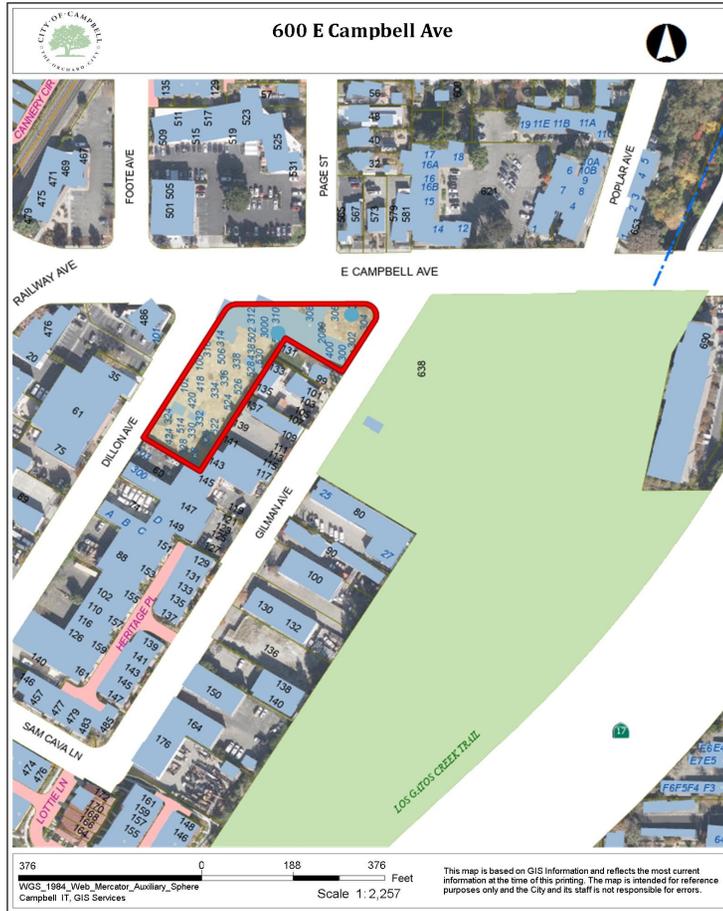


Location of Proposed Project




 City of Campbell
 70 North First Street
 Campbell, CA 95008 –1423

Project Image



Courtesy Notice

Dear Campbell Resident,

January 24, 2025

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 600 E Campbell Avenue
Zoning | Area Plan: CB-MU | East Campbell Avenue Master Plan
Neighborhood Association(s): Downtown Campbell Neighborhood Association
Council District: 2
File No.: PLN-2025-3
APN: 412-09-031
Applicant: Cresleigh Homes c/o Jeremy Lui
Property Owner: Campbell Park Development LLC
Application Type: Minor Housing Development Project Permit, Tentative Subdivision Map, and Density Bonus
Project Planner: Daniel Fama, Senior Planner
Email Contact: danielf@campbellca.gov
Phone Contact: (408) 866-2193

Project Description:

To allow the construction of a 90-unit housing development project, consisting of a 5- and 6-story mixed use building with approximately 5,000 square-feet of ground-floor retail space and 2-levels of podium parking providing 111 vehicular parking spaces and 112 bicycle parking spaces.

Note: Project may include an option to increase the unit count to 108 units—within the proposed building envelope—in accordance with Housing Element Program H-1M.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.

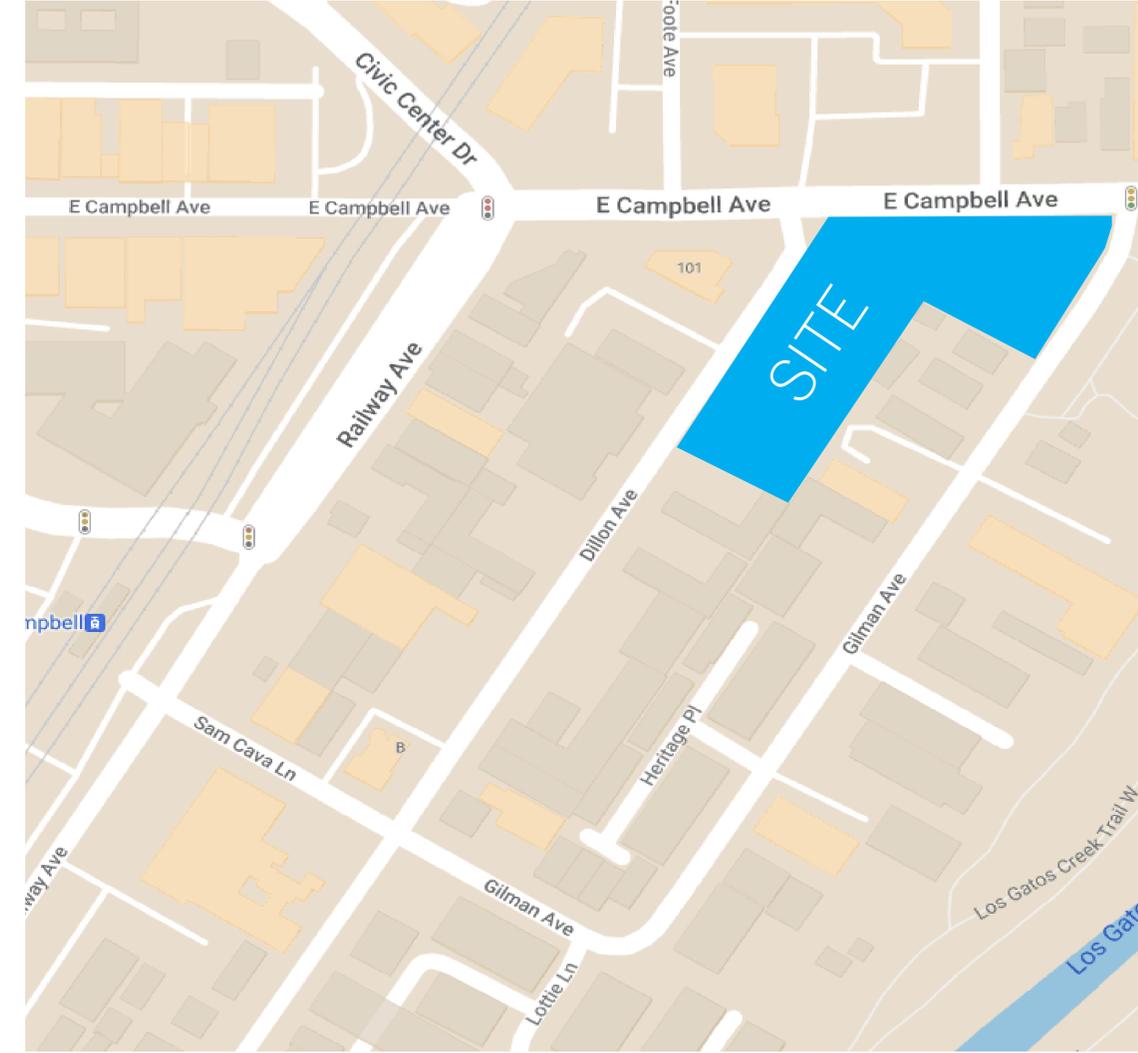


- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español





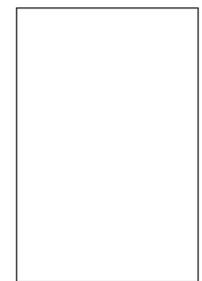
EAST CAMPBELL APARTMENTS

Campbell, CA

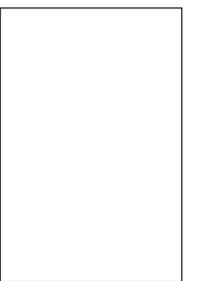
ENTITLEMENT PACKAGE

PROJECT NO. 1193-0012

January 6, 2025



CITY APPROVALS



CITY APPROVALS

PROJECT DESCRIPTION

Project Narrative: Mixed-Use Multi-Family Development in Campbell, California

This project is a proposed mixed-use multi-family development located in the heart of Campbell, California, within the Central Business Mixed-Use General Plan. Set on a one-acre site bordered by East Campbell Avenue, Dillon Avenue, and Gilman Avenue, the development offers 90 residential units and retail space at the prominent corner of East Campbell and Gilman Avenues. The proposal leverages a new city ordinance to increase density, resulting in a proposed density of 90 dwelling units per acre.

The project is designed to support a vibrant, pedestrian-friendly urban environment. The ground floor is activated by double-height retail space and a main residential lobby with a striking double-height entrance located at the corner of East Campbell Avenue and Dillon Avenue. The building amenities include a fitness center, mail room, leasing office, roof terrace, and clubhouse to serve the resident's needs.

Parking is provided through a two-level garage accessible from Dillon and Gilman Avenues, with 111 car parking spaces and 112 bike parking spaces, supporting sustainable transportation options. To maintain the building's aesthetic continuity, garage openings on Dillon Avenue are designed to echo the residential windows above, blending the parking structure seamlessly into the building's overall design.

Architectural Character and Materiality

The building's architectural style harmonizes with the existing character of Campbell, showcasing a blend of Spanish Colonial Revival and contemporary design elements. To respect the surrounding architecture and enhance the pedestrian experience, the building massing follows a base-middle-top hierarchy, with textured and colorful base materials that add depth and visual interest at street level.

The north-east portion of the building draws inspiration from the Spanish Colonial Revival style seen in Campbell's Heritage Theatre, with a warmer material palette and one-story reduction in height. This section includes light-colored, cream thin brick, wood-look beams, and light bronze metal accents, creating a traditional yet inviting aesthetic.

The southwest portion of the project takes on a contemporary character, with a cooler material palette and rectilinear design. This part of the structure incorporates painted plaster, tile, and light bronze metal awnings to create a cohesive, yet distinct, architectural language. Both sections maintain a rhythmic massing that integrates seamlessly across the project.

Neighborhood Context and Compatibility

The surrounding area primarily consists of 1-2 story commercial uses, with two adjacent parcels currently occupied by single-family homes slated for redevelopment into townhomes by a separate developer. This development respects the context by thoughtfully scaling its height and massing, transitioning from the Spanish-inspired design to a contemporary form, ensuring compatibility with both the existing and future neighborhood fabric.

Construction and Zoning

The building is designed as four levels of Type VA construction over two levels of Type IA, consistent with the C-PD (Condominium Planned Development) zoning requirements. This construction approach allows for the efficient use of space, ensuring durability and quality while supporting the high-density residential model encouraged within the Central Business Mixed-Use General Plan.

In summary, this mixed-use development reflects the values of Campbell's urban vision, offering quality housing, dynamic retail space, and architectural design that respects and enhances the local character.

PROJECT TEAM

Owner:

Cresleigh Homes
3001 Douglas Blvd., Suite 110
Roseville, CA 95661

Attn: Kevin Meier
Tel: (916) 781-6020
Cell: (916) 755-2589
Email: kmeier@cresleigh.com

Architect:

LPAS, Inc.
723 S Street
Sacramento, CA 95811

Attn: Chris Kelly
Tel: (916) 443-0335
Email: ckelly@lpas.com

Landscape Architect:

The Guzzardo Partnership Inc.
Pier 9, Suite 115
San Francisco, CA 94111

Attn: Kurt Culver
Tel: (415) 433-4672
Email: kculver@tgp-inc.com

Civil Engineer:

Kier+Wright
3350 Scott Boulevard, Bldg 22
Santa Clara, CA 95054

Attn: Mark Knudsen
Tel: (408) 727-6665
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Email: mknudsen@kierwright.com

