 441-2651  
fax (727) 443-7176  
www.metalaire.com

or approved equal

4. ROOF ACCESS LADDER: (C.F.C.I.)

Interior Mounted: (Where noted on plans)

Pre-fabricated O'Keefe's or equal aluminum ladder, Series 500, with Safety Post Option, Standard Mill Finish (10) and all required closures, fasteners and anchors.

Exterior Mounted: (Where noted on plans)

Pre-fabricated O'Keefe's or equal aluminum ladder, Series 504 with Security Door, and Standard Mill Finish (10), and all required closures, fasteners and anchors.

O'Keefe's, Inc.  
325 Newhall Street  
San Francisco, CA 94124  
(888) 653-3333  
www.okeeffes.com

5. TOILET COMPARTMENTS:

A. Materials:

- 1) Type: Stainless Steel: See Interior Finish Schedule for specified type and color.
- 2) Construction style of toilet compartments: Floor to Ceiling.
- 3) Construction style of sight screens: Leg screen.
- 4) Construction style of urinal screens: Wall hung urinal screen with continuous brackets and wing bracket.
- 5) Construction style of brackets: Stainless Steel stirrup.
- 6) Hardware: See Interior Decor Schedule for Specified Type and Finish. Provide full height through bolted panel-to-stile U-Channel and stainless steel concealed slide latch and keeper.
- 7) Additional Hardware: Continuous Stainless Spring-Loaded Hinge, 'U' shaped Pull Handle on each side of door. Provide grab bar reinforcements.
- 8) Door Size: 2'-0" wide at standard stalls and 3'-0" wide at accessible stalls. Provide solid particle board core at all doors.

B. Quality Assurance:

- 1) Field measurements: Take field measurements prior to component fabrication to ensure proper fitting of work.
- 2) Coordination: Furnish inserts and anchorages that must be built into other work for installation of toilet compartments and related items.

C. Installation:

- 1) Comply with manufactures recommended procedures and installation sequence. Install compartment units ridged, straight, plumb and level. Provide clearance of not more than 1/2" between panels and walls. Secure panels to walls with not less than two brackets attached near top and bottom of panel. Locate wall brackets so that hole for wall anchors occur in tile joints. Secure panels to stiles with no less than two brackets located to align with brackets at wall. Secure panels in position with manufactures recommended anchoring devices.
- 2) Screens: Attach with anchoring devices as recommended by manufacturer to suit supporting structure. Set unit to provide support and to resist lateral impact.

6. GREASE EXHAUST DUCT FIRE WRAP:

As an alternate to the grease exhaust duct 1-hr rated fire shaft indicated on the design drawings, the contractor may use a grease exhaust duct fire wrap with the approval of the JIB Construction Manager.

A. Materials:

3M fire barrier duct wrap #15A for 1 hr protection (most regions) or 3M fire barrier duct wrap #20A for 2 hr protection (ICBO regions) or equivalent. Verify exact requirements with local jurisdiction.

Wrap shall be 1 1/2" thick (min.) 8 PCF blanket made of mineral wool fibers and fiberglass, and encapsulated with a scrim-reinforced foil. Wrap shall have a minimum 1 hour rating for use for wrapping grease exhaust ducts. Provide and install wrap, access doors, pins, strapping, sealants, supports and other necessary items per manufacturer's installation guidelines.

The listed wrap system product technical data must be on site and available to installers and inspectors.

B. Codes and Standards:

- ICBO
- BOCA
- NFPA
- UL
- ASTM

C. Contact information

Jason Wharton  
3M Fire Protection Products  
Cell 714.366.7211  
Fax 619.722.6536  
jwharton@mnm.com  
www.3m.com/firestop

7. MAILBOX:

Florence Mfg. Co. 'MB2000' Curbside Mailbox installed on aluminum post per manufacturer. General Contractor to confirm location with J.I.B. "New Restaurant Coordinator" prior to installation.

**DIVISION 11 - FOOD SERVICE EQUIPMENT:**

1. FOOD SERVICE EQUIPMENT:

A. The General Contractor's Responsibility:

The General Contractor shall be responsible for coordination of this work and for hook-up of Food Service Equipment provided by others and for the installation of certain items provided to him by the Food Service Equipment Contractor.

B. Separate Contract:

All work shown on the Food Service Equipment Drawings (Kitchen drawings) is for the purpose of indicating the General Contractor's work in relationship to the Food Service Contractor's work. The fixtures themselves will be supplied and set in place under a separate contract. No other work will be required of the General Contractor other than that specifically required on the Architect's Drawings and the Food Service Equipment Drawings

C. Service by Food Service Equipment Contractor:

The Food Service Equipment Contractor will visit the site at mutually agreed upon times for the purpose of verifying the correctness of stub-outs for utilities and construction in general related to the installation of Food Service Equipment.

2. RELATED WORK DESCRIBED ELSEWHERE:

A. Plumbing:

Work of Section "Plumbing" includes setting of faucets and connections to services, interconnections of equipment: floor drains in vicinity of indirect drain outlets: faucets and trim.

B. Electrical:

All line switches, safety cut-outs, control panels, fuse boxes and other controls, electrical receptacles, fittings and connections, except as otherwise specified in Section "Electrical". Electrical Contractor, Section "Electrical", will make final connection to the building from all junction boxes.

**DIVISION 12 - FURNISHINGS**

1. FURNISHINGS:

See Interior Design Drawings.

**DIVISION 13 - SPECIAL CONSTRUCTION**

1. SPECIAL CONSTRUCTION:

Not Applicable.

**DIVISION 14 - CONVEYING SYSTEMS**

1. CONVEYING SYSTEM:

Not Applicable.



**In the box®**

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SAN DIEGO, CA 92123

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DATES

RELEASE: MARCH 04, 2022

P.M. UPDATES: APRIL 29, 2022

SUBMITTAL DATE:

- 1: \_\_\_\_\_
- 2: \_\_\_\_\_
- 3: \_\_\_\_\_

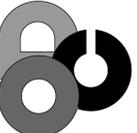
BID: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

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**OWENS DESIGN CONSULTANTS**  
 145 N. 2ND AVENUE, SUITE 5  
 Oakland, CA 95361  
 (209) 522-8001 - fax: (209) 522-4738 - www.owensdc.com



