


City of Campbell  
 70 North First Street  
 Campbell, CA 95008 -1423

### Project Image



# Notice of Public Hearing

Dear Campbell Resident,

February 14, 2025

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:00 p.m., or shortly thereafter, on Tuesday, February 25, 2025, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

**Project Address:** 1440 Westmont Avenue  
**Zoning | Area Plan:** R-1-9 | STANP  
**Neighborhood Association(s):** N/A  
**Council District:** 5  
**File No:** PLN-2023-172  
**APN:** 403-14-072  
**Applicant:** Kathleen Williams Architect  
**Property Owner:** Douglas L Rice Trustee  
**Application Type:** Site and Architectural Review Permit and Tree Removal Permit  
**Project Planner:** Tracy Tam, Associate Planner  
**Email Contact:** [tracyt@campbellca.gov](mailto:tracyt@campbellca.gov)  
**Phone Contact:** (408) 871-5103

**Project Description:**

To allow construction of a new approximately 4,240 square foot two-story single-family residence and removal of one (1) coast live oak tree.

**You may participate virtually or watch online:**

- ◇ Register online to speak via Zoom: (<https://campbellca.gov/PCSignup>.)
- ◇ Watch YouTube live-stream: (<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS ) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

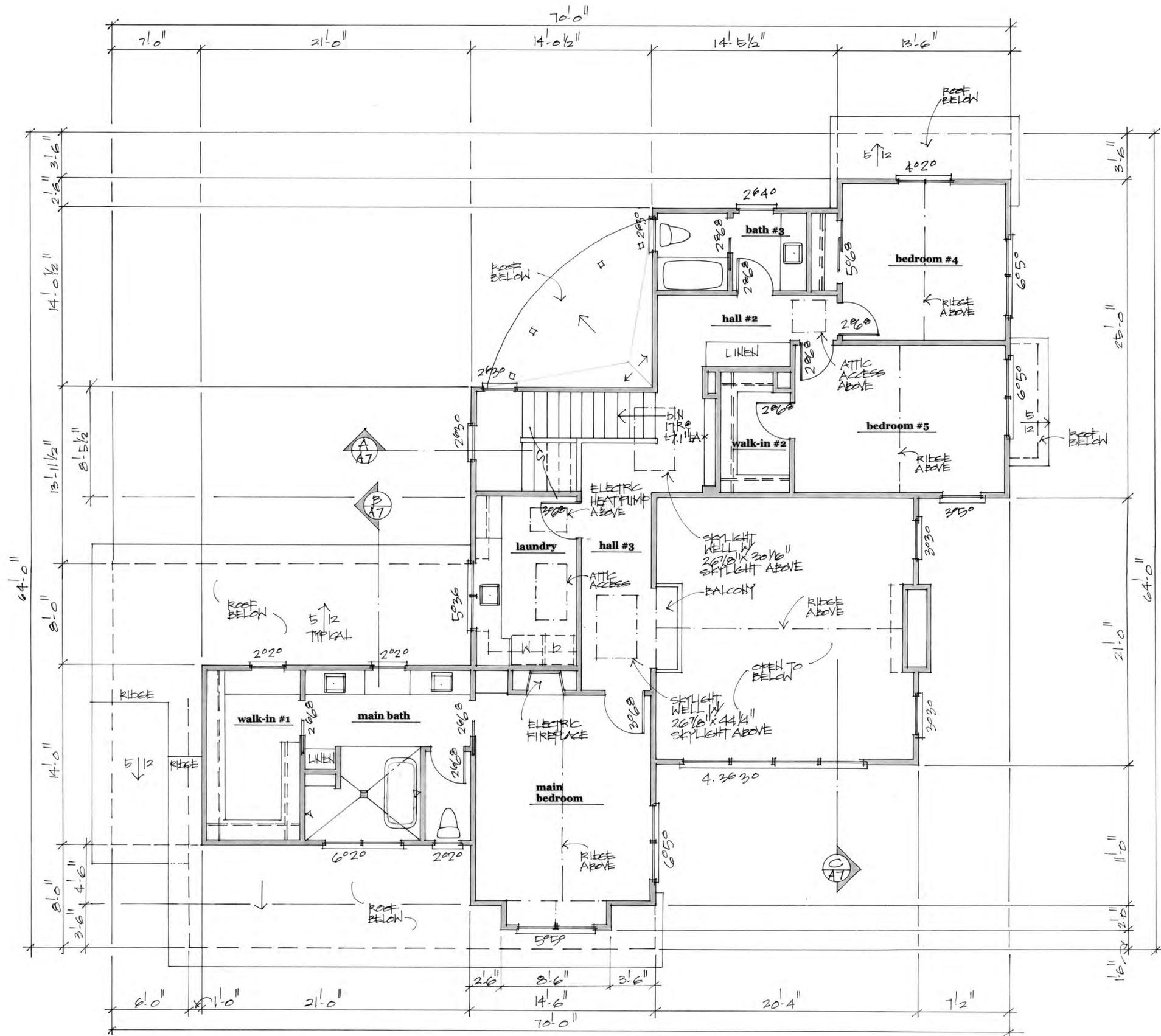
Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traducción en Español









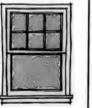
upper level floor plan

1/4" = 1'-0"



10.9.23  
4.29.24

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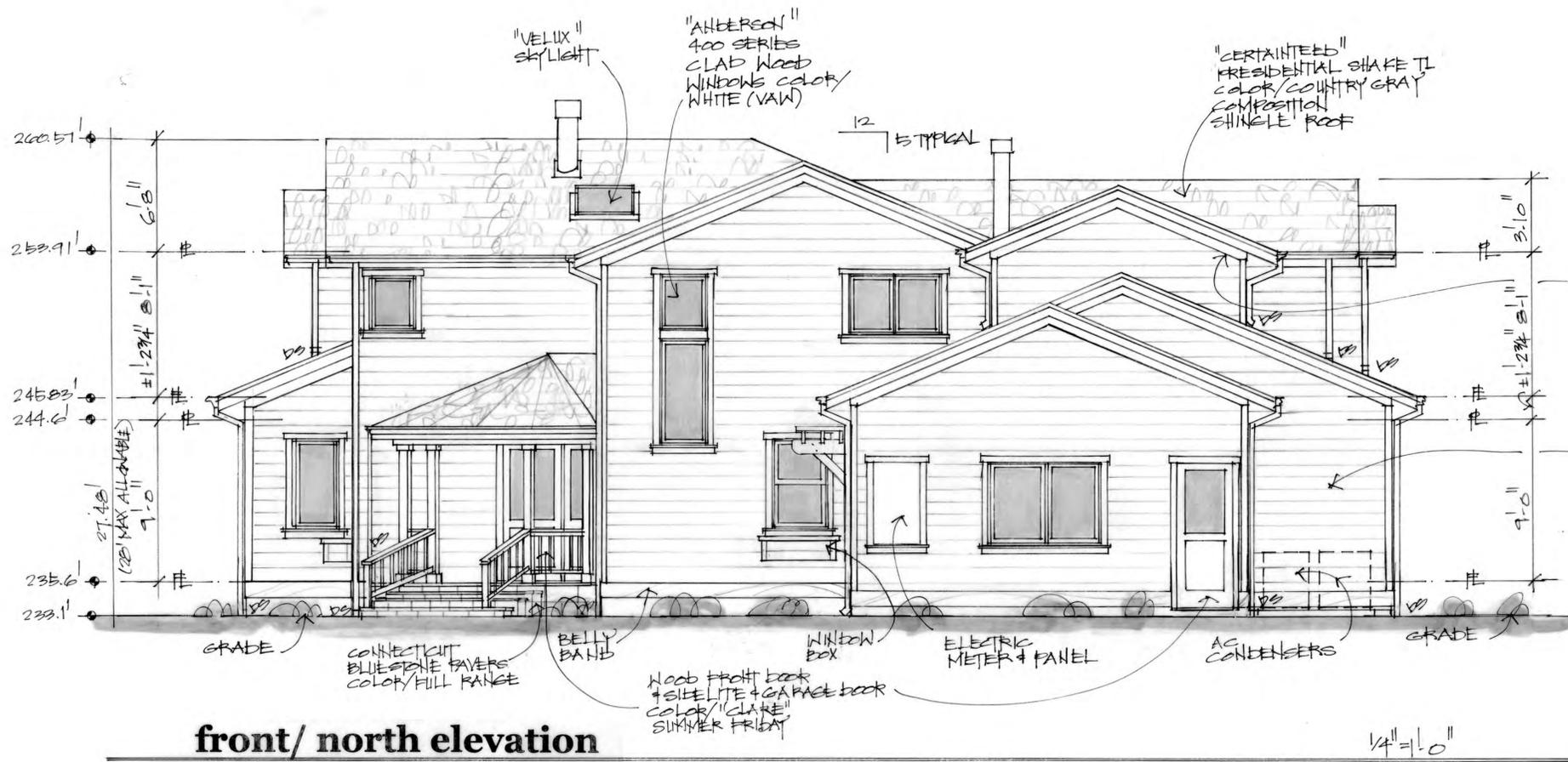
kathleen williams architect  
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los gatos, ca 95031  
408 354 5097

**new residence**  
**1440 westmont avenue**  
**campbell, ca**

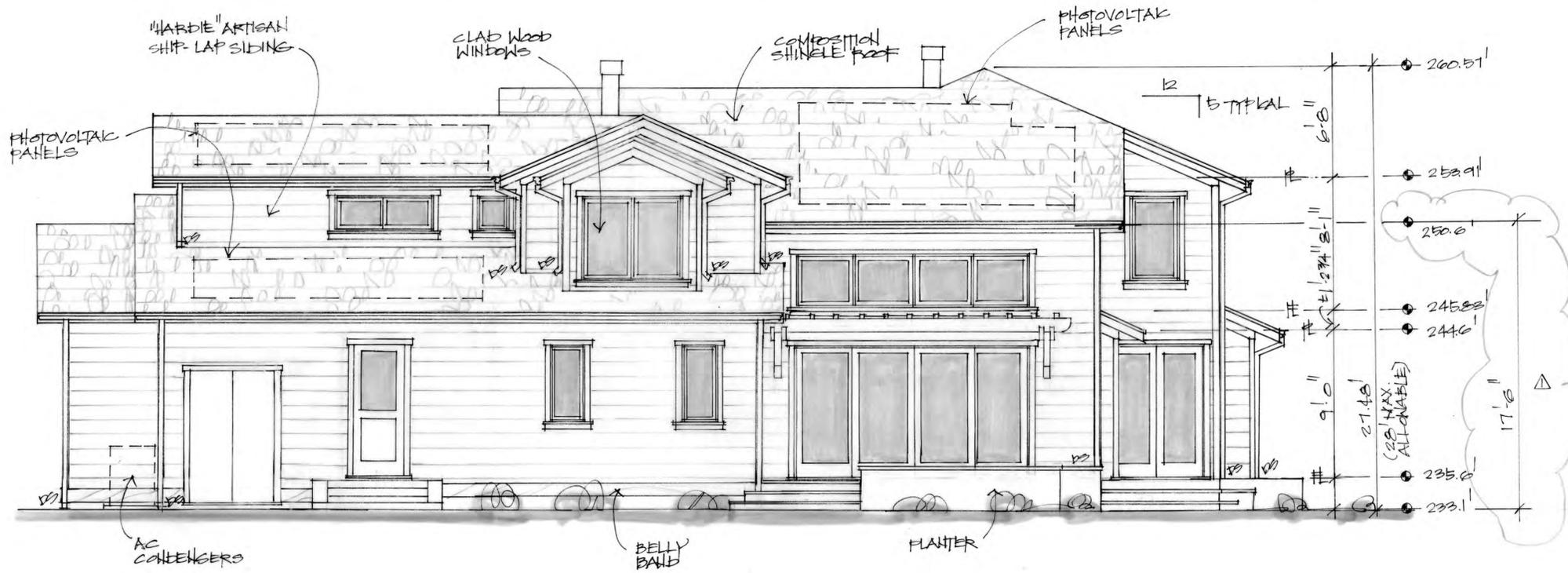
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1133 FAIRVIEW AVENUE  
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(408) 981-5844



10.8.23  
**A-3**



front/north elevation

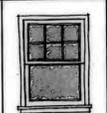


side/west elevation



09.23  
4.29.24

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williams  
architect  
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408 354 5097

**new residence**  
**1440 westmont avenue**  
**campbell, ca**

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4.9.24  
Kathleen Williams  
Architect  
A-4

10.8.23  
**A-4**



rear/south elevation

1/4" = 1'-0"



side/east elevation

1/4" = 1'-0"



10.9.23  
4.29.24

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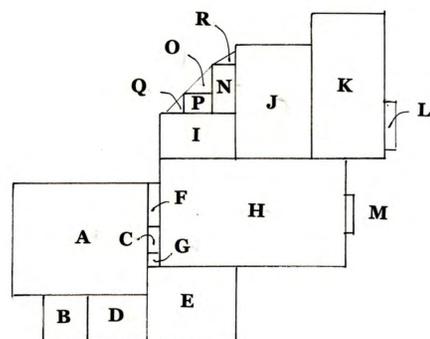
  
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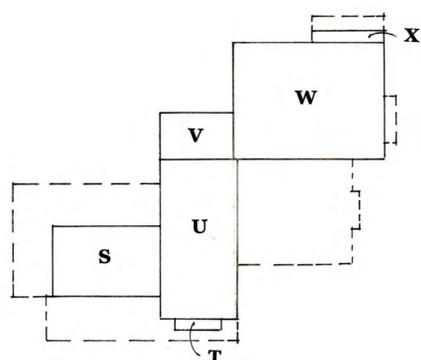
Flamingo 4.9.24  
1/25/24  
▲▲▲▲

10.8.23  
**A-5**



main level

1/16" = 1'-0"



upper level

1/16" = 1'-0"

main level

house

D	11'-8" x 8'-0"	93.4
E	16'-6" x 14'-6"	239.3
F	8'-9" x 2'-0"	17.5
G	2'-0" x 2'-6"	5
H	21'-0" x 34'-10"	731.4
I	14'-0 1/2" x 8'-8 1/2"	122.3
J	14'-5 1/2" x 22'-9"	328.9
K	13'-6" x 28'-6"	384.8
L	2' x 9'	18
M	1' x 7'	7
total		1947.6 sq. ft.

garage

A	22'-0" x 26'-0"	572
B	8'-0" x 8'-4"	66.6
C	1'-6 1/2" x 4'-9"	7.3
total		645.9 sq. ft.

porch

N	4'-6" x 10'-0"	45
O	1/2 x 5'-0" x 5'-0"	12.5
P	5'-0" x 4'-6"	22.5
Q	1/2 4'-6" x 2'-0"	4.5
R	1/2 4'-6" x 2'-0"	4.5
total		89.0 sq. ft.

upper level

S	14'-0" x 21'-0"	294
T	8'-6" x 2'-0"	17
U	14'-6" x 32'-0"	464
V	8'-5 1/2" x 14'-0 1/2"	118.8
W	27'-11 1/2" x 22'-6"	629.1
X	2'-6" x 13'-6"	33.8
total		1556.7 sq. ft.



"Clare" color/ Snowy Day  
"Hardie" smooth trim board window and door trim, fascia, rake, trellis, railing, window boxes, gutters and belly band

"Anderson" 400 series clad wood windows color/ white (VAW)

"Clare" color/ Summer Friday front door, side garage door and mudroom door

"Clare" color/ Classic "Hardie" Artisan Shiplap Siding and "Hardie" trim corner boards



"Certainteed" Presidential Shake TL composition shingle roofing color/ Country Gray



Connecticut Bluestone Pavers color/ full range front porch, patios



"Trex" decking Color/ Havana Gold deck at rear of house

floor area calculations

color/ materials



color front elevation

1/4" = 1'-0"



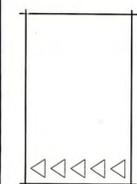
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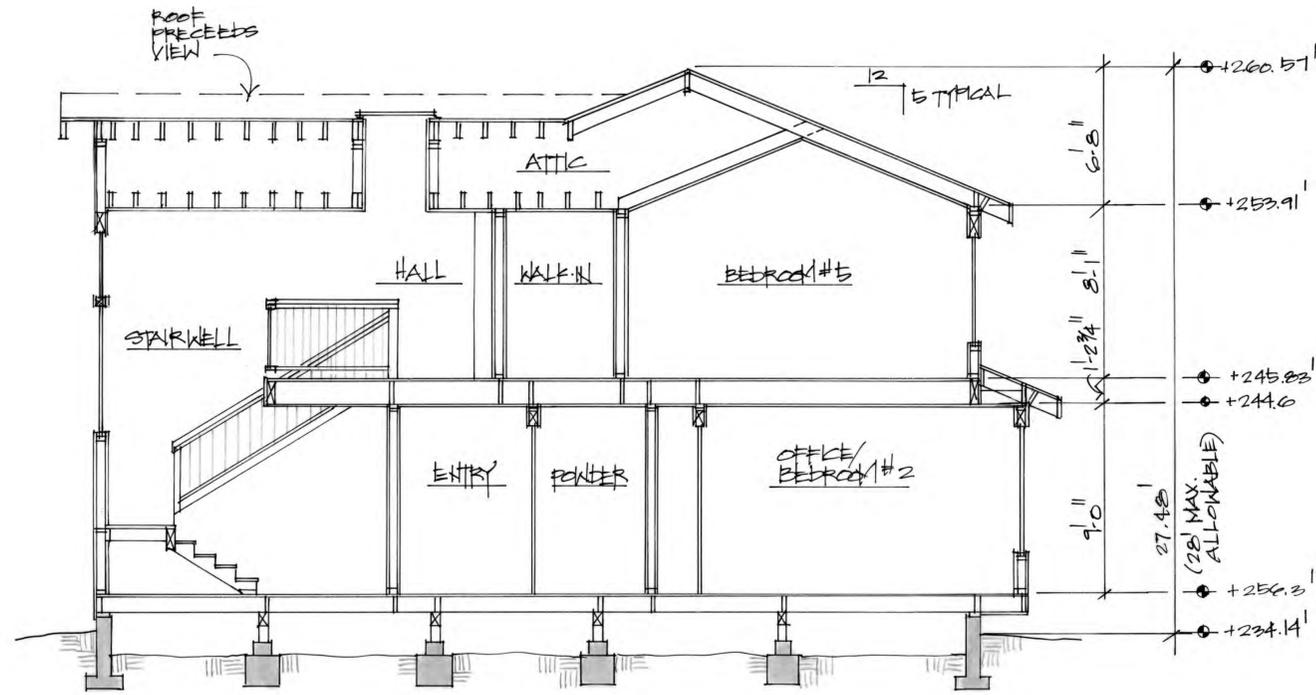
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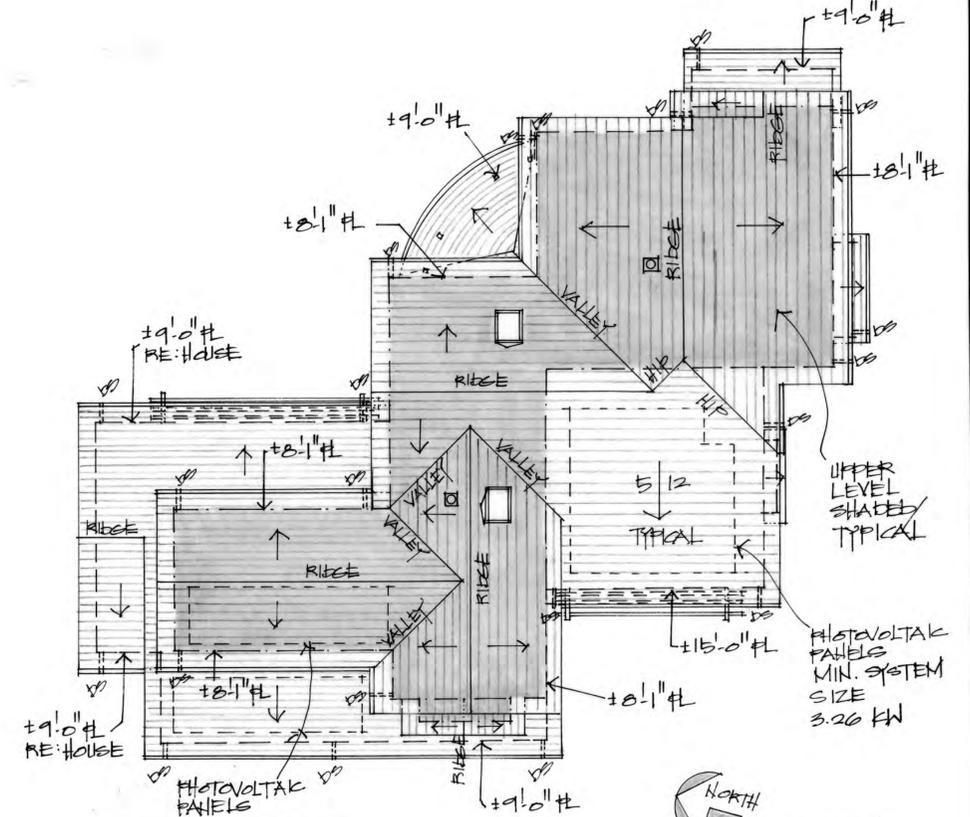
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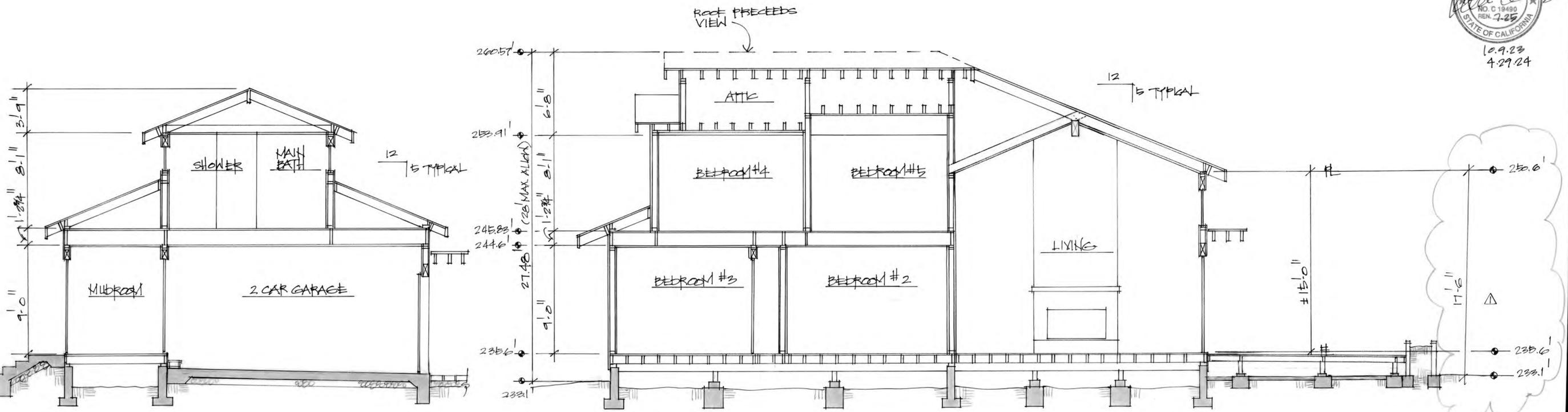
**section**