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CIVIL

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TRANSECT ZONE REQUIREMENTS:	T4 MAIN STREET (T4MS)	PROPOSED PROJECT	COMPLIANCE NOTES
1. INTENT	Allowable Frontage Types Dooryard (Side Street Only) Forecourt Common Entry Shopfront Gallery	Common Entry	
2. SUB-ZONES	Not Used		
3. BUILDING SIZE AND DESIGN SITE SIZE	BUILDING FOOTPRINT STANDARDS: Width max per building: No Max Depth max per building: No Max On-Site private or common open space: 50 SF per unit min. Lot coverage: 95 %	Varies 101'-8" 305 SF per unit min. 87% Lot Net Area: 43,492 SF Lot Coverage Area: 37,722 SF	Complies Complies Complies
DESIGN SITE SIZE STANDARDS:	Width: 25 Ft. (Min) Depth: No Min.	Varies Varies	Complies Complies
4. BUILDING FORM	BUILDING HEIGHT: Primary Building Stories: 4 Stories (Max) Height to Top Plate: 47 Ft. (Max) Height Overall: 57 Ft. (Max) Ground Floor Finish Level: Residential: 6 in. (Min) Non-Residential: 6 in. (Max) Floor to floor (Ground Floor): Residential: 12 Feet (Min) Non-Residential: 12 Feet (Min)	6 Stories 70'-0" 75'-0" 6 in. 0 in. 12' 20'-0"	Complies Complies Complies Complies Complies Complies
5. BUILDING PLACEMENT	SETBACKS: Primary Building Front (Façade Zone): 2 Ft. (Min) Interior Design Site: 2 Ft. (Max) Corner Design Site: 2 Ft. (Min) Side Street (Façade Zone): 2 Ft. (Min) Side: 0 Ft. (Min) Rear: 10 Ft. 0 Ft. Min. where abutting T4MS	2'-0" 2'-0" 2'-0" 2'-0" 5'-0" 10'-2 1/2" or 10'-0"	Complies Complies Complies Complies Complies Complies
BUILDING FAÇADE:	Façade Zone: Front Street: 80% Min Side Street: 70% Min	92 % 95 %	Complies Complies
GROUND FLOOR	Depth of ground-floor habitable space: 30 Ft. (Min) 85% of façade length	<62%	Complies Complies
6. ENCROACHMENTS	ENCROACHMENTS INTO MINIMUM SETBACKS Encroachment Type: Not Allowed Private Frontages: 3' Max (Front & Side Streets), 5' (Rear) Architectural Features: 5' (Rear) Patio Covers: 3' Max (Front & Side Streets), 5' (Rear). No allowed in Side Setbacks. Stairs / Ramps: 5' Max (Side & Side Streets), 20' (Rear) Decks: 5' Max (Side & Side Streets), 20' (Rear)	Entry and Parking Canopy Rear Setback 0 Ft. 3 Ft. 0 Ft. 3 Ft. 0 Ft.	Complies Complies Complies Complies Complies
7. PARKING	RESIDENTIAL USES: (State Density Bonus) Studio or 1 Bedroom: 0 2 or More Bedrooms: 0	VEHICLE (Spaces/Unit): 0 0	BICYCLE (Spaces/Unit): 1 1
NON-RESIDENTIAL USES	Retail: 1 Per 200 SF	0 Parking	Complies
Restaurants: 1 Per 3 seats plus 1 space per 200 SF of non-dining area	N/A		
PARKING SETBACK	Front: 30 Ft. (Min) Side Street: 30 Ft. (Min)	2 Ft. 2 Ft.	Complies Complies
Side: 10 Ft. (Min) where 60 Ft from front of design site Rear: 0 Ft. (Min)	N/A	10'-2 1/2" 5'-0"	Complies Complies
VEHICLE ACCESS	Curb Cut Width: 26 Ft. (Max)	26 Ft.	Complies
OFF-STREET LOADING (ZONING CODE)	Number of Spaces: 1 Space	1 Space	Complies
TIER 3 FRONTAGE REQUIREMENTS	GROUND FLOOR NON-RESIDENTIAL REQUIREMENTS Lobbies, leasing, resident only amenities: 50% Max Frontage One or more of the following tenant spaces shall be required: Downtown Development Area: Leasing offices and amenities available only for residents are not allowed. Lobby shall be no wider than 16.5 ft.	Retail Linear feet Amenities linear feet 173'-2" 165'-11" <50%	Complies Complies Complies
One or more tenant spaces meeting the following requirements shall be provided within ground-floor habitable space: Publicly accessible spaces: Total depth of space: 50 Ft. (Min) Total width of space: 16.5 Ft. (Min) Clear height of space: 12 Ft. (Min) Structural beams below clear height: 30 Ft. OC. Venting designed into the vertical building Access to a grease trap Breeway location: Clear height of breezeway: 10 Ft. (Min) Clear width of breezeway: 8 Ft. (Min)	One retail space accessible and serve non-residents and residents Varies 40 Ft. < X < 74 Ft. >16.5 Ft. 24 Ft. N/A Noted Noted	Complies Complies Complies Complies Complies Complies	

GENERAL DESIGN SITE STANDARDS	PROPOSED PROJECT	COMPLIANCE NOTES
SCREENING		
Fences Front and Side Streets: Not Allowed	No Fence	Complies
Side and Rear Yards: 10 Ft. (Max)	6 Ft.	Complies
Free Standing Walls Front and Side Streets: Not Allowed	No free standing walls No free standing walls	Complies Complies
Side and Rear Yards: 10 Ft. (Max)		
Landscaping Front and Side Streets: 3 Ft. (Max) Side and Rear Yards: No Max	Front Yard: No Landscape screening Rear Yard: No Landscape screening	Complies Complies
Screening on Retaining Walls: 6 Ft. (Max)		
Mechanical Equipment Screening New Buildings: Parapet higher than any equipment	Parapet higher than any equipment	Complies
Wall and Ground-Mounted Equipment: Not allowed in front or side street setbacks	No Wall or Ground-Mounted Equipment	Complies
LANDSCAPING AND LIGHTING Miscellaneous Guidelines		
PARKING AND LOADING See Parking Requirements Above		
SERVICE AND UTILITY STANDARDS Miscellaneous Guidelines		

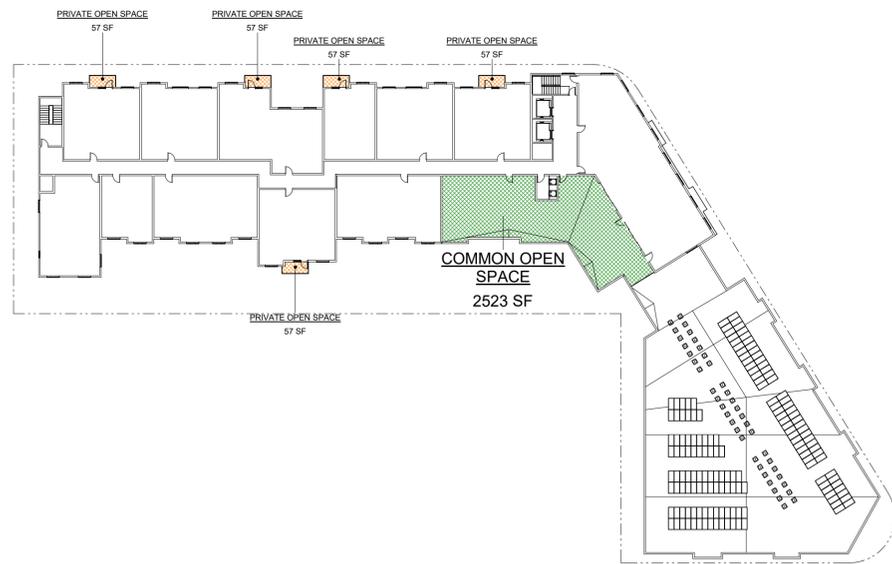
CITY OF CAMPBELL FORM-BASED CODE REQUIREMENTS	PROPOSED PROJECT	COMPLIANCE NOTES
SUMMARY: TRANSECT: T4 MAIN STREET (T4MS) BUILDING TYPE: NOT APPLICABLE IN THE T4MS ZONE FRONTAGE TYPE: SHOPFRONT NON-RESIDENTIAL REQUIREMENTS: TIER 1	APN: 412 09 066 566 E CAMPBELL AVE	Complies with Waivers

LAND USE AND DEVELOPMENT STANDARDS	PROPOSED PROJECT DATA SUMMARY
EXISTING LAND USE: General Plan: CB-MU - CENTRAL BUSINESS MIXED-USE (26-33 Units/Gr Acre) Zoning: C-CU - COMMERCIAL CORRIDOR MIXED-USE C-PD - CONDOMINIUM PLANNED DEVELOPMENT	CENTRAL BUSINESS MIXED-USE (26-33 Units/Gr Acre) CC-MU - COMMERCIAL CORRIDOR MIXED-USE C-PD CONDOMINIUM PLANNED DEVELOPMENT
LAND USE: Allowed Uses: Mixed-Use	LAND USE: Proposed Use: Mixed-Use
SITE AREA: Min. Site Area: No minimum lot size.	SITE AREA: Site Area: 43,492 SF NET AREA: 1.00 Acres GROSS AREA: 70,922 SF 1.63 Acre
DENSITY AND NUMBER OF UNITS	DENSITY AND NUMBER OF UNITS
Min Dens: 23 Max Dens: 33	Number Units: 90 Units Small 1 Bedroom: 7 Units 1 Bedroom: 13 Units 2 Bedroom: 52 Units 3 Bedroom: 18 Units
	100.0% 7.8% 14.4% 57.8% 20.0%
	Net Rentable 621 Ave SF 706 Ave SF 1,023 Ave SF 1,287 Ave SF
	Total Number of Units: 90 Units Density: 90 DU/Acre
	998 Ave SF
BUILDING AREA:	BUILDING AREA
	Net Rentable Area: 69,854 SF Gross Rentable Area: 85,725 SF
	Gross Residential Building Area: 128,034 SF Retail Building Area: 5,026 SF Parking Area: 41,488 SF Gross Building Area: 174,548 SF
	Gross Building Area (WO Parking): 133,060 SF Efficiency: 76%

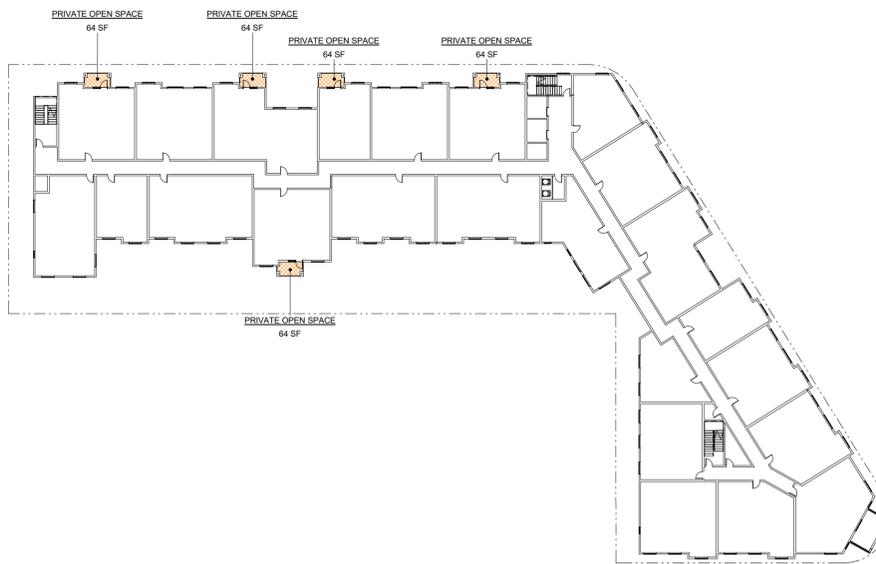
VEHICULAR PARKING SUMMARY:	PARKING PROVIDED:
RESIDENTIAL VEHICLE PARKING REQUIRED (State Density Bonus): 1 BDR: - SPACES / UNIT 2 BDR: - SPACES / UNIT 3BDR: - SPACES / UNIT TOTAL: - SPACES / UNIT	TOTAL PARKING PROVIDED: RESIDENTIAL PARKING: 111 SPACES (On-Site) RETAIL PARKING: - SPACES (On-Site)
RETAIL (Form-Based Code): 1.00 SPACE PER 200SF	RETAIL PARKING DETAIL: STANDARD SPACES: 50 SPACES ACCESSIBLE SPACES: 4 SPACES EV SPACES: 12 SPACES 10% CHARGERS 40% READY (OUTLETS)
TOTAL PARKING REQUIRED: 25 SPACES	TOTAL PARKING PROVIDED: 111 SPACES
	ACCESSIBLE, EVCS, EV READY AND STANDARD PARKING DETAIL:
	RESIDENTIAL RETAIL TOTAL
	STANDARD 50 - 50 SPACES
	ACCESSIBLE - STANDARD 2 - 2 SPACES
	ACCESSIBLE - VAN 2 - 2 SPACES
	STANDARD EVCS 10 - 10 SPACES
	ACCESSIBLE - VAN - EVCS 1 - 1 SPACES
	ACCESSIBLE - EVCS 1 - 1 SPACES
	AMBULATORY - EVCS - SPACES
	STANDARD EV READY 42 - 42 SPACES
	ACCESSIBLE - VAN - EV READY 1 - 1 SPACES
	ACCESSIBLE - EV READY 1 - 1 SPACES
	AMBULATORY - EV READY 1 - 1 SPACES
	TOTAL 111 - 111 SPACES

BICYCLE PARKING SUMMARY:	RESIDENTIAL BICYCLE PARKING PROVIDED
RESIDENTIAL BICYCLE PARKING REQUIRED (Form-Based Code): 1 BDR: 0.25 SPACES / UNIT 2 BDR: 0.25 SPACES / UNIT	14 SPACES 13 SPACES
TOTAL RESIDENTIAL BICYCLE PARKING REQUIRED: 27 SPACES	TOTAL RESIDENTIAL BICYCLE PARKING PROVIDED: 112 SPACES