EXP: 6/30/25

SITE INFORMATION

MK TYPE: MK3

JIB #: #426

ADDRESS:  
1301 Camden Ave  
Campbell, CA, 95008

DRAWN BY: GPalmerin

PROJECT #: \_\_\_\_\_

SCALE: NONE

**GENERAL**

**SP1.3**

# 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

## NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y	NA	RESPON. PARTY	Y	NA	RESPON. PARTY	Y	NA	RESPON. PARTY	Y	NA	RESPON. PARTY																																																																																																																									
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<b>CHAPTER 3</b> <b>GREEN BUILDING</b> <b>SECTION 301 GENERAL</b>  <b>301.1 SCOPE.</b> Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.  <b>301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. [BSC-CG]</b> The provisions of individual sections of Chapter 5 apply to newly constructed buildings, building additions of 1,000 square feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies within the authority of California Building Standards Commission). Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work.  A code section will be designated by a banner to indicate where the code section only applies to newly constructed buildings [N] or to additions and/or alterations [A]. When the code section applies to both, no banner will be used.  <b>301.3.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only:</b> Note: On and after January 1, 2014, certain commercial real property, as defined in Civil Code Section 1101.3, shall have its noncompliant plumbing fixtures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See Civil Code Section 1101.1 et seq. for definitions, types of commercial real property affected, effective dates, circumstances necessitating replacement of noncompliant plumbing fixtures, and duties and responsibilities for ensuring compliance.  <b>301.3.2 Waste Diversion.</b> The requirements of Section 5.408 shall be required for additions and alterations whenever a permit is required for work.  301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES. (see GBSC) 301.5 HEALTH FACILITIES. (see GBSC)  <b>SECTION 302 MIXED OCCUPANCY BUILDINGS</b> <b>302.1 MIXED OCCUPANCY BUILDINGS.</b> In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.  <b>SECTION 303 PHASED PROJECTS</b> <b>303.1 PHASED PROJECTS.</b> For shell buildings and others constructed for future tenant improvements, only those code measures relevant to the building components and systems considered to be new construction (or newly constructed) shall apply.  <b>303.1.1 Initial Tenant Improvements.</b> The provisions of this code shall apply only to the initial tenant improvements to a project. Subsequent tenant improvements shall comply with the scoping provisions in Section 301.3 non-residential additions and alterations.  <b>ABBREVIATION DEFINITIONS:</b> HCD Department of Housing and Community Development BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development LR Low Rise HR High Rise NA Additions and Alterations A New  <b>CHAPTER 5</b> <b>NONRESIDENTIAL MANDATORY MEASURES</b> <b>DIVISION 5.1 PLANNING AND DESIGN</b>  <b>SECTION 5.101 GENERAL</b> <b>5.101.1 SCOPE</b> The provisions of this chapter outline planning, design and development methods that include environmentally responsible site selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties.  <b>SECTION 5.102 DEFINITIONS</b> <b>5.102.1 DEFINITIONS</b> The following terms are defined in Chapter 2 (and are included here for reference)  <b>CUTOFF LUMINAIRES.</b> Luminaires whose light distribution is such that the candela per 1000 lamp lumens does not numerically exceed 25 (2.5 percent) at an angle of 90 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire.  <b>LOW-EMITTING AND FUEL EFFICIENT VEHICLES.</b> Eligible vehicles are limited to the following: 1. Zero emission vehicle (ZEV), enhanced advanced technology PZEV (enhanced AT ZEV) or transitional zero emission vehicles (TZEV) regulated under CCR, Title 13, Section 1962. 2. High-efficiency vehicles, regulated by U.S. EPA, bearing a fuel economy and greenhouse gas rating of 9 or 10 as regulated under 40 CFR Section 600 Subpart D.  <b>NEIGHBORHOOD ELECTRIC VEHICLE (NEV).</b> A motor vehicle that meets the definition of "low-speed vehicle" either in Section 385.5 of the Vehicle Code or in 49CFR571.500 (as it existed on July 1, 2000), and is certified to zero-emission vehicle standards.  <b>TENANT-OCCUPANTS.</b> Building occupants who inhabit a building during its normal hours of operation as permanent occupants, such as employees, as distinguished from customers and other transient visitors.  <b>VANPOOL VEHICLE.</b> Eligible vehicles are limited to any motor vehicle, other than a motortruck or truck tractor, designed for carrying more than 10 but not more than 15 persons including the driver, which is maintained and used primarily for the nonprofit work-related transportation of adults for the purpose of ridesharing.  Note: Source: Vehicle Code, Division 1, Section 668  <b>ZEV.</b> Any vehicle certified to zero-emission standards.  <b>SECTION 5.106 SITE DEVELOPMENT</b> <b>5.106.1 STORM WATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE OF LAND.</b> Newly constructed projects and additions which disturb less than one acre of land, and are not part of a larger common plan of development or sale, shall prevent the pollution of storm water runoff from the construction activities through one or more of the following measures:  <b>5.106.1.1 Local ordinance.</b> Comply with a lawfully enacted storm water management and/or erosion control ordinance.  <b>5.106.1.2 Best Management Practices (BMPs).</b> Prevent the loss of soil through wind or water erosion by implementing an effective combination of erosion and sediment control and good housekeeping BMPs. 1. Soil loss BMPs that should be considered for implementation as appropriate for each project include, but are not limited to, the following: a. Scheduling construction activity during dry weather, when possible. b. Preservation of natural features, vegetation, soil, and buffers around surface waters. c. Drainage swales or lined ditches to control stormwater flow. d. Mulching or hydroseeding to stabilize disturbed soils. e. Erosion control to protect slopes. f. Protection of storm drain inlets (gravel bags or catch basin inserts). g. Perimeter sediment control (perimeter silt fence, fiber rolls). h. Sediment trap or sediment basin to retain sediment on site. i. Stabilized construction exits. j. Wind erosion control. k. Other soil loss BMPs acceptable to the enforcing agency. 2. Good housekeeping BMPs to manage construction equipment, materials, non-stormwater discharges and wastes that should be considered for implementation as appropriate for each project include, but are not limited to, the following: a. Dewatering activities. b. Material handling and waste management. c. Building materials stockpile management. d. Management of washout areas (concrete, paints, stucco, etc.). e. Control of vehicle/equipment fueling to contractor's staging area. f. Vehicle and equipment cleaning performed off site. g. Spill prevention and control. h. Other housekeeping BMPs acceptable to the enforcing agency.  <b>5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND.</b> Comply with all lawfully enacted stormwater discharge regulations for projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of a larger common plan of development sale.  Note: Projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of the larger common plan of development or sale must comply with the post-construction requirements detailed in the applicable National Pollutant Discharge Elimination System (NPDES) General permit for Stormwater Discharges Associated with Construction and Disturbance Activities issued by the State Water Resources Control Board or the Lahontan Regional Water Quality Control Board (for projects in the Lake Tahoe Hydrologic Unit).  The NPDES permits require postconstruction runoff (post-project hydrology) to match the preconstruction runoff (pre-project hydrology) with the installation of postconstruction stormwater management measures. The NPDES permits emphasize runoff reduction through on-site stormwater use, interception, evapotranspiration, and infiltration through nonstructural controls, such as Low Impact Development (LID) practices, and conversation design measures. Stormwater volume that cannot be addressed using nonstructural practices is required to be captured in structural practices and be approved by the enforcing agency.  Refer to the current applicable permits on the State Water Resources Control Board website at: www.waterboards.ca.gov/constructionstormwater. Consideration to the stormwater runoff management measures should be given during the initial design process for appropriate integration into site development.  <b>5.106.4 BICYCLE PARKING.</b> For buildings within the authority of California Building Standards Commission as specified in Section 103, comply with Section 5.106.4.1. For buildings within the authority of the Division of the State Architect pursuant to Section 105, comply with Section 5.106.4.2  <b>5.106.4.1 Bicycle parking [BSC-CG]</b> Comply with Sections 5.106.4.1.1 and 5.106.4.1.2; or meet the applicable local ordinance, whichever is stricter.  <b>5.106.4.1.1 Short-term bicycle parking.</b> If the new project or an addition or alteration is anticipated to generate bicycle traffic, provide permanently anchored bicycle racks within 200 feet of the visitor's entrance, readily visible to passers-by, for 5% of new visitor motorized vehicle parking spaces being added, with a minimum of one two-bike capacity rack. Exception: Additions or alterations which add nine or less visitor vehicular parking spaces.  <b>5.106.4.1.2 Long-term bicycle parking.</b> For new buildings with tenant spaces that have 10 or more tenant-occupants, provide secure bicycle parking for 5 percent of the tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.  <b>5.106.4.1.3 For additions or alterations that add 10 or more tenant-occupant vehicular parking spaces,</b> provide secure bicycle parking for 5 percent of the tenant vehicular parking spaces being added, with a minimum of one bicycle parking facility.  <b>5.106.4.1.4 For new shell buildings in phased projects</b> provide secure bicycle parking for 5 percent of the anticipated tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.  <b>5.106.4.1.5 Acceptable bicycle parking facility</b> for Sections 5.106.4.1.2, 5.106.4.1.3, and 5.106.4.1.4 shall be convenient from the street and shall meet one of the following: 1. Covered, lockable enclosures with permanently anchored racks for bicycles; 2. Lockable bicycle rooms with permanently anchored racks; or 3. Lockable, permanently anchored bicycle lockers.  Note: Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates.  <b>5.106.4.2 Bicycle parking [DSA-SS]</b> For public schools and community colleges, comply with Sections 5.106.4.2.1 and 5.106.4.2.2  <b>5.106.4.2.1 Student bicycle parking.</b> Provide permanently anchored bicycle racks conveniently accessed with a minimum of two-bike capacity racks per new building.  <b>5.106.4.2.2 Staff bicycle parking.</b> Provide permanent, secure bicycle parking conveniently accessed with a minimum of two staff bicycle parking spaces per new building. Acceptable bicycle parking facilities shall be convenient from the street or staff parking area and shall meet one of the following: 1. Covered, lockable enclosures with permanently anchored racks for bicycles; 2. Lockable bicycle rooms with permanently anchored racks; or 3. Lockable, permanently anchored bicycle lockers.  <b>5.106.5.3 Electric vehicle (EV) charging [N]</b> Construction to provide electric vehicle infrastructure and facilitate electric vehicle charging shall comply with Section 5.106.5.3.1 and shall be provided in accordance with regulations in the California Building Code and the California Electrical Code.  Exceptions: 1. On a case-by-case basis where the local enforcing agency has determined compliance with this section is not feasible based upon one of the following conditions: a. Where there is no local utility power supply b. Where the local utility is unable to supply adequate power. c. Where there is evidence suitable to the local enforcing agency substantiating the local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the project. 2. Parking spaces accessible only by automated mechanical car parking systems are not required to comply with this code section  <b>5.106.5.3.1 EV capable spaces.</b> [N] EV capable spaces shall be provided in accordance with Table 5.106.5.3.1 and the following requirements: 1. Raceways complying with the California Electrical Code and no less than 1-inch (25 mm) diameter shall be provided and shall originate at a service panel or a subpanel(s) serving the area, and shall terminate in close proximity to the proposed location of the EV capable and into a suitable listed cabinet, box enclosure or equivalent. A common raceway may be used to serve multiple EV charging spaces. 2. A service panel or subpanel (s) shall be provided with panel space and electrical load capacity for a dedicated 208/240 volt, 40-ampere minimum branch circuit for each EV capable space, with delivery of 30-ampere minimum to an installed EVSE at each EVCS. 3. The electrical system and any on-site distribution transformers shall have sufficient capacity to supply full rated amperage at each EV capable space. 4. The service panel or subpanel circuit directory shall identify the reserved overcurrent protective device space(s) as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".  Note: A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by an enforcement agency. See vehicle Code Section 22511.2 for further details.  <table border="1"> <caption>TABLE 5.106.5.3.1</caption> <thead> <tr> <th>TOTAL NUMBER OF ACTUAL PARKING SPACES</th> <th>NUMBER OF REQUIRED EV CAPABLE SPACES</th> <th>NUMBER OF EVCS (EV CAPABLE SPACES PROVIDED WITH EVSE)*2</th> </tr> </thead> <tbody> <tr> <td>0-9</td> <td>0</td> <td>0</td> </tr> <tr> <td>10-25</td> <td>2</td> <td>0</td> </tr> <tr> <td>26-50</td> <td>8</td> <td>2</td> </tr> <tr> <td>51-75</td> <td>13</td> <td>3</td> </tr> <tr> <td>76-100</td> <td>17</td> <td>4</td> </tr> <tr> <td>101-150</td> <td>25</td> <td>6</td> </tr> <tr> <td>151-200</td> <td>35</td> <td>9</td> </tr> <tr> <td>201 AND OVER</td> <td>20% of total<sup>1</sup></td> <td>25% of EV capable spaces<sup>1</sup></td> </tr> </tbody> </table> 1. Where there is insufficient electrical supply. 2. The number of required EVCS (EV capable spaces provided with EVSE) in column 3 count towards the total number of required EV capable spaces shown in column 2.  <b>5.106.5.3.2 Electric vehicle charging stations (EVCS)</b> EV capable spaces shall be provided with EVSE to create EVCS in the number indicated in Table 5.106.5.3.1. The EVCS required by Table 5.106.5.3.1 may be provided with EVSE in any combination of Level 2 and Direct Current Fast Charging (DCFC), except that at least one Level 2 EVSE shall be provided.  One EV charger with multiple connectors capable of charging multiple EVs simultaneously shall be permitted if the electrical load capacity required by Section 5.106.5.3.1 for each EV capable space is cumulatively supplied to the EV charger.  The installation of each DCFC EVSE shall be permitted to reduce the minimum number of required EV capable spaces without EVSE by five and reduce proportionally the required electrical load capacity to the service panel or subpanel.  <b>5.106.5.3.3 Use of automatic load management systems (ALMS).</b> ALMS shall be permitted for EVCS. When ALMS is installed, the required electrical load capacity specified in Section 5.106.5.3.1 for each EVCS may be reduced when serviced by an EVSE controlled by an ALMS. Each EVSE controlled by an ALMS shall deliver a minimum 30 amperes to an EV when charging one vehicle and shall deliver a minimum 3.3 kW while simultaneously charging multiple EVs.  <b>5.106.5.3.4 Accessible EVCS.</b> When EVSE is installed, accessible EVCS shall be provided in accordance with the California Building Code, Chapter 11B, Section 11B-228.3. Note: For EVCS signs, refer to Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).  <b>5.106.5.4 Electric Vehicle (EV) charging: medium-duty and heavy-duty. [N]</b> Construction shall comply with section 5.106.5.4.1 to facilitate future installation of electric vehicle supply equipment (EVSE). Construction for warehouses, grocery stores and retail stores with planned off-street loading spaces shall also comply with Section 5.106.5.4.1 for future installation of medium- and heavy-duty EVSE. Exceptions: 1. On a case-by-case basis where the local enforcing agency has determined compliance with this section is not feasible based upon one of the following conditions: a. Where there is no local utility power supply b. Where the local utility is unable to supply adequate power. c. Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the project. When EVSE(s) is/are installed, it shall be in accordance with the California Building Code, the California Electrical Code and as follows:  <b>5.106.5.4.1 Electric vehicle charging readiness requirements for warehouse, grocery stores and retail stores with planned off-street loading spaces.</b> [N] In order to avoid future demolition when adding EV charging supply and distribution equipment, spare raceway(s) or busway(s) and adequate capacity for transformers(s), service panel(s) or subpanel(s) shall be installed at the time of construction in accordance with the California Electrical Code. Construction plans and specifications shall include but are not limited to, the following: 1. The transformer, main service equipment and subpanel shall meet the minimum power requirement in Table 5.106.5.4.1 to accommodate the dedicated branch circuits for the future installation of EVSE. 2. The construction documents shall indicate on or more location(s) convenient to the planned offstreet loading space(s) reserved for medium- and heavy-duty ZEV charging cabinets and charging dispensers, and a pathway reserved for routing of conduit from the termination of the raceway(s) or busway(s) to the charging cabinet(s) and dispenser(s) as shown in Table 5.106.5.4.1 3. Raceway(s) or busway(s) originating at a main service panel or a subpanel(s) serving the area where potential future medium- and heavy-duty EVSE will be located and shall terminate in close proximity to the potential future location of the charging equipments for medium- and heavy-duty vehicles. 4. The raceway(s) or busway(s) shall be sufficient size to carry the minimum additional system load to the future location of the charging for medium- and heavy-duty ZEVs as shown in Table 5.106.5.4.1.  <table border="1"> <caption>TABLE 5.106.5.4.1 RACEWAY CONDUIT AND PANEL POWER REQUIREMENTS FOR MEDIUM- AND HEAVY-DUTY EVSE [N]</caption> <thead> <tr> <th>BUILDING TYPE</th> <th>BUILDING SIZE (SQ. FT.)</th> <th>NUMBER OF OFF-STREET LOADING SPACES</th> <th>ADDITIONAL CAPACITY REQUIRED (KVA) FOR RACEWAY &amp; BUSWAY AND TRANSFORMER &amp; PANEL</th> </tr> </thead> <tbody> <tr> <td rowspan="2">Grocery</td> <td>10,000 to 90,000</td> <td>1 or 2</td> <td>200</td> </tr> <tr> <td>Greater than 90,000</td> <td>3 or Greater</td> <td>400</td> </tr> <tr> <td rowspan="2">Retail</td> <td>10,000 to 135,000</td> <td>1 or 2</td> <td>200</td> </tr> <tr> <td>Greater than 135,000</td> <td>3 or Greater</td> <td>400</td> </tr> <tr> <td rowspan="2">Warehouse</td> <td>20,000 to 256,000</td> <td>1 or 2</td> <td>200</td> </tr> <tr> <td>Greater than 256,000</td> <td>3 or Greater</td> <td>400</td> </tr> </tbody> </table> <b>5.106.8 LIGHT POLLUTION REDUCTION. [N]</b> Outdoor lighting systems shall be designed and installed to comply with the following: 1. The minimum requirements in the California Energy Code for Lighting Zones 0-4 as defined in Chapter 10, Section 10-114 of the California Administrative Code; and 2. Backlight (B) ratings as defined in IES TM-15-11 (shown in Table A-1 in Chapter 8); 3. Uplight and Glare ratings as defined in California Energy Code (shown in Tables 130.2-A and 130.2-B in Chapter 8) and 4. Allowable BUG ratings not exceeding those shown in Table 5.106.8. [N] or Comply with a local ordinance lawfully enacted pursuant to Section 101.7, whichever is more stringent.  Exceptions: [N] 1. Luminaires that qualify as exceptions in Sections 130.2 (b) and 140.7 of the California Energy Code. 2. Emergency lighting. 3. Building facade meeting the requirements in Table 140.7-B of the California Energy Code, Part 6. 4. Custom lighting features as allowed by the local enforcing agency, as permitted by Section 101.8 Alternate materials, designs and methods of construction. 5. Luminaires with less than 6,200 initial luminaire lumens.  <table border="1"> <caption>TABLE 5.106.8 [N] MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS<sup>1,2</sup></caption> <thead> <tr> <th>ALLOWABLE RATING</th> <th>LIGHTING ZONE L20</th> <th>LIGHTING ZONE L21</th> <th>LIGHTING ZONE L22</th> <th>LIGHTING ZONE L23</th> <th>LIGHTING ZONE L24</th> </tr> </thead> <tbody> <tr> <td><b>MAXIMUM ALLOWABLE BACKLIGHT RATING<sup>1</sup></b></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Luminaire greater than 2 mounting heights (MH) from property line</td> <td>N/A</td> <td>No Limit</td> <td>No Limit</td> <td>No Limit</td> <td>No Limit</td> </tr> <tr> <td>Luminaire back hemisphere is 1-2 MH from property line</td> <td>N/A</td> <td>B2</td> <td>B3</td> <td>B4</td> <td>B4</td> </tr> <tr> <td>Luminaire back hemisphere is 0.5-1 MH from property line</td> <td>N/A</td> <td>B1</td> <td>B2</td> <td>B3</td> <td>B3</td> </tr> <tr> <td>Luminaire back hemisphere is less than 0.5 MH from property line</td> <td>N/A</td> <td>B0</td> <td>B0</td> <td>B1</td> <td>B2</td> </tr> <tr> <td><b>MAXIMUM ALLOWABLE UPLIGHT RATING (U)</b></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>For area lighting<sup>2</sup></td> <td>N/A</td> <td>U0</td> <td>U0</td> <td>U0</td> <td>U0</td> </tr> <tr> <td>For all other outdoor lighting, including decorative luminaires</td> <td>N/A</td> <td>U1</td> <td>U2</td> <td>U3</td> <td>UR</td> </tr> </tbody> </table> <b>MAXIMUM ALLOWABLE GLARE RATING (G)</b> <table border="1"> <thead> <tr> <th>MAXIMUM ALLOWABLE GLARE RATING (G)</th> <th>N/A</th> <th>G1</th> <th>G2</th> <th>G3</th> <th>G4</th> </tr> </thead> <tbody> <tr> <td><b>MAXIMUM ALLOWABLE GLARE RATING (G)</b></td> <td>N/A</td> <td>G0</td> <td>G1</td> <td>G1</td> <td>G2</td> </tr> <tr> <td><b>MAXIMUM ALLOWABLE GLARE RATING (G)</b></td> <td>N/A</td> <td>G0</td> <td>G0</td> <td>G1</td> <td>G1</td> </tr> <tr> <td><b>MAXIMUM ALLOWABLE GLARE RATING (G)</b></td> <td>N/A</td> <td>G0</td> <td>G0</td> <td>G0</td> <td>G1</td> </tr> </tbody> </table> 1. IESNA Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the California Energy Code and Chapter 10 of the California Administrative Code. 2. For property lines that about public walkways, bikeways, plazas and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purpose of determining compliance with this section. For property lines that about public roadways and public transit corridors, the property line may be considered to be the centerline of the public roadway or public transit corridor for the purpose of determining compliance with this section. 3. General lighting luminaires in areas such as outdoor parking, sales or storage lots shall meet these reduced ratings. Decorative luminaires located in these areas shall meet U-value limits for "all other outdoor lighting"  <b>5.106.8.1 Facing- Backlight</b> Luminaires within 2MH of a property line shall be oriented so that the nearest property line is behind the fixture, and shall comply with the backlight rating specified in Table 5.106.8 based on the lighting zone and distance to the nearest point of that property line. Exception: Corners. If two property lines (or two segments of the same property line) have equidistant point to the luminaire, then the luminaire may be oriented so that the intersection of the two lines (the corner) is directly behind the luminaire. The luminaire shall still use the distance to the nearest point(s) on the property lines to determine the required backlight rating.  <b>5.106.8.2 Facing-Glare.</b> For luminaires covered by 5.106.8.1, if a property line also exists within or extends into the front hemisphere within 2MH of the luminaire then the luminaire shall comply with the more stringent glare rating specified in Table 5.106.8 based on the lighting zone and distance to the nearest point on the nearest property line within the front hemisphere.  Note: [N] 1. See also California Building Code, Chapter 12, Section 1205.6 for college campus lighting requirements for parking facilities and walkways. 2. Refer to Chapter 8 (Compliance Forms, Worksheets and Reference Material) for IES TM-15-11 Table A-1, California Energy Code Tables 130.2-A and 130.2-B. 3. Refer to California Building Code for requirements for additions and alterations.  <b>5.106.10 GRADING AND PAVING.</b> Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales. 2. Water collection and disposal systems. 3. French drains. 4. Water retention gardens. 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path.  <b>5.106.12 SHADE TREES [DSA-SS].</b> Shade Trees shall be planted to comply with Sections 5.106.12.1, 5.106.12.2, and 5.106.12.3. Percentages shown shall be measured at noon on the summer solstice. Landscape irrigation necessary to establish and maintain tree health shall comply with Section 5.304.6.  <b>5.106.12.1 Surface parking areas.</b> Shade tree plantings, minimum #10 container size or equal, shall be installed to provide shade over 50 percent of the parking area within 15 years. Exceptions: Surface parking area covered by solar photovoltaic shade structures with roofing materials that comply with Table A5.106.11.2.2 in Appendix A5 shall be permitted in whole or in part in lieu of shade tree planting.  <b>5.106.12.2 Landscape areas.</b> Shade tree plantings, minimum #10 container size or equal shall be installed to provide shade of 20% of the landscape area within 15 years. Exceptions: Playfields for organized sport activity are not included in the total area calculation.  <b>5.106.12.3. Hardscape areas.</b> Shade tree plantings, minimum #10 container size or equal shall be installed to provide shade over 20 percent of the hardscape area within 15 years. Exceptions: 1. Walks, hardscape areas covered by solar photovoltaic shade structures or shade structures with roofing materials that comply with Table A5.106.11.2.2 in Appendix A5 shall be permitted in whole or in part in lieu of shade tree planting. 2. Designated and marked play areas of organized sport activity are not included in the total area calculation.  <b>DIVISION 5.2 ENERGY EFFICIENCY</b> <b>SECTION 5.201 GENERAL</b> <b>5.201.1 SCOPE [BSC-CG]</b> California Energy Code [DSA-SS]. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory building standards.  <b>DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION</b>  <b>SECTION 5.301 GENERAL</b> <b>5.301.1 SCOPE.</b> The provisions of this chapter shall establish the means of conserving water use indoors, outdoors and in wastewater conveyance.  <b>SECTION 5.302 DEFINITIONS</b> <b>5.302.1 Definitions.</b> The following terms are defined in Chapter 2 (and are included here for reference)  <b>EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF) [DSA-SS].</b> An adjustment factor when applied to reference evapotranspiration that adjusts for plant factors and irrigation efficiency, which are two major influences on the amount of water that needs to be applied to the landscape.  <b>FOOTPRINT AREA [DSA-SS].</b> The total area of the furthest exterior wall of the structure projected to natural grade, not including exterior areas such as stairs, covered walkways, patios and decks.  <b>METERING FAUCET.</b> A self-closing faucet that dispenses a specific volume of water for each actuation cycle. The volume or cycle duration can be fixed or adjustable.  <b>GRAYWATER.</b> Pursuant to Health and Safety Code Section 17922.12, "graywater" means untreated wastewater that has not been contaminated by any toilet discharge, has not been affected by infectious, contaminated, or unhealthy bodily wastes, and does not present a threat from contamination by unhealthful processing, manufacturing, or operating wastes. "Graywater" includes, but is not limited to wastewater from bathtubs, showers, bathroom washbasins, clothes washing machines and laundry tubs, but does not include waste water from kitchen sinks or dishwashers.  <b>MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO).</b> The California ordinance regulating landscape design, installation and maintenance practices that will ensure commercial, multifamily and other developer installed landscapes greater than 2500 square feet meet an irrigation water budget developed based on landscaped area and climatological parameters.  <b>MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) [HCD]</b> The California model ordinance (California Code of Regulations, Title 23, Division 2, Chapter 2.7), regulating landscape design, installation and maintenance practices. Local agencies are required to adopt the updated MWELO, or adopt a local ordinance at least as effective as the MWELO.  <b>POTABLE WATER.</b> Water that is drinkable and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards. See definition in the California Plumbing Code, Part 5.  <b>POTABLE WATER [HCD]</b> Water that is satisfactory for drinking, culinary, and domestic purposes, and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards and the requirements of the Health Authority Having Jurisdiction.  <b>RECYCLED WATER.</b> Water which, as a result of treatment of waste, is suitable for a direct beneficial use or a controlled use that would not otherwise occur [Water Code Section 13050 (n)]. Simply put, recycled water is water treated to remove waste matter attaining a quality that is suitable to use the water again.  <b>SUBMETER. [HCD 1]</b> A secondary device beyond a meter that measures water consumption of an individual rental unit within a multiunit residential structure or mixed-use residential and commercial structure. (See Civil Code Section 1954.202 (g) and Water code Section 517 for additional details.)  <b>WATER BUDGET.</b> Is the estimated total landscape irrigation water use which shall not exceed the maximum applied water allowance calculated in accordance with the Department of Water Resources Model Efficient Landscape Ordinance (MWELO).  			TOTAL NUMBER OF ACTUAL PARKING SPACES	NUMBER OF REQUIRED EV CAPABLE SPACES	NUMBER OF EVCS (EV CAPABLE SPACES PROVIDED WITH EVSE)*2	0-9	0	0	10-25	2	0	26-50	8	2	51-75	13	3	76-100	17	4	101-150	25	6	151-200	35	9	201 AND OVER	20% of total <sup>1</sup>	25% of EV capable spaces <sup>1</sup>	BUILDING TYPE	BUILDING SIZE (SQ. FT.)	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**In the box**  
 9357 SPECTRUM CENTER BLVD.  
 SAN DIEGO, CA 92123  
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### DATES