1/4" = 1'-0"



**roof plan**

1/8" = 1'-0"



**section**

1/4" = 1'-0"

**section**

1/4" = 1'-0"



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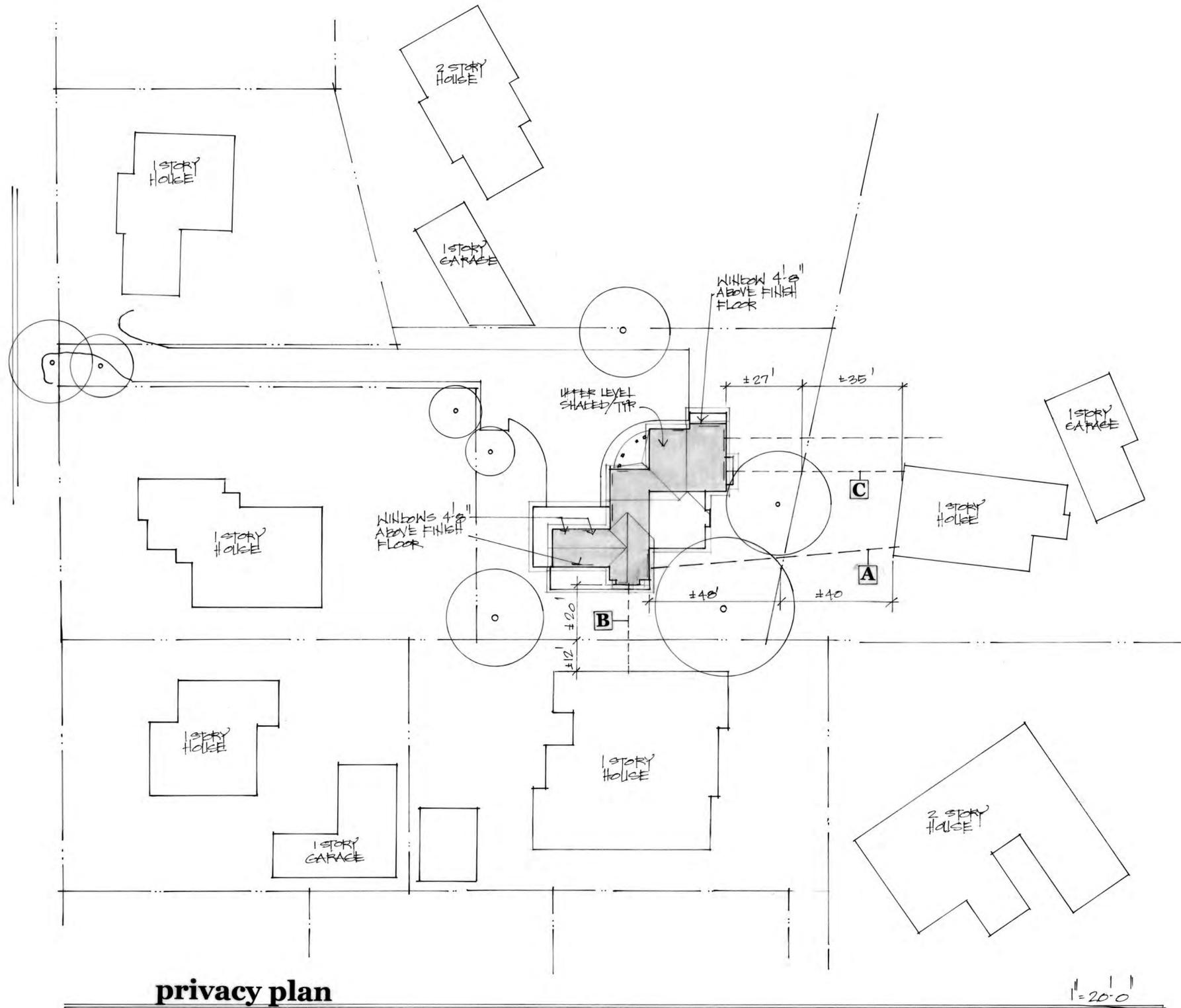
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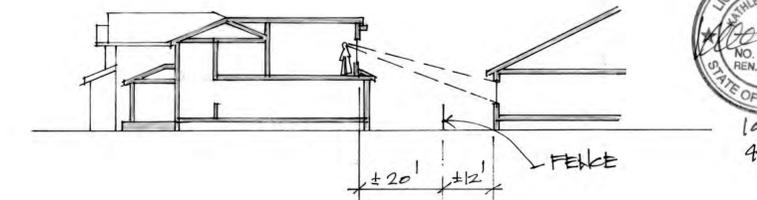
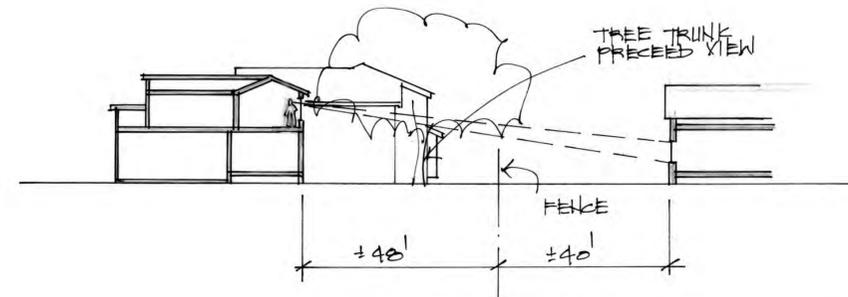
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△ DRAWING 4904  
△ ISSUE

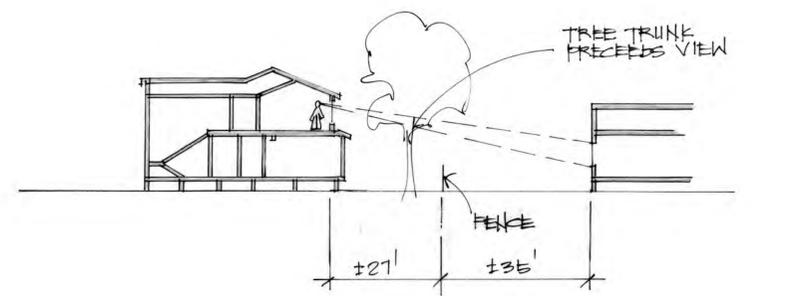
10.9.23  
**A-7**



**privacy plan**



10.7.23  
4.29.24



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10.8.23  
**A-8**

# GRADING AND DRAINAGE NOTES

- CALIFORNIA BUILDING CODE**  
ALL WORK SHALL COMPLY WITH THE 2013 CALIFORNIA BUILDING CODE.
- O.S.H.A. REGULATIONS**  
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- GEOTECHNICAL (SOILS) REPORT**  
THE ENGINEER OF WORK HAS DESIGNED THIS PROJECT TO COMPLY WITH THE GRADING RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL (SOILS) REPORT PREPARED BY GEOFORENSICS, INC., DATED AUGUST 31, 2021, PROJECT NO. 221217.
- SPECIFICATIONS AND OBSERVATIONS**  
ALL GRADING AND DRAINAGE WORK SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER OR ENGINEER OF WORK. THE SOILS ENGINEER/ENGINEER OF WORK AND CITY (866-2150) SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
- NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM**  
PRIOR TO ISSUANCE OF ANY GRADING OR BUILDING PERMITS, THE APPLICANT SHALL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMITTING REQUIREMENTS AND THE CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICES HANDBOOK PREPARED BY THE STORM WATER QUALITY TASK FORCE, SANTA CLARA VALLEY WATER DISTRICT AND THE CITY OF CAMPBELL MUNICIPAL CODE REGARDING STORM WATER POLLUTION PREVENTION.
- LOCAL NON-POINT SOURCE ORDINANCE**  
COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.
- UNDERGROUND UTILITIES AND STRUCTURES**  
THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY. THE CITY OF CAMPBELL MAKES NO CLAIMS OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.
- EROSION CONTROL**  
EROSION CONTROL PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADED AREAS. SEE LANDSCAPE PLAN, IF APPLICABLE, FOR DETAILS OF PLANTING.
- UTILITY ELEVATION VERIFICATION**  
THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
- UTILITY CROSSINGS**  
THE CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE OR SHE SHALL CALL THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.
- GRADING REQUIREMENTS**  
DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 2% FOR AT LEAST 5 FEET. MINIMUM SLOPE IN ALL OTHER CASES SHALL BE NO LESS THAN 1%.
- GRADED SITE ELEVATIONS**  
ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES (305 MM) PLUS 2 PERCENT. THE BUILDING OFFICIAL MAY APPROVE ALTERNATE ELEVATIONS, PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.
- CLEAN, SAFE AND USABLE PUBLIC RIGHT-OF-WAY AND PRIVATE PROPERTY**  
THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- TOPOGRAPHY SURVEY**  
THE TOPOGRAPHY SURVEY MADE BY MUIR CONSULTANTS INC., 139 CHURCH STREET, OAKDALE, CA 95361 ON FEBRUARY 11 2016.
- TREE REMOVAL AND PRESERVATION**  
THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHOD OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE PLANNING DIVISION.
- PROJECT PLANS**  
THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS.
- FINAL LETTER OF INSPECTION**  
THE SOILS ENGINEER OR ENGINEER OF WORK SHALL PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING.
- GRADE EVENLY**  
THE CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- APPROVAL OF PLANS**  
APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- WELL LOCATIONS**  
ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL (408) 265-2600 EXTENSION 382 TO ARRANGE FOR DISTRICT OBSERVATIONS OF ALL WELL ABANDONMENTS.
- EARTHWORK QUANTITIES**  
THE EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE GRADING PLAN REVIEW AND PERMIT FEES.
- ELEVATION ADJUSTMENTS**  
ADJUSTMENTS OF PADS OR PARKING LOT ELEVATIONS TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER OF WORK AND THE CITY OF CAMPBELL BUILDING DIVISION.
- TRUCK ROUTE**  
THE TRUCK ROUTE SHALL BE \_\_\_\_\_
- CONTRACTOR RESPONSIBILITIES**  
THE SOILS ENGINEER AND/OR ENGINEER OF WORK WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTOR'S WORKMEN'S ACCOMPLISHMENT OF WORK ON THE PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOBSITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- NEAT AND CLEAN PREMISES**  
DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH

Revised March 2017

# ON-SITE GRADING & DRAINAGE PLANS

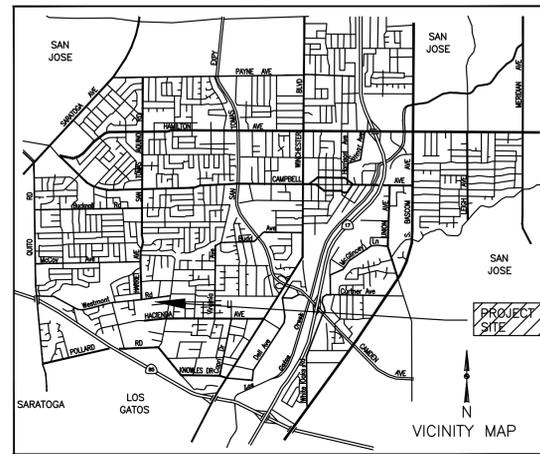
1440 WESTMONT AVENUE CAMPBELL, CALIFORNIA 95005

BUILDING PERMIT NO. 20\_\_ - \_\_\_\_\_

ASSESSORS PARCEL NO. 403-14-072

PARCEL MAP RECORDED IN BOOK 901 OF MAPS  
AT PAGES 38 AND 39, SANTA CLARA COUNTY RECORDS

## CITY OF CAMPBELL DEPARTMENT OF PUBLIC WORKS



SITE SURFACE COVERAGE		
site area = 15,435 sf		
AREA	IMPERVIOUS (sf)	COVERAGE %
ROOF	3,119	20.2
DRIVEWAY (pavers)	3,631	23.5
DRIVEWAY (concrete)	795	5.2
CONCRETE SLABS	698	4.5
UNDER DECK CONCRETE SLAB	509	3.3
GRAVEL WALKS	806	5.2
SUBTOTAL	9,558	61.9
AREA	PERVIOUS (sf)	COVERAGE %
LANDSCAPE	5,877	38.1
TOTAL	15,435	100

### AGENCY INDEX

- |                                    |                |
|------------------------------------|----------------|
| SANTA CLARA COUNTY FIRE DEPARTMENT | (408) 378-4010 |
| CITY OF CAMPBELL - PUBLIC WORKS    | (408) 866-2150 |
| CITY OF CAMPBELL - POLICE          | (408) 866-2121 |
| SBC TELEPHONE                      | (408) 811-3900 |
| PACIFIC GAS & ELECTRIC             | (408) 973-8980 |
| SAN JOSE WATER COMPANY             | (408) 279-7900 |
| SANTA CLARA VALLEY WATER DISTRICT  | (408) 265-2600 |
| COMCAST CABLE TELEVISION           | (408) 452-9100 |
| WEST VALLEY SANITATION DISTRICT    | (408) 378-2407 |

**26. ANY ABANDONED UNDERGROUND PIPES**  
ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED ADEQUATELY PLUGGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CAMPBELL, BUILDING DIVISION.

**27. HUMAN REMAINS**  
IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE CITY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORONER AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.

**28. MAINTENANCE PROCEDURES**  
THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEMS.

**29. DUST CONTROL**  
ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST. AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST. GRADING OR OTHER DUST-PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS READILY VISIBLE IN THE AIR. STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST-PRODUCING MATERIALS SHALL BE WATERED OR COVERED. THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEEPED (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.

**30. CONSTRUCTION MITIGATION MEASURE**  
HOURS OF CONSTRUCTION SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. MONDAY THROUGH FRIDAY, AND 9:00 A.M. TO 4:00 P.M. ON SATURDAY. CONSTRUCTION ACTIVITIES SHALL NOT TAKE PLACE ON SUNDAYS AND HOLIDAYS.

**31. CONSTRUCTION PERIMETER RETENTION WALLS**  
ALL PROPERTY LINE RETENTION WALLS SHALL BE MADE OF CONCRETE OR MASONRY.

**32. STORMWATER TREATMENT FACILITIES**  
ALL STORMWATER TREATMENT FACILITIES REQUIRE PUBLIC WORKS INSPECTIONS. CALL 408-866-2150 TO SCHEDULE INSPECTIONS 48-HOURS PRIOR.

### ABBREVIATIONS

- |     |                   |      |                          |
|-----|-------------------|------|--------------------------|
| AB  | AGGREGATE BASE    | LOL  | LAYOUT LINE              |
| AC  | ASPHALT CONCRETE  | MAX  | MAXIMUM                  |
| BC  | BEGIN CURVE       | MH   | MANHOLE                  |
| BCR | BEGIN CURB RETURN | MIN  | MINIMUM                  |
| CL  | CLASS             | OG   | ORIGINAL GRADE           |
| DIA | DIAMETER          | PB   | PULL BOX                 |
| DWY | DRIVEWAY          | PCC  | PORTLAND CEMENT CONCRETE |
| EC  | END CURVE         | PVC  | POLYVINYL CHLORIDE       |
| ECR | END CURB RETURN   | R    | RADIUS                   |
| ED  | EDGE DRAIN        | RCP  | REINFORCED CONCRETE PIPE |
| EX  | EXISTING          | R/W  | RIGHT-OF-WAY             |
| FC  | FACE OF CURB      | STA  | STATION                  |
| FG  | FINISH GRADE      | SW   | SIDEWALK                 |
| FH  | FIRE HYDRANT      | TC   | TOP OF CURB              |
| INV | INVERT            | TEMP | TEMPORARY                |
| IRR | IRRIGATION        | TYP  | TYPICAL                  |

CITY OF CAMPBELL  
PLANNING DIVISION CLEARANCE

PLAN CHECK # \_\_\_\_\_

APPROVED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

---

THESE PLANS HAVE BEEN REVIEWED AND FOUND TO BE IN SUBSTANTIAL CONFORMANCE WITH THE INTENT AND PURPOSE OF THE GEOTECHNICAL EXPLORATION REPORT ON \_\_\_\_\_ IN CAMPBELL, CALIFORNIA, PROJECT NO. 221217, DATED August 31, 2021, PREPARED BY GEOFORENSICS INC.

DANIEL F. DYCKMAN  
G.E. # 2145

DATE \_\_\_\_\_

CITY OF CAMPBELL  
PUBLIC WORKS DEPARTMENT CLEARANCE

THIS PLAN WITH ATTACHED DOCUMENTS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF CAMPBELL AND STATE OF CALIFORNIA CODES AND THE CURRENT NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. THIS PLAN SHALL NOT BE CHANGED OR MODIFIED WITHOUT AUTHORIZATION FROM THE BUILDING OFFICIAL. WORK PERFORMANCE RELATED TO THIS PLAN SHALL BE DONE IN ACCORDANCE WITH THIS PLAN AND ALL APPLICABLE CODES. THIS APPROVAL SHALL NOT BE HELD TO PERMIT OR UNDERSTOOD AS TO BE AN APPROVAL OF A VIOLATION OF ANY CITY OR STATE LAW.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

EARTHWORK QUANTITIES	
FILL:	94 cu. yds
CUT:	94 cu. yds
IMPORT:	0 cu. yds
EXPORT:	0 cu. yds

**BENCHMARK**  
ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON NAVD88

**SEAL OF ENGINEER OF WORK:**  
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE TO REDUCE QUANTITY AND IMPROVE THE QUALITY OF STORM WATER RUNOFF, AS REQUIRED BY NPDES.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF CAMPBELL IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

*R.W. Steuer* CE 37251  
SIGNATURE P.E.  
Robert W. Steuer, P.E.  
PRINT  
ROBERT W. STEUER, P.E.  
1133 FAIRVIEW AVENUE, SAN JOSE, CA 95125  
(408) 981-5844

TITLE	SHEET
TITLE SHEET	G-1
TOPOGRAPHIC SURVEY AND DEMOLITION PLAN	G-2
GRADING AND DRAINAGE PLAN	G-3
COMPOSITE UTILITY PLAN	G-4
STORM WATER MANAGEMENT PLAN	G-5
EROSION CONTROL PLAN	G-6
SECTIONS	G-7
STORM LINE PROFILES	G-8
EROSION CONTROL DETAILS	G-9
DRAINAGE DETAILS	G-10
UTILITY DETAILS	G-11
CONSTRUCTION BEST MANAGEMENT PRACTICES	G-12

LEGEND	
EXISTING	PROPOSED
SIDEWALK, CURB AND GUTTER	
CENTER LINE	
PROPERTY LINE	
EDGE OF PAVEMENT	
DRIVEWAY	
PCC OR AC REMOVAL	
STANDARD CITY MONUMENT	
BENCH MARK	
MANHOLE	
STORM DRAIN INLET	
WATER METER	
VALVE	
FIRE HYDRANT	
STREET LIGHT	
POWER POLE	
PULL BOX	
CABLE TELEVISION LINE	
ELECTRICAL LINE	
IR	
G	
NATURAL GAS LINE	
OVERHEAD LINE	
SANITARY SEWER LINE	
STORM DRAIN LINE	
TELEPHONE LINE	
WATER LINE	
TRAFFIC SIGNAL CONDUIT	
LIGHTING CONDUIT	
ROADSIDE SIGN & SIGN CODE	
FENCE	
TREE/SHRUB	
DIRECTION OF SURFACE FLOW	
OVERLAND RELEADE PATH	

NO. \_\_\_\_\_

DATE: 10-2-23

DESIGNED BY: Robert W. Steuer

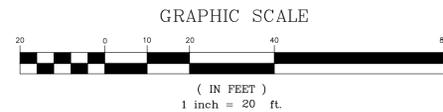
DRAWN BY: Robert W. Steuer

ROBERT W. STEUER - CIVIL ENGINEER  
R.C.E. 37251  
1133 FAIRVIEW AVENUE  
SAN JOSE, CALIFORNIA 95125  
(408)-981-5844

TITLE SHEET  
ON-SITE GRADING & DRAINAGE PLANS  
1440 WESTMONT AVENUE, CAMPBELL, CA 95005  
BUILDING PERMIT NO. \_\_\_\_\_

CAMPBELL, CALIFORNIA

SHEET: G-1



**LEGEND:**

- BR BRICK
- BR PLNTR BRICK PLANTER
- BW BACK OF WALK
- CONC CONCRETE
- DI DROP INLET
- ETW EXISTING TRAVELED WAY
- FF FINISHED FLOOR
- FF GAR FINISHED FLOOR OF GARAGE
- FL FLOWLINE
- JP JUNCTION POLE
- MB MAILBOX
- SL STREET LIGHT
- SSMH SANITARY SEWER MAN HOLE
- TC TOP OF CURB
- TW TOP OF WALL
- WF WOOD FENCE

○ 12" EUC INDICATES TREE SIZE AND TYPE

- CED CEDAR
- F FIR
- FR FRUIT
- O OAK
- RED REDWOOD
- T TREE

**NOTES:**

1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
2. THE DATE OF THE FIELD SURVEY WAS JANUARY 27, 2016.
3. ONLY A SIGNATURE IN BLUE INK INDICATES A TRUE AND ORIGINAL COPY.

**BENCHMARK:**

- ⊕ ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON NAVD83.

**BASIS OF BEARINGS:**

THE BEARING NORTH 02°05'21" WEST, BETWEEN THE FOUND 3/4 IRON PIPES, IN MONUMENT WELLS, FOUND IN THE CENTERLINE OF HARRIET AVENUE, AS SAID PIPES AND AVENUE, ARE SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON MAY 26, 1999 IN BOOK 716 OF MAPS AT PAGES 8 AND 9, IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN ON THIS MAP.

**TITLE REPORT NOTE:**

NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO MUIR CONSULTING, INC. THERE MAY EXIST DOCUMENTS OF RECORD THAT MAY AFFECT THIS SURVEYED PARCEL THAT ARE NOT SHOWN.

**UTILITY NOTE:**

UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OR ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED.

CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION

**TREE NOTE:**

TREE TYPES, DRIP LINES, AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

**BOUNDARY NOTE:**

THIS BOUNDARY IS BASED ON RECORD DATA AND DOES NOT CONSTITUTE A BOUNDARY SURVEY. NO WARRANTIES OR GUARANTEES ARE EXPRESSED OR IMPLIED IN REGARD TO THE ACCURACY OF THE BOUNDARY AS SHOWN. IF ACCURATE BOUNDARY DATA IS PERTINENT FOR DESIGN OR DEVELOPMENT, THEN A FULL BOUNDARY SURVEY MUST BE PERFORMED BY MUIR AND A RECORD OF SURVEY MUST BE FILED.