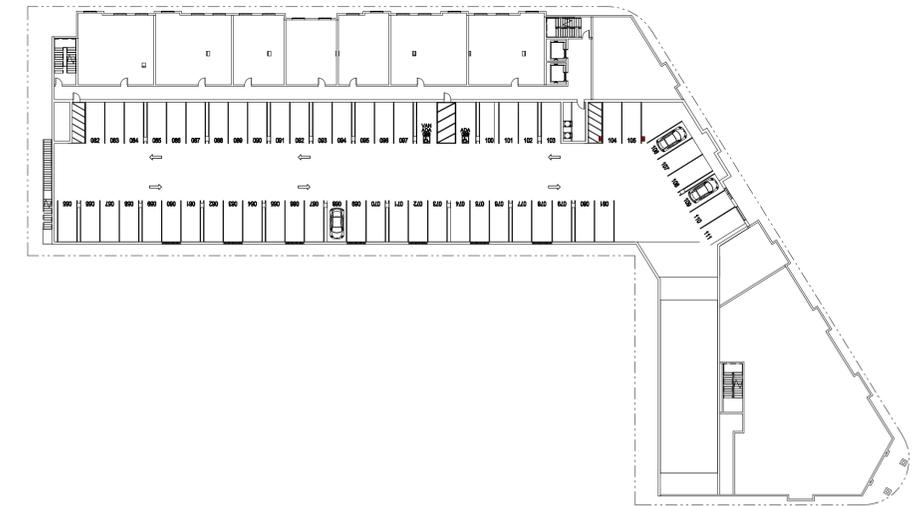
STANDARDS FOR EXTERIOR MATERIALS		
<p>Durability:</p> <p>A. Exterior timber shall be protected from decay by at least one of the following:</p> <ol style="list-style-type: none"> 1. Staining and sealing; 2. Painting; and/or 3. Material properties. Pressure treated lumber is not allowed as a façade finish material. <p>The following types of unpainted wood are allowed:</p> <ol style="list-style-type: none"> (a) Teak, (b) Cedar, (c) Redwood, (d) Mahogany, (e) White Oak, (f) Ipe/Brazilian Walnut, (g) Bald Cypress, (h) Black Locust <p>B. Exterior ferrous metals shall be protected from corrosion by at least one of the following:</p> <ol style="list-style-type: none"> 1. Painting or other impermeable coating; and/or 2. Metallurgical properties. The following types of metal are allowed: <ol style="list-style-type: none"> (a) Galvanized steel, (b) Stainless steel, (c) Weathering steel (e.g., COR-TEN) <p>Masonry Openings:</p> <p>A. Wall openings surrounded by masonry finish materials (e.g., stone, brick, CMU) shall be spanned by one of the following:</p> <ol style="list-style-type: none"> 1. Arch <ol style="list-style-type: none"> (a) All joints within the arch shall align with a commonpoint on the opening's center line. (b) The arch shall not include a joint on the opening's center line. (c) If a keystone is expressed, it shall be centered on the opening's center line. 2. Lintel <ol style="list-style-type: none"> (a) Height of lintel shall be no less than 1/8 of the opening width. (b) Lintel shall extend beyond the opening by at least half its height on both sides of the opening. (c) Lintel shall be taller than the sill/apron. 	<p>N/A</p> <p>Complies</p> <p>N/A</p> <p>Complies</p>	
	Waiver	Masonry is used only at the corner of East Campbell and Gilman Ave. The design does not accommodate the extension of the lintels.
<p>Timber Joints:</p> <p>Exterior timber posts and beams meeting at right angles shall be joined by diagonal bracing or by wooden or metal brackets.</p> <p>Material and Color Changes:</p> <p>Changes in wall finish material or color shall only occur at inside corners.</p> <p>Materials Defining Building Elements:</p> <p>A. Base</p> <ol style="list-style-type: none"> 1. For multi-story buildings, the base of the building shall be defined by a distinct finish material selected from among the following: Stone, brick, concrete, concrete masonry units (CMU), tile, or stucco ("base material"). <p>B. Middle</p> <ol style="list-style-type: none"> 1. Where brick appears as a finish material on the building/module's middle, it must extend vertically to the upper boundary of the building/module's base. 2. Where stone appears as a finish material on the building/module's middle, it must extend vertically to grade. <p>C. Parapet. Parapets shall terminate in a parapet cap of stone, brick, concrete, tile, metal, or molded stucco.</p> <p>D. Bays. Changes in wall finish material shall occur at the boundaries between bays rather than within a bay.</p> <p>E. Arcades and Galleries. Arcades shall be supported by columns or piers in concrete/cast stone, fiberglass, or stucco. Archedivolts andimposts shall be expressed using similar material/appearance.</p> <p>F. Pavement. Onsite pavement shall be distinct from the public sidewalk in color, material, or pattern.</p> <p>G. Firewalls and Visible Party Walls</p> <ol style="list-style-type: none"> 1. Exposed surfaces shall be finished in the same palette of materials as the equivalent portions of the building or module's other façades. 2. Front façade finish materials, cornices, wall top projections, and moldings shall be continued across all visible portions of the party wall. <p>H. Materials Allowed for Building Details/Ornament: Wood, Metal, Glass, Terra Cotta, Tile, Plaster.</p> <p>Colors:</p> <p>A. A maximum of 4 colors shall be applied to each building or module:</p> <ol style="list-style-type: none"> 1. primary color comprising 50% or more of the façade. 2. secondary color comprising no more than 45% of the façade. 3. tertiary color comprising no more than 20% of the façade. 4. accent color for use on trim and architectural details. <p>B. Materials with intrinsic, naturally-occurring coloration shall not count towards this maximum. Such materials include metal, unpainted wood, tile, stone, brick, and glass. Materials with pre-finished color (stucco, cement fiberboard, colorized metal) shall count towards the maximum.</p> <p>C. Changes in color may occur:</p> <ol style="list-style-type: none"> 1. to articulate boundaries between base, middle, and top divisions of a building or module. 2. to articulate a portion of the building as a separate module. 3. to articulate projecting elements, such as bay windows and balconies. 4. to articulate a massing feature identified in Section 7.050 (Massing Features). 	<p>N/A</p> <p>Complies</p> <p>Complies: Stucco, Thin Brick, and Tile</p> <p>N/A</p> <p>Complies</p> <p>Complies: Thin Bricks</p> <p>Complies</p> <p>Noted</p> <p>Complies</p> <p>Complies: Glass (railings), tile, and plaster.</p> <p>Complies</p> <p>Complies</p> <p>Complies</p> <p>Complies</p>	
PRIVACY STANDARDS		
<p>Intent:</p> <p>These standards are designed to provide privacy between primary living spaces of buildings on each side of a lot line where side setbacks are required or provided where not required. Windows and balconies along the side of a building within 20 feet of an interior side lot line in all zones are subject to these standards.</p> <p>Standards:</p> <p>A. Primary living spaces adjoining an interior side setback shall either:</p> <ol style="list-style-type: none"> 1. Orient principal/main window/glazed openings toward the front and rear of the building, away from interior side lot lines; or 2. Set the window/glazing openings: <ol style="list-style-type: none"> (a) Perpendicular to interior side lot lines; or (b) More than six feet from interior side lot lines <p>B. Windows within 6 feet of an interior side lot line shall either:</p> <ol style="list-style-type: none"> 1. Have a minimum sill height of 44 inches; or 2. Place the window at an angle of at least 30 degrees, measured perpendicular to the adjacent side lot line. <p>C. Balconies are prohibited within 6 feet of an interior side lot line.</p>	<p>Complies</p> <p>Complies</p>	<p>Windows are at least 10 feet from property line.</p>
BIRD SAFETY		
<p>1. Bird safety treatment is required:</p> <p>A. On glazed areas within 10 feet of a building corner for non-residential uses;</p> <p>B. On glazed areas within 15 vertical feet and 20 horizontal feet of any landscaped area, including green roofs and vegetated courtyards;</p> <p>C. On parallel panels of glass separated by 30 feet or less, with no intervening walls;</p> <p>D. On any transparent atrium, free-standing glass feature, or architectural glass element that projects from the building mass;</p> <p>E. On glazed areas within 60 feet of grade in a façade with more than 20 percent glazing located within 300 feet of any water body, or within 100 feet of a landscaped area or open space larger than one acre.</p> <p>2. Mirrored glass and glazing with a reflective index greater than 20 percent are prohibited on building facades.</p>	<p>Complies</p> <p>Noted</p>	



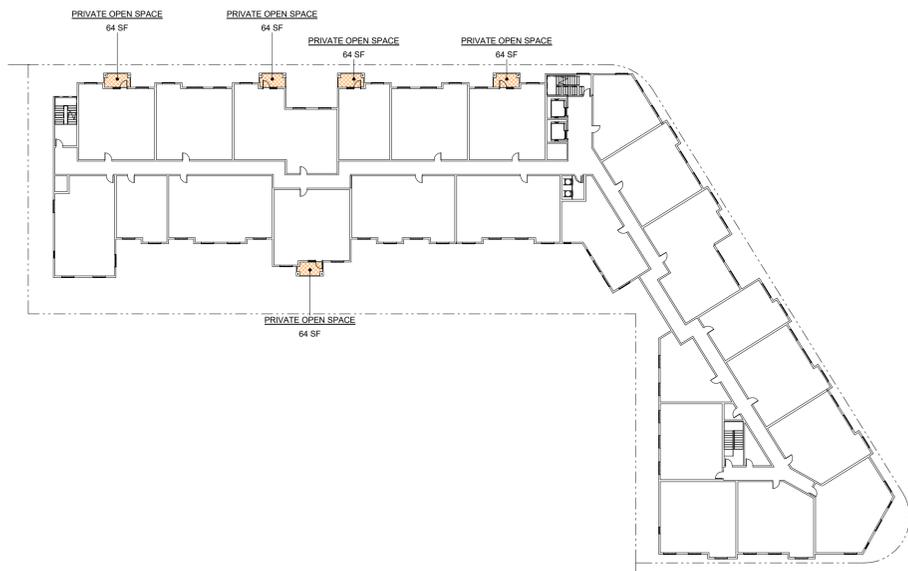
6TH FLOOR - OPEN SPACE DIAGRAM | 6
1" = 40'-0"



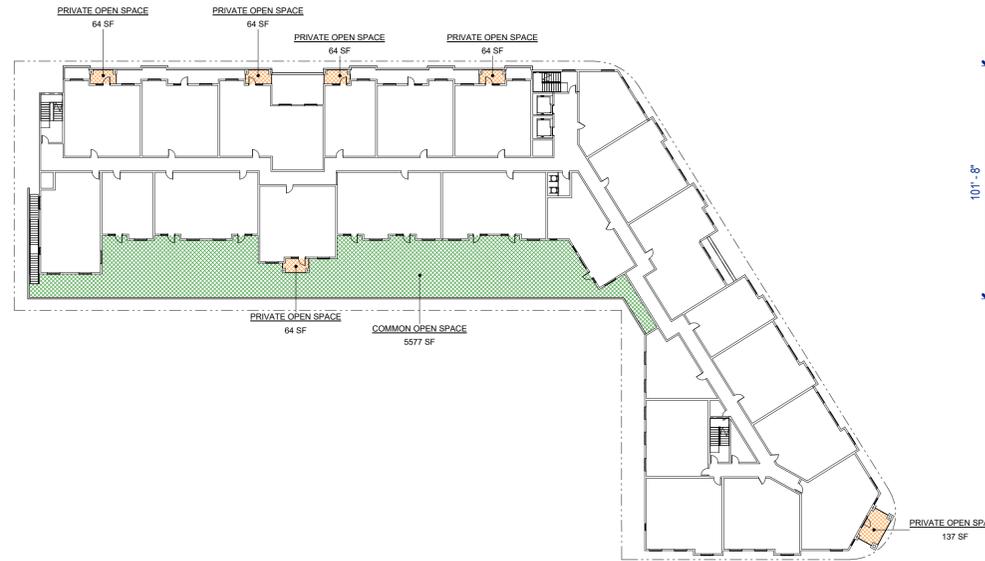
4TH FLOOR - OPEN SPACE DIAGRAM | 4
1" = 40'-0"



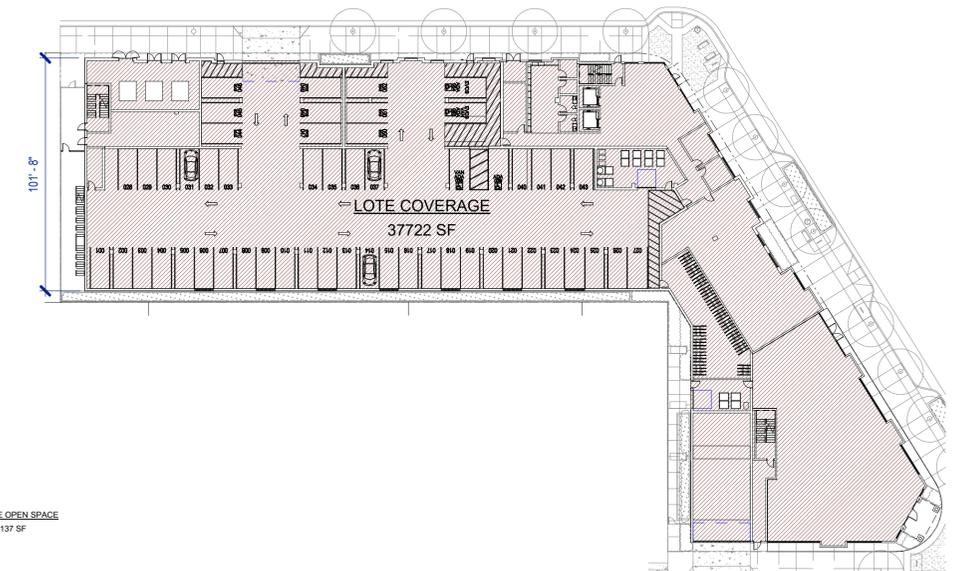
2ND FLOOR - OPEN SPACE DIAGRAM | 2
1" = 40'-0"