RELEASE: MARCH 04, 2022  
 P.M. UPDATES: APRIL 29, 2022

SUBMITTAL DATE:  
 1: \_\_\_\_\_  
 2: \_\_\_\_\_  
 3: \_\_\_\_\_

BID: \_\_\_\_\_  
 CONSTRUCTION: \_\_\_\_\_

### REVISIONS

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**OWENS DESIGN CONSULTANTS**  
 145 N. 2ND AVENUE, SUITE 5  
 OAKDALE, CA 95361  
 (916) 502-5001 • fax: (916) 522-4738 • www.odcengr.com



EXP. 6/30/25  
**SITE INFORMATION**  
 MK TYPE: MK3  
 JOB #: #426  
 ADDRESS:  
 1301 Camden Ave  
 Campbell, CA, 95008  
 DRAWN BY: GPalmerin  
 PROJECT #: \_\_\_\_\_  
 SCALE: \_\_\_\_\_

**CALGREEN**  
**CG1**

# 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y	NA	RESPON. PARTY												
<input type="checkbox"/>	<input type="checkbox"/>													
<b>SECTION 5.303 INDOOR WATER USE</b> <b>5.303.1 METERS.</b> Separate submeters or metering devices shall be installed for the uses described in Sections 503.1.1 and 503.1.2. <b>5.303.1.1 Buildings in excess of 50,000 square feet.</b> Separate submeters shall be installed as follows: 1. For each individual leased, rented or other tenant space within the building projected to consume more than 100 gal/day (380 L/day), including, but not limited to, spaces used for laundry or cleaners, restaurant or food service, medical or dental office, laboratory, or beauty salon or barber shop. 2. Where separate submeters for individual building tenants are unfeasible, for water supplied to the following subsystems: a. Makeup water for cooling towers where flow through is greater than 500 gpm (30 US). b. Makeup water for evaporative coolers greater than 8 gpm (0.04 L/s). c. Steam and hot water boilers with energy input more than 500,000 Btu/h (147 kW). <b>5.303.1.2 Excess consumption.</b> A separate submeter or metering device shall be provided for any tenant within a new building or within an addition that is projected to consume more than 1,000 gal/day. <input type="checkbox"/>														
<input type="checkbox"/>	<input type="checkbox"/>													
<b>5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS.</b> Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following: <b>5.303.3.1 Water Closets.</b> The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type Toilets. <b>Note:</b> The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. <input type="checkbox"/>														
<input type="checkbox"/>	<input type="checkbox"/>													
<b>5.303.3.2 Urinals.</b> <b>5.303.3.2.1 Wall-mounted Urinals.</b> The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush. <b>5.303.3.2.2 Floor-mounted Urinals.</b> The effective flush volume of floor-mounted or other urinals shall not exceed 0.5 gallons per flush. <input type="checkbox"/>														
<input type="checkbox"/>	<input type="checkbox"/>													
<b>5.303.3.3 Showerheads, [BSC-CG]</b> <b>5.303.3.3.1 Single showerhead.</b> Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. <b>5.303.3.3.2 Multiple showerheads serving one shower.</b> When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. <b>Note:</b> A hand-held shower shall be considered a showerhead. <input type="checkbox"/>														
<input type="checkbox"/>	<input type="checkbox"/>													
<b>5.303.3.4 Faucets and fountains.</b> <b>5.303.3.4.1 Nonresidential Lavatory faucets.</b> Lavatory faucets shall have a maximum flow rate of not more than 0.5 gallons per minute at 60 psi. <b>5.303.3.4.2 Kitchen faucets.</b> Kitchen faucets shall have a maximum flow rate of not more than 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. <b>5.303.3.4.3 Wash fountains.</b> Wash fountains shall have a maximum flow rate of not more than 1.8 gallons per minute/20 fpm space (inches) at 60 psi. <b>5.303.3.4.4 Metering faucets.</b> Metering faucets shall not deliver more than 0.20 gallons per cycle. <b>5.303.3.4.5 Metering faucets for wash fountains.</b> Metering faucets for wash fountains shall have a maximum flow rate of not more than 0.20 gallons per minute/20 fpm space (inches) at 60 psi. <b>Note:</b> Where complying faucets are unavailable, aerators or other means may be used to achieve reduction. <b>5.303.3.4.6 Pre-rinse spray valve</b> When installed, shall meet the requirements in the <i>California Code of Regulations</i> , Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7), and shall be equipped with an integral automatic shutoff. <input type="checkbox"/>														
<input type="checkbox"/>	<input type="checkbox"/>													
<b>FOR REFERENCE ONLY:</b> The following table and code section have been reprinted from the <i>California Code of Regulations</i> , Title 20 (Appliance Efficiency Regulations), Section 1605.3 (h)(4) and Section 1605.3 (h)(4)(A). <table border="1"> <thead> <tr> <th colspan="2">TABLE H-2</th> </tr> <tr> <th colspan="2">STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALVES MANUFACTURED ON OR AFTER JANUARY 28, 2019</th> </tr> <tr> <th>PRODUCT CLASS [spray force in ounce force (ozf)]</th> <th>MAXIMUM FLOW RATE (gpm)</th> </tr> </thead> <tbody> <tr> <td>Product Class 1 (<math>\leq 5.0</math> ozf)</td> <td>1.00</td> </tr> <tr> <td>Product Class 2 (<math>&gt; 5.0</math> ozf and <math>\leq 8.0</math> ozf)</td> <td>1.20</td> </tr> <tr> <td>Product Class 3 (<math>&gt; 8.0</math> ozf)</td> <td>1.28</td> </tr> </tbody> </table> <input type="checkbox"/>			TABLE H-2		STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALVES MANUFACTURED ON OR AFTER JANUARY 28, 2019		PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)	Product Class 1 ( $\leq 5.0$ ozf)	1.00	Product Class 2 ( $> 5.0$ ozf and $\leq 8.0$ ozf)	1.20	Product Class 3 ( $> 8.0$ ozf)	1.28
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<input type="checkbox"/>	<input type="checkbox"/>													
<b>5.303.4 COMMERCIAL KITCHEN EQUIPMENT.</b> <b>5.303.4.1 Food Waste Disposers.</b> Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no more than 10 minutes of inactivity. Disposers shall use no more than 8 gpm of water. <b>Note:</b> This code section does not affect local jurisdiction authority to prohibit or require disposer installation. <input type="checkbox"/>														
<input type="checkbox"/>	<input type="checkbox"/>													
<b>5.303.5 AREAS OF ADDITION OR ALTERATION.</b> For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures in additions or areas of alteration to the building. <input type="checkbox"/>														
<input type="checkbox"/>	<input type="checkbox"/>													
<b>5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS.</b> Plumbing fixtures and fittings shall be installed in accordance with the <i>California Plumbing Code</i> , and shall meet the applicable standards referenced in Table 1701.1 of the <i>California Plumbing Code</i> and in Chapter 6 of this code. <input type="checkbox"/>														
<input type="checkbox"/>	<input type="checkbox"/>													
<b>SECTION 5.304 OUTDOOR WATER USE</b> <b>5.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS.</b> Nonresidential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. <b>Notes:</b> 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code of Regulations, Title 23, Chapter 2.7, Division 2. 2. MWELO and supporting documents, including a water budget calculator, are available at: <a href="https://www.water.ca.gov/">https://www.water.ca.gov/</a> . <input type="checkbox"/>														
<input type="checkbox"/>	<input type="checkbox"/>													
<b>5.304.6 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS.</b> For public schools and community colleges, landscape projects as described in Sections 5.304.6.1 and 5.304.6.2 shall comply with the California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, <i>California Code of Regulations</i> , except that the evapotranspiration adjustment factor (ETAF) shall be 0.65 with an additional water allowance for special landscape areas (SLA) of 0.35. <b>Exception:</b> Any project with an aggregate landscape area of 2,500 square feet or less may comply with the prescriptive measures contained in Appendix D of the MWELO. <input type="checkbox"/>														
<input type="checkbox"/>	<input type="checkbox"/>													
<b>5.304.6.1 Newly constructed landscapes.</b> New construction projects with an aggregate landscape area equal to or greater than 500 square feet. <b>5.304.6.2 Rehabilitated landscapes.</b> Rehabilitated landscape projects with an aggregate landscape area equal to or greater than 1,200 square feet. <input type="checkbox"/>														
<b>DIVISION 5.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY</b> <b>SECTION 5.401 GENERAL</b> <b>5.401.1 SCOPE.</b> The provisions of this chapter shall outline means of achieving material conservation and resource efficiency through proper waste diversion, construction waste diversion, employment of techniques to reduce pollution through recycling of materials, and building commissioning or testing and adjusting. <input type="checkbox"/>														