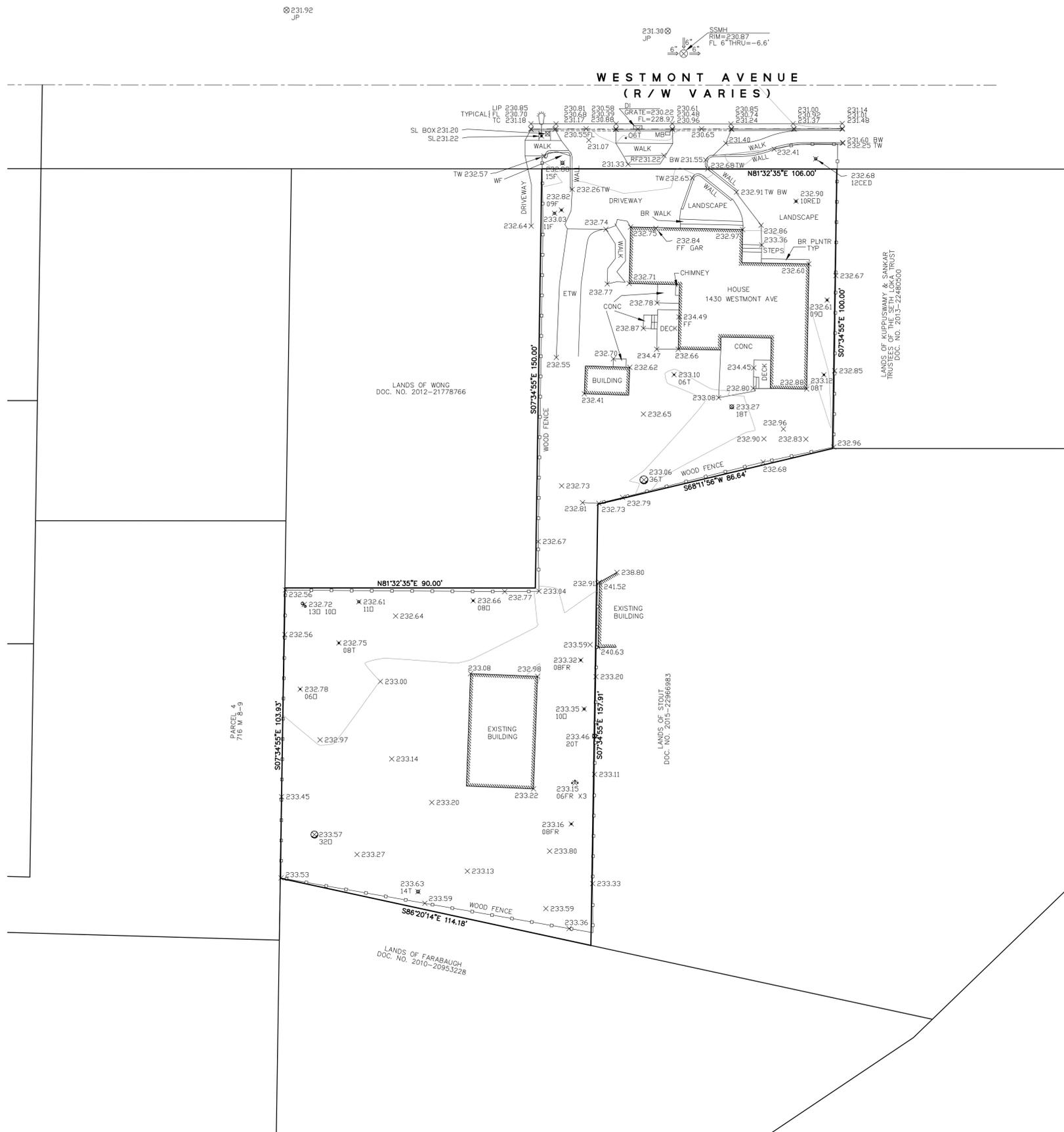
**SURVEYOR'S STATEMENT**

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

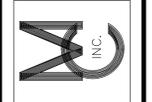
*Jack M. Smith*  
 JACK M. SMITH, S. #7539  
 LICENSE EXPIRES: 2-31-2017



DATE \_\_\_\_\_



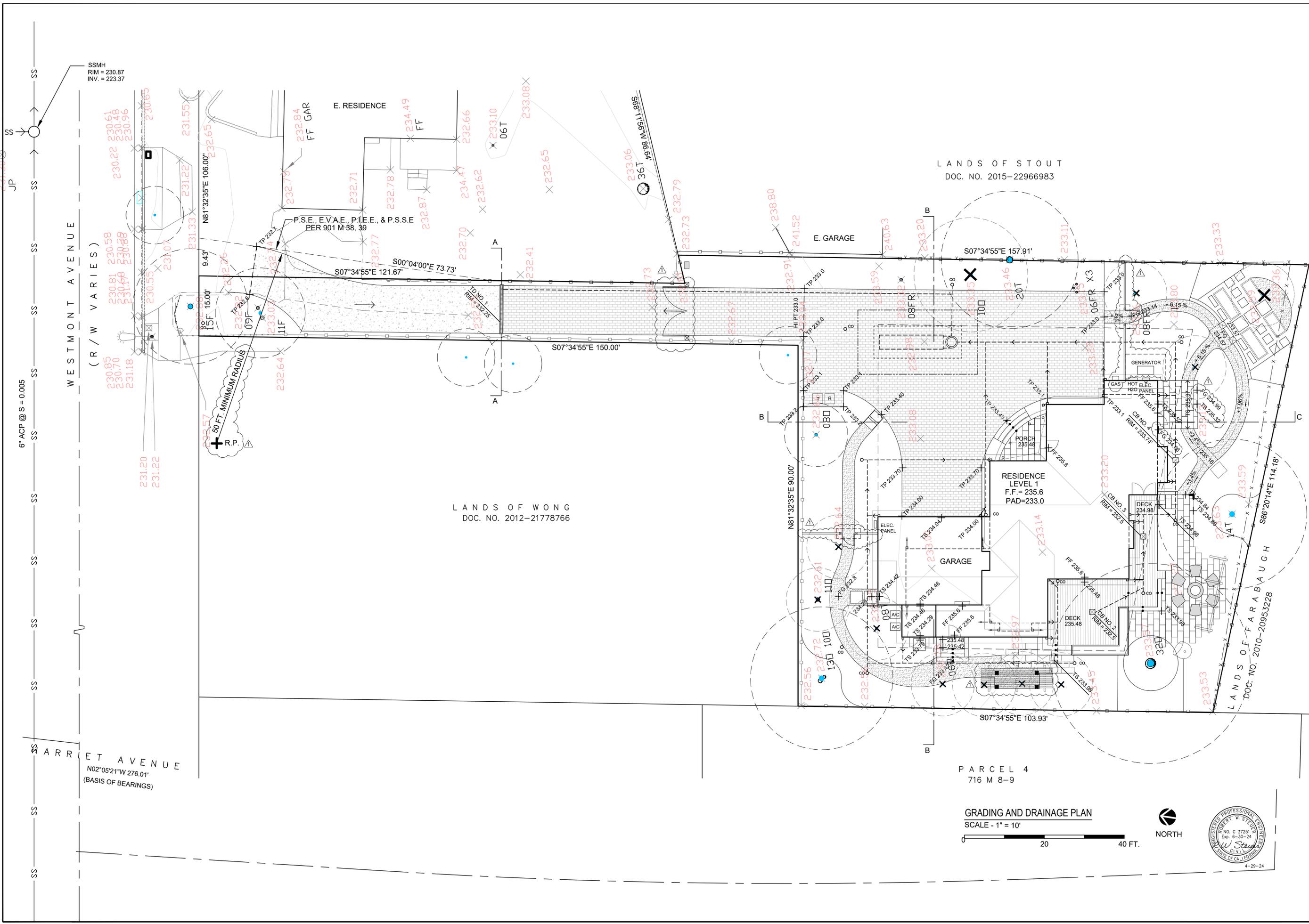
**MUIR CONSULTING, INC.**  
 139 CHURCH AVENUE  
 OAKDALE, CA 95361  
 (209) 845-8630 FAX (209) 845-8639  
 LAND SURVEYING • GPS • PLANNING  
 www.muirconsulting.com



**TOPOGRAPHIC SURVEY**  
**1430 WESTMONT AVE**

SANTA CLARA CALIFORNIA

REVISIONS	JOB NUMBER	4736-01	DRAWING NAME	
	DRAWN BY	PLD	4736-01	
	CHECKED BY	JMS	1	OF 1
	DATE	02/11/16		



LANDS OF STOUT  
DOC. NO. 2015-22966983

LANDS OF WONG  
DOC. NO. 2012-21778766

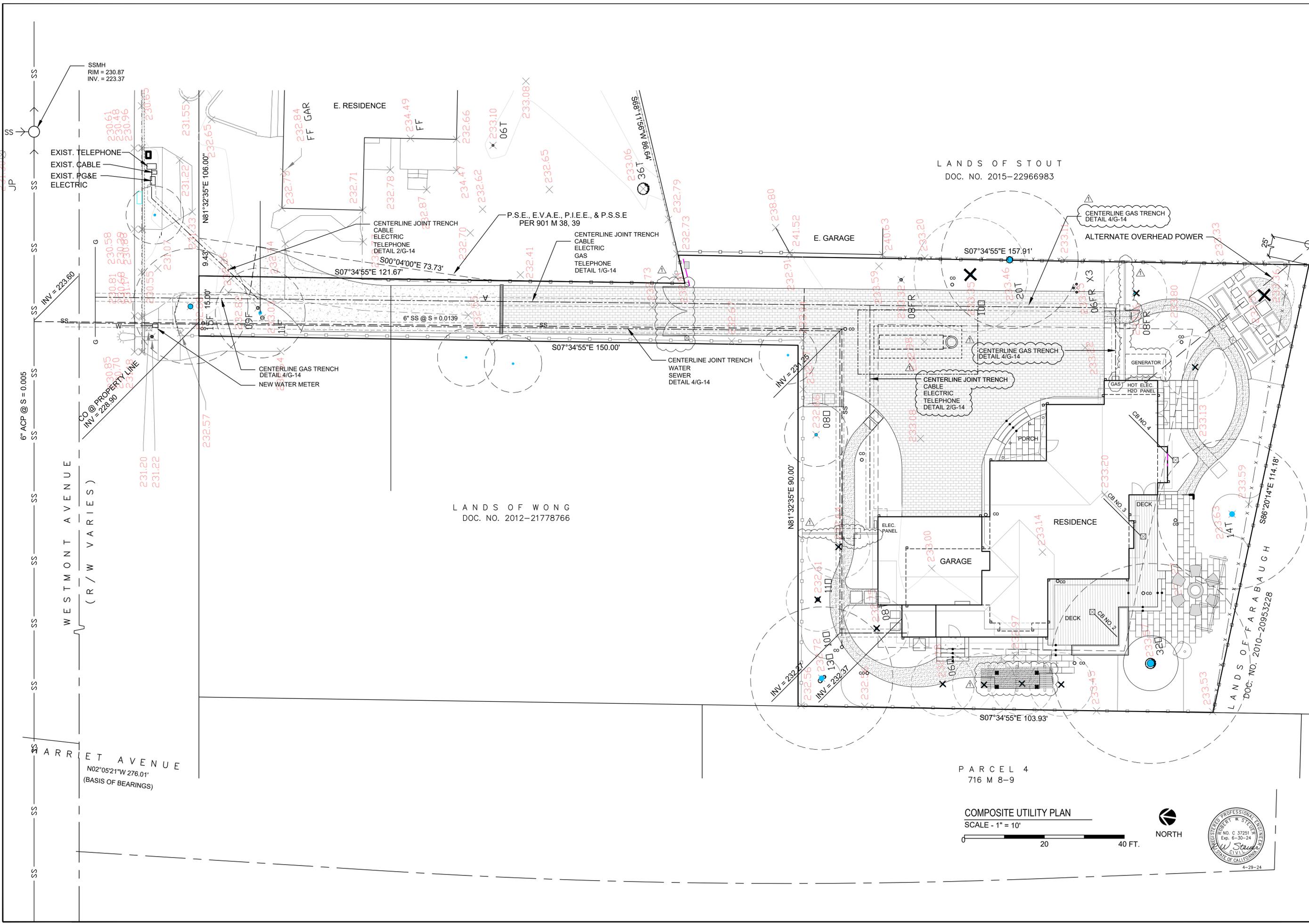
PARCEL 4  
716 M 8-9

GRADING AND DRAINAGE PLAN  
SCALE - 1" = 10'



4-29-24

GRADING AND DRAINAGE PLAN ON-SITE GRADING & DRAINAGE PLANS 1440 WESTMONT AVENUE BUILDING PERMIT NO. _____	ROBERT W. STEUER - CIVIL ENGINEER R.C.E. 37251 1133 FAIRVIEW AVENUE SAN JOSE, CALIFORNIA 95125 (408)-981-5844	Date:	10-23
		Drawn By:	Robert W. Steuer
SCALE: 1" = 10' SHEET: <b>G-3</b>	No. <b>Δ</b>	Revision	Planning Resubmittal
		By:	RS
		Date:	4-9-24
		Chkd:	RS



LANDS OF STOUT  
DOC. NO. 2015-22966983

LANDS OF WONG  
DOC. NO. 2012-21778766

WESTMONT AVENUE  
(R/W VARIES)

6" ACP @ S = 0.005

SS

ARR ET AVENUE  
N02°05'21"W 276.01'  
(BASIS OF BEARINGS)

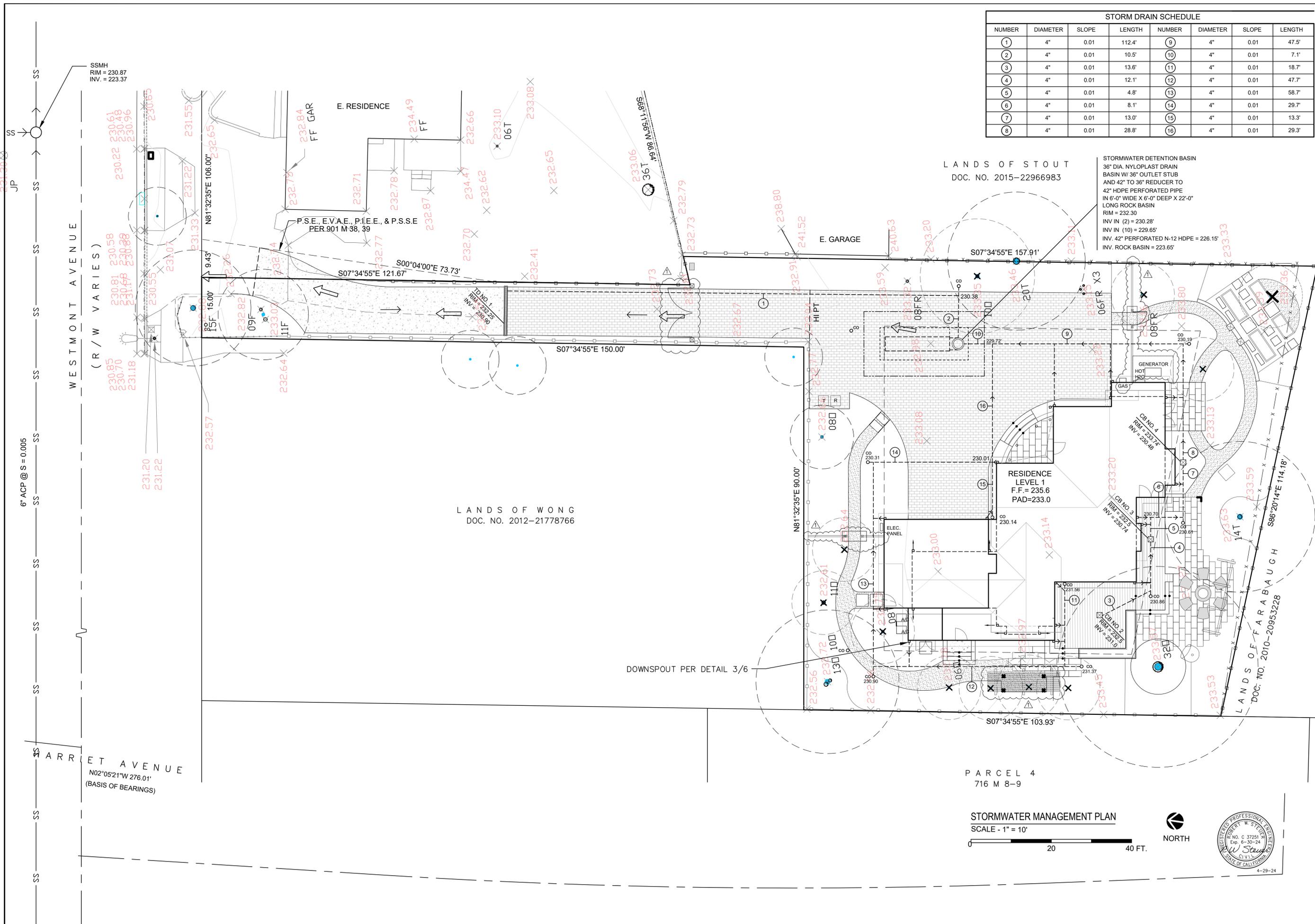
PARCEL 4  
716 M 8-9

COMPOSITE UTILITY PLAN

SCALE - 1" = 10'



COMPOSITE UTILITY PLAN ON-SITE GRADING & DRAINAGE PLANS 1440 WESTMONT AVENUE BUILDING PERMIT NO. _____	Robert W. Steuer - CIVIL ENGINEER R.C.E. 37251 1133 FAIRVIEW AVENUE SAN JOSE, CALIFORNIA 95125 (408)-981-5844	Date: 10-23 Drawn By: Robert W. Steuer Designed By: Robert W. Steuer	No. Revision Planning Resubmittal	Date: 4-9-24 By: RS RS	Chkd RS RS
	SCALE: 1" = 10' SHEET: <b>G-4</b>	4-29-24	4-29-24	4-29-24	4-29-24



STORM DRAIN SCHEDULE							
NUMBER	DIAMETER	SLOPE	LENGTH	NUMBER	DIAMETER	SLOPE	LENGTH
1	4"	0.01	112.4'	9	4"	0.01	47.5'
2	4"	0.01	10.5'	10	4"	0.01	7.1'
3	4"	0.01	13.6'	11	4"	0.01	18.7'
4	4"	0.01	12.1'	12	4"	0.01	47.7'
5	4"	0.01	4.8'	13	4"	0.01	58.7'
6	4"	0.01	8.1'	14	4"	0.01	29.7'
7	4"	0.01	13.0'	15	4"	0.01	13.3'
8	4"	0.01	28.8'	16	4"	0.01	29.3'

REVISION

No.	Revision	Date	By
1	Planning Resubmittal	4-24	RS

Date: 10-23  
 Drawn By: Robert W. Steuer  
 Designed By: Robert W. Steuer

ROBERT W. STEUER - CIVIL ENGINEER  
 R.C.E. 37251  
 1133 FAIRVIEW AVENUE  
 SAN JOSE, CALIFORNIA 95125  
 (408)-981-5844

STORMWATER MANAGEMENT PLAN  
 ON-SITE GRADING & DRAINAGE PLANS  
 1440 WESTMONT AVENUE  
 BUILDING PERMIT NO. \_\_\_\_\_

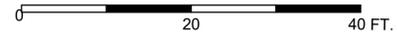
SCALE: 1" = 10'

SHEET: G-5

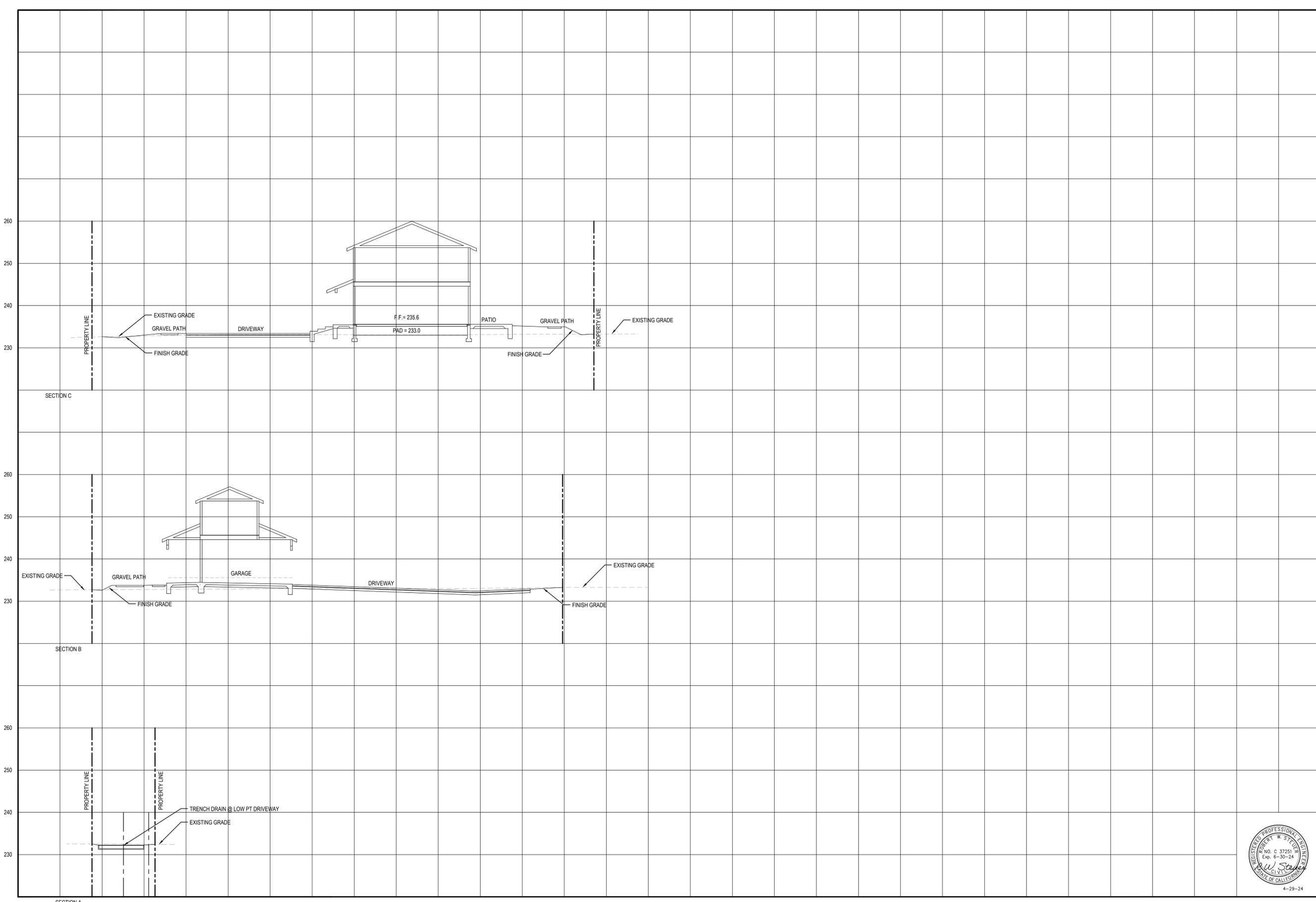


PARCEL 4  
716 M 8-9

STORMWATER MANAGEMENT PLAN  
SCALE - 1" = 10'