5TH FLOOR - OPEN SPACE DIAGRAM | 5
1" = 40'-0"



3RD FLOOR - OPEN SPACE DIAGRAM | 3
1" = 40'-0"



1ST FLOOR - OPEN SPACE DIAGRAM | 1
1" = 40'-0"

OPEN SPACE DATA

TOTAL PRIVATE OR COMMON OPEN SPACE REQUIREMENTS:

OPEN SPACE PER UNIT:	50 SF/UNIT
TOTAL UNITS:	108 UNITS
OPEN SPACE REQUIRED:	5,400 SF

COMMON OPEN SPACE PROVIDED:

CLUBHOUSE ROOF DECK:	2,523 SF
PODIUM 3RD LEVEL:	5,577 SF
COMMON OPEN SPACE PROVIDED:	8,100 SF

PRIVATE OPEN SPACE PROVIDED:

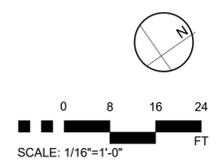
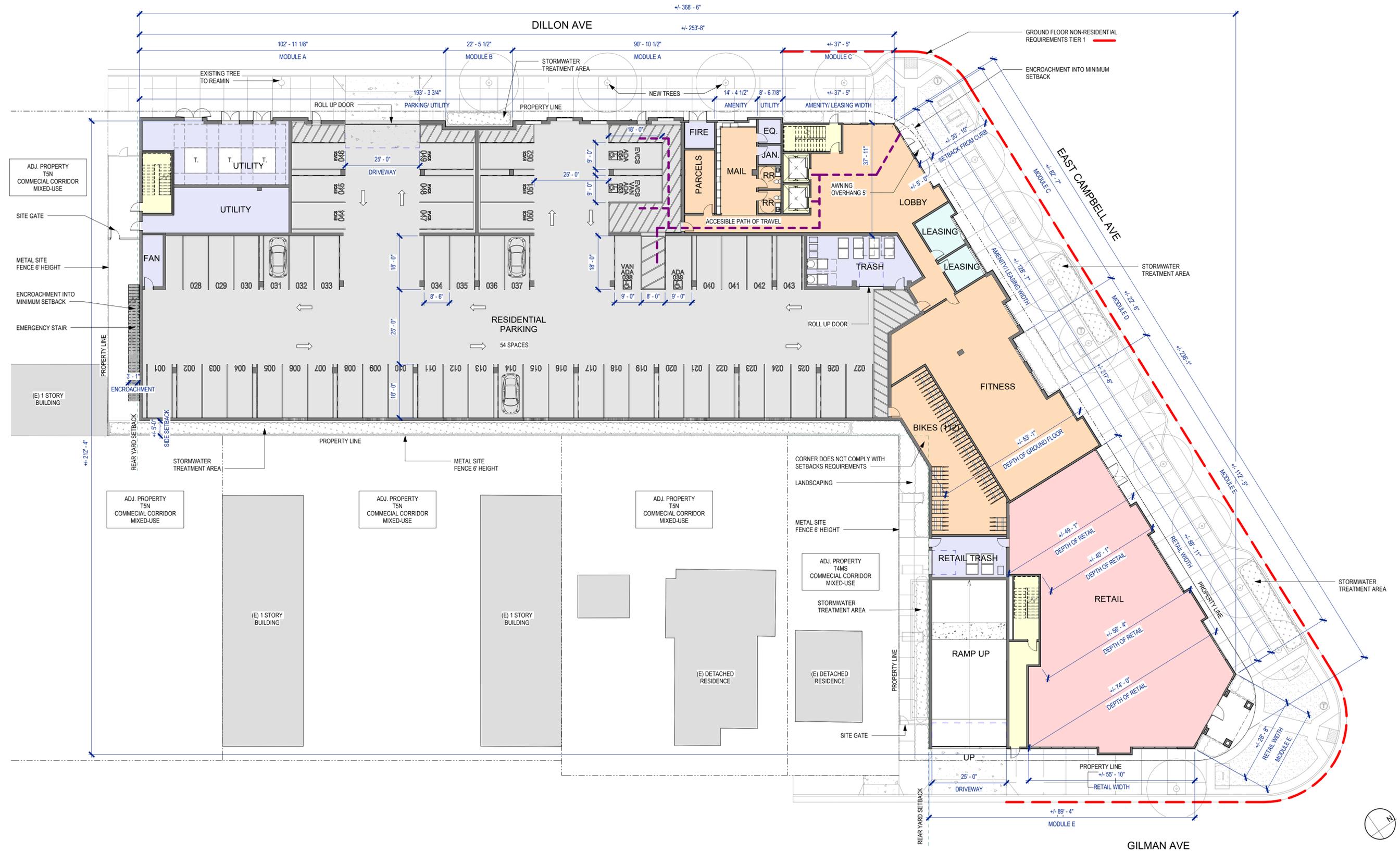
FIRST FLOOR:	0 SF
SECOND FLOOR:	0 SF
THIRD FLOOR:	457 SF
FOURTH FLOOR:	320 SF
FIFTH FLOOR:	320 SF
SIXTH FLOOR:	285 SF
PRIVATE OPEN SPACE PROVIDED:	1,382 SF

TOTAL OPEN SPACE: 9,482 SF

105 SF/UNIT PROVIDED
50 SF/UNIT REQUIRED

OPEN SPACE LEGEND

- COMMON OPEN SPACE
- PRIVATE OPEN SPACE





4



5



6



7



3



8



2



9



1



12



11



10



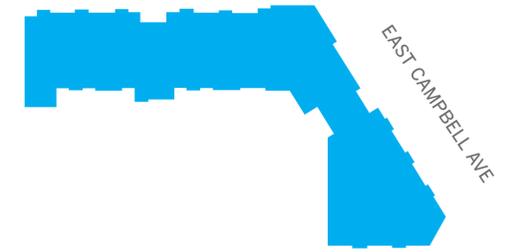








DILLON AVE



GILMAN AVE



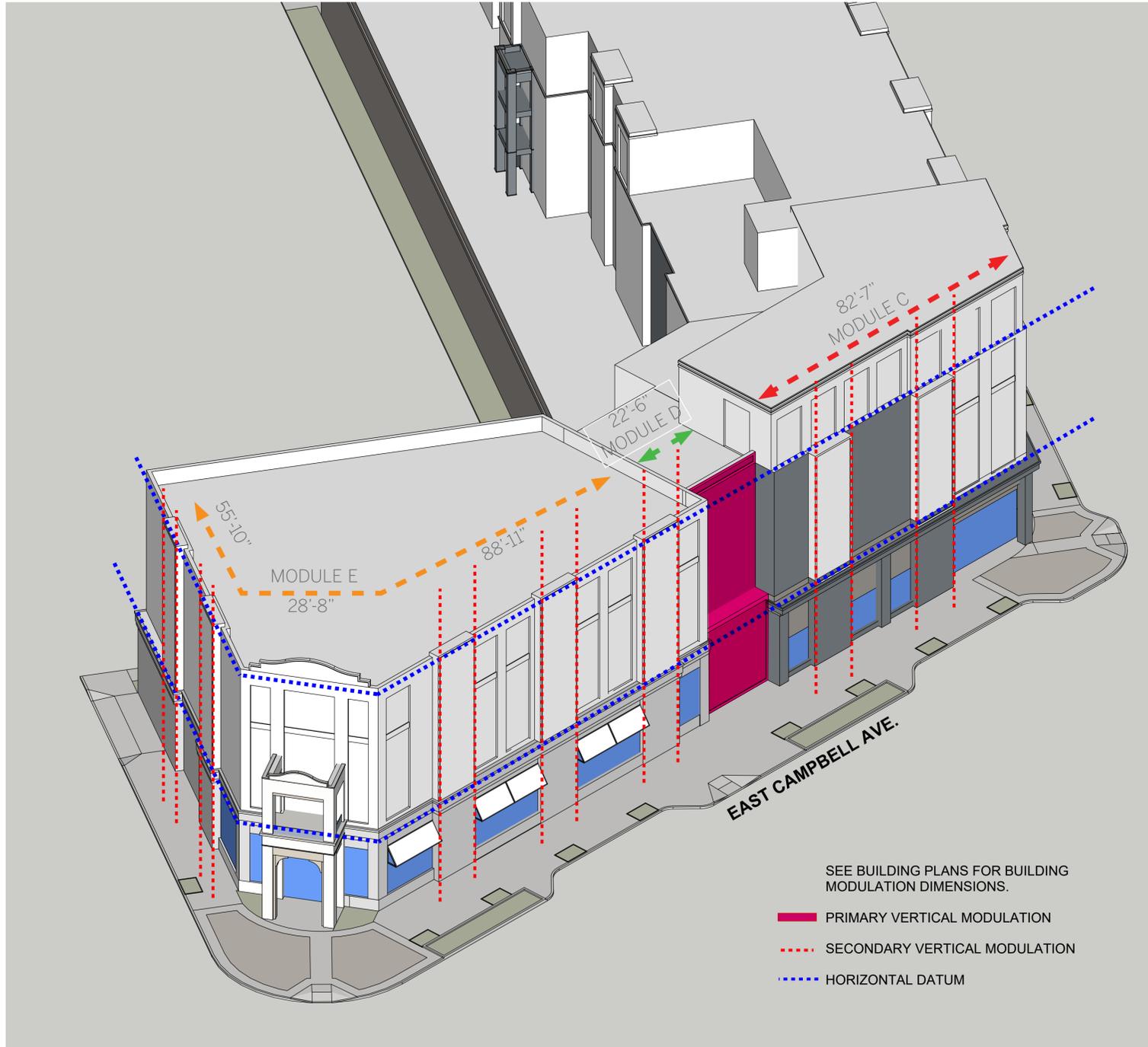
3. EAST CAMPBELL AVE

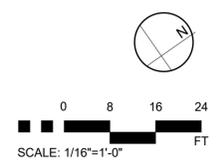
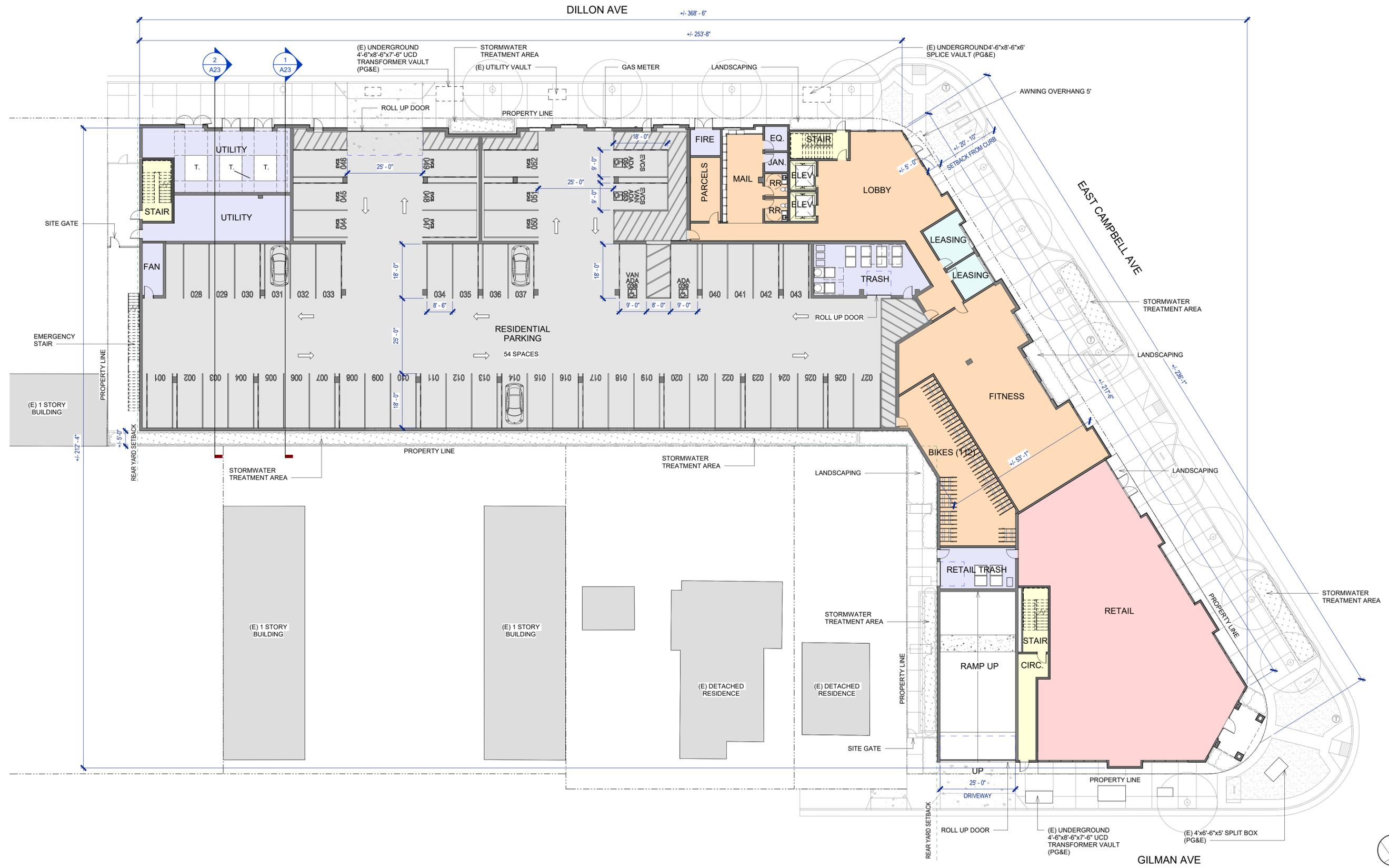