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<b>SECTION 5.402 DEFINITIONS</b> <b>5.402.1 DEFINITIONS.</b> The following terms are defined in Chapter 2 (and are included here for reference) <b>ADJUST.</b> To regulate fluid flow rate and air patterns at the terminal equipment, such as to reduce fan speed or adjust a damper. <b>BALANCE.</b> To proportion flows within the distribution system, including sub-mains, branches and terminals, according to design quantities. <b>BUILDING COMMISSIONING.</b> A systematic quality assurance process that spans the entire design and construction process, including verifying and documenting that building systems and components are planned, designed, installed, tested, operated and maintained to meet the owner's project requirements. <b>ORGANIC WASTE.</b> Food waste, green waste, landscape and pruning waste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste. <b>TEST.</b> A procedure to determine quantitative performance of a system or equipment <input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	
<b>SECTION 5.407 WATER RESISTANCE AND MOISTURE MANAGEMENT</b> <b>5.407.1 WEATHER PROTECTION.</b> Provide a weather-resistant exterior wall and foundation envelope as required by California Building Code Section 1402.2 (Weather Protection), manufacturer's installation instructions or local ordinance, whichever is more stringent. <b>5.407.2 MOISTURE CONTROL.</b> Employ moisture control measures by the following methods. <b>5.407.2.1 Sprinklers.</b> Design and maintain landscape irrigation systems to prevent spray on structures. <b>5.407.2.2 Entries and openings.</b> Design exterior entries and/or openings subject to foot traffic or wind-driven rain to prevent water intrusion into buildings as follows: <b>5.407.2.2.1 Exterior door protection.</b> Primary exterior entries shall be covered to prevent water intrusion by using nonabsorbent floor and wall finishes within at least 2 feet around and perpendicular to such openings plus at least one of the following: 1. An installed awning at least 4 feet in depth. 2. The door is protected by a roof overhang at least 4 feet in depth. 3. The door is recessed at least 4 feet. 4. Other methods which provide equivalent protection. <b>5.407.2.2.2 Flashing.</b> Install flashings integrated with a drainage plane. <input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	
<b>SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING</b> <b>5.408.1 CONSTRUCTION WASTE MANAGEMENT.</b> Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste in accordance with 5.408.1.1, 5.408.1.2 or 5.408.1.3, or meet a local construction and demolition waste management ordinance, whichever is more stringent. <b>5.408.1.1 Construction waste management plan.</b> Where a local jurisdiction does not have a construction and demolition waste management ordinance, submit a construction waste management plan that: 1. Identifies the construction and demolition waste materials to be diverted from disposal by efficient usage, recycling, reuse on the project or salvage for future use or sale. 2. Determines if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream). 3. Identifies diversion facilities where construction and demolition waste material collected will be taken. 4. Specifies that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both. <b>5.408.1.2 Waste Management Company.</b> Utilize a waste management company that can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with this section. <b>Note:</b> The owner or contractor shall make the determination if the construction and demolition waste material will be diverted by a waste management company. <b>Exceptions to Sections 5.408.1.1 and 5.408.1.2:</b> 1. Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist. 3. Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities and markets. <b>5.408.1.3 Waste stream reduction alternative.</b> The combined weight of new construction disposal that does not exceed two pounds per square foot of building area may be deemed to meet the 65% minimum requirement as approved by the enforcing agency. <b>5.408.1.4 Documentation.</b> Documentation shall be provided to the enforcing agency which demonstrates compliance with Sections 5.408.1.1, through 5.408.1.3. The waste management plan shall be updated as necessary and shall be accessible during construction for examination by the enforcing agency. <b>Notes:</b> 1. Sample forms found in "A Guide to the California Green Building Standards Code (Nonresidential)" located <a href="http://www.dgs.ca.gov/BSC/Resources/Page-Content/Building-Standards-Commission-Resources-List-Folder/CALGreen">www.dgs.ca.gov/BSC/Resources/Page-Content/Building-Standards-Commission-Resources-List-Folder/CALGreen</a> may be used to assist in documenting compliance with the waste management plan. 2. Mixed construction and demolition debris processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle). <input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	
<b>5.408.2 UNIVERSAL WASTE. [A]</b> Additions and alterations to a building or tenant space that meet the scoping provisions in Section 301.3 for nonresidential additions and alterations, shall require verification that Universal Waste items such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibited Universal Waste materials are disposed of properly and are diverted from landfills. A list of prohibited Universal Waste materials shall be included in the construction documents. <b>Note:</b> Refer to the Universal Waste Rule link at: <a href="http://www.dsc.ca.gov/universalwaste/">http://www.dsc.ca.gov/universalwaste/</a> <input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	
<b>5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS.</b> 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a pilaged project, such material may be stockpiled on site until the storage site is developed. <b>Exception:</b> Reuse, either on or off-site, of vegetation or soil contaminated by disease or pest infestation. <b>Notes:</b> 1. If contamination by disease or pest infestation is suspected, contact the County Agricultural Commissioner and follow its direction for recycling or disposal of the material. 2. For a map of known pest and/or disease quarantine zones, consult with the California Department of Food and Agriculture. ( <a href="http://www.cdffa.ca.gov">www.cdffa.ca.gov</a> ) <input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	
<b>SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS</b> <b>5.410.1 RECYCLING BY OCCUPANTS.</b> Provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive. <b>Exception:</b> Rural jurisdictions that meet and apply for the exemption in Public Resources Code 42649.82 (a)(2)(A) et seq. shall also be exempt from the organic waste portion of this section. <input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	
<b>5.410.1.1 Additions.</b> All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30% or more in floor area, shall provide recycling areas on site. <b>Exception:</b> Additions within a tenant space resulting in less than a 30% increase in the tenant space floor area. <input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	
<b>5.410.1.2 Sample ordinance.</b> Space allocation for recycling areas shall comply with Chapter 18, Part 3, Division 30 of the <i>Public Resources Code</i> . Chapter 18 is known as the California Solid Waste Reuse and Recycling Access Act of 1991 (Act). <b>Note:</b> A sample ordinance for use by local agencies may be found in Appendix A of the document at the CalRecycle's web site. <input type="checkbox"/>		