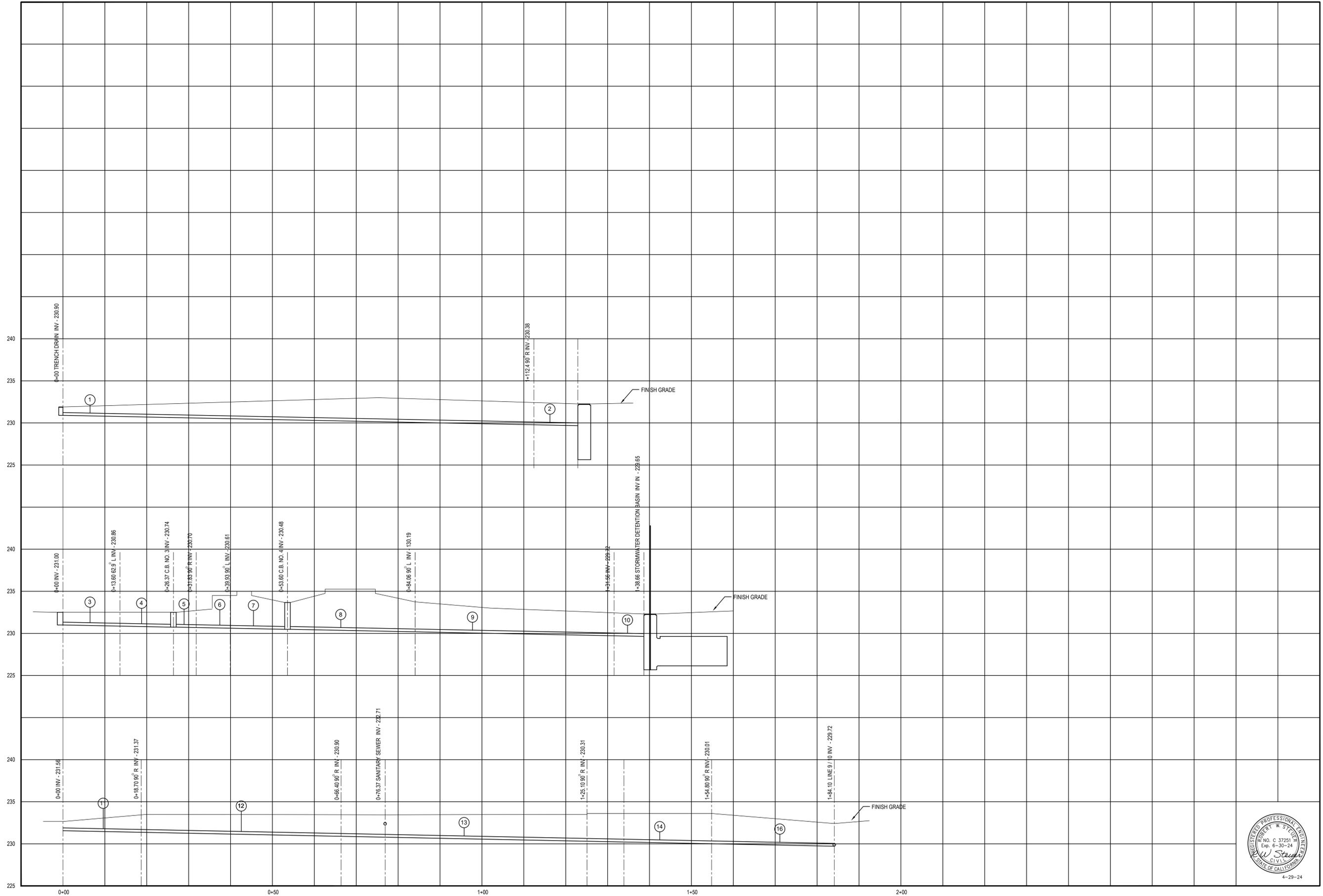


SECTIONS



<p>ROBERT W. STEUER - CIVIL ENGINEER  R.C.E. 37251  1133 FAIRVIEW AVENUE  SAN JOSE, CALIFORNIA 95125  (408)-981-5844</p>	<p>SECTIONS  ON-SITE GRADING &amp; DRAINAGE PLANS  1440 WESTMONT AVENUE  BUILDING PERMIT NO. _____</p>	<p>CAMPBELL, CALIFORNIA</p>
<p>Date: _____  Drawn By: _____  Designed By: _____</p>	<p>No. _____</p>	<p>Revision _____</p>
<p>By _____</p>	<p>Date _____</p>	<p>Chkd _____</p>
<p>SCALE: 1" = 5'</p>		
<p>SHEET: <b>G-7</b></p>		

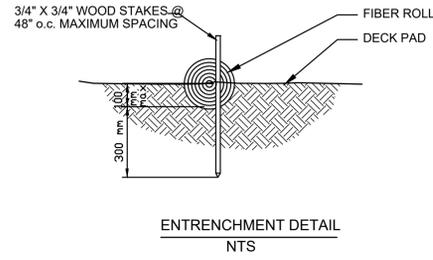
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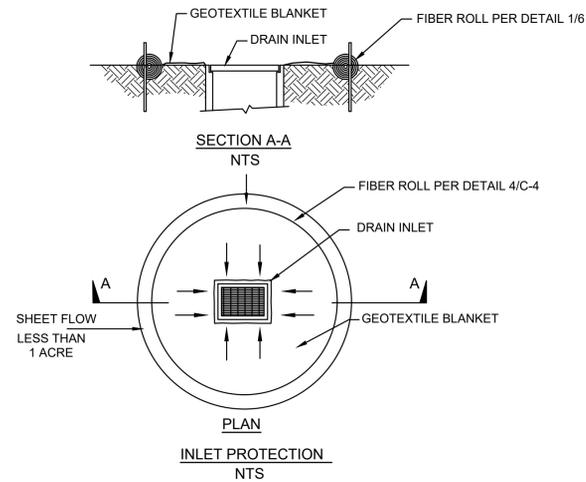
STORM SEWER PROFILES



ROBERT W. STEUER - CIVIL ENGINEER R.C.E. 37251 1133 FAIRVIEW AVENUE SAN JOSE, CALIFORNIA 95125 (408)-981-5844	
STORM SEWER PROFILES ON-SITE GRADING & DRAINAGE PLANS 1440 WESTMONT AVENUE BUILDING PERMIT NO. _____	CAMPBELL, CALIFORNIA
SCALE: 1" = 10' H SCALE: 1" = 5' V	SHEET: <b>G-8</b>
Date: _____ Drawn By: _____ Designed By: _____	No. _____ Revision _____ Date _____ By _____ Chkd _____

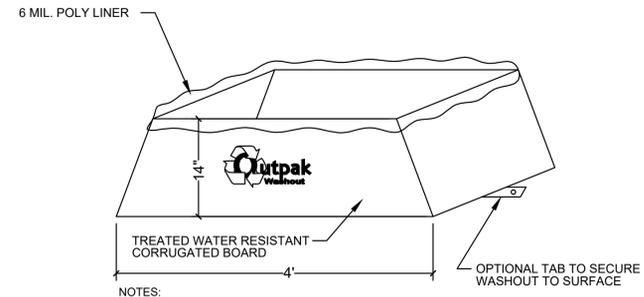


① FIBER ROLL EROSION CONTROL  
NOT TO SCALE



- NOTES:
1. FOR USE IN AREAS WHERE GRADING HAS BEEN COMPLETED AND PRIOR TO PLACEMENT OF PAVEMENT OR FINAL SOIL STABILIZATION
  2. NOT APPLICABLE IN PAVED AREAS.
  3. NOT APPLICABLE WITH CONCENTRATED FLOWS.

② FIBER ROLL INLET PROTECTION  
NOT TO SCALE



1. THE WASHOUT SHALL BE INSTALLED PRIOR TO USING MATERIALS THAT REQUIRE WASHOUT ON THIS PROJECT.
2. AS NECESSARY, SIGNS SHALL BE PLACED THROUGHOUT THE SITE TO INDICATE THE LOCATION OF THE WASHOUT.
3. THE WASHOUT AREA WILL BE REPLACED AS NECESSARY TO MAINTAIN CAPACITY FOR LIQUID WASTE.
4. WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE FACILITY.
5. DO NOT WASHOUT INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
6. AVOID DUMPING EXCESS CONCRETE IN NON-DESIGNATED DUMPING AREAS.
7. LOCATE WASHOUT AT LEAST 50' (15 METERS) FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES.
8. THE WASHOUT SHALL BE USED ONLY FOR NON-HAZARDOUS WASTES.

CORRUGATED WASHOUT  
SPECIFICATIONS



③

BMP SUMMARY TABLE E	
BMP CATEGORY	BMP USED
EROSION CONTROL	EROSION CONTROL FACILITIES, INCLUDING FIBER ROLLS TO BE INSTALLED PER EROSION CONTROL PLAN SHEET G-6
SEDIMENT CONTROL	SEDIMENT CONTROL FACILITIES INCLUDING FIBER ROLL INLET PROTECTION TO BE INSTALLED PER EROSION CONTROL PLAN SHEET G-6
GOOD SITE MANAGEMENT	PORTABLE TOILET SHALL BE PROVIDED WITH EASY ACCESS TO PUBLIC RIGHT-OF WAY PER EROSION CONTROL PLAN SHEET G-6
NON-STORMWATER MANAGEMENT	EXISTING CONCRETE DRIVEWAY SHALL FUNCTION AS STABILIZED CONSTRUCTION ENTRANCE
NON-STORMWATER MANAGEMENT	PROVIDE CONCRETE WASHOUT FACILITY PER EROSION CONTROL PLAN SHEET G-6
ACTIVE TREATMENT SYSTEMS	NOT REQUIRED

BMP SUMMARY TABLE

③

5

6

7

8

9

10

11

12



Chd	
By	
Date	
Revision	
No.	
Date:	
Drawn By:	
Designed By:	

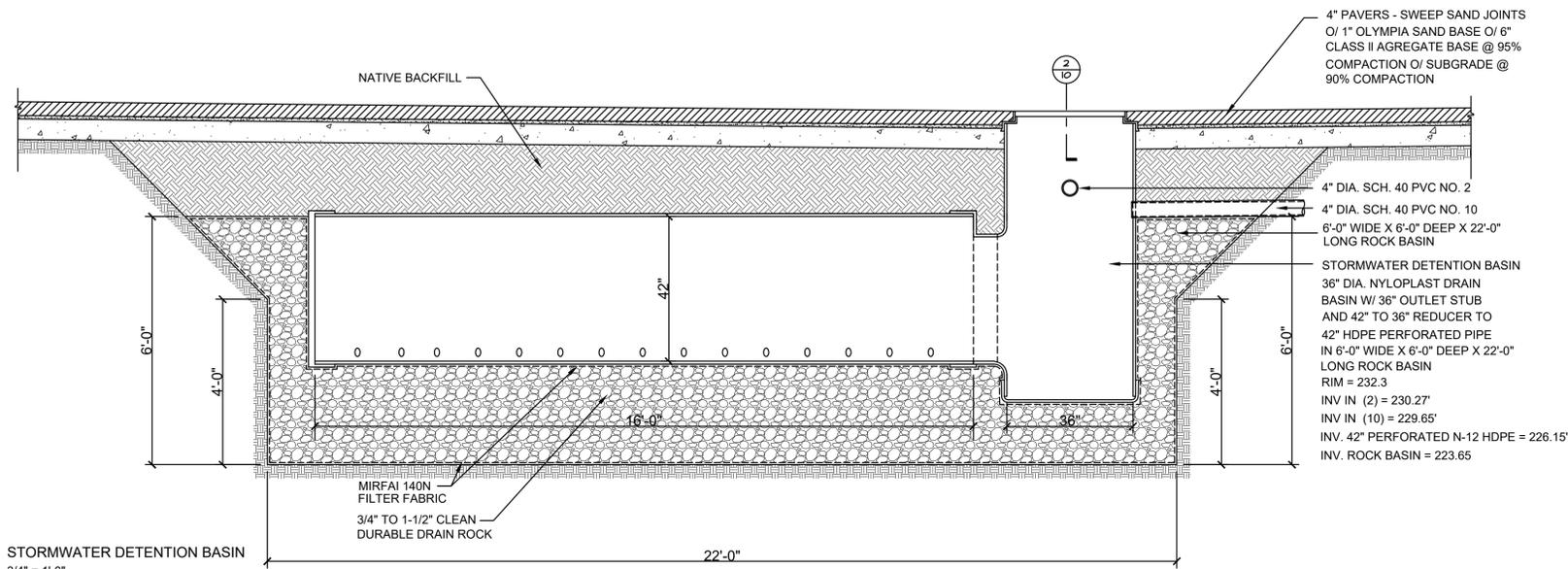
ROBERT W. STEUER - CIVIL ENGINEER  
R.C.E. 37251  
1133 FAIRVIEW AVENUE  
SAN JOSE, CALIFORNIA 95125  
(408)-981-5844

EROSION CONTROL DETAILS  
ON-SITE GRADING & DRAINAGE PLANS  
1440 WESTMONT AVENUE  
BUILDING PERMIT NO. \_\_\_\_\_

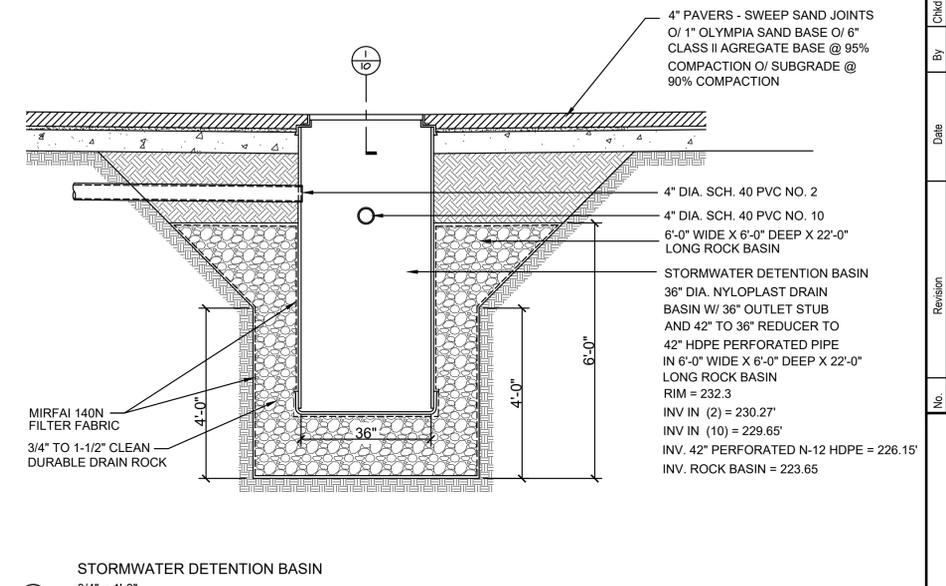
SCALE: NOTED

SHEET:  
**G-9**

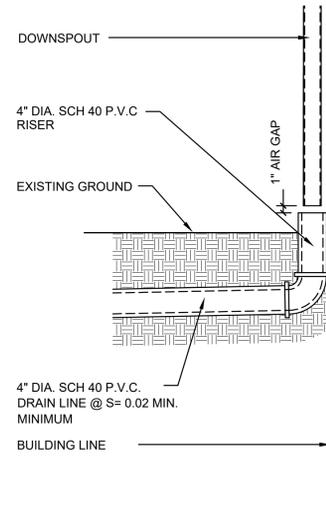
4-29-24



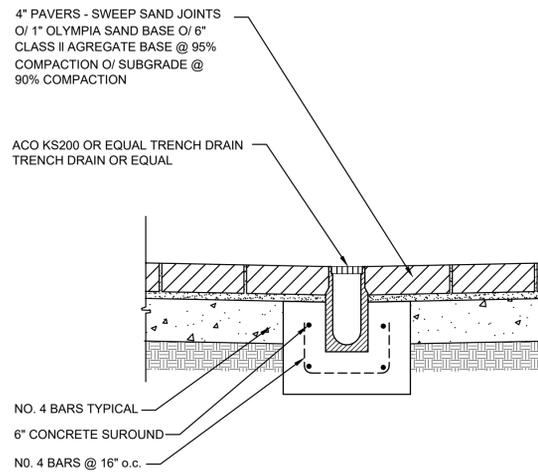
1  
3/4" = 1'-0"



2  
3/4" = 1'-0"



3  
1" = 1'-0"



4  
1" = 1'-0"

Checked	
By	
Date	
Revision	
No.	
Date	
Drawn By	
Designed By	

ROBERT W. STEUER - CIVIL ENGINEER  
R.C.E. 37251  
1133 FAIRVIEW AVENUE  
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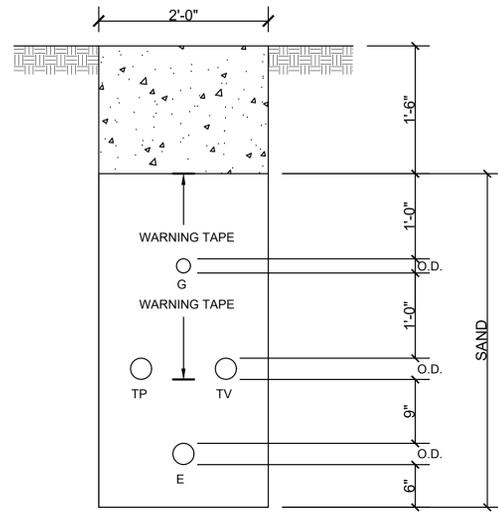
DRAINAGE DETAILS  
ON-SITE GRADING & DRAINAGE PLANS  
1440 WESTMONT AVENUE  
BUILDING PERMIT NO. \_\_\_\_\_



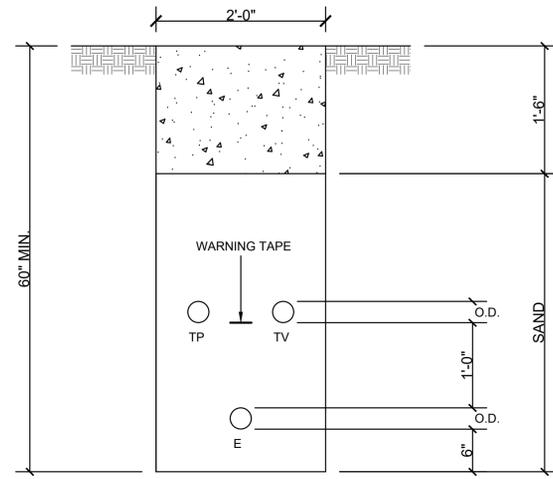
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SHEET:  
G-10

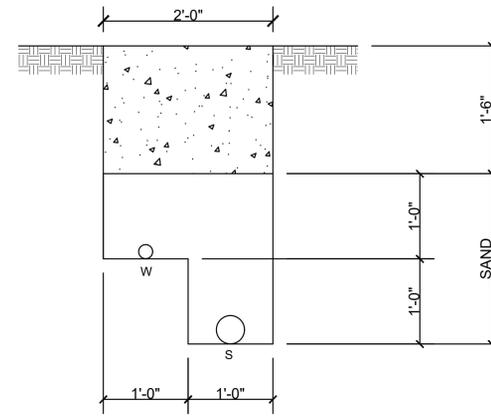




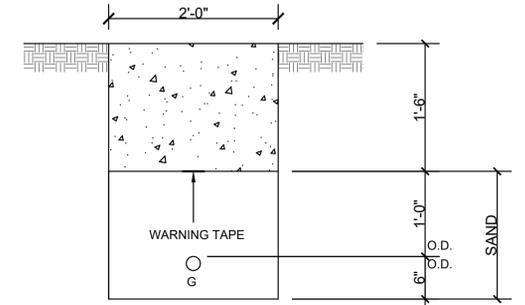
① JOINT TRENCH  
1' = 1'-0"



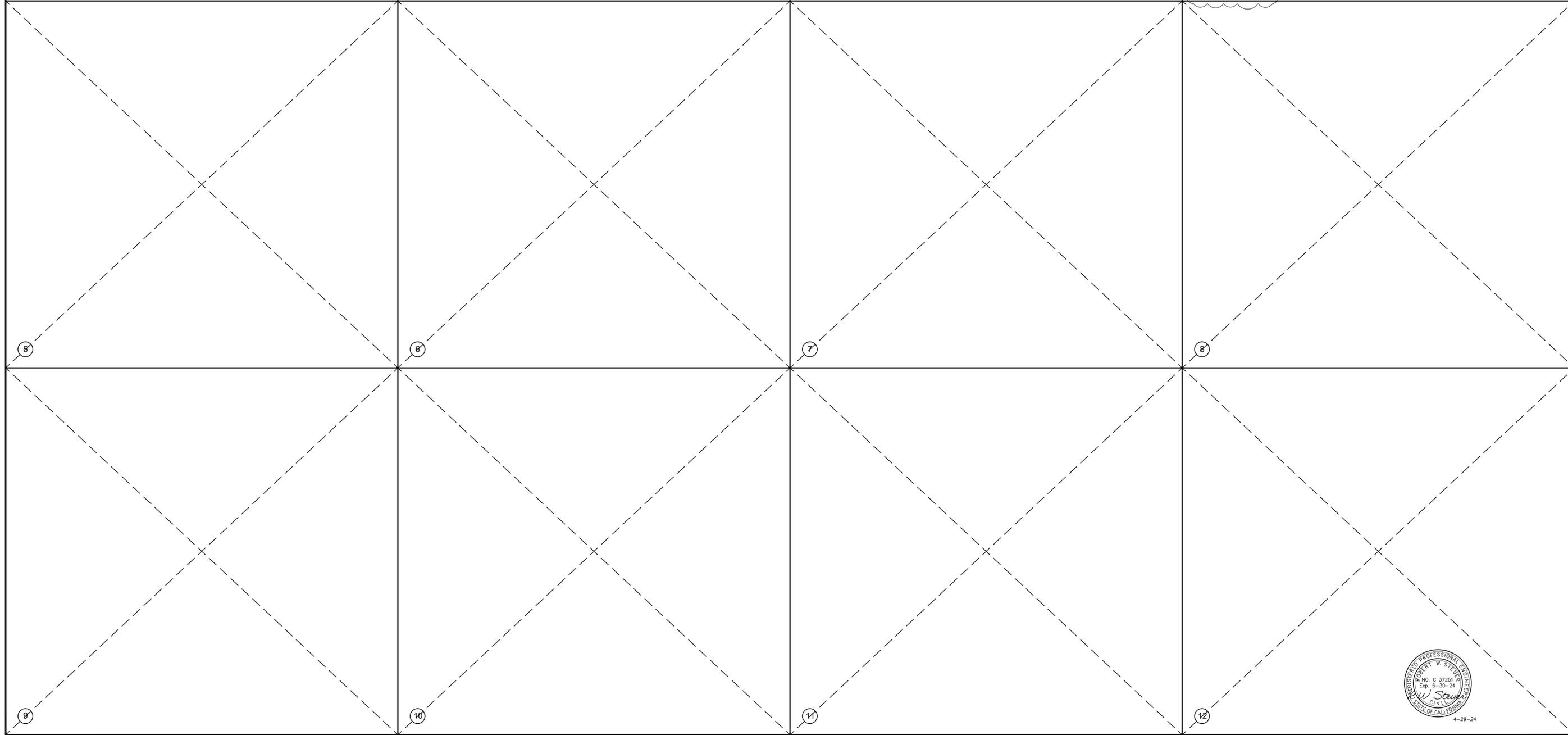
② JOINT TRENCH  
1' = 1'-0"