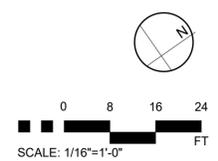
2. GILMAN AVE



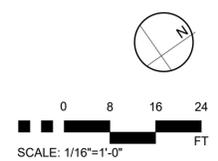
1. DILLON AVE

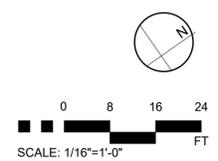
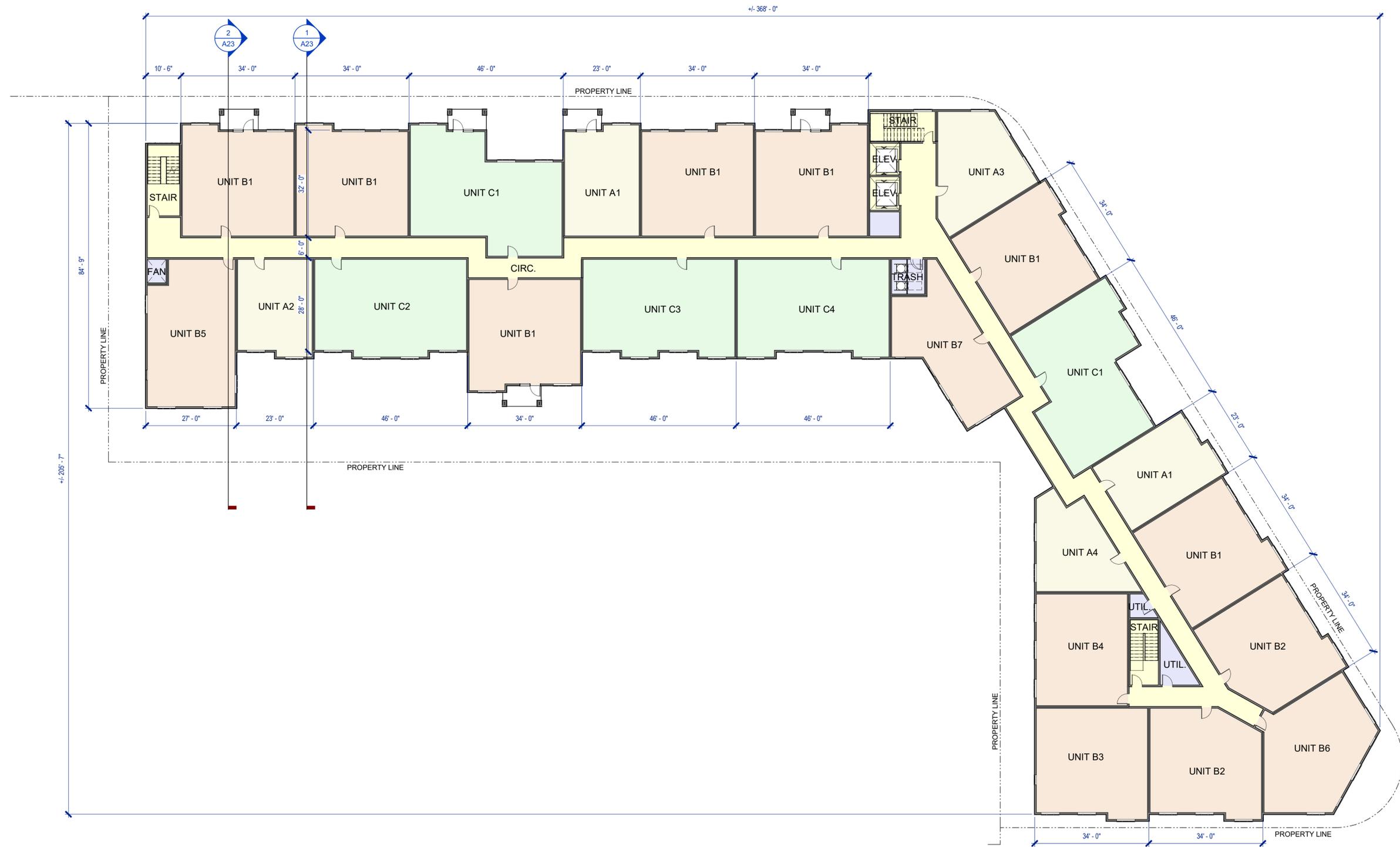


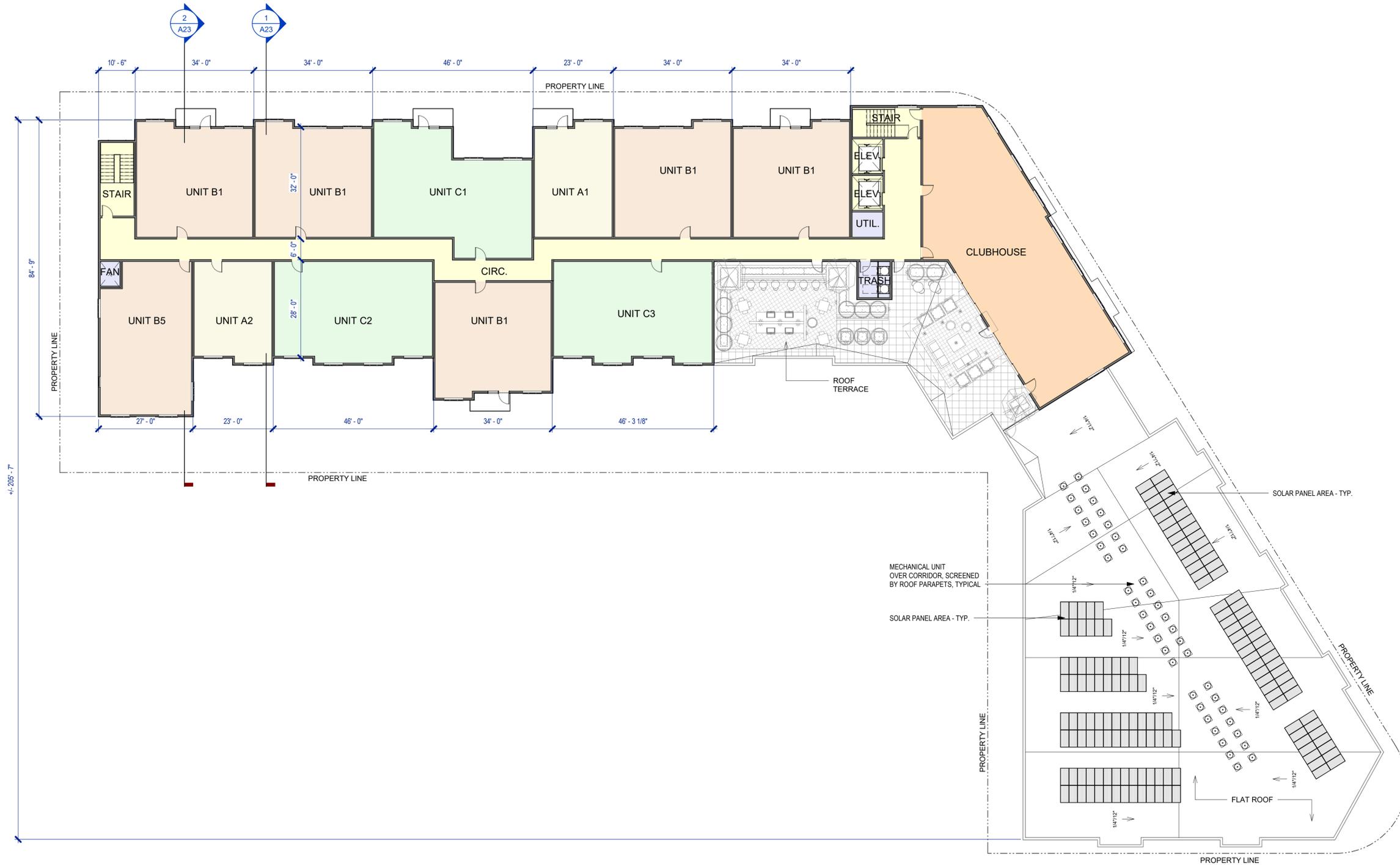


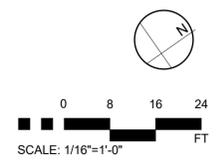
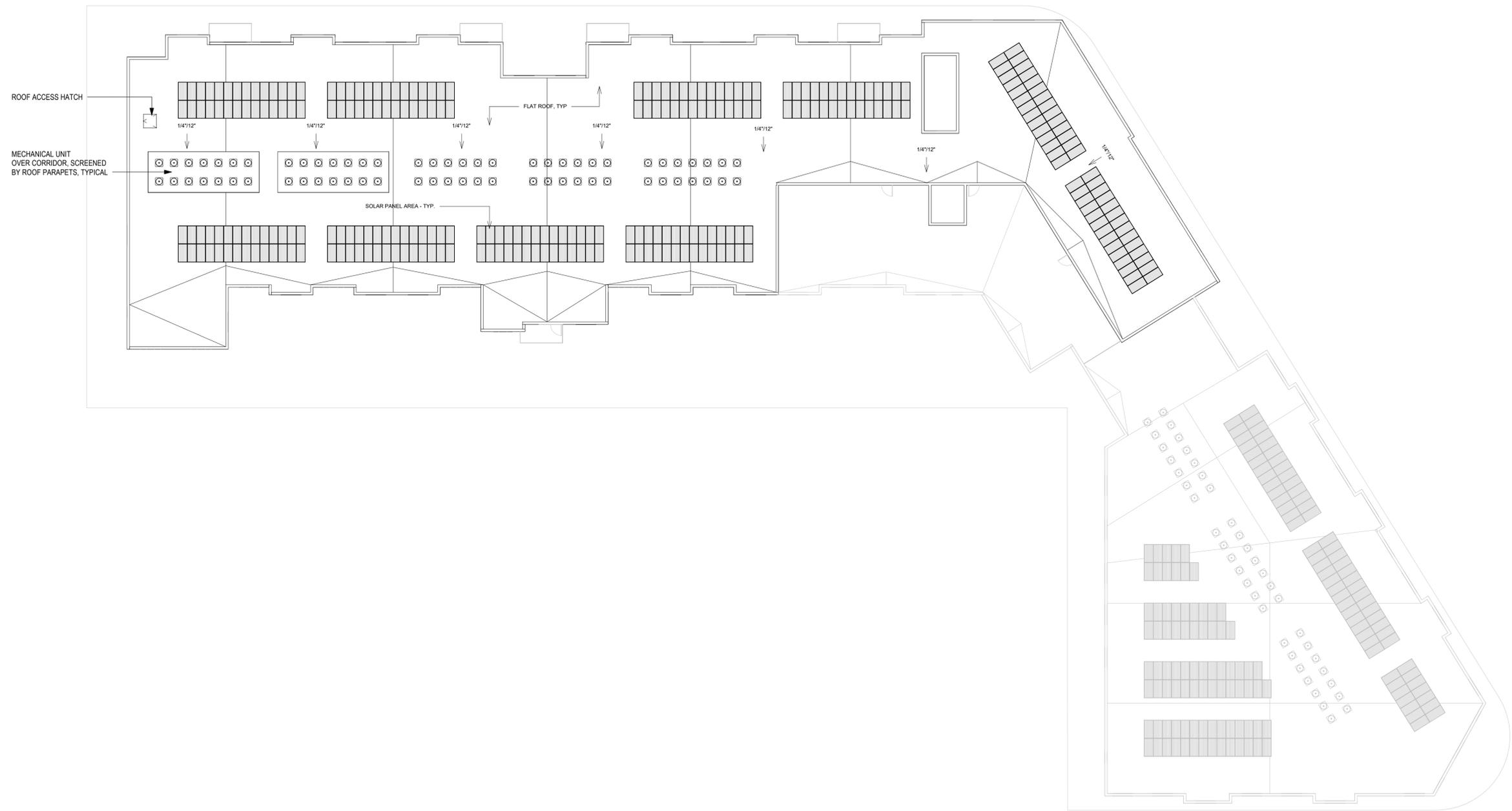