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<b>5.410.2 COMMISSIONING. [N] New buildings 10,000 square feet and over.</b> For new buildings 10,000 square feet and over, building commissioning shall be included in the design and construction processes of the building project to verify that the building systems and components meet the owner's or owner representative's project requirements. Commissioning shall be performed in accordance with this section by trained personnel with experience on projects of comparable size and complexity. For L-occupancies that are not regulated by OSHPD or for L-occupancies and L-occupancies that are not regulated by the California Energy Code Section 100.0 Scope, all requirements in Sections 5.410.2 through 5.410.2.6 shall apply. <b>Note:</b> For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting systems and controls, as well as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements Commissioning requirements shall include: 1. Owner's or Owner representative's project requirements. 2. Basis of design. 3. Commissioning measures shown in the construction documents. 4. Commissioning plan. 5. Functional performance testing. 6. Documentation and training. 7. Commissioning report. <b>Exceptions:</b> 1. Unconditioned warehouses of any size. 2. Areas less than 10,000 square feet used for offices or other conditioned accessory spaces within unconditioned warehouses. 3. Tenant improvements less than 10,000 square feet as described in Section 303.1.1. 4. Open parking garages of any size, or open parking garage areas, of any size, within a structure. <b>Note:</b> For the purposes of this section, unconditioned shall mean a building, area, or room which does not provide heating and air conditioning. <b>Informational Notes:</b> 1. IAS AC 476 is an accreditation criteria for organizations providing training and/or certification of commissioning personnel. AC 476 is available to the Authority Having Jurisdiction as a reference for qualifications of commissioning personnel. AC 476 does not certify individuals to conduct functional performance tests or to adjust and balance systems. 2. Functional performance testing for heating, ventilation, air conditioning systems and lighting controls must be performed in compliance with the <i>California Energy Code</i> . <input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	
<b>5.410.2.1 Owner's or Owner Representative's Project Requirements (OPR). [N]</b> The expectations and requirements of the building appropriate to its phase shall be documented before the design phase of the project begins. This documentation shall include the following: 1. Environmental and sustainability goals. 2. Building sustainable goals. 3. Indoor environmental quality requirements. 4. Project program, including facility functions and hours of operation, and need for after hours operation. 5. Equipment and systems expectations. 6. Building occupant and operation and maintenance (O&M) personnel expectations. <b>5.410.2.2 Basis of Design (BOD). [N]</b> A written explanation of how the design of the building systems meets the OPR shall be completed at the design phase of the building project. The Basis of Design document shall cover the following systems: 1. Renewable energy systems. 2. Landscape irrigation systems. 3. Water reuse system. <input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	
<b>5.410.2.3 Commissioning plan. [N]</b> Prior to permit issuance a commissioning plan shall be completed to document how the project will be commissioned. The commissioning plan shall include the following: 1. General project information. 2. Commissioning goals. 3. Systems to be commissioned. Plans to test systems and components shall include: a. An explanation of the original design intent. b. Equipment and systems to be tested, including the extent of tests. c. Functions to be tested. d. Conditions under which the test shall be performed. e. Measurable criteria for acceptable performance. 4. Commissioning team information. 5. Commissioning process activities, schedules and responsibilities. Plans for the completion of commissioning shall be included. <b>5.410.2.4 Functional performance testing. [N]</b> Functional performance tests shall demonstrate the correct installation and operation of each component, system and system-to-system interface in accordance with the approved plans and specifications. Functional performance testing reports shall contain information addressing each of the building components tested, the testing methods utilized, and include any readings and adjustments made. <b>5.410.2.5 Documentation and training. [N]</b> A Systems Manual and Systems Operations Training are required, including Occupational Safety and Health Act (OSHA) requirements in <i>California Code of Regulations</i> (CCR), Title 8, Section 5142, and other related regulations. <b>5.410.2.5.1 Systems manual. [N]</b> Documentation of the operational aspects of the building shall be completed within the systems manual and delivered to the building owner or representative. The systems manual shall include the following: 1. Site information, including facility description, history and current requirements. 2. Site contact information. 3. Basic operations and maintenance, including general site operating procedures, basic troubleshooting, recommended maintenance requirements, site events log. 4. Major systems. 5. Site equipment inventory and maintenance notes. 6. A copy of verifications required by the enforcing agency or this code. 7. Other resources and documentation, if applicable. <b>5.410.2.5.2 Systems operations training. [N]</b> A program for training of the appropriate maintenance staff for each equipment type and/or system shall be developed and documented in the commissioning report and shall include the following: 1. System/equipment overview (what it is, what it does and with what other systems and/or equipment it interfaces). 2. Review and demonstration of servicing/preventive maintenance. 3. Review of the information in the Systems Manual. 4. Review of the record drawings on the system/equipment. <input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	
<b>5.410.2.6 Commissioning report. [N]</b> A report of commissioning process activities undertaken through the design and construction phases of the building project shall be completed and provided to the owner or representative. <b>5.410.4 TESTING AND ADJUSTING. New buildings less than 10,000 square feet.</b> Testing and adjusting of systems shall be required for new buildings less than 10,000 square feet or new systems to serve an addition or alteration subject to Section 303.1. <b>5.410.4.2 (Reserved)</b> <b>Note:</b> For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting system and controls, as well as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements and Sections 120.5, 120.6, 130.4, and 140.9(b)(3) for additional testing requirements of specific systems. <b>5.410.4.2 Systems.</b> Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include at a minimum, as applicable to the project: 1. Renewable energy systems. 2. Landscape irrigation systems. 3. Water reuse systems. <input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	
<b>5.410.4.3 Procedures.</b> Perform testing and adjusting procedures in accordance with manufacturer's specifications and applicable standards on each system. <b>5.410.4.3.1 HVAC balancing.</b> In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, the system shall be balanced in accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National Standards; the National Environmental Balancing Bureau Procedural Standards; Associated Air Balance Council National Standards or as approved by the enforcing agency. <input type="checkbox"/>		

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<b>5.410.4.4 Reporting.</b> After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services. <b>5.410.4.5 Operation and maintenance (O &amp; M) manual.</b> Provide the building owner or representative with detailed operating and maintenance instructions and copies of warranties/warranties for each system. O & M instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related regulations. <b>5.410.4.5.1 Inspections and reports.</b> Include a copy of all inspection verifications and reports required by the enforcing agency. <input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	
<b>DIVISION 5.5 ENVIRONMENTAL QUALITY</b> <b>SECTION 5.501 GENERAL</b> <b>5.501.1 SCOPE.</b> The provisions of this chapter shall outline means of reducing the quantity of air contaminants that are odorous, irritating, and/or harmful to the comfort and well-being of a building's installers, occupants and neighbors. <b>SECTION 5.502 DEFINITIONS</b> <b>5.502.1 DEFINITIONS.</b> The following terms are defined in Chapter 2 (and are included here for reference) <b>ARTERIAL HIGHWAY.</b> A general term denoting a highway primarily for through traffic usually on a continuous route. <b>A-WEIGHTED SOUND LEVEL (dBA).</b> The sound pressure level in decibels as measured on a sound level meter using the internationally standardized A-weighting filter or as computed from sound spectral data to which A-weighting adjustments have been made. <b>1 BTU/HOUR.</b> British thermal units per hour, also referred to as Btu. The amount of heat required to raise one pound of water one degree Fahrenheit per hour, a common measure of heat transfer rate. A ton of refrigeration is 12,000 Btu, the amount of heat required to melt a ton (2,000 pounds) of ice at 32° Fahrenheit. <b>COMMUNITY NOISE EQUIVALENT LEVEL (CNEL).</b> A metric similar to the day-night average sound level (Ldn), except that a 5 decibel equivalent is added to the equivalent continuous sound exposure level for evening hours (7 pm to 10 pm) in addition to the 10 dB nighttime adjustment used in the Ldn. <b>COMPOSITE WOOD PRODUCTS.</b> Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardwood, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, timber, prefabricated wood joists or finger-jointed lumber, all as specified in California Code of Regulations (CCR), Title 17, Section 93120.1(a). <b>Note:</b> See CCR, Title 17, Section 93120.1. <b>DAY-NIGHT AVERAGE SOUND LEVEL (Ldn).</b> The A-weighted equivalent continuous sound exposure level for a 24-hour period with a 10 dB adjustment added to sound exposure during nighttime hours (10 p.m. to 7 a.m.). <b>DECIBEL (db).</b> A measure on a logarithmic scale of the magnitude of a particular quantity (such as sound pressure, sound power, sound intensity) with respect to a reference quantity. <b>ELECTRIC VEHICLE (EV).</b> An automotive-type vehicle for on-road use, such as passenger automobiles, buses, trucks, vans, neighborhood electric vehicles, electric motorcycles, and the like, primarily powered by an electric motor that draws current from a rechargeable storage battery, fuel cell, photovoltaic array, or other source of electric current. Plug-in hybrid electric vehicles (PHEV) are considered electric vehicles. For purposes of the <i>California Electrical Code</i> , off-road, self-propelled electric vehicles, such as industrial trucks, hoists, lifts, transports, golf carts, airline ground support equipment, tractors, boats, and the like, are not included. <b>ELECTRIC VEHICLE CHARGING STATION(S) (EVC(S)).</b> One or more spaces intended for charging electric vehicles. <b>ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE).</b> The conductors, including the ungrounded, grounded, and equipment grounding conductors and the electric vehicle connectors, attachment plugs, and all other fittings, devices, power outlets, or apparatus installed specifically for the purpose of transferring energy between the premises wiring and the electric vehicle. <b>ENERGY EQUIVALENT (NOISE) LEVEL (Leq).</b> The level of a steady noise which would have the same energy as the fluctuating noise level integrated over the time of period of interest. <b>EXPRESSWAY.</b> An arterial highway for through traffic which may have partial control of access, but which may or may not be divided or have grade separations at intersections. <b>FREEWAY.</b> A divided arterial highway with full control of access and with grade separations at intersections. <b>GLOBAL WARMING POTENTIAL (GWP).</b> The radiative forcing impact of one mass-based unit of a given greenhouse gas relative to an equivalent unit of carbon dioxide over a given period of time. Carbon dioxide is the reference compound with a GWP of one. <b>GLOBAL WARMING POTENTIAL VALUE (GWP VALUE).</b> A 100-year GWP value published by the Intergovernmental Panel on Climate Change (IPCC) in either its Second Assessment Report (SAR) (IPCC, 1995), or its Fourth Assessment A-3 Report (AR4) (IPCC, 2007). The SAR GWP values are found in column "SAR (100-yr)" of Table 2.14.; the AR4 GWP values are found in column "100 yr" of Table 2.14. <b>HIGH-GWP REFRIGERANT.</b> A compound used as a heat transfer fluid or gas that is: (a) a chlorofluorocarbon, a hydrochlorofluorocarbon, a perfluorocarbon, or any compound or blend of compounds, with a GWP value equal to or greater than 150, or (B) any ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009). <b>LONG RADIUS ELBOW.</b> Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.5 times the pipe diameter. <b>LOW-GWP REFRIGERANT.</b> A compound used as a heat transfer fluid or gas that: (A) has a GWP value less than 150, and (B) is not an ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009). <b>MERV.</b> Filter minimum efficiency reporting value, based on ASHRAE 52.2-1999. <b>MAXIMUM INCREMENTAL REACTIVITY (MIR).</b> The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundreds of a gram (g O <sub>3</sub> /g ROG). <b>PRODUCT-WEIGHTED MIR (PWMIR).</b> The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundreds of a gram of ozone formed per gram of product (excluding container and packaging). <b>PSIG.</b> Pounds per square inch, gauge. <b>REACTIVE ORGANIC COMPOUND (ROC).</b> Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere. <b>SCHRADER ACCESS VALVES.</b> Access fittings with a valve core installed. <b>SHORT RADIUS ELBOW.</b> Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.0 times the pipe diameter. <b>SUPERMARKET.</b> For the purposes of Section 5.508.2, a supermarket is any retail food facility with 8,000 square feet or more conditioned area, and that utilizes either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. <b>VOC.</b> A volatile organic compound broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a). <b>Note:</b> Where specific regulations are cited from different agencies such as SCAQMD, ARB, etc., the VOC definition included in that specific regulation is the one that prevails for the specific measure in question. <input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	
<b>SECTION 5.503 FIREPLACES</b> <b>5.503.1 FIREPLACES.</b> Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed woodstove or pellet stove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, Subchapter 7, Section 150. Woodstoves, pellet stoves and fireplaces shall comply with applicable local ordinances. <b>5.503.1.1 Woodstoves.</b> Woodstoves and pellet stoves shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. <input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	
<b>SECTION 5.504 POLLUTANT CONTROL</b> <b>5.504.1 TEMPORARY VENTILATION.</b> The permanent HVAC system shall only be used during construction if necessary to condition the building or areas of addition or alteration within the required temperature range for material and equipment installation. If the HVAC system is used during construction, use return air filters with a Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30% based on ASHRAE 52.1-1992. Replace all filters immediately prior to occupancy, or, if the building is occupied during alteration, at the conclusion of construction. <b>5.504.3 Covering of duct openings and protection of mechanical equipment during construction.</b> At the time of rough installation and during storage on the construction site until final startup of the heating, cooling and ventilation equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which may enter the system. <input type="checkbox"/>		