③ JOINT TRENCH  
1' = 1'-0"



③ GAS TRENCH  
1' = 1'-0"



Chd	RS
By	RS
Date	4-24
Revision	Planning Resubmittal
No.	1
Date:	10-6-23
Drawn By:	Robert W. Steuer
Designed By:	Robert W. Steuer

ROBERT W. STEUER - CIVIL ENGINEER  
R. C. E. 37251  
1133 FAIRVIEW AVENUE  
SAN JOSE, CALIFORNIA 95125  
(408)-981-5844

UTILITY DETAILS  
ON-SITE GRADING & DRAINAGE PLANS  
1440 WESTMONT AVENUE  
BUILDING PERMIT NO. \_\_\_\_\_



SCALE: NOTED  
SHEET:  
**G-11**





DEMOLISH FENCE, PLANTER AND TREES TO REMAIN

PHOTO 1 (P1)



DRIVE APPROACH TOWARD FUTURE HOUSE

PHOTO 2 (P2)



FUTURE DRIVEWAY AND VEHICULAR GATE LOCATION (AT FENCE RETURN)

PHOTO 3 (P3)



FUTURE SIDE YARD AND DRIVEWAY

PHOTO 4 (P4)

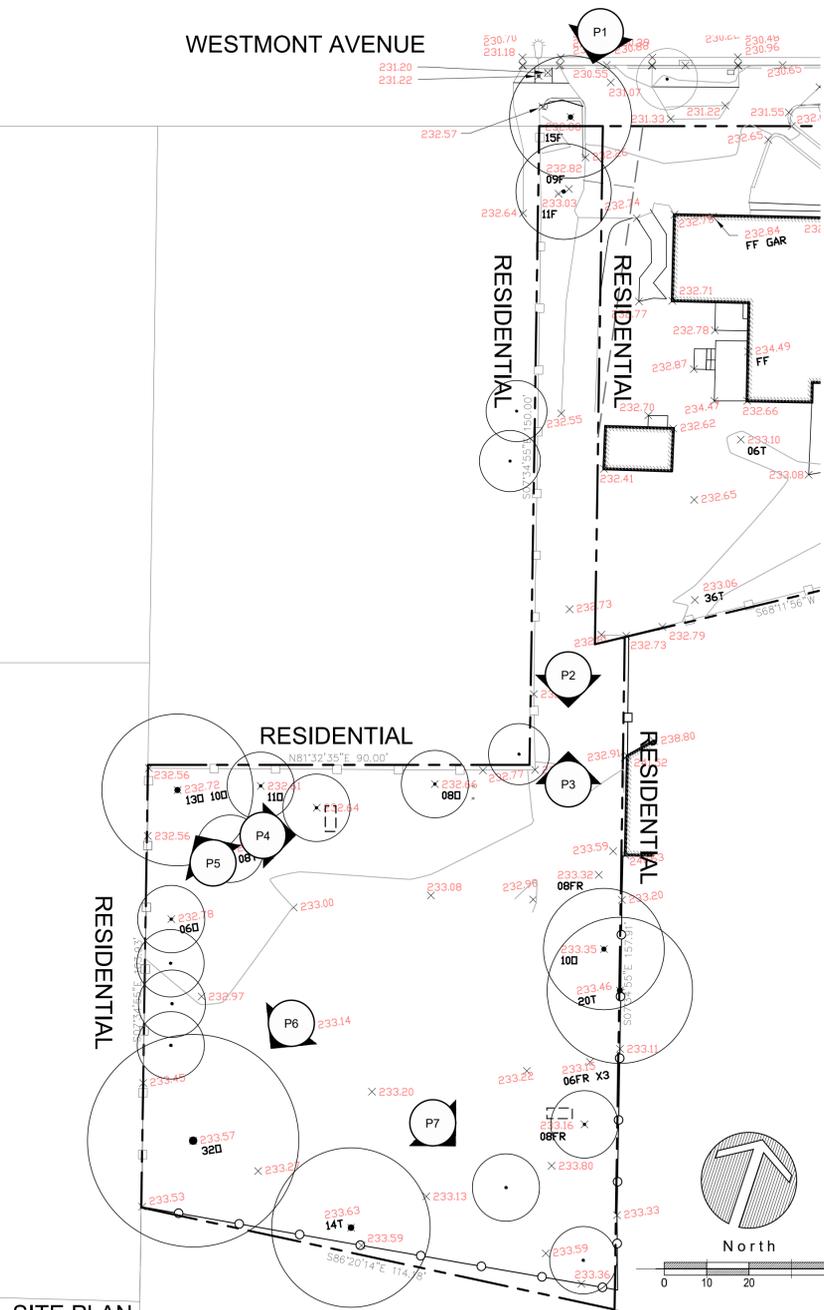


PHOTO 5 (P5)



FUTURE HOUSE LOCATION, LARGE OAK BY BACK DECK

PHOTO 6 (P6)



SITE PLAN



FUTURE BACKYARD, VEGGIE BOXES IN FAR LEFT CORNER

PHOTO 7 (P7)

GRAPHIC LEGEND

SYMBOL	ITEM
	EXISTING TREE
	PHOTO LOCATION / DIRECTION



LANDSCAPE ARCHITECTS

303 potrero street, suite 40-c  
santa cruz, ca 95060  
p: 831.459.0455  
f: 831-459-0484

www.ssala.com  
cra no. 2805



SITE PHOTOGRAPHY SHEET

LAURENJEAN RICE RESIDENCE  
LAURENJEAN RICE  
1440 WESTMONT AVENUE  
CAMPELLE, CA  
APN: 403-14-072

AGENCY APPROVAL

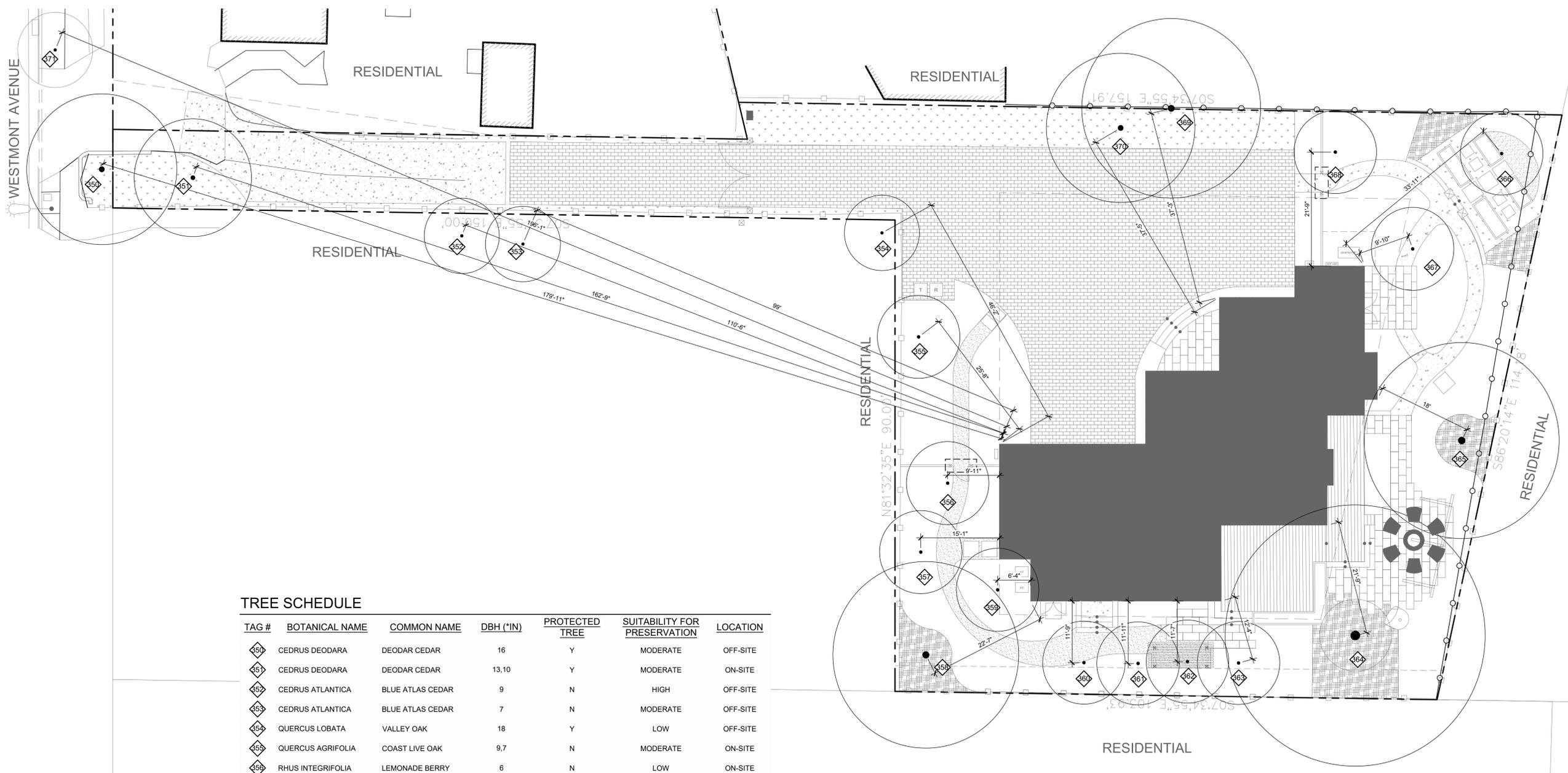
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NO. DATE PURPOSE

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DATE •  
JOB •

SITE PHOTOGRAPHY SHEET

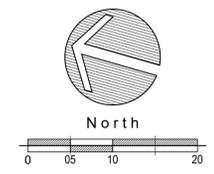
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L-1.0



**TREE SCHEDULE**

TAG #	BOTANICAL NAME	COMMON NAME	DBH (*IN)	PROTECTED TREE	SUITABILITY FOR PRESERVATION	LOCATION
350	CEDRUS DEODARA	DEODAR CEDAR	16	Y	MODERATE	OFF-SITE
351	CEDRUS DEODARA	DEODAR CEDAR	13,10	Y	MODERATE	ON-SITE
352	CEDRUS ATLANTICA	BLUE ATLAS CEDAR	9	N	HIGH	OFF-SITE
353	CEDRUS ATLANTICA	BLUE ATLAS CEDAR	7	N	MODERATE	OFF-SITE
354	QUERCUS LOBATA	VALLEY OAK	18	Y	LOW	OFF-SITE
355	QUERCUS AGRIFOLIA	COAST LIVE OAK	9,7	N	MODERATE	ON-SITE
356	RHUS INTEGRIFOLIA	LEMONADE BERRY	6	N	LOW	ON-SITE
357	QUERCUS AGRIFOLIA	COAST LIVE OAK	16	Y	LOW	ON-SITE
358	QUERCUS AGRIFOLIA	COAST LIVE OAK	17,12	Y	MODERATE	ON-SITE
359	QUERCUS LOBATA	VALLEY OAK	9	N	LOW	ON-SITE
360	PRUNUS CAROLINIANA	CAROLINA CHERRY LAUREL	5,4	N	LOW	ON-SITE
361	PRUNUS ILICIFOLIA	HOLLYLEAF CHERRY	7,6,4	N	LOW	ON-SITE
362	UMBELLULARIA CALIFORNICA	CALIFORNIA BAY	5,5,4	N	LOW	ON-SITE
363	PRUNUS ILICIFOLIA	HOLLYLEAF CHERRY	4,4,4,2,2,2	N	LOW	ON-SITE
364	QUERCUS AGRIFOLIA	COAST LIVE OAK	43	Y	MODERATE	ON-SITE
365	QUERCUS LOBATA	VALLEY OAK	19	Y	MODERATE	ON-SITE
366	DIOSPYROS KAKI	PERSIMMON	4	N	LOW	ON-SITE
367	CITRUS X AURANTIFOLIA	LIME	5,5,3,2,2,2	N	LOW	ON-SITE
368	PUNICA GRANATUM	POMEGRANATE	6,6,4	N	LOW	ON-SITE
369	QUERCUS AGRIFOLIA	COAST LIVE OAK	14	Y	MODERATE	ON-SITE
370	PRUNUS DOMESTICA	PLUM	5,4	N	LOW	ON-SITE
371	QUERCUS LOBATA	VALLEY OAK	8	Y	MODERATE	OFF-SITE



**SSA**  
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 cna no. 2805

LICENSED LANDSCAPE ARCHITECT  
 STEVEN ROBERT BUTTERLAND  
 No. 2805  
 Exp. 1-31-26  
 STATE OF CALIFORNIA

**TREE SURVEY PLAN**  
 LAURENJEAN RICE RESIDENCE  
 LAURENJEAN RICE  
 1440 WESTMONT AVENUE  
 CAMPBELL, CA  
 APN: 403-14-072

AGENCY APPROVAL

REVISIONS

NO.	DATE	PURPOSE

DRAWN BY \* RT  
 CHECKED \* AH  
 SCALE \* 1" = 10'-0"  
 DATE \*  
 JOB \*

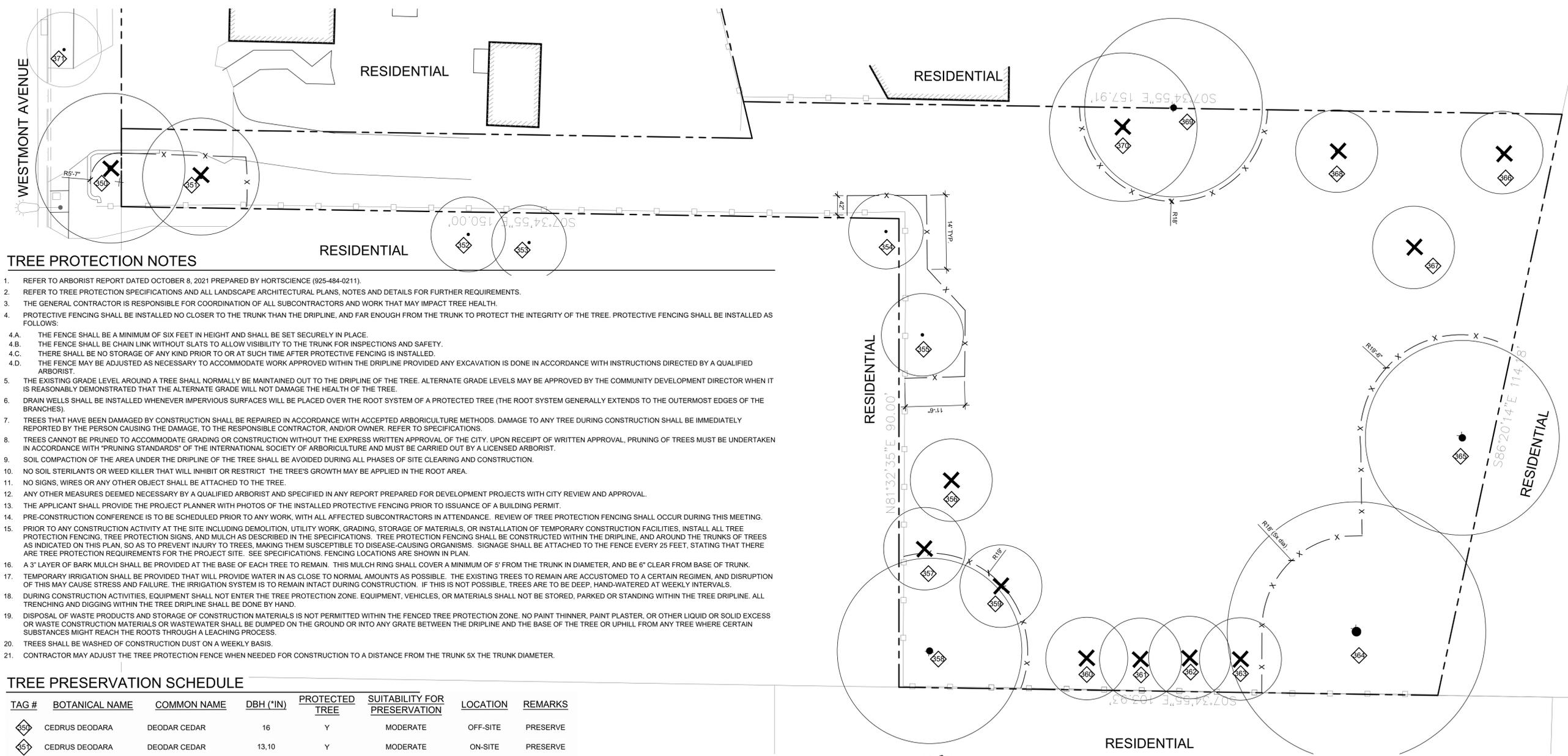
**TREE SURVEY PLAN**

SHEET

**L-2.0**



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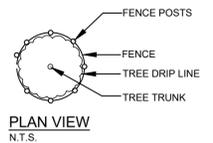
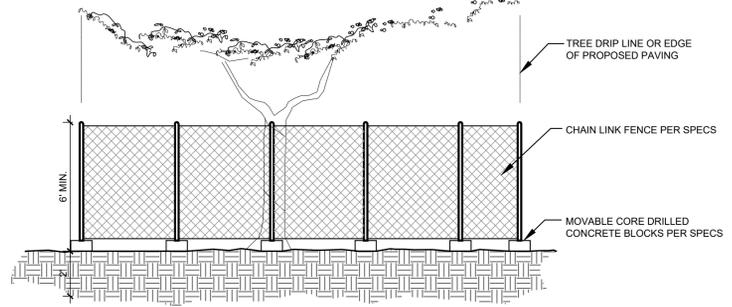


**TREE PROTECTION NOTES**

- REFER TO ARBORIST REPORT DATED OCTOBER 8, 2021 PREPARED BY HORTSCIENCE (925-484-0211).
- REFER TO TREE PROTECTION SPECIFICATIONS AND ALL LANDSCAPE ARCHITECTURAL PLANS, NOTES AND DETAILS FOR FURTHER REQUIREMENTS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL SUBCONTRACTORS AND WORK THAT MAY IMPACT TREE HEALTH.
- PROTECTIVE FENCING SHALL BE INSTALLED NO CLOSER TO THE TRUNK THAN THE DRIPLINE, AND FAR ENOUGH FROM THE TRUNK TO PROTECT THE INTEGRITY OF THE TREE. PROTECTIVE FENCING SHALL BE INSTALLED AS FOLLOWS:
  - THE FENCE SHALL BE A MINIMUM OF SIX FEET IN HEIGHT AND SHALL BE SET SECURELY IN PLACE.
  - THE FENCE SHALL BE CHAIN LINK WITHOUT SLATS TO ALLOW VISIBILITY TO THE TRUNK FOR INSPECTIONS AND SAFETY.
  - THERE SHALL BE NO STORAGE OF ANY KIND PRIOR TO OR AT SUCH TIME AFTER PROTECTIVE FENCING IS INSTALLED.
  - THE FENCE MAY BE ADJUSTED AS NECESSARY TO ACCOMMODATE WORK APPROVED WITHIN THE DRIPLINE PROVIDED ANY EXCAVATION IS DONE IN ACCORDANCE WITH INSTRUCTIONS DIRECTED BY A QUALIFIED ARBORIST.
- THE EXISTING GRADE LEVEL AROUND A TREE SHALL NORMALLY BE MAINTAINED OUT TO THE DRIPLINE OF THE TREE. ALTERNATE GRADE LEVELS MAY BE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR WHEN IT IS REASONABLY DEMONSTRATED THAT THE ALTERNATE GRADE WILL NOT DAMAGE THE HEALTH OF THE TREE.
- DRAIN WELLS SHALL BE INSTALLED WHENEVER IMPERVIOUS SURFACES WILL BE PLACED OVER THE ROOT SYSTEM OF A PROTECTED TREE (THE ROOT SYSTEM GENERALLY EXTENDS TO THE OUTERMOST EDGES OF THE BRANCHES).
- TREES THAT HAVE BEEN DAMAGED BY CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH ACCEPTED ARBORICULTURE METHODS. DAMAGE TO ANY TREE DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED BY THE PERSON CAUSING THE DAMAGE, TO THE RESPONSIBLE CONTRACTOR, AND/OR OWNER. REFER TO SPECIFICATIONS.
- TREES CANNOT BE PRUNED TO ACCOMMODATE GRADING OR CONSTRUCTION WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE CITY. UPON RECEIPT OF WRITTEN APPROVAL, PRUNING OF TREES MUST BE UNDERTAKEN IN ACCORDANCE WITH "PRUNING STANDARDS" OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE AND MUST BE CARRIED OUT BY A LICENSED ARBORIST.
- SOIL COMPACTION OF THE AREA UNDER THE DRIPLINE OF THE TREE SHALL BE AVOIDED DURING ALL PHASES OF SITE CLEARING AND CONSTRUCTION.
- NO SOIL STERILANTS OR WEED KILLER THAT WILL INHIBIT OR RESTRICT THE TREE'S GROWTH MAY BE APPLIED IN THE ROOT AREA.
- NO SIGNS, WIRES OR ANY OTHER OBJECT SHALL BE ATTACHED TO THE TREE.
- ANY OTHER MEASURES DEEMED NECESSARY BY A QUALIFIED ARBORIST AND SPECIFIED IN ANY REPORT PREPARED FOR DEVELOPMENT PROJECTS WITH CITY REVIEW AND APPROVAL.
- THE APPLICANT SHALL PROVIDE THE PROJECT PLANNER WITH PHOTOS OF THE INSTALLED PROTECTIVE FENCING PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- PRE-CONSTRUCTION CONFERENCE IS TO BE SCHEDULED PRIOR TO ANY WORK, WITH ALL AFFECTED SUBCONTRACTORS IN ATTENDANCE. REVIEW OF TREE PROTECTION FENCING SHALL OCCUR DURING THIS MEETING.
- PRIOR TO ANY CONSTRUCTION ACTIVITY AT THE SITE INCLUDING DEMOLITION, UTILITY WORK, GRADING, STORAGE OF MATERIALS, OR INSTALLATION OF TEMPORARY CONSTRUCTION FACILITIES, INSTALL ALL TREE PROTECTION FENCING, TREE PROTECTION SIGNS, AND MULCH AS DESCRIBED IN THE SPECIFICATIONS. TREE PROTECTION FENCING SHALL BE CONSTRUCTED WITHIN THE DRIPLINE, AND AROUND THE TRUNKS OF TREES AS INDICATED ON THIS PLAN, SO AS TO PREVENT INJURY TO TREES, MAKING THEM SUSCEPTIBLE TO DISEASE-CAUSING ORGANISMS. SIGNAGE SHALL BE ATTACHED TO THE FENCE EVERY 25 FEET, STATING THAT THERE ARE TREE PROTECTION REQUIREMENTS FOR THE PROJECT SITE. SEE SPECIFICATIONS. FENCING LOCATIONS ARE SHOWN IN PLAN.
- A 3" LAYER OF BARK MULCH SHALL BE PROVIDED AT THE BASE OF EACH TREE TO REMAIN. THIS MULCH RING SHALL COVER A MINIMUM OF 5' FROM THE TRUNK IN DIAMETER, AND BE 6" CLEAR FROM BASE OF TRUNK.
- TEMPORARY IRRIGATION SHALL BE PROVIDED THAT WILL PROVIDE WATER IN AS CLOSE TO NORMAL AMOUNTS AS POSSIBLE. THE EXISTING TREES TO REMAIN ARE ACCUSTOMED TO A CERTAIN REGIMEN, AND DISRUPTION OF THIS MAY CAUSE STRESS AND FAILURE. THE IRRIGATION SYSTEM IS TO REMAIN INTACT DURING CONSTRUCTION. IF THIS IS NOT POSSIBLE, TREES ARE TO BE DEEP, HAND-WATERED AT WEEKLY INTERVALS.
- DURING CONSTRUCTION ACTIVITIES, EQUIPMENT SHALL NOT ENTER THE TREE PROTECTION ZONE. EQUIPMENT, VEHICLES, OR MATERIALS SHALL NOT BE STORED, PARKED OR STANDING WITHIN THE TREE DRIPLINE. ALL TRENCHING AND DIGGING WITHIN THE TREE DRIPLINE SHALL BE DONE BY HAND.
- DISPOSAL OF WASTE PRODUCTS AND STORAGE OF CONSTRUCTION MATERIALS IS NOT PERMITTED WITHIN THE FENCED TREE PROTECTION ZONE. NO PAINT THINNER, PAINT PLASTER, OR OTHER LIQUID OR SOLID EXCESS OR WASTE CONSTRUCTION MATERIALS OR WASTEWATER SHALL BE DUMPED ON THE GROUND OR INTO ANY GRATE BETWEEN THE DRIPLINE AND THE BASE OF THE TREE OR UPHILL FROM ANY TREE WHERE CERTAIN SUBSTANCES MIGHT REACH THE ROOTS THROUGH A LEACHING PROCESS.
- TREES SHALL BE WASHED OF CONSTRUCTION DUST ON A WEEKLY BASIS.
- CONTRACTOR MAY ADJUST THE TREE PROTECTION FENCE WHEN NEEDED FOR CONSTRUCTION TO A DISTANCE FROM THE TRUNK 5X THE TRUNK DIAMETER.