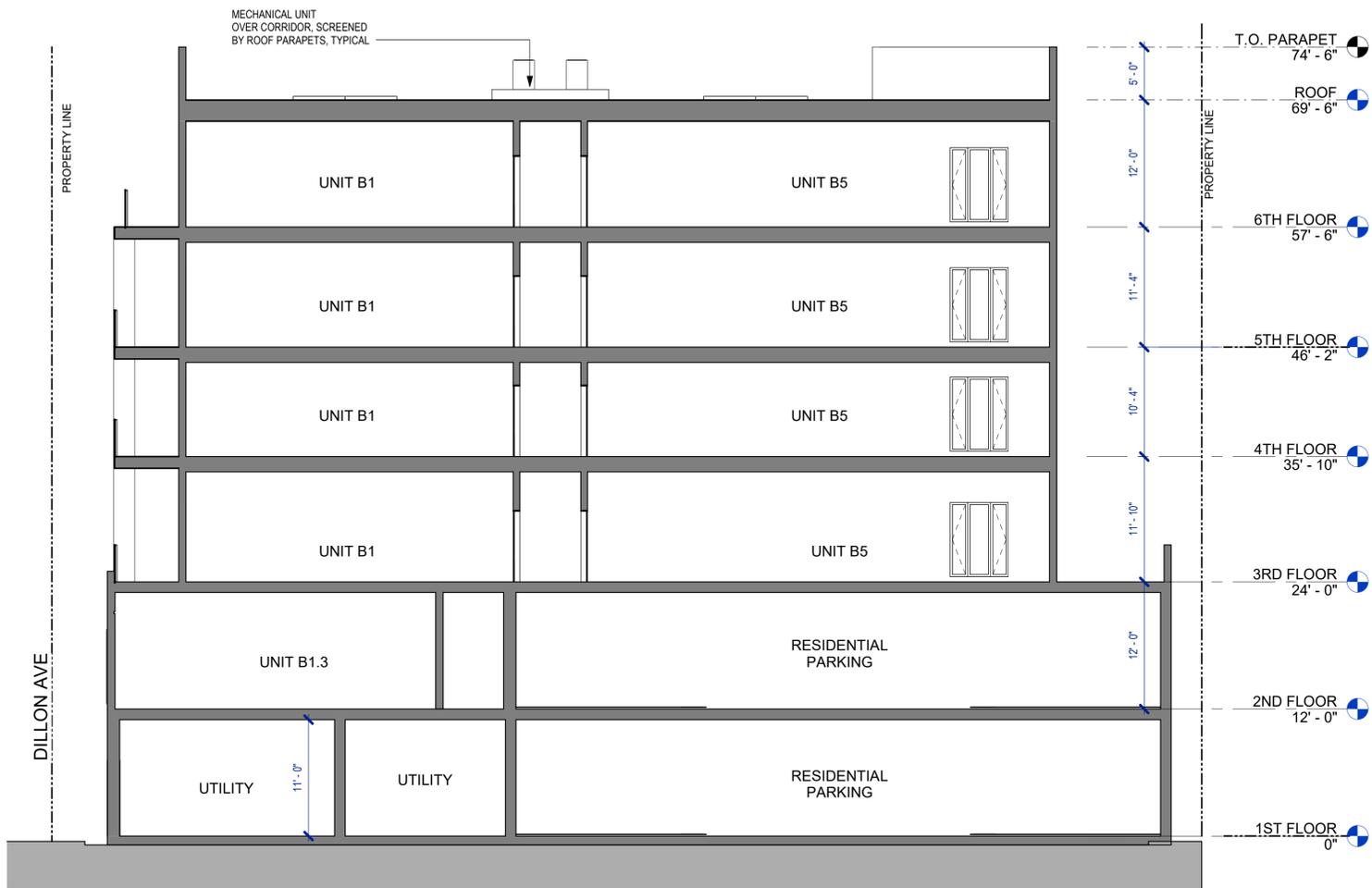




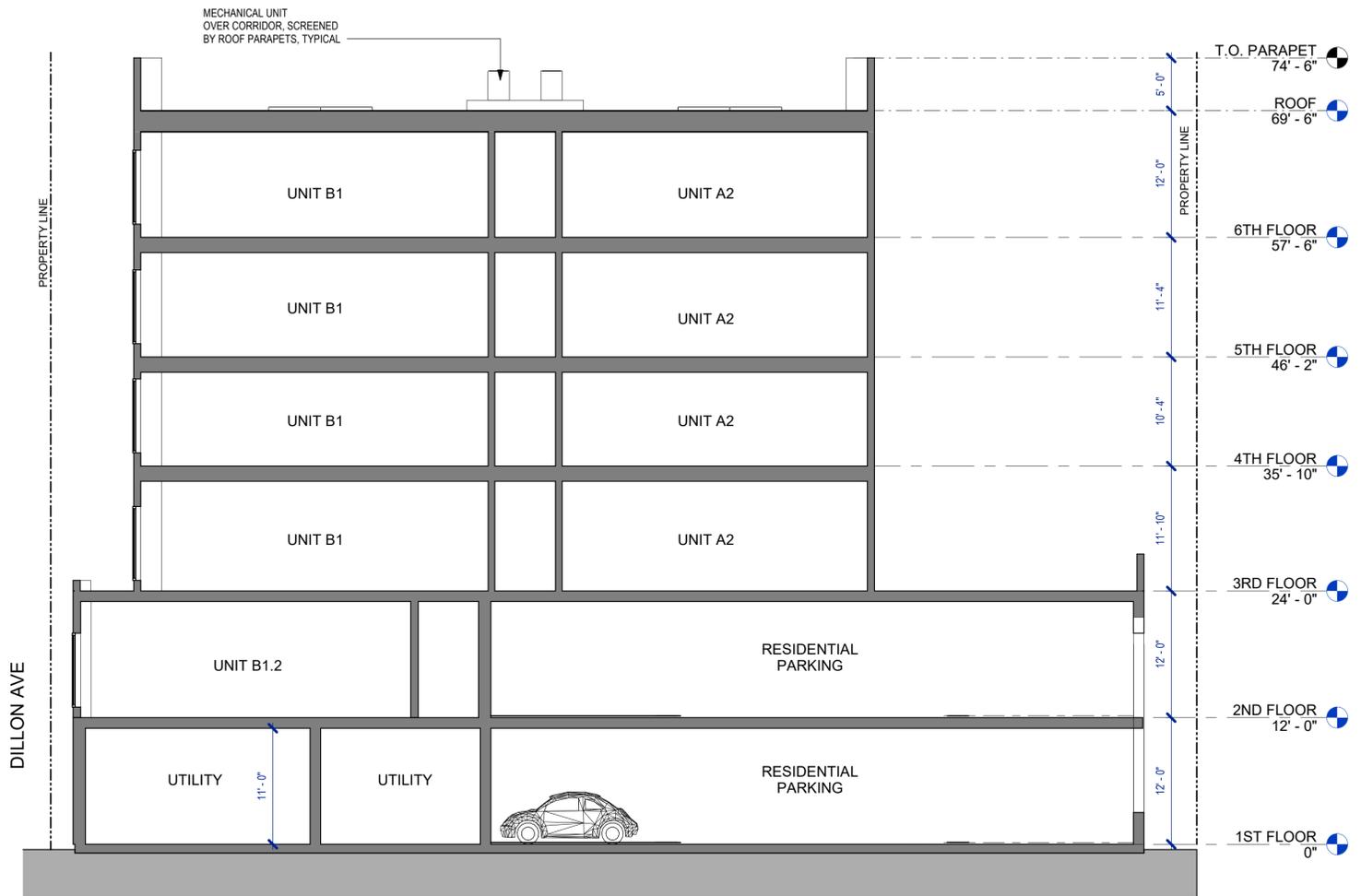




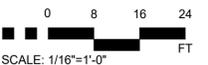


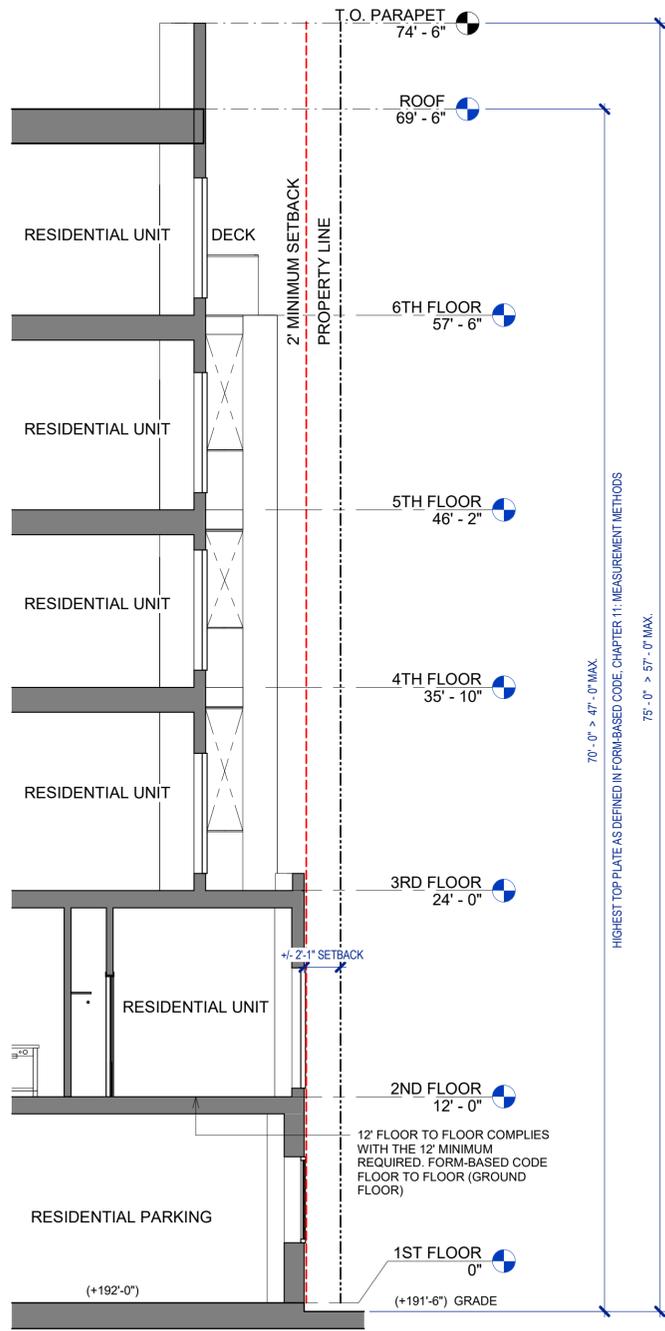


BUILDING SECTION 2 | 2
1/8" = 1'-0"

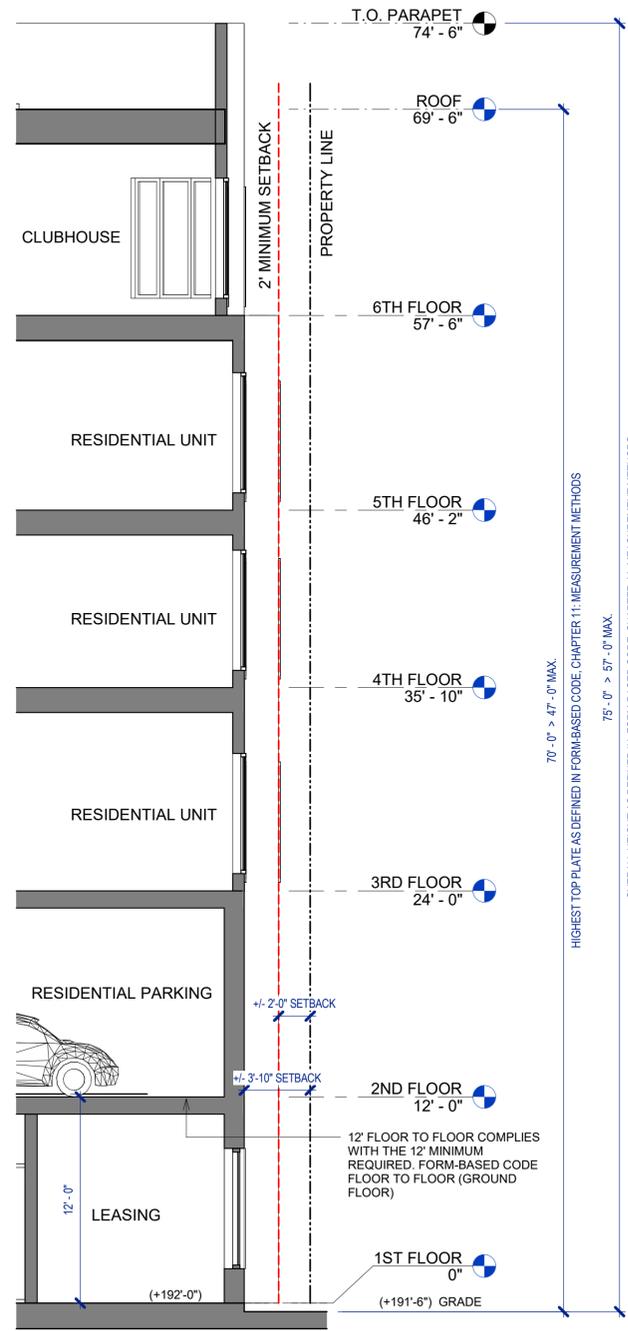


BUILDING SECTION 1 | 1
1/8" = 1'-0"