In the box®

9357 SPECTRUM CENTER BLVD.  
SAN DIEGO, CA 92123

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DATES	
RELEASE:	MARCH 04, 2022
P.M. UPDATES:	APRIL 29, 2022
SUBMITAL DATE:	
1:	
2:	
3:	
BID:	
CONSTRUCTION:	

REVISIONS	
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OWENS DESIGN CONSULTANTS  
145 N. 2ND AVENUE, SUITE 5  
Oakdale, CA 95361  
(209) 522-8031 • fax: (209) 522-4738 • www.odcengr.com



EXP. 6/30/25  
SITE INFORMATION  
MK TYPE: MK3  
JOB #: #426  
ADDRESS:  
1301 Camden Ave  
Campbell, CA, 95008

DRAWN BY: GPalmerin

# 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

## NONRESIDENTIAL MANDATORY MEASURES, SHEET 3 (January 2023)

Y	N/A	RESPON. PARTY
<input type="checkbox"/>	<input type="checkbox"/>	
<b>5.504.4 FINISH MATERIAL POLLUTANT CONTROL.</b> Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.6.		
<b>5.504.4.1 Adhesives, sealants and caulks.</b> Adhesives, sealants, and caulks used on the project shall meet the requirements of the following standards:		
1. Adhesives, adhesive bonding primers, adhesive primers, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in subsection 2, below.		
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.		
<b>TABLE 5.504.4.1 - ADHESIVE VOC LIMIT<sup>1,2</sup></b>		
Less Water and Less Exempt Compounds in Grams per Liter		
ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT	
INDOOR CARPET ADHESIVES	50	
CARPET PAD ADHESIVES	50	
OUTDOOR CARPET ADHESIVES	150	
WOOD FLOORING ADHESIVES	100	
RUBBER FLOOR ADHESIVES	60	
SUBFLOOR ADHESIVES	50	
CERAMIC TILE ADHESIVES	65	
VCT & ASPHALT TILE ADHESIVES	50	
DRYWALL & PANEL ADHESIVES	50	
COVE BASE ADHESIVES	50	
MULTIPURPOSE CONSTRUCTION ADHESIVES	70	
STRUCTURAL GLAZING ADHESIVES	100	
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250	
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50	
SPECIALTY APPLICATIONS		
PVC WELDING	510	
CPVC WELDING	490	
ABS WELDING	325	
PLASTIC CEMENT WELDING	250	
ADHESIVE PRIMER FOR PLASTIC	550	
CONTACT ADHESIVE	80	
SPECIAL PURPOSE CONTACT ADHESIVE	250	
STRUCTURAL WOOD MEMBER ADHESIVE	140	
TOP & TRIM ADHESIVE	250	
SUBSTRATE SPECIFIC APPLICATIONS		
METAL TO METAL	30	
PLASTIC FOAMS	50	
POROUS MATERIAL (EXCEPT WOOD)	30	
WOOD	30	
FIBERGLASS	80	
1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.		
2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168, www.arb.ca.gov/DRDB/SC/CCRHTMTR/1168.PDF		
<b>TABLE 5.504.4.2 - SEALANT VOC LIMIT</b>		
Less Water and Less Exempt Compounds in Grams per Liter		
SEALANTS	CURRENT VOC LIMIT	
ARCHITECTURAL	250	
MARINE DECK	760	
NONMEMBRANE ROOF	300	
ROADWAY	250	
SINGLE-PLY ROOF MEMBRANE	450	
OTHER	420	
SEALANT PRIMERS		
ARCHITECTURAL		
NONPOROUS	250	
POROUS	775	
MODIFIED BITUMINOUS	500	
MARINE DECK	760	
OTHER	750	
NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.		
<b>5.504.4.3 Paints and coatings.</b> Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in Subsections 4.21, 4.36 and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 5.504.4.3 shall apply.		
<b>5.504.4.3.1 Aerosol Paints and coatings.</b> Aerosol paints and coatings shall meet the PWMIR Limits for VOC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (d)(2) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8 Rule 49.		

Y	N/A	RESPON. PARTY
<input type="checkbox"/>	<input type="checkbox"/>	
<b>TABLE 5.504.4.3 - CONT.</b>		
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS		
COATING CATEGORY	CURRENT VOC LIMIT	
SPECIALTY COATINGS		
ALUMINUM ROOF COATINGS	400	
BASEMENT SPECIALTY COATINGS	400	
BITUMINOUS ROOF COATINGS	50	
BITUMINOUS ROOF PRIMERS	350	
BOND BREAKERS	350	
CONCRETE CURING COMPOUNDS	350	
CONCRETE/MASONRY SEALERS	100	
DRIVEWAY SEALERS	50	
DRY FOG COATINGS	150	
FAUX FINISHING COATINGS	350	
FIRE RESISTIVE COATINGS	350	
FLOOR COATINGS	100	
FORM-RELEASE COMPOUNDS	250	
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500	
HIGH-TEMPERATURE COATINGS	420	
INDUSTRIAL MAINTENANCE COATINGS	250	
LOW SOLIDS COATINGS <sup>1</sup>	120	
MAGNESITE CEMENT COATINGS	450	
MASTIC TEXTURE COATINGS	100	
METALLIC PIGMENTED COATINGS	500	
MULTICOLOR COATINGS	250	
PRETREATMENT WASH PRIMERS	420	
PRIMERS, SEALERS, & UNDERCOATERS	100	
REACTIVE PENETRATING SEALERS	350	
RECYCLED COATINGS	250	
ROOF COATINGS	50	
RUST PREVENTATIVE COATINGS	250	
SHELLACS:		
CLEAR	730	
OPAQUE	550	
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100	
STAINS	250	
STONE CONSOLIDANTS	450	
SWIMMING POOL COATINGS	340	
TRAFFIC MARKING COATINGS	100	
TUB & TILE REFINISH COATINGS	420	
WATERPROOFING MEMBRANES	250	
WOOD COATINGS	275	
WOOD PRESERVATIVES	350	
ZINC-RICH PRIMERS	340	
1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS		
2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.		
3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.		
<b>5.504.4.3.2 Verification.</b> Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:		
1. Manufacturer's product specification		
2. Field verification of on-site product containers		
<b>5.504.4.4 Carpet Systems.</b>		
All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specifications 01350).		
See California Department of Public Health's website for certification programs and testing labs. <a href="https://www.cdph.ca.gov/Programs/CCDC/DE/DC/ELH/BI/AQ/Pages/VOC.aspx#material">https://www.cdph.ca.gov/Programs/CCDC/DE/DC/ELH/BI/AQ/Pages/VOC.aspx#material</a>		
<b>5.504.4.4.1 Carpet cushion.</b> All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specifications 01350).		
See California Department of Public Health's website for certification programs and testing labs. <a href="https://www.cdph.ca.gov/Programs/CCDC/DE/DC/ELH/BI/AQ/Pages/VOC.aspx#material">https://www.cdph.ca.gov/Programs/CCDC/DE/DC/ELH/BI/AQ/Pages/VOC.aspx#material</a>		
<b>5.504.4.4.2 Carpet adhesive.</b> All carpet adhesive shall meet the requirements of Table 5.504.4.4.		
<b>5.504.4.5 Composite wood products.</b> Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure (ATCM) for Composite Wood (17CCR 93120 et seq.). Those materials not exempted under the ATCM must meet the specified emission limits, as shown in Table 5.504.4.5.		
<b>5.504.4.5.3 Documentation.</b> Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:		
1. Product certifications and specifications.		
2. Chain of custody certifications.		
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).		
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269 or European EN 13986 standards.		
5. Other methods acceptable to the enforcing agency.		
<b>TABLE 5.504.4.5 - FORMALDEHYDE LIMITS:</b>		
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION		
PRODUCT	CURRENT LIMIT	
HARDWOOD PLYWOOD VENEER CORE	0.05	
HARDWOOD PLYWOOD COMPOSITE CORE	0.05	
PARTICLE BOARD	0.09	
MEDIUM DENSITY FIBERBOARD	0.11	
THIN MEDIUM DENSITY FIBERBOARD <sup>2</sup>	0.13	
1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.		
2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 INCHES (8 MM).		