**TREE PRESERVATION SCHEDULE**

TAG #	BOTANICAL NAME	COMMON NAME	DBH (*IN)	PROTECTED TREE	SUITABILITY FOR PRESERVATION	LOCATION	REMARKS
350	CEDRUS DEODARA	DEODAR CEDAR	16	Y	MODERATE	OFF-SITE	PRESERVE
351	CEDRUS DEODARA	DEODAR CEDAR	13.10	Y	MODERATE	ON-SITE	PRESERVE
352	CEDRUS ATLANTICA	BLUE ATLAS CEDAR	9	N	HIGH	OFF-SITE	PRESERVE
353	CEDRUS ATLANTICA	BLUE ATLAS CEDAR	7	N	MODERATE	OFF-SITE	PRESERVE
354	QUERCUS LOBATA	VALLEY OAK	18	Y	LOW	OFF-SITE	PRESERVE
355	QUERCUS AGRIFOLIA	COAST LIVE OAK	9.7	N	MODERATE	ON-SITE	PRESERVE
356	RHUS INTEGRIFOLIA	LEMONADE BERRY	6	N	LOW	ON-SITE	REMOVE
357	QUERCUS AGRIFOLIA	COAST LIVE OAK	16	Y	LOW	ON-SITE	REMOVE
358	QUERCUS AGRIFOLIA	COAST LIVE OAK	17.12	Y	MODERATE	ON-SITE	PRESERVE
359	QUERCUS LOBATA	VALLEY OAK	9	N	LOW	ON-SITE	REMOVE
360	PRUNUS CAROLINIANA	CAROLINA CHERRY LAUREL	5.4	N	LOW	ON-SITE	REMOVE
361	PRUNUS ILICIFOLIA	HOLLYLEAF CHERRY	7.6,4	N	LOW	ON-SITE	REMOVE
362	UMBELLULARIA CALIFORNICA	CALIFORNIA BAY	5.5,4	N	LOW	ON-SITE	REMOVE
363	PRUNUS ILICIFOLIA	HOLLYLEAF CHERRY	4.4,4,2,2,2	N	LOW	ON-SITE	REMOVE
364	QUERCUS AGRIFOLIA	COAST LIVE OAK	43	Y	MODERATE	ON-SITE	PRESERVE
365	QUERCUS LOBATA	VALLEY OAK	19	Y	MODERATE	ON-SITE	PRESERVE
366	DIOSPYROS KAKI	PERSIMMON	4	N	LOW	ON-SITE	REMOVE
367	CITRUS X AURANTIFOLIA	LIME	5.5,3,2,2,2	N	LOW	ON-SITE	REMOVE
368	PUNICA GRANATUM	POMEGRANATE	6,6,4	N	LOW	ON-SITE	REMOVE
369	QUERCUS AGRIFOLIA	COAST LIVE OAK	14	Y	MODERATE	ON-SITE	PRESERVE
370	PRUNUS DOMESTICA	PLUM	5.4	N	LOW	ON-SITE	REMOVE
371	QUERCUS LOBATA	VALLEY OAK	8	Y	MODERATE	OFF-SITE	PRESERVE



- NOTES:
- TREE PRESERVATION MEASURES MUST BE IN PLACE BEFORE DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITIES COMMENCE.
  - TREES TO BE PRESERVED SHALL BE FENCED AT THE DRIPLINE UNLESS OTHERWISE NOTED ON DEMOLITION PLAN. FENCING MAY OCCUR AT THE COMBINED DRIPLINES OF GROVES OF TREES.
  - NO GRADING SHALL OCCUR WITHIN THE DRIPLINE/FENCED AREA OF EXISTING TREES.
  - NO CONSTRUCTION MATERIALS OR CONSTRUCTION VEHICLES MAY BE STORED WITHIN THE DRIPLINE/FENCED AREA OF EXISTING TREES.
  - REFER TO SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION NOTES.
  - TREE PRESERVATION FENCE MUST STAY CLEAR OF PUBLIC ACCESS.

**(A) TREE PRESERVATION DETAIL**  
 SCALE: 1/4" = 1'-0"

**TREE REMOVAL AND PROTECTION PLAN**

LAURENJEAN RICE RESIDENCE  
 LAURENJEAN RICE  
 1440 WESTMONT AVENUE  
 CAMPBELL, CA  
 APN: 403-14-072

AGENCY APPROVAL

REVISIONS  
 NO. DATE PURPOSE

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CHECKED: AH

SCALE: 1" = 10'-0"

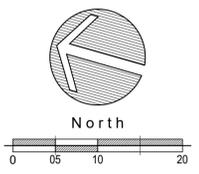
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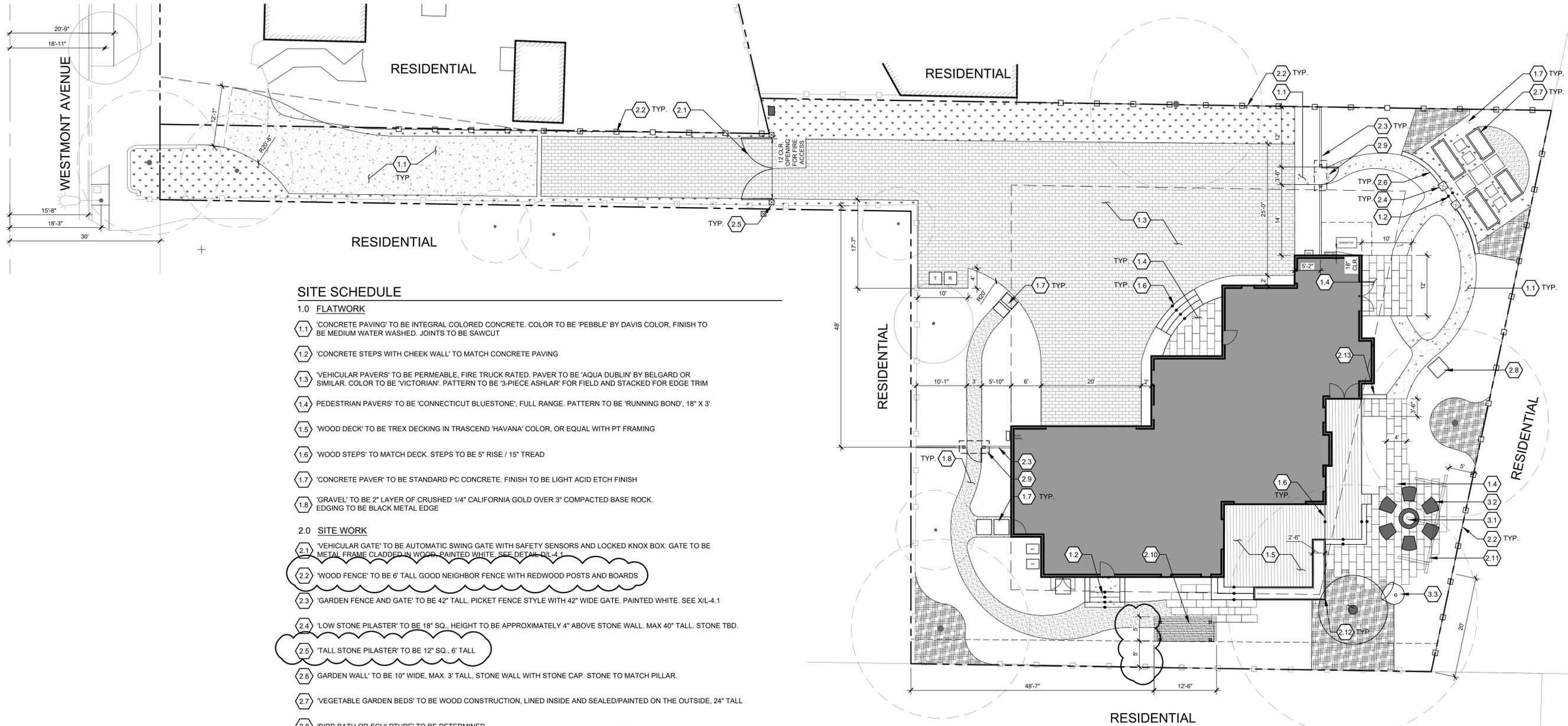
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**TREE REMOVAL AND PROTECTION PLAN**

SHEET

**L-3.0**





**SITE SCHEDULE**

**1.0 FLATWORK**

- 1.1 'CONCRETE PAVING' TO BE INTEGRAL COLORED CONCRETE. COLOR TO BE 'PEBBLE' BY DAVIS COLOR, FINISH TO BE MEDIUM WATER WASHED. JOINTS TO BE SAWCUT
- 1.2 'CONCRETE STEPS WITH CHEEK WALL' TO MATCH CONCRETE PAVING
- 1.3 'VEHICULAR PAVERS' TO BE PERMEABLE, FIRE TRUCK RATED. PAVER TO BE 'AQUA DUBLIN' BY BELGARD OR SIMILAR. COLOR TO BE 'VICTORIAN'. PATTERN TO BE '3-PIECE ASHLAR' FOR FIELD AND STACKED FOR EDGE TRIM
- 1.4 PEDESTRIAN PAVERS TO BE 'CONNECTICUT BLUESTONE', FULL RANGE. PATTERN TO BE 'RUNNING BOND', 18" X 3"
- 1.5 'WOOD DECK' TO BE TREX DECKING IN TRASCEND 'HAVANA' COLOR, OR EQUAL WITH PT FRAMING
- 1.6 'WOOD STEPS' TO MATCH DECK. STEPS TO BE 5" RISE / 15" TREAD
- 1.7 'CONCRETE PAVER' TO BE STANDARD PC CONCRETE. FINISH TO BE LIGHT ACID ETCH FINISH
- 1.8 'GRAVEL' TO BE 2" LAYER OF CRUSHED 1/4" CALIFORNIA GOLD OVER 3" COMPACTED BASE ROCK. EDGING TO BE BLACK METAL EDGE

**2.0 SITE WORK**

- 2.1 'VEHICULAR GATE' TO BE AUTOMATIC SWING GATE WITH SAFETY SENSORS AND LOCKED KNOX BOX. GATE TO BE METAL FRAME CLADDED IN WOOD, PAINTED WHITE. SEE DETAIL DL-4.1
- 2.2 'WOOD FENCE' TO BE 6' TALL GOOD NEIGHBOR FENCE WITH REDWOOD POSTS AND BOARDS
- 2.3 'GARDEN FENCE AND GATE' TO BE 42" TALL, PICKET FENCE STYLE WITH 42" WIDE GATE. PAINTED WHITE. SEE XL-4.1
- 2.4 'LOW STONE PILASTER' TO BE 18" SQ., HEIGHT TO BE APPROXIMATELY 4" ABOVE STONE WALL. MAX 40" TALL. STONE TBD.
- 2.5 'TALL STONE PILASTER' TO BE 12" SQ., 6' TALL
- 2.6 GARDEN WALL TO BE 10" WIDE, MAX. 3' TALL, STONE WALL WITH STONE CAP. STONE TO MATCH PILLAR.
- 2.7 'VEGETABLE GARDEN BEDS' TO BE WOOD CONSTRUCTION, LINED INSIDE AND SEALED/PAINTED ON THE OUTSIDE, 24" TALL
- 2.8 'BIRD BATH OR SCULPTURE' TO BE DETERMINED
- 2.9 'TRELIS A' TO BE DECORATIVE ARBOR OVER GATE. 30 SF COVERAGE (TOTAL OF 2). SEE DETAIL A/L-4.1
- 2.10 'TRELIS B' TO BE FREESTANDING TO SUPPORT DAY BED OR TWO CHAIR SWINGS. PRESSURE TREATED OR REDWOOD CONSTRUCTION. 63 SF COVERAGE. SEE B/L-4.1
- 2.11 'TRELIS C' TO BE FREESTANDING SHADE ARBOR CANTILEVERED FROM 3X3 METAL POSTS. 88 SF COVERAGE. SEE DETAIL CL-4.1
- 2.12 'RAISED PLANTER' TO BE BUILT ON GRADE AND FINISHED TO MATCH HOUSE. HEIGHT TO BE +/-16" ABOVE DECK
- 2.13 'LOW GARDEN WALL' TO BE 10" WIDE, MAX. 16" TALL. STONE WALL WITH STONE CAP. STONE TO MATCH PILLAR

**3.0 SITE FURNISHINGS**

- 3.1 'FIRE PIT' TO BE GAS FED
- 3.2 'SEATING - FIRE PIT AREA' TO BE PROVIDED BY OWNER
- 3.3 'SWING' TO BE PROVIDED BY OWNER

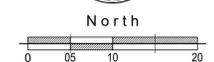
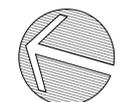
LOT COVERAGE  
REFER TO TABLE ON SHEET A-1.

**SITE LEGEND**

SYMBOL	DESCRIPTION
---	PROPERTY LINE
□	PROPOSED 6' TALL WOOD FENCE
—	EXISTING WOOD FENCE
==	ENTRY FENCE
- - -	BUILDING ENVELOPE SETBACK
○	EXISTING TREE

**HARDSCAPE LEGEND**

SYMBOL	DESCRIPTION
□	CONCRETE PAVING PER NOTE 1.1
▨	VEHICULAR PAVERS PER NOTE 1.3
▩	PEDESTRIAN PAVERS PER NOTE 1.4
▧	WOOD DECK PER NOTE 1.5
▦	GRAVEL PER NOTE 1.8
▤	PLANTING AREA PER PLANTING PLAN, SHEET L-8.0
▥	MULCH ONLY PER PLANTING PLAN, SHEET L-8.0
□	CONCRETE PAVER PER NOTE 1.7



**SITE PLAN**  
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	1	4/9/2024	PLANNING RESUB.

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JOB •

SITE PLAN

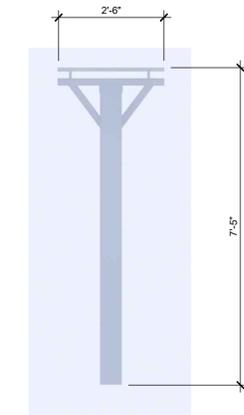
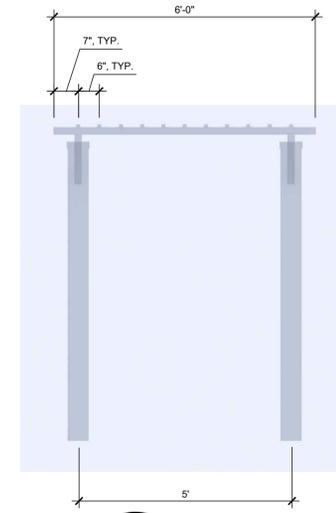
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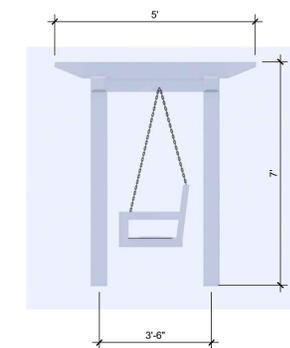
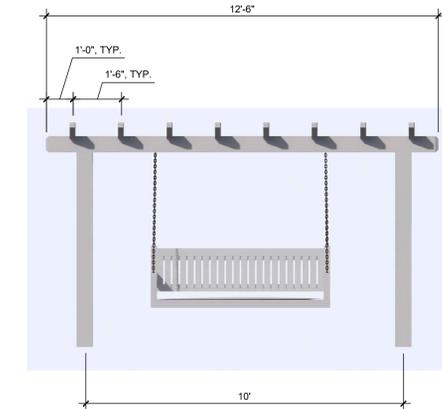


GATE INSTALLATIONS SHALL CONFORM WITH FIRE DEPARTMENT STANDARDS DETAILS AND SPECIFICATIONS D-1 AND WHEN OPEN SHALL NOT OBSTRUCT ANY PORTION OF THE REQUIRED WIDTH OF 12' FOR EMERGENCY ACCESS ROADWAYS OR DRIVEWAYS.  
GATE TO OPERATE ELECTRONICALLY. PROVIDE APPROVED KNOW BOX FOR FIRE ACCESS.

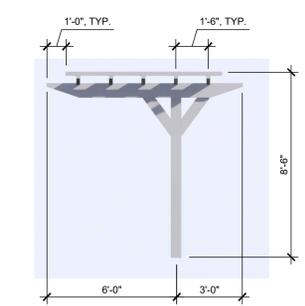
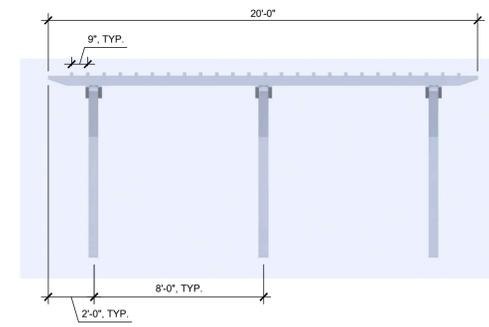
**D ENTRY GATE ELEVATION**  
SCALE: 3/8" = 1'-0"



**A TRELLIS A ELEVATION**  
SCALE: 1/2" = 1'-0"



**B TRELLIS B ELEVATION**  
SCALE: 3/8" = 1'-0"



**C TRELLIS C ELEVATION**  
SCALE: 1/4" = 1'-0"



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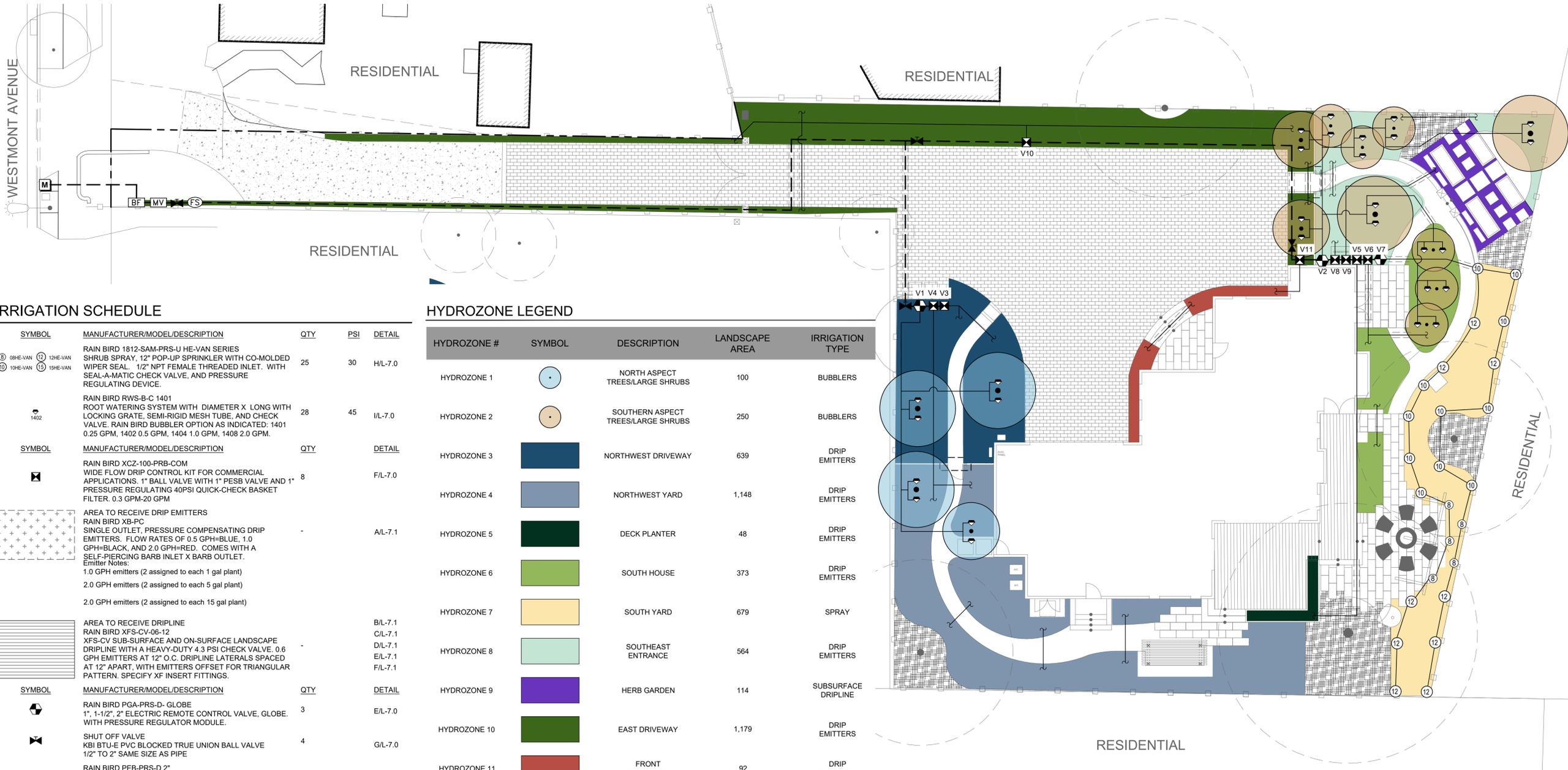
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ELEVATIONS