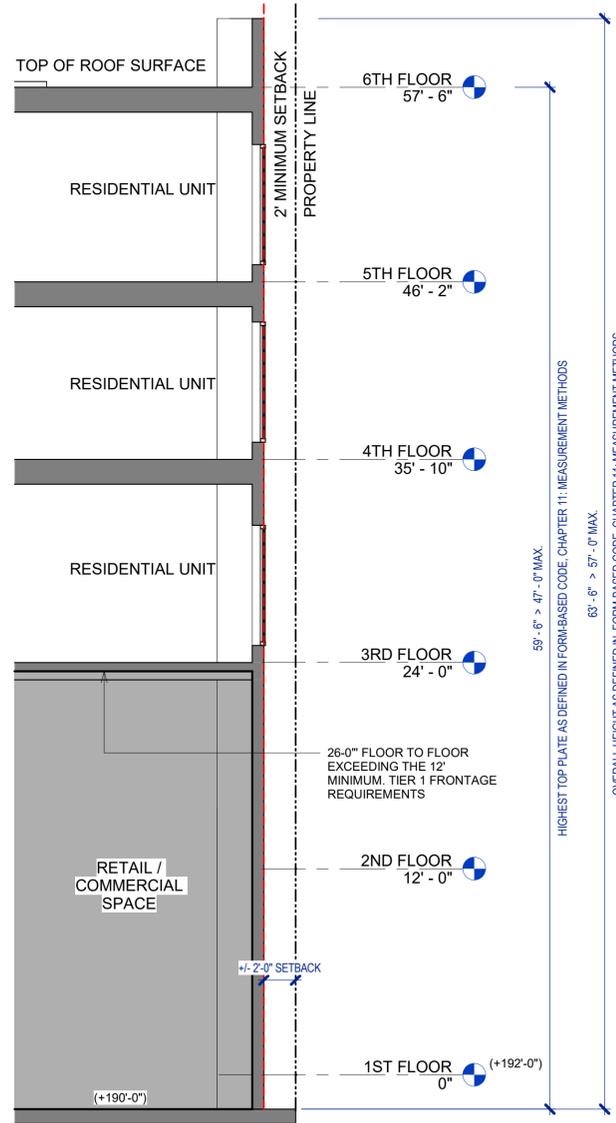




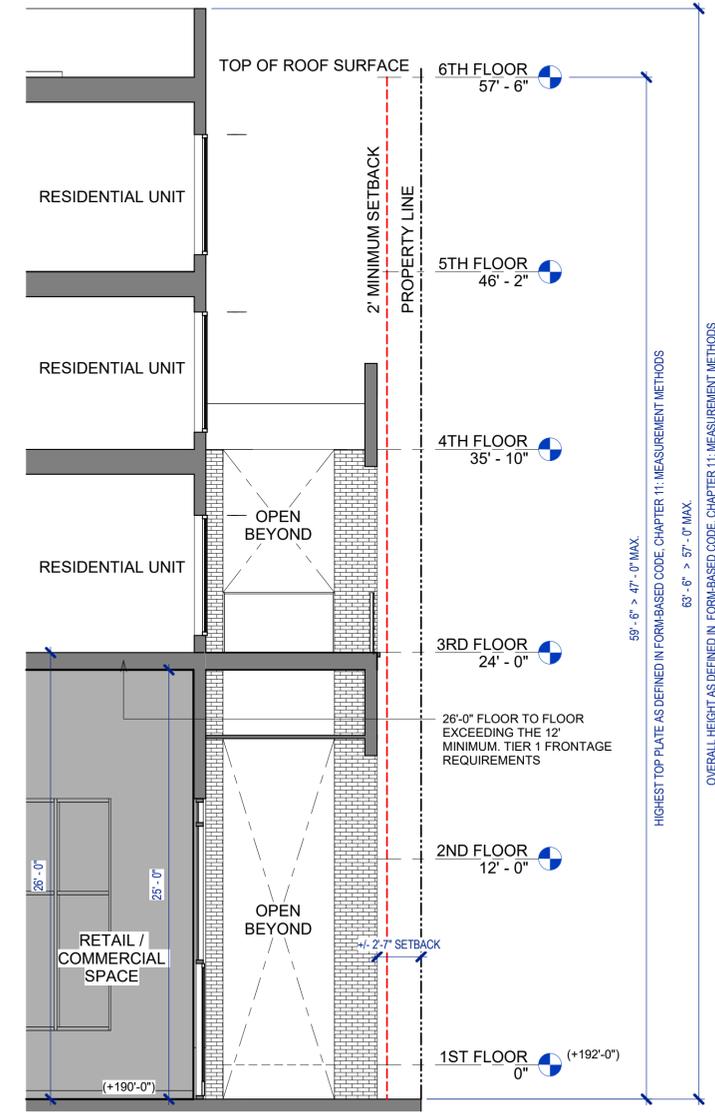
SECTION D | 4
3/16" = 1'-0"



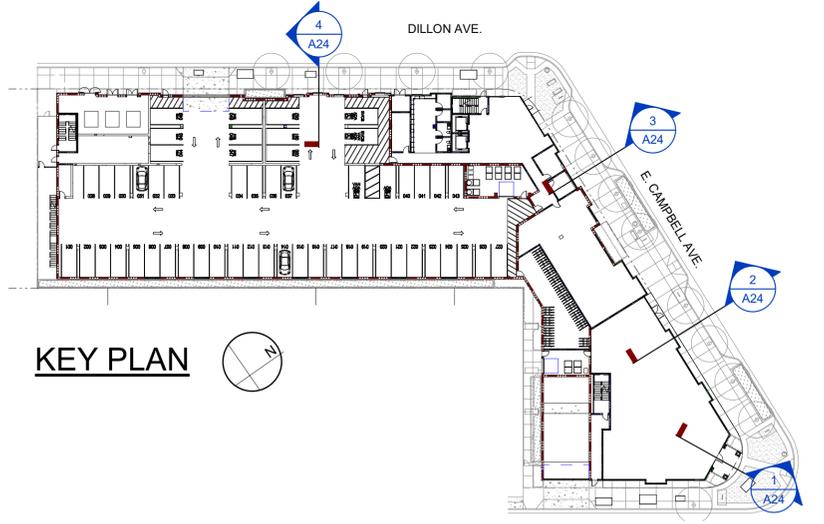
SECTION C | 3
3/16" = 1'-0"



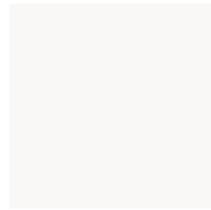
SECTION B | 2
3/16" = 1'-0"



SECTION A | 1
3/16" = 1'-0"



KEY PLAN



1. CEMENT PLASTER
PEARLY WHITE
SW 7009
FINE SAND 20/30



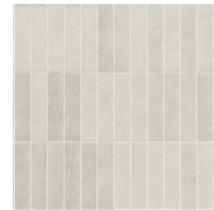
2. CEMENT PLASTER
SENSIBLE HUE
SW 6198
FINE SAND 20/30



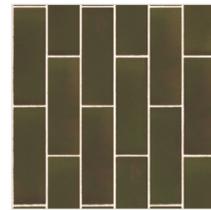
3. CEMENT PLASTER
CORNWALL SLATE
SW 9131
FINE SAND 20/30



4. CEMENT PLASTER
WATERLOO
SW 9141
FINE SAND 20/30



5. TILE ICEBERG WHITE
3X12 BRUSHED MARBLE
MFR: BEDROSIANS OR
EQUIV.



6. TILE
TEAGAN 3X12 GLOSSY
CERAMIC MFR:
EDWARD MARTIN OR
EQUIV.



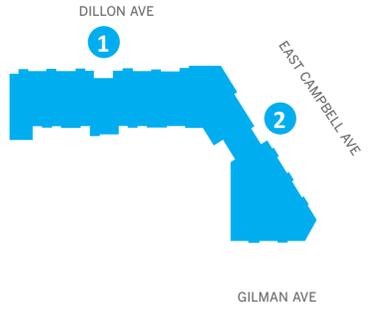
7. BRICK VENEER
MFR: CREATIVE MINES
GHOSTED OR
EQUIVALENT



8. TRIMS & DETAILS
TYP.
WOOD-LOOK



9. METAL SIDING & STOREFRONT
LIGHT BRONZE ANODIZED
MRF: ALUCUBOND OR
EQUIVALENT

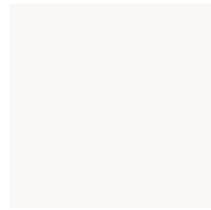


1. DILLON AVE ELEVATION



2. EAST CAMPBELL AVE ELEVATION

Scale: 1/16" = 1'-0"



1. CEMENT PLASTER
PEARLY WHITE
SW 7009
FINE SAND 20/30



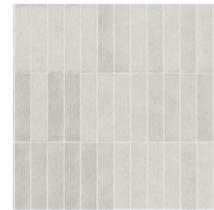
2. CEMENT PLASTER
SENSIBLE HUE
SW 6198
FINE SAND 20/30



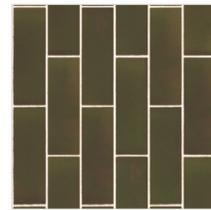
3. CEMENT PLASTER
CORNWALL SLATE
SW 9131
FINE SAND 20/30



4. CEMENT PLASTER
WATERLOO
SW 9141
FINE SAND 20/30



5. TILE ICEBERG WHITE
3X12 BRUSHED MARBLE
MFR: BEDROSIANS OR
EQUIV.



6. TILE
TEAGAN 3X12 GLOSSY
CERAMIC MFR:
EDWARD MARTIN OR
EQUIV.



7. BRICK VENEER
MFR: CREATIVE MINES
GHOSTED OR
EQUIVALENT



8. TRIMS & DETAILS
TYP.
WOOD-LOOK



9. METAL SIDING & STOREFRONT
LIGHT BRONZE ANODIZED
MRF: ALUCUBOND OR
EQUIVALENT



1. CORNER EAST CAMPBELL AND GILMAN AVE ELEVATION

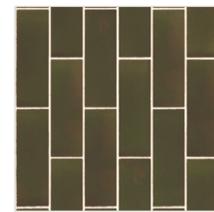
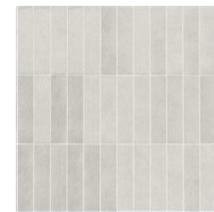
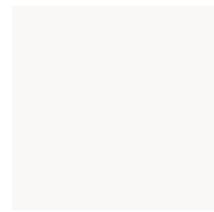
TOP OF PARAPET	74'-6"
6TH FLOOR	57'-6"
5TH FLOOR	46'-2"
4TH FLOOR	35'-10"
3RD FLOOR	24'-0"
2ND LEVEL	12'-0"
1ST FLOOR	0'-0"



2. GILMAN AVE ELEVATION

TOP OF PARAPET	74'-6"
6TH FLOOR	57'-6"
5TH FLOOR	46'-2"
4TH FLOOR	35'-10"
3RD FLOOR	24'-0"
2ND LEVEL	12'-0"
1ST FLOOR	0'-0"

Scale: 1/16" = 1'-0"