Y	N/A	RESPON. PARTY
<input type="checkbox"/>	<input type="checkbox"/>	
<b>5.504.4.6 Resilient flooring systems.</b> Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specifications 01350).		
See California Department of Public Health's website for certification programs and testing labs. <a href="https://www.cdph.ca.gov/Programs/CCDC/DE/DC/ELH/BI/AQ/Pages/VOC.aspx#material">https://www.cdph.ca.gov/Programs/CCDC/DE/DC/ELH/BI/AQ/Pages/VOC.aspx#material</a>		
<b>5.504.4.6.1 Verification of compliance.</b> Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.		
<b>5.504.4.7 Thermal insulation</b>		
Comply with the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 1.2, January 2017 (Emission testing method for California Specification 01350). See California Department of Public Health's website for certification programs and testing labs. <a href="https://www.cdph.ca.gov/Programs/CCDC/DE/DC/ELH/BI/AQ/Pages/VOC.aspx#material">https://www.cdph.ca.gov/Programs/CCDC/DE/DC/ELH/BI/AQ/Pages/VOC.aspx#material</a>		
<b>5.504.4.7.1 Verification of compliance.</b> Documentation shall be provided verifying that thermal insulation materials meet the pollutant emission limits.		
<b>5.504.4.8 Acoustical ceiling and wall panels.</b>		
Comply with the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350). See California Department of Public Health's website for certification programs and testing labs.		
<b>5.504.4.8.1 Verification of compliance.</b> Documentation shall be provided verifying that acoustical finish materials meet the pollutant emission limits.		
<b>5.504.5.3 Filters.</b> In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 13. MERV 13 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.		
<b>Exceptions:</b> Existing mechanical equipment.		
<b>5.504.5.3.1 Labeling.</b> Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.		
<b>5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL.</b> Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building as otherwise prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions.		
<b>SECTION 5.505 INDOOR MOISTURE CONTROL</b>		
<b>5.505.1 INDOOR MOISTURE CONTROL.</b> Buildings shall meet or exceed the provisions of California Building Code, CCR, Title 24, Part 2, Sections 1202 (Ventilation) and Chapter 14 (Exterior Walls). For additional measures, see Section 5.407.2 of this code.		
<b>SECTION 5.506 INDOOR AIR QUALITY</b>		
<b>5.506.1 OUTSIDE AIR DELIVERY.</b> For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 120.1 (Requirements For Ventilation) of the California Energy Code, or the applicable local code, whichever is more stringent, and Division 1, Chapter 4 of CCR, Title 8.		
<b>5.506.2 CARBON DIOXIDE (CO<sub>2</sub>) MONITORING.</b> For buildings or additions equipped with demand control ventilation, CO <sub>2</sub> sensors and ventilation controls shall be specified and installed in accordance with the requirements of the California Energy Code, Section 120(c)(4).		
<b>5.506.3 Carbon dioxide (CO<sub>2</sub>) monitoring in classrooms.</b> (DSA-SS) Each public K-12 school classroom, as listed in Table 120.1-A of the California Energy Code, shall be equipped with a carbon dioxide monitor or sensor that meets the following requirements:		
1. The monitor or sensor shall be permanently affixed in a tamper-proof manner in each classroom between 3 and 6 feet (914 mm and 1829 mm) above the floor and at least 5 feet (1524 mm) away from door and operable windows.		
2. When the monitor or sensor is not integral to an Energy Management Control System (EMCS), the monitor or sensor shall display the carbon dioxide readings on the device. When the sensor is integral to an EMCS, the carbon dioxide readings shall be available to and regularly monitored by facility personnel.		
3. A monitor shall provide notification through a visual indicator on the monitor when the carbon dioxide levels in the classroom have exceeded 1,100ppm. A sensor integral to an EMCS shall provide notification to facility personnel through a visual and/or audible indicator when the carbon dioxide levels in the classroom have exceeded 1,100ppm.		
4. The monitor or sensor shall measure carbon dioxide levels at minimum 15-minute intervals and shall maintain a record of previous carbon dioxide measurements of not less than 30 days duration.		
5. The monitor or sensor used to measure carbon dioxide levels shall have the capacity to measure carbon dioxide levels with a range of 400ppm to 2000ppm or greater.		
6. The monitor or sensor shall be certified by the manufacturer to be accurate within 75ppm at 1,000ppm carbon dioxide concentration and shall be certified by the manufacturer to require calibration no more frequently than once every 5 years.		
<b>SECTION 5.507 ENVIRONMENTAL COMFORT</b>		
<b>5.507.4 ACOUSTICAL CONTROL.</b> Employ building assemblies and components with Sound Transmission Class (STC) values determined in accordance with ASTM E 90 and ASTM E 413, or Outdoor-Indoor Sound Transmission Class (OITC) determined in accordance with ASTM E 1332, using either the prescriptive or performance method in Section 5.507.4.1 or 5.507.4.2.		
<b>Exception:</b> Buildings with few or no occupants or where occupants are not likely to be affected by exterior noise, as determined by the enforcement authority, such as factories, stadiums, storage, enclosed parking structures and utility buildings.		
<b>Exception: [DSA-SS]</b> For public schools and community colleges, the requirements of this section and all subsections apply only to new construction.		
<b>5.507.4.1 Exterior noise transmission, prescriptive method.</b> Wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite STC rating of at least 50 or a composite OITC rating of no less than 40, with exterior windows of a minimum STC of 40 or OITC of 30 in the following locations:		
1. Within the 65 CNEL noise contour of an airport.		
<b>Exceptions:</b>		
1. L <sub>w</sub> or CNEL for military airports shall be determined by the facility Air Installation Compatible Land Use Zone (AICLUZ) plan.		
2. L <sub>w</sub> or CNEL for other airports and heliports for which a land use plan has not been developed shall be determined by the local general plan noise element.		
2. Within the 65 CNEL or L <sub>w</sub> noise contour of a freeway or expressway, railroad, industrial source or fixed-guideway source as determined by the Noise Element of the General Plan.		
<b>5.507.4.1.1 Noise exposure where noise contours are not readily available.</b> Buildings exposed to a noise level of 65 dB L <sub>w</sub> , 1-hr during any hour of operation shall have building, addition or alteration exterior wall and roof-ceiling assemblies exposed to the noise source meeting a composite STC rating of at least 45 (or OITC 35), with exterior windows of a minimum STC of 40 (or OITC 30).		
<b>5.507.4.2 Performance Method.</b> For buildings located as defined in Section 5.507.4.1 or 5.507.4.1.1, wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level (Leq-1hr) of 50 dBA in occupied areas during any hour of operation.		
<b>5.507.4.2.1 Site Features.</b> Exterior features such as sound walls or earth berms may be utilized as appropriate to the building, addition or alteration project to mitigate sound migration to the interior.		
<b>5.507.4.2.2 Documentation of Compliance.</b> An acoustical analysis documenting complying interior soundlevels shall be prepared by personnel approved by the architect or engineer of record.		
<b>5.507.4.3 Interior sound transmission.</b> Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40.		
<b>Note:</b> Examples of assemblies and their various STC ratings may be found at the California Office of Noise Control: <a href="http://www.toolbase.org/PDF/CaseStudies/stc_icc_ratings.pdf">www.toolbase.org/PDF/CaseStudies/stc_icc_ratings.pdf</a> .		
<b>SECTION 5.508 OUTDOOR AIR QUALITY</b>		
<b>5.508.1 Ozone depletion and greenhouse gas reductions.</b> Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2.		
<b>5.508.1.1 Chlorofluorocarbons (CFCs).</b> Install HVAC, refrigeration and fire suppression equipment that do not contain CFCs.		
<b>5.508.1.2 Halons.</b> Install HVAC, refrigeration and fire suppression equipment that do not contain Halons.		

Y	N/A	RESPON. PARTY
<input type="checkbox"/>	<input type="checkbox"/>	
<b>5.508.2 Supermarket refrigerant leak reduction.</b> New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities.		
<b>Exception:</b> Refrigeration systems containing low-global warming potential (low-GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants that include ammonia, carbon dioxide (CO <sub>2</sub> ), and potentially other refrigerants.		
<b>5.508.2.1 Refrigerant piping.</b> Piping compliant with the California Mechanical Code shall be installed to be accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flared tubing connections and short radius elbows shall not be used in refrigeration systems except as noted below.		
<b>5.508.2.1.1 Threaded pipe.</b> Threaded connections are permitted at the compressor rack.		
<b>5.508.2.1.2 Copper pipe.</b> Copper tubing with an OD less than 1/4 inch may be used in systems with a refrigerant charge of 5 pounds or less.		
<b>5.508.2.1.2.1 Anchorage.</b> One-fourth-inch OD tubing shall be securely clamped to a rigid base to keep vibration levels below 8 mils.		
<b>5.508.2.1.3 Flared tubing connections.</b> Double-flared tubing connections may be used for pressure controls, valve pilot lines and oil.		
<b>Exception:</b> Single-flared tubing connections may be used with a multiring seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's recommendations.		
<b>5.508.2.1.4 Elbows.</b> Short radius elbows are only permitted where space limitations prohibit use of long radius elbows.		
<b>5.508.2.2 Valves.</b> Valves and fittings shall comply with the California Mechanical Code and as follows.		
<b>5.508.2.2.1 Pressure relief valves.</b> For vessels containing high-GWP refrigerant, a rupture disc shall be installed between the outlet of the vessel and the inlet of the pressure relief valve.		
<b>5.508.2.2.1.1 Pressure detection.</b> A pressure gauge, pressure transducer or other device shall be installed in the space between the rupture disc and the relief valve inlet to indicate a disc rupture or discharge of the relief valve.		
<b>5.508.2.2.2 Access valves.</b> Only Schrader access valves with a brass or steel body are permitted for use.		
<b>5.508.2.2.2.1 Valve caps.</b> For systems with a refrigerant charge of 5 pounds or more, valve caps shall be brass or steel and not plastic.		
<b>5.508.2.2.2.2 Seal caps.</b> If designed for it, the cap shall have a neoprene O-ring in place.		
<b>5.508.2.2.2.2.1 Chain leathers.</b> Chain leathers to fit over the stem are required for valves designed to have seal caps.		
<b>Exception:</b> Valves with seal caps that are not removed from the valve during stem operation.		
<b>5.508.2.3 Refrigerated service cases.</b> Refrigerated service cases holding food products containing vinegar and salt shall have evaporator coils of corrosion-resistant material, such as stainless steel, or be coated to prevent corrosion from these substances.		
<b>5.508.2.3.1 Coil coating.</b> Consideration shall be given to the heat transfer efficiency of coil coating to maximize energy efficiency.		
<b>5.508.2.4 Refrigerant receivers.</b> Refrigerant receivers with capacities greater than 200 pounds shall be fitted with a device that indicates the level of refrigerant in the receiver.		
<b>5.508.2.5 Pressure testing.</b> The system shall be pressure tested during installation prior to evacuation and charging.		
<b>5.508.2.5.1 Minimum pressure.</b> The system shall be charged with regulated dry nitrogen and appropriate tracer gas to bring system pressure up to 300 psig minimum.		
<b>5.508.2.5.2 Leaks.</b> Check the system for leaks, repair any leaks, and retest for pressure using the same gauge.		
<b>5.508.2.5.3 Allowable pressure change.</b> The system shall stand, unaltered, for 24 hours with no more than a +/- one pound pressure change from 300 psig, measured with the same gauge.		
<b>5.508.2.6 Evacuation.</b> The system shall be evacuated after pressure testing and prior to charging.		
<b>5.508.2.6.1 First vacuum.</b> Pull a system vacuum down to at least 1000 microns (+/- 50 microns), and hold for 30 minutes.		
<b>5.508.2.6.2 Second vacuum.</b> Pull a second system vacuum to a minimum of 500 microns and hold for 30 minutes.		
<b>5.508.2.6.3 Third vacuum.</b> Pull a third vacuum down to a minimum of 300 microns, and hold for 24 hours with a maximum drift of 100 microns over a 24-hour period.		
<b>CHAPTER 7</b>		
<b>INSTALLER &amp; SPECIAL INSPECTOR QUALIFICATIONS</b>		
<b>702 QUALIFICATIONS</b>		
<b>702.1 INSTALLER TRAINING.</b> HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. The following accepted HVAC training and certification programs include but are not limited to the following:		
1. State certified apprenticeship programs.		
2. Public utility training programs.		
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.		
4. Programs sponsored by manufacturing organizations.		
5. Other programs acceptable to the enforcing agency.		
<b>702.2 SPECIAL INSPECTION [HCD].</b> When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:		
1. Certification by a national or regional green building program or standard publisher.		
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.		
3. Successful completion of a third party apprentice training program in the appropriate trade.		
4. Other programs acceptable to the enforcing agency.		
<b>Notes:</b>		
1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.		
2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).		
<b>[BSC-CG]</b> When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a		