SHEET

L-4.1



**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	DETAIL
Ⓢ 88HE-VAN 12HE-VAN Ⓢ 10HE-VAN 15HE-VAN	RAIN BIRD 1812-SAM-PRS-U HE-VAN SERIES SHRUB SPRAY, 12" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	25	30	H/L-7.0
1402	RAIN BIRD RWS-B-C 1401 ROOT WATERING SYSTEM WITH DIAMETER X LONG WITH LOCKING GRATE. SEMI-RIGID MESH TUBE. AND CHECK VALVE. RAIN BIRD BUBBLER OPTION AS INDICATED: 1401 0.25 GPM, 1402 0.5 GPM, 1404 1.0 GPM, 1408 2.0 GPM.	28	45	IL-7.0
⊠	RAIN BIRD XCZ-100-PRB-COM WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3 GPM-20 GPM	8		F/L-7.0
+	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5 GPH=BLUE, 1.0 GPH=BLACK, AND 2.0 GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 1.0 GPH emitters (2 assigned to each 1 gal plant) 2.0 GPH emitters (2 assigned to each 5 gal plant) 2.0 GPH emitters (2 assigned to each 15 gal plant)	-		A/L-7.1
	AREA TO RECEIVE DRIPLINE RAIN BIRD XFS-CV-06-12 XFS-CV SUB-SURFACE AND ON-SURFACE LANDSCAPE DRIPLINE WITH A HEAVY-DUTY 4.3 PSI CHECK VALVE. 0.6 GPH EMITTERS AT 12" O.C. DRIPLINE LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. SPECIFY XF INSERT FITTINGS.	-		B/L-7.1 C/L-7.1 D/L-7.1 E/L-7.1 F/L-7.1
⊠	RAIN BIRD PGA-PRS-D- GLOBE 1", 1-1/2", 2" ELECTRIC REMOTE CONTROL VALVE, GLOBE. WITH PRESSURE REGULATOR MODULE.	3		E/L-7.0
⊠	SHUT OFF VALVE KBI BTU-E PVC BLOCKED TRUE UNION BALL VALVE 1/2" TO 2" SAME SIZE AS PIPE	4		G/L-7.0
MV	RAIN BIRD PEB-PRS-D 2" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION. WITH PRESSURE REGULATOR MODULE.	1		D/L-7.0
BF	FEBCO 825Y 3/4" REDUCED PRESSURE BACKFLOW PREVENTER	1		B/L-7.0
C	RAIN BIRD ESP4ME3 WITH (3) ESP-SM3 13 STATION, HYBRID MODULAR OUTDOOR CONTROLLER. FOR RESIDENTIAL OR LIGHT COMMERCIAL USE. LNK WIFI MODULE AND FLOW SENSOR READY.	1		G/L-7.1
FS	CREATIVE SENSOR TECHNOLOGY FSI-T15-001 1.5" (40MM) PVC TEE TYPE FLOW SENSOR W/SOCKET ENDS. CUSTOM MOUNTING TEE AND ULTRA LIGHTWEIGHT IMPELLER ENHANCES LOW FLOW MEASUREMENT. 2 WIRE DIGITAL OUTPUT COMPATIBLE WITH IRRIGATION CONTROLLERS. FLOW RANGE 1.8-108 GPM.	1		D/L-7.0
M	EXISTING WATER METER	1		
---	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	-		
---	IRRIGATION MAINLINE: PVC SCHEDULE 40	-		A/L-7.0
---	PIPE SLEEVE: PVC CLASS 315 SDR 13.5	-		

**HYDROZONE LEGEND**

HYDROZONE #	SYMBOL	DESCRIPTION	LANDSCAPE AREA	IRRIGATION TYPE
HYDROZONE 1	●	NORTH ASPECT TREES/LARGE SHRUBS	100	BUBBLERS
HYDROZONE 2	●	SOUTHERN ASPECT TREES/LARGE SHRUBS	250	BUBBLERS
HYDROZONE 3	■	NORTHWEST DRIVEWAY	639	DRIP EMITTERS
HYDROZONE 4	■	NORTHWEST YARD	1,148	DRIP EMITTERS
HYDROZONE 5	■	DECK PLANTER	48	DRIP EMITTERS
HYDROZONE 6	■	SOUTH HOUSE	373	DRIP EMITTERS
HYDROZONE 7	■	SOUTH YARD	679	SPRAY
HYDROZONE 8	■	SOUTHEAST ENTRANCE	564	DRIP EMITTERS
HYDROZONE 9	■	HERB GARDEN	114	SUBSURFACE DRIPLINE
HYDROZONE 10	■	EAST DRIVEWAY	1,179	DRIP EMITTERS
HYDROZONE 11	■	FRONT ENTRANCE	92	DRIP EMITTERS
HYDROZONE 12	■	MULCHED ONLY AREAS	629	N/A

HYDROZONE	PLANT WATER USE	IRRIGATION METHOD	PLANT FACTOR (PF)	HYDROZONE AREA (SQ. FT.) (HA)	PF X HA (SQ.FT)	IRRIGATION EFFICIENCY (IE)	PF X HA / (IE)
1	MODERATE	BUBBLERS	0.4	100	40	0.81	49.38
2	MODERATE	BUBBLERS	0.4	250	100	0.81	123.46
3	LOW	DRIP	0.3	639	191.7	0.81	236.67
4	MODERATE	DRIP	0.4	1,148	459.2	0.81	566.91
5	MODERATE	DRIP	0.4	48	19.2	0.81	23.70
6	MODERATE	DRIP	0.4	373	149.2	0.81	184.20
7	MODERATE	DRIP	0.4	679	271.6	0.75	362.13
8	MODERATE	DRIP	0.4	564	225.6	0.81	278.52
9	LOW	DRIP	0.3	114	34.2	0.81	42.22
10	MODERATE	DRIP	0.4	1,179	471.6	0.81	582.22
11	MODERATE	DRIP	0.4	92	36.8	0.81	45.43
12	N/A	N/A	0	629	0	N/A	0
TOTALS				5,815			2,494.85

**IRRIGATION STATEMENT**

CONTRACTOR TO PROVIDE AN AUTOMATIC IRRIGATION SYSTEM TO EFFECTIVELY WATER ALL PLANTS SHOWN ON LANDSCAPE PLAN. THE DESIGN OF THE IRRIGATION IMPROVEMENTS SHALL CONSIST OF DRIP IRRIGATION AND LOW FLOW ROTARY NOZZLES THAT WILL SUFFICIENTLY IRRIGATE THE PROPOSED PLANT MATERIAL IN COMPLIANCE WITH CALIFORNIA'S UPDATED MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AB 1881 AND CITY OF WATSONVILLE REQUIREMENTS. HYDROZONES WILL BE DESIGNATED BASED ON SOLAR EXPOSURE, PLANT WATER REQUIREMENTS, SOIL TYPE, AND MICROCLIMATES.

**WATER USE CALCULATION**

$$MAWA = (E_{to}) (0.62) [(0.55 \times LA) + (0.3 \times SLA)]$$

$$= (45.3) (0.62) [(0.55 \times 5,815) + (0.3 \times 0)]$$

$$= (28.09)(3,198.25)$$

$$= 89,838.84$$

$$ETWU = (E_{to}) (0.62) [(PF \times HA) / IE + SLA]$$

$$= (45.3) (0.62) [2,494.85 + 0]$$

$$= (28.09)(2,494.85)$$

$$= 70,080.34$$

**MAWA = 89,838.84 GAL/YEAR**  
**ETWU = 70,080.34 GAL/YEAR**



**IRRIGATION PLAN**  
 LAURENJEAN RICE RESIDENCE  
 LAURENJEAN RICE  
 1440 WESTMONT AVENUE  
 CAMPBELL, CA  
 APN: 403-14-072

AGENCY APPROVAL

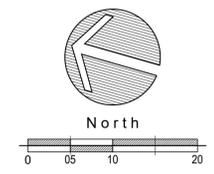
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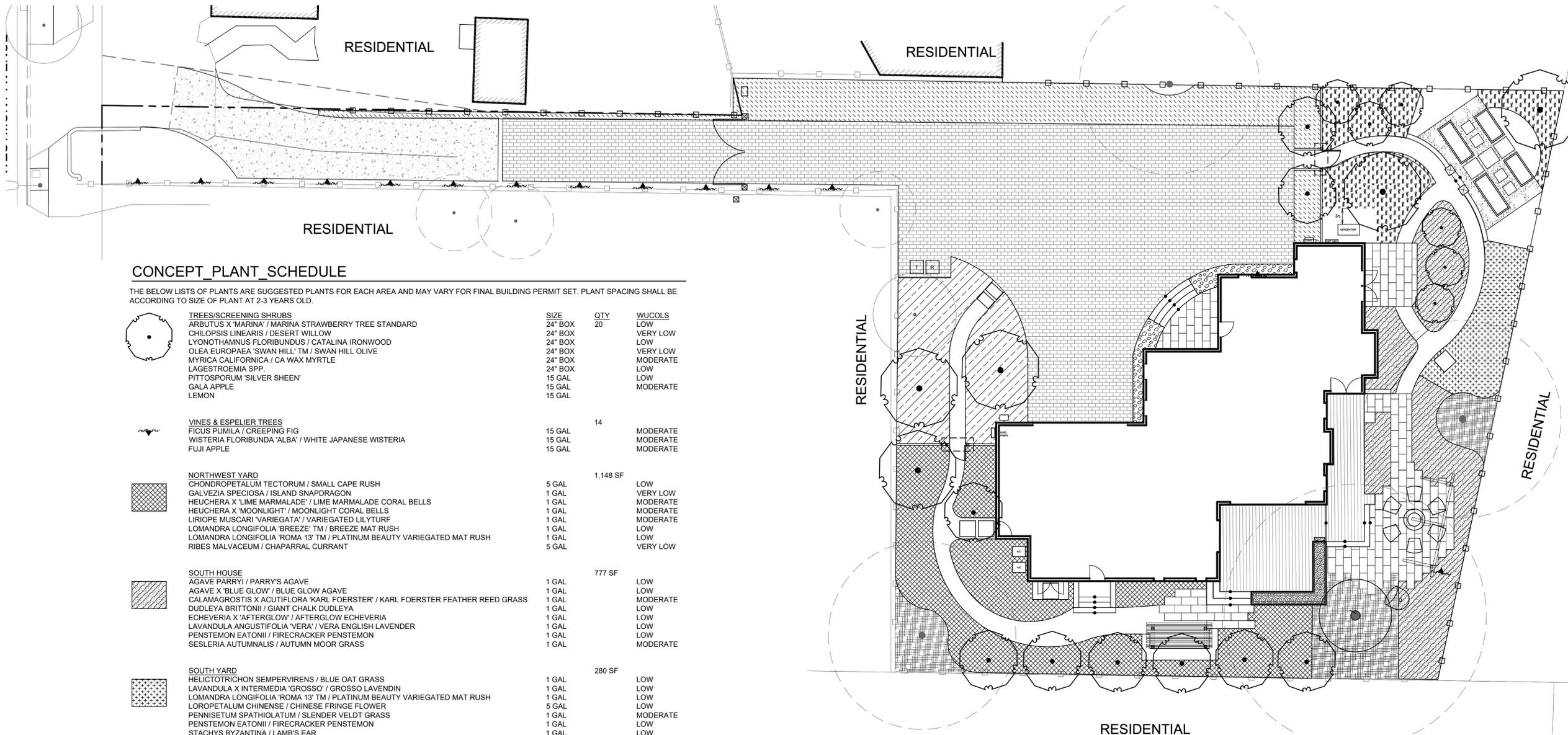
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**IRRIGATION PLAN**

SHEET

**L-5.0**





LANDSCAPE ARCHITECTS

303 potrero street, suite 40-c  
santa cruz, ca 95060  
p: 831.459.0455  
f: 831-459-0484

www.ssala.com  
cra no. 2805



**CONCEPT\_PLANT\_SCHEDULE**

THE BELOW LISTS OF PLANTS ARE SUGGESTED PLANTS FOR EACH AREA AND MAY VARY FOR FINAL BUILDING PERMIT SET. PLANT SPACING SHALL BE ACCORDING TO SIZE OF PLANT AT 2-3 YEARS OLD.

TREES/SCREENING SHRUBS	SIZE	QTY	WUCOLS
ARBUTUS X 'MARINA' / MARINA STRAWBERRY TREE STANDARD	24" BOX	20	LOW
CHILOPSIS LINEARIS / DESERT WILLOW	24" BOX		VERY LOW
LYONOTHAMNUS FLORIBUNDUS / CATALINA IRONWOOD	24" BOX		LOW
OLEA EUROPAEA 'SWAN HILL' TM / SWAN HILL OLIVE	24" BOX		VERY LOW
MYRICA CALIFORNICA / CA WAX MYRTLE	24" BOX		MODERATE
LAGESTROEMIA SPP.	24" BOX		LOW
PITTIOSPORUM 'SILVER SHEEN'	15 GAL		LOW
GALA APPLE	15 GAL		MODERATE
LEMON	15 GAL		
<b>VINES &amp; ESPELIER TREES</b>			
FICUS PUMILA / CREEPING FIG	15 GAL	14	MODERATE
WISTERIA FLORIBUNDA 'ALBA' / WHITE JAPANESE WISTERIA	15 GAL		MODERATE
FUJI APPLE	15 GAL		MODERATE
<b>NORTHWEST YARD</b>			
CHONDRPETALUM TECTORUM / SMALL CAPE RUSH	5 GAL	1,148 SF	LOW
GALVEZIA SPECIOSA / ISLAND SNAPDRAGON	1 GAL		VERY LOW
HEUCHERA X 'LIME MARMALADE' / LIME MARMALADE CORAL BELLS	1 GAL		MODERATE
HEUCHERA X 'MOONLIGHT' / MOONLIGHT CORAL BELLS	1 GAL		MODERATE
LIRIOPE MUSCARI 'VARIEGATA' / VARIEGATED LILYTURF	1 GAL		MODERATE
LOMANDRA LONGIFOLIA 'BREEZE' TM / BREEZE MAT RUSH	1 GAL		LOW
LOMANDRA LONGIFOLIA 'ROMA 13' TM / PLATINUM BEAUTY VARIEGATED MAT RUSH	1 GAL		LOW
RIBES MALVACEUM / CHAPARRAL CURRANT	5 GAL		VERY LOW
<b>SOUTH HOUSE</b>			
AGAVE PARRYI / PARRY'S AGAVE	1 GAL	777 SF	LOW
AGAVE X 'BLUE GLOW' / BLUE GLOW AGAVE	1 GAL		LOW
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	1 GAL		MODERATE
DUDLEYA BRITTONII / GIANT CHALK DUDLEYA	1 GAL		LOW
ECHEVERIA X 'AFTERGLOW' / AFTERGLOW ECHEVERIA	1 GAL		LOW
LAVANDULA ANGUSTIFOLIA 'VERA' / VERA ENGLISH LAVENDER	1 GAL		LOW
PENSTEMON EATONII / FIRECRACKER PENSTEMON	1 GAL		LOW
SESLERIA AUTUMNALIS / AUTUMN MOOR GRASS	1 GAL		MODERATE
<b>SOUTH YARD</b>			
HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL	280 SF	LOW
LAVANDULA X INTERMEDIA 'GROSSO' / GROSSO LAVENDIN	1 GAL		LOW
LOMANDRA LONGIFOLIA 'ROMA 13' TM / PLATINUM BEAUTY VARIEGATED MAT RUSH	1 GAL		LOW
LOROPETALUM CHINENSE / CHINESE FRINGE FLOWER	5 GAL		LOW
PENNISETUM SPATHIOLATUM / SLENDER VELD T GRASS	1 GAL		MODERATE
PENSTEMON EATONII / FIRECRACKER PENSTEMON	1 GAL		LOW
STACHYS BYZANTINA / LAMB'S EAR	1 GAL		LOW
<b>SOUTHEAST ENTRANCE</b>			
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	1 GAL	565 SF	MODERATE
CHONDRPETALUM TECTORUM / SMALL CAPE RUSH	5 GAL		LOW
HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL		LOW
ROSA X 'NOASCHNEE' TM / FLOWER CARPET WHITE GROUNDCOVER ROSE	1 GAL		MODERATE
SALVIA APIANA / WHITE SAGE	1 GAL		VERY LOW
SALVIA CLEVELANDII 'ALLEN CHICKERING' / ALLEN CHICKERING CLEVELAND SAGE	1 GAL		LOW
SALVIA GREGGII / AUTUMN SAGE	1 GAL		LOW
TEUCRIUM CHAMAEDRYIS / GERMANDER	1 GAL		LOW
<b>EAST DRIVEWAY</b>			
AGAVE PARRYI / PARRY'S AGAVE	1 GAL	1,083 SF	LOW
AGAVE X 'BLUE GLOW' / BLUE GLOW AGAVE	1 GAL		LOW
ALOE X 'BLUE ELF' / BLUE ELF ALOE	1 GAL		LOW
Buddleja Davidii / BUTTERFLY BUSH	5 GAL		MODERATE
GREVILLEA X 'ROBYN GORDON' / ROBYN GORDON GREVILLEA	5 GAL		LOW
HEUCHERA MAXIMA / ISLAND ALUM ROOT	1 GAL		MODERATE
ILEX VOMITORIA / YALPORN HOLLY	1 GAL		LOW
MUHLENBERGIA X 'PINK FLAMINGO' / PINK FLAMINGO MUHLY	1 GAL		LOW
PENNISETUM SPATHIOLATUM / SLENDER VELD T GRASS	1 GAL		MODERATE
ROSMARINUS OFFICINALIS / ROSEMARY	5 GAL		LOW
SALVIA APIANA / WHITE SAGE	1 GAL		LOW
SALVIA CLEVELANDII 'POZO BLUE' / POZO BLUE CLEVELAND SAGE	5 GAL		LOW
VERBENA BONARIENSIS / TALL VERBENA	1 GAL		VERY LOW
<b>NORTHWEST DRIVEWAY</b>			
AGAVE PARRYI / PARRY'S AGAVE	1 GAL	639 SF	LOW
AGAVE X 'BLUE GLOW' / BLUE GLOW AGAVE	1 GAL		LOW
ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' / HOWARD MCMINN VINE HILL MANZANITA	5 GAL		LOW
CEANOTHUS X 'CONCHA' / CONCHA WILD LILAC	5 GAL		LOW
GREVILLEA X 'ROBYN GORDON' / ROBYN GORDON GREVILLEA	5 GAL		LOW
MUHLENBERGIA LINDHEIMERI / LINDHEIMER'S MUHLY	1 GAL		LOW
<b>FRONT ENTRANCE</b>			
CHONDRPETALUM TECTORUM / SMALL CAPE RUSH	1 GAL	92 SF	LOW
HEUCHERA X 'LIME MARMALADE' / LIME MARMALADE CORAL BELLS	1 GAL		MODERATE
PENNISETUM SPATHIOLATUM / SLENDER VELD T GRASS	1 GAL		MODERATE
<b>DECK PLANTER</b>			
HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL	48 SF	LOW
HEUCHERA X 'LIME MARMALADE' / LIME MARMALADE CORAL BELLS	1 GAL		MODERATE
HEUCHERA X 'MOONLIGHT' / MOONLIGHT CORAL BELLS	1 GAL		MODERATE
LOMANDRA LONGIFOLIA 'BREEZE' TM / BREEZE MAT RUSH	1 GAL		LOW
SENECIO MANDRALISCAE / BLUE FINGERS	1 GAL		LOW
<b>HERB GARDEN</b>			
THYMUS SERPYLLUM / CREEPING THYME	1 GAL	114 SF	LOW
<b>MULCH ONLY</b>			
		629 SF	

**PLANTING NOTES**

- PLANT COUNTS SHOWN ARE FOR BIDDING REFERENCE ONLY. CONTRACTOR SHALL SUPPLY ALL PLANTS REQUIRED TO FULFILL DESIGN INTENT AS SHOWN. ADDITIONALLY, IF A GROUND COVER SYMBOL OR PATTERN IS SHOWN STOPPING AT THE EDGE OF A TREE OR SHRUB CANOPY SYMBOL, THE INTENT IS THAT THE GROUND COVER CONTINUE UNDERNEATH THE CANOPY SYMBOL(S) TO PROVIDE AN EVENLY COVERED GROUND PLANE.
- CONTRACTOR SHALL PROTECT AND MAINTAIN ALL PLANT MATERIAL FROM THE TIME OF DELIVERY TO THE TIME OF PROJECT ACCEPTANCE. THE OWNER SHALL NOT BE RESPONSIBLE FOR LOSSES DUE TO VANDALISM, THEFT, OR SEVERE WEATHER.
- CONTRACTOR SHALL PLACE PLANT MATERIALS SO THEY DO NOT INTERFERE WITH IRRIGATION SYSTEM OR INHIBIT REQUIRED COVERAGE. PLANT LOCATIONS MAY BE ADJUSTED AS LONG AS DESIGN IS NOT ALTERED SIGNIFICANTLY. CONTRACTOR SHALL SET OUT PLANT MATERIAL IN THEIR CONTAINERS AS SHOWN AND RECEIVE ACCEPTANCE FROM PROJECT MANAGER WITH RESPECT TO PLANT HEALTH/APPEARANCE AND LOCATION PRIOR TO INSTALLATION. CONTRACTOR SHALL GIVE A MINIMUM OF 2 WORKING DAY NOTICE FOR INSPECTION/OBSERVATION AND SHALL HAVE ALL MATERIAL IN SPECIFIED LOCATIONS FOR REVIEW AT ONE TIME.
- ALL NON-TURF PLANTING AREAS SHALL RECEIVE A PRE-EMERGENT HERBICIDE TREATMENT AND A 3" LAYER OF MAHOGANY COLOR PRO CHIP MULCH TOP DRESS (1-3" PIECES-SUBMIT SAMPLES) AVAILABLE AT SOUTH BAY MATERIALS, SAN JOSE. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL PLANTING AREAS SHALL BE MAINTAINED IN A WEED FREE CONDITION UNTIL PROJECT ACCEPTANCE.
- PLANTS CAN BE INSPECTED AND REJECTED UPON DELIVERY.
- ALL SHRUBS TO BE 5 GALLON PER CITY REQUIREMENTS. SEE BELOW NOTE FOR SHRUBS.