1. CEMENT PLASTER
PEARLY WHITE
SW 7009
FINE SAND 20/30

2. CEMENT PLASTER
SENSIBLE HUE
SW 6198
FINE SAND 20/30

3. CEMENT PLASTER
CORNWALL SLATE
SW 9131
FINE SAND 20/30

4. CEMENT PLASTER
WATERLOO
SW 9141
FINE SAND 20/30

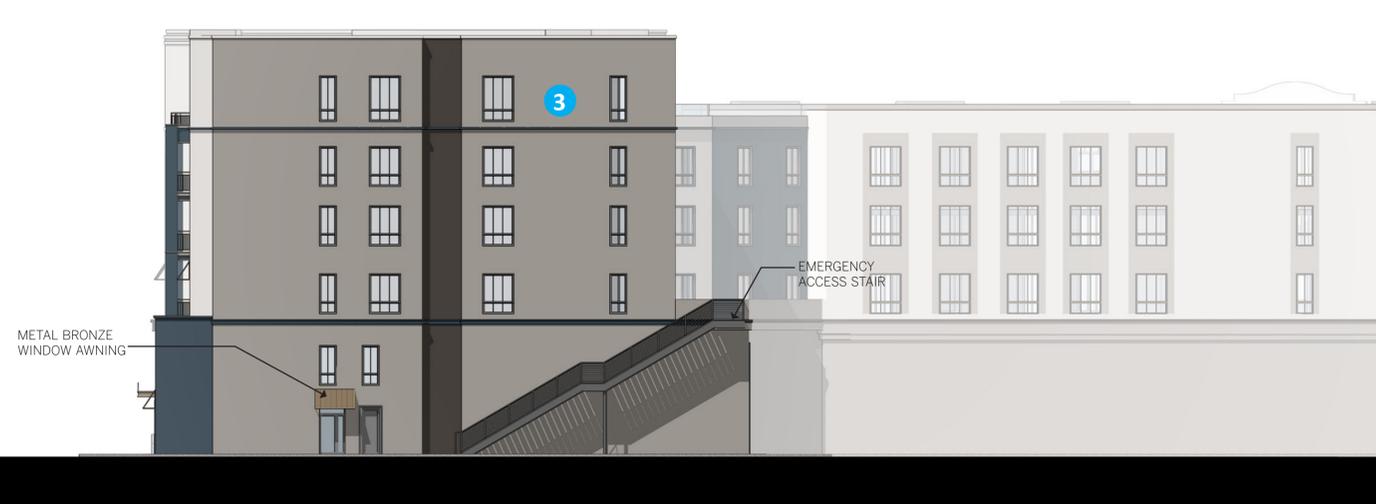
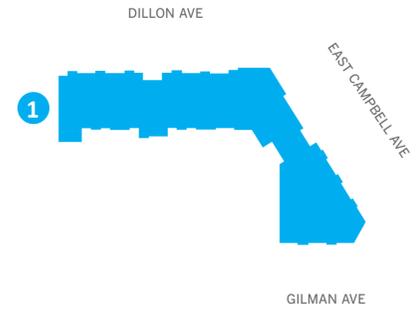
5. TILE ICEBERG WHITE
3X12 BRUSHED MARBLE
MFR: BEDROSIANS OR
EQUIV.

6. TILE
TEAGAN 3X12 GLOSSY
CERAMIC MFR:
EDWARD MARTIN OR
EQUIV.

7. BRICK VENEER
MFR: CREATIVE MINES
GHOSTED OR
EQUIVALENT

8. TRIMS & DETAILS
TYP.
WOOD-LOOK

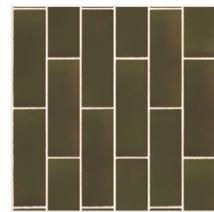
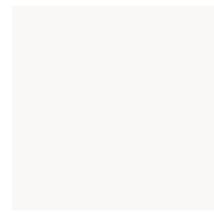
9. METAL SIDING & STOREFRONT
LIGHT BRONZE ANODIZED
MRF: ALUCUBOND OR
EQUIVALENT



TOP OF PARAPET	74'-6"
6TH FLOOR	57'-6"
5TH FLOOR	46'-2"
4TH FLOOR	35'-10"
3RD FLOOR	24'-0"
2ND LEVEL	12'-0"
1ST FLOOR	0'-0"

1. PROPERTY LINE ELEVATION

Scale: 1/16" = 1'-0"



1. CEMENT PLASTER
PEARLY WHITE
SW 7009
FINE SAND 20/30

2. CEMENT PLASTER
SENSIBLE HUE
SW 6198
FINE SAND 20/30

3. CEMENT PLASTER
CORNWALL SLATE
SW 9131
FINE SAND 20/30

4. CEMENT PLASTER
WATERLOO
SW 9141
FINE SAND 20/30

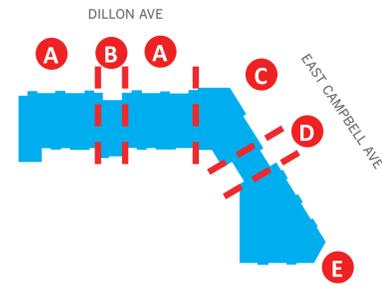
5. TILE
ICEBERG WHITE 3X12
BRUSHED MARBLE
MFR: BEDROSIANS OR
EQUIV.

6. TILE
TEAGAN 3X12 GLOSSY
CERAMIC MFR:
EDWARD MARTIN OR
EQUIV.

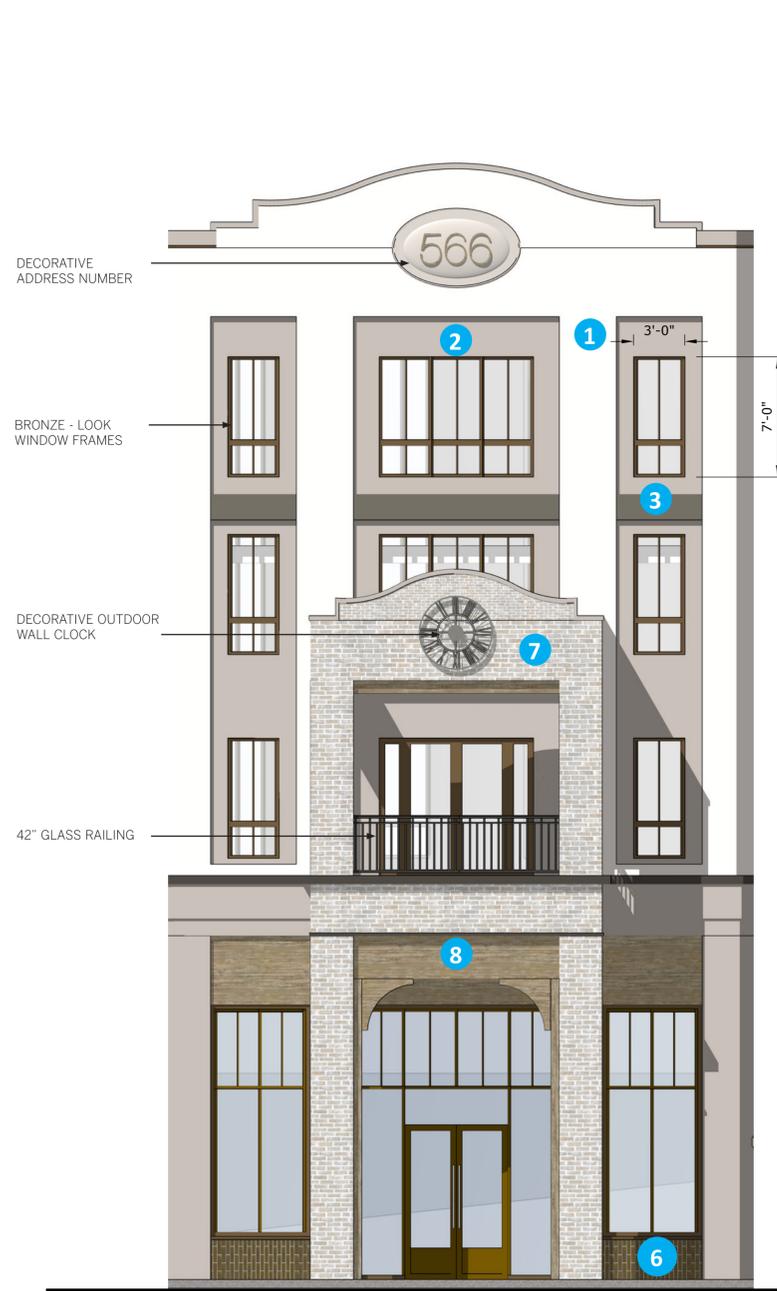
7. BRICK VENEER
MFR: CREATIVE MINES
GHOSTED OR
EQUIVALENT

8. TRIMS & DETAILS TYP.
WOOD-LOOK

9. METAL SIDING & STOREFRONT
LIGHT BRONZE ANODIZED
MRF: ALUCUBOND OR
EQUIVALENT



GILMAN AVE
MODULES KEY PLAN



3. MODULE E - EAST CAMPBELL AVE & GILMAN AVE



2. MODULE C - DILLON AVE & EAST CAMPBELL AVE



1. MODULE A - DILLON AVE

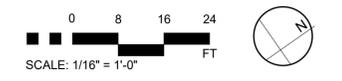
- LEGEND**
- PEDESTRIAN CIRCULATION
 - BICYCLE CIRCULATION
 - AUTO CIRCULATION
 - ACCESSIBLE PATH
 - PUBLIC ENTRANCE
 - ▲ RESIDENT ENTRANCE
 - LOCKED - MAINTENANCE AND FD ONLY



PARKING: 54 RESIDENTIAL SPACES (1 ACCESSIBLE & 1 VAN ACCESSIBLE), 25' DRIVE AISLES WITH 8'-6" x 18'-0" SPACES

PARKING LEVEL - ACCESSIBLE PATH PLAN | 2
1/16" = 1'-0"

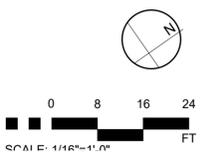
GROUND FLOOR - CIRCULATION MAP | 1
1/16" = 1'-0"

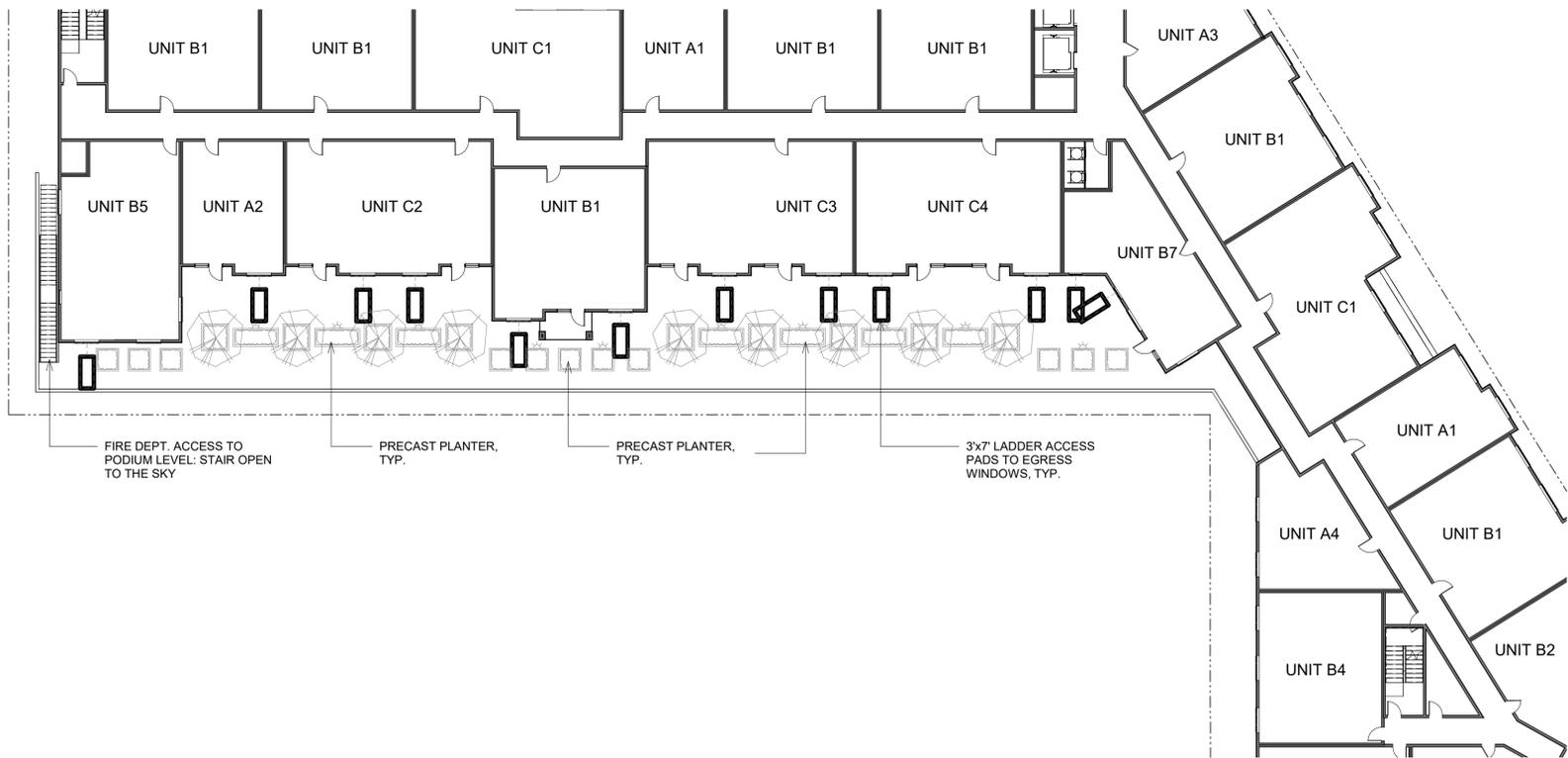