SHRUBS		
ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' / HOWARD MCMINN VINE HILL MANZANITA	5 GAL	LOW
Buddleja Davidii / BUTTERFLY BUSH	5 GAL	MODERATE
CEANOTHUS X 'CONCHA' / CONCHA WILD LILAC	5 GAL	LOW
CHONDRPETALUM TECTORUM / SMALL CAPE RUSH	5 GAL	MODERATE
GREVILLEA X 'ROBYN GORDON' / ROBYN GORDON GREVILLEA	5 GAL	LOW
ILEX VOMITORIA / YALPORN HOLLY	5 GAL	LOW
LOROPETALUM CHINENSE / CHINESE FRINGE FLOWER	5 GAL	LOW
ROSMARINUS OFFICINALIS / ROSEMARY	5 GAL	LOW
RIBES MALVACEUM / CHAPARRAL CURRANT	5 GAL	VERY LOW

**WELO NOTES**

- A HORTICULTURAL SOIL ANALYST TEST SHALL BE CONDUCTED AT A MINIMUM OF (3) LOCATIONS THROUGHOUT THE PROJECT SITE, IN ADDITION TO AN ANALYSIS OF ANY TOP SOIL IMPORTED TO PROJECT PLANTING AREAS. CONTRACTOR TO FOLLOW AMENDMENT RECOMMENDATIONS FROM A QUALIFIED SOILS LABORATORY BASED ON TEST RESULTS.
- SOIL AMENDMENT AND COMPOST TO BE ADDED TO PLANTING AREAS AT A RATE OF 4 CUBIC YARDS PER 1,000 SF. INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- A MINIMUM (3") LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS. REFER TO PLANTING PLAN FOR MULCH SPECIFICATION.
- REFER TO CIVIL IMPROVEMENT PLANS FOR PLANTING AREA GRADING.
- A LANDSCAPE IRRIGATION AUDIT SHALL BE CONDUCTED BY EITHER A LOCAL AGENCY LANDSCAPE IRRIGATION AUDITOR OR A THIRD PARTY LANDSCAPE IRRIGATION AUDITOR PER THE CITY OF CAMPBELL WATER EFFICIENT LANDSCAPE ORDINANCE.
- LANDSCAPE CONTRACT TO INSTALL THIS IRRIGATION SYSTEM PER PLAN AND PER ALL REQUIREMENTS OF THE CITY OF CAMPBELL WATER EFFICIENT LANDSCAPE ORDINANCE.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

X

**PLANTING PLAN**

LAURENJEAN RICE RESIDENCE  
LAURENJEAN RICE  
1440 WESTMONT AVENUE  
CAMPBELL, CA  
APN: 403-14-072

AGENCY APPROVAL

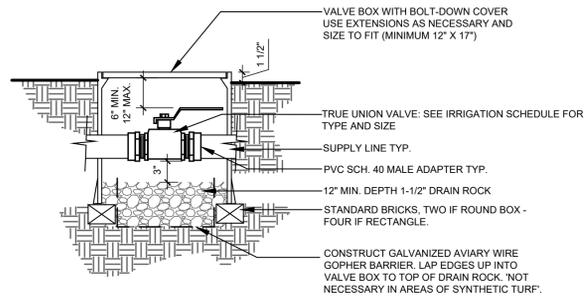
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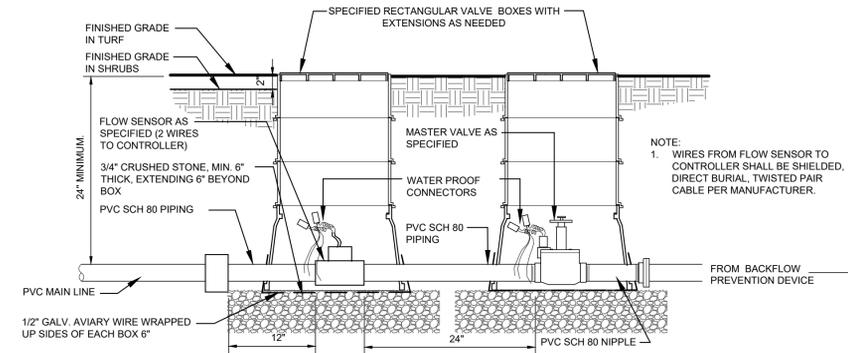
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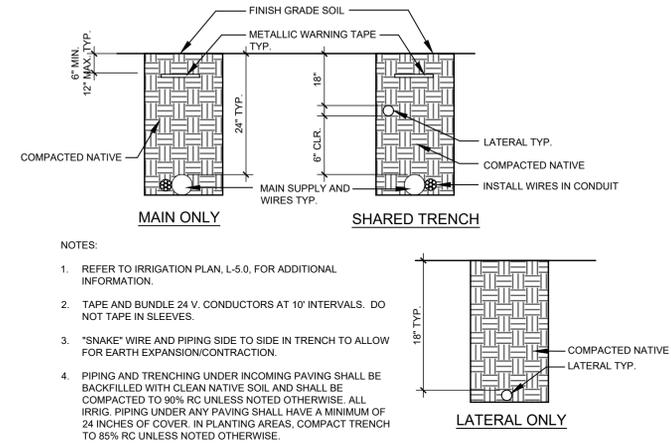
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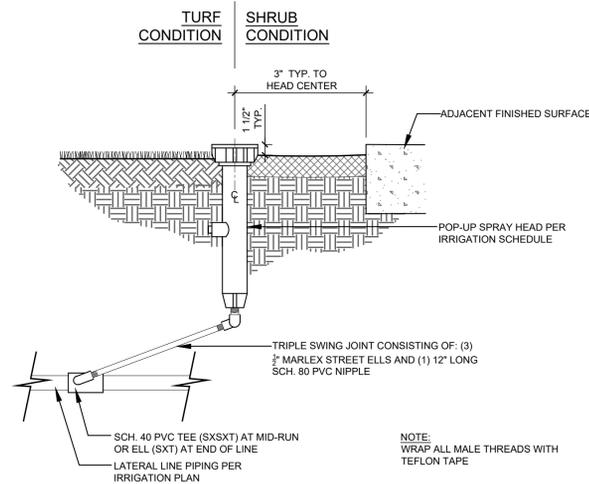
**G BALL VALVE**  
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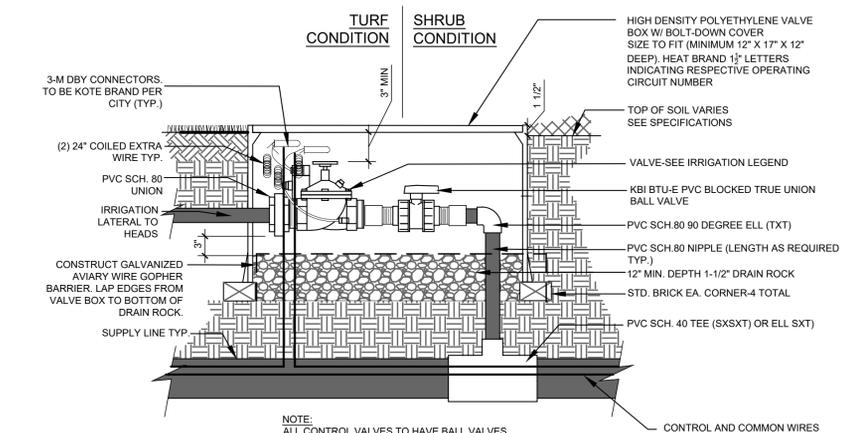
**D MASTER CONTROL VALVE & FLOW SENSOR ASSEMBLY**  
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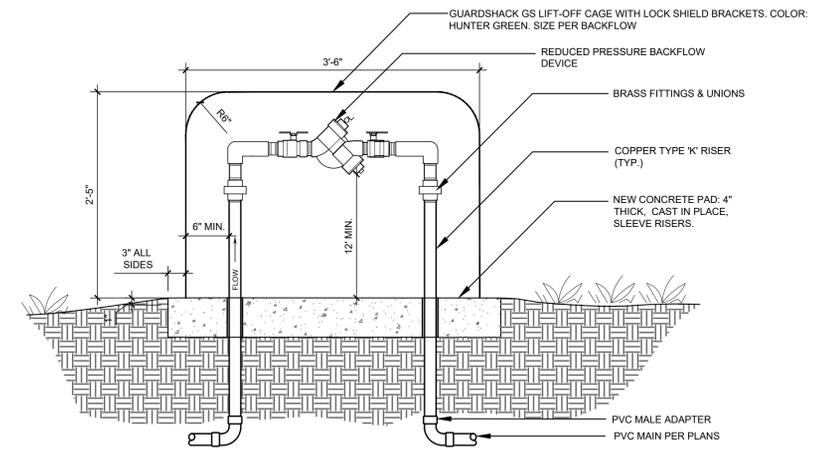
**A PIPE TRENCHING**  
SCALE: N.T.S.



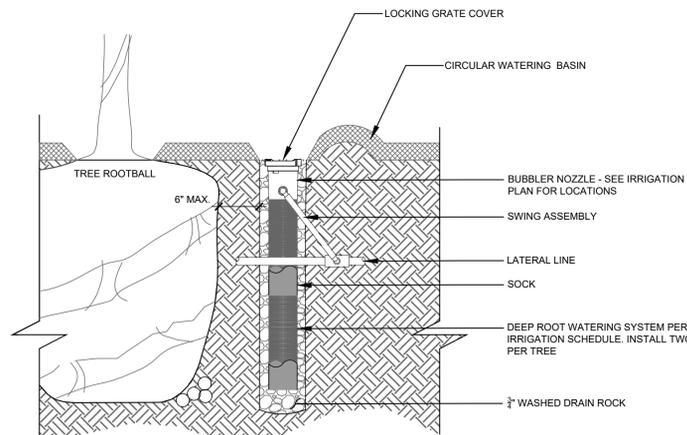
**H POP-UP SPRAY HEAD**  
SCALE: 1" = 1'-0"



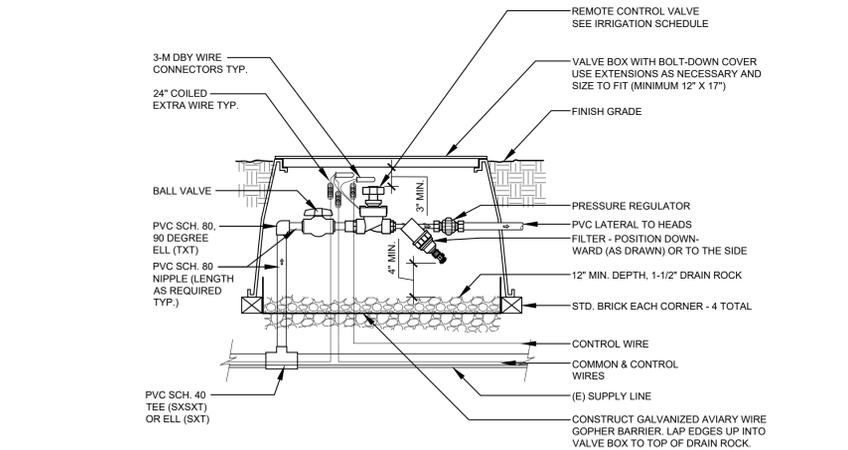
**E REMOTE CONTROL VALVE**  
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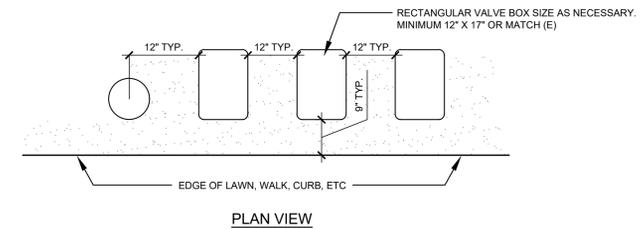
**B BACKFLOW PREVENTER**  
SCALE: 1" = 1'-0"



**I TREE BUBBLER**  
SCALE: N.T.S.



**F DRIP ZONE REMOTE CONTROL VALVE KIT**  
SCALE: N.T.S.



**C VALVE BOX LAYOUT**  
SCALE: N.T.S.

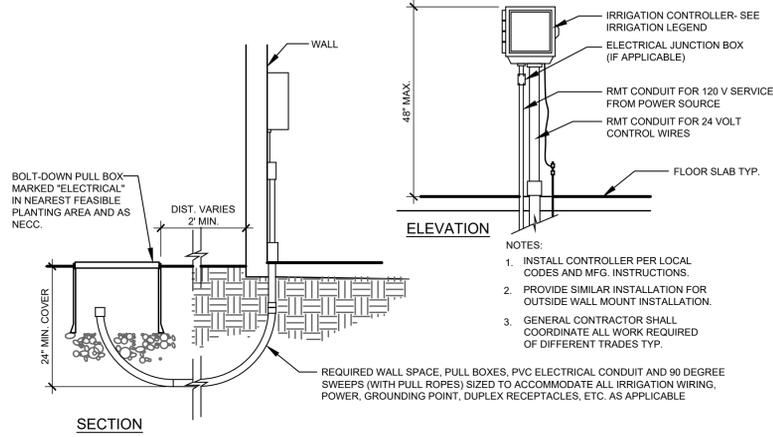
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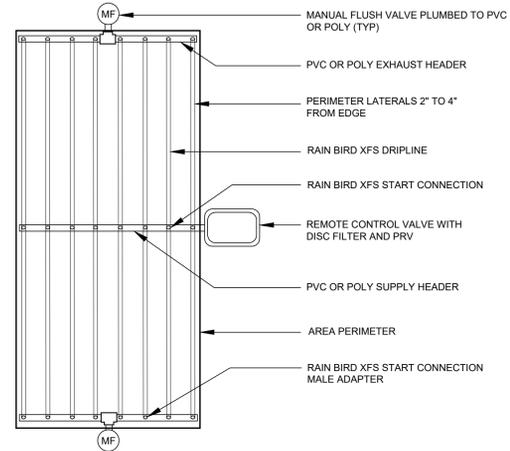
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LANDSCAPE DETAILS

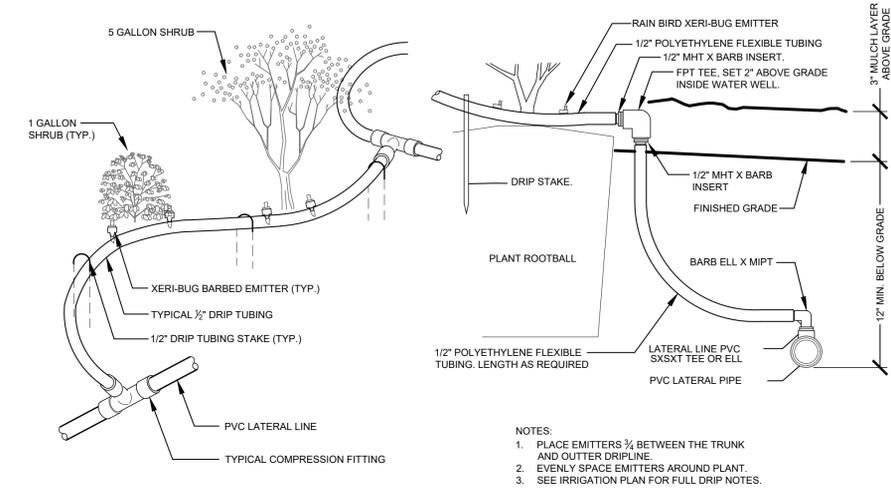
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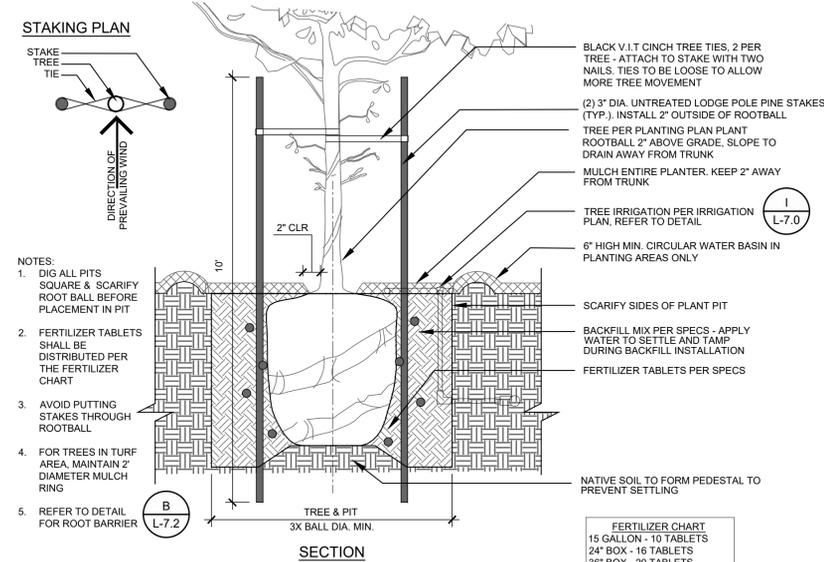
**G** WALL MOUNT CONTROLLER  
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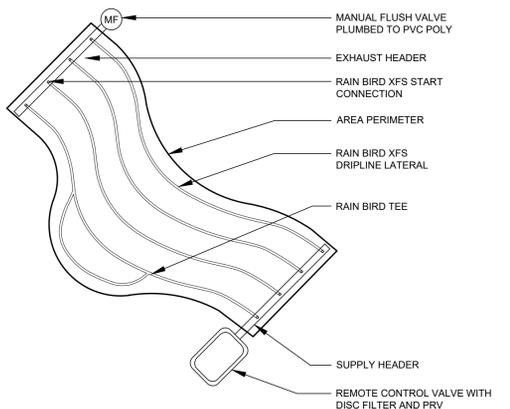
**D** RAIN BIRD XFS CENTER FEED LAYOUT  
SCALE: NTS



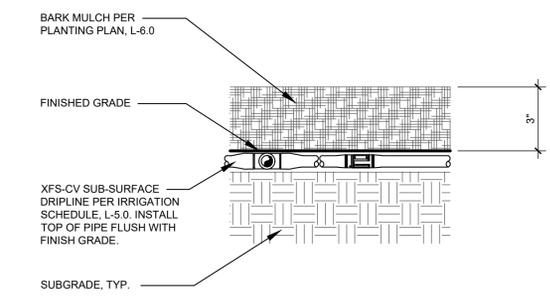
**A** TYPICAL DRIP TUBING LAYOUT  
SCALE: NTS



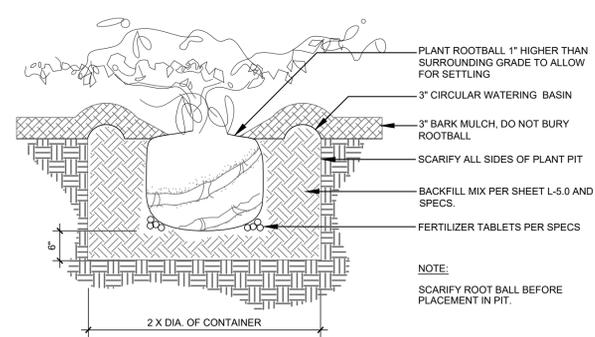
**H** TREE PLANTING  
SCALE: N.T.S.



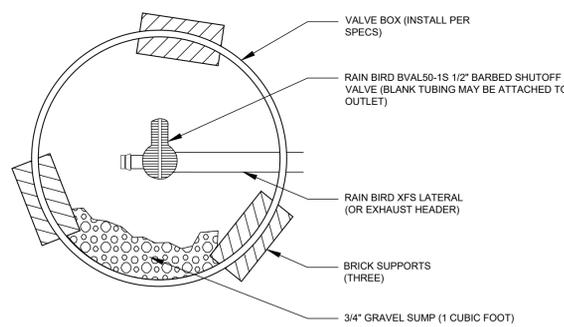
**E** RAIN BIRD XFS IRREGULAR AREAS LAYOUT  
SCALE: NTS



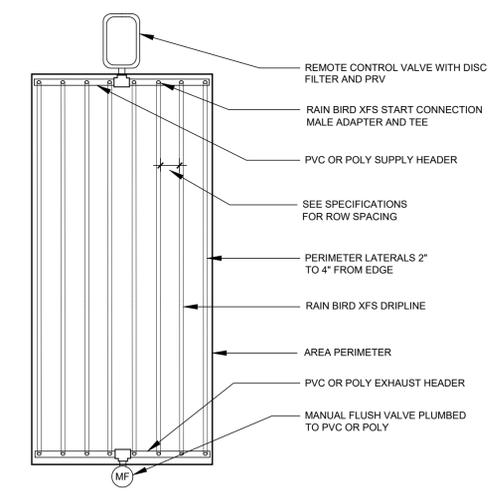
**B** DRIP TUBING INSTALLATION  
SCALE: NTS



**I** SHRUB PLANTING  
SCALE: N.T.S.



**F** RAIN BIRD XFS MANUAL LINE FLUSH VALVE  
SCALE: NTS



**C** RAIN BIRD XFS END FEED LAYOUT  
SCALE: NTS

**SSA**  
LANDSCAPE ARCHITECTS  
303 potrero street, suite 40-c  
santa cruz, ca 95060  
p: 831.459.0455  
f: 831-459-0484  
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LICENSED LANDSCAPE ARCHITECT  
STEPHEN ROBERT BUTTERLAND  
No. 2805  
Exp. 1-31-26  
STATE OF CALIFORNIA

LANDSCAPE DETAILS  
LAURENJEAN RICE RESIDENCE  
LAURENJEAN RICE  
1440 WESTMONT AVENUE  
CAMPBELL, CA  
APN: 403-14-072

AGENCY APPROVAL

REVISIONS	NO.	DATE	PURPOSE

DRAWN BY: RT  
CHECKED BY: AH  
SCALE: AS SHOWN  
DATE: \*  
JOB: \*

LANDSCAPE DETAILS

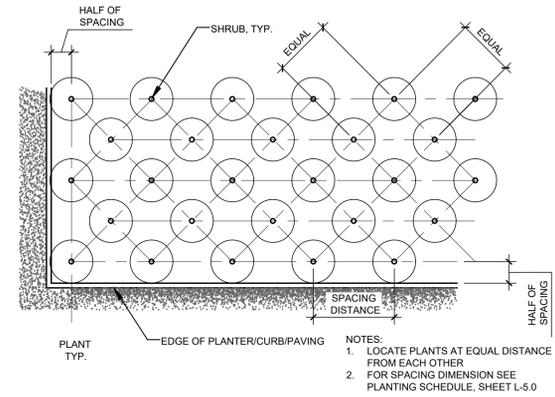
SHEET



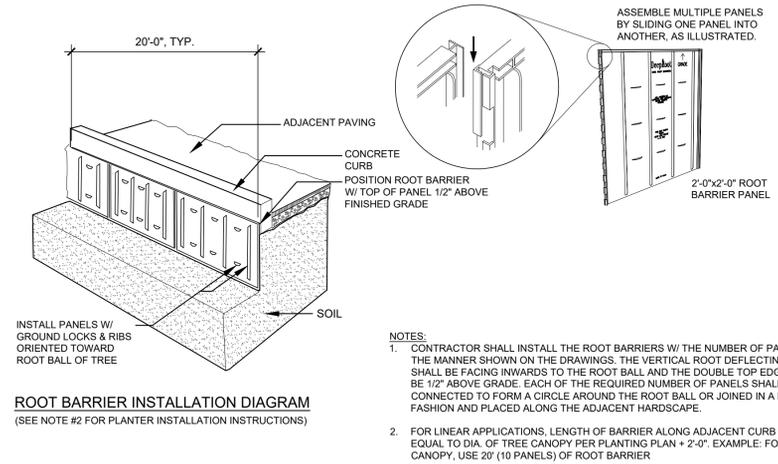
LANDSCAPE ARCHITECTS

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**A** GROUNDCOVER AND SHRUB SPACING  
SCALE: N.T.S.



**B** ROOT BARRIER  
SCALE: N.T.S.

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AGENCY APPROVAL

REVISIONS  
NO. DATE PURPOSE

DRAWN BY \* RT  
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DATE \*  
JOB \*

LANDSCAPE DETAILS

SHEET

L-7.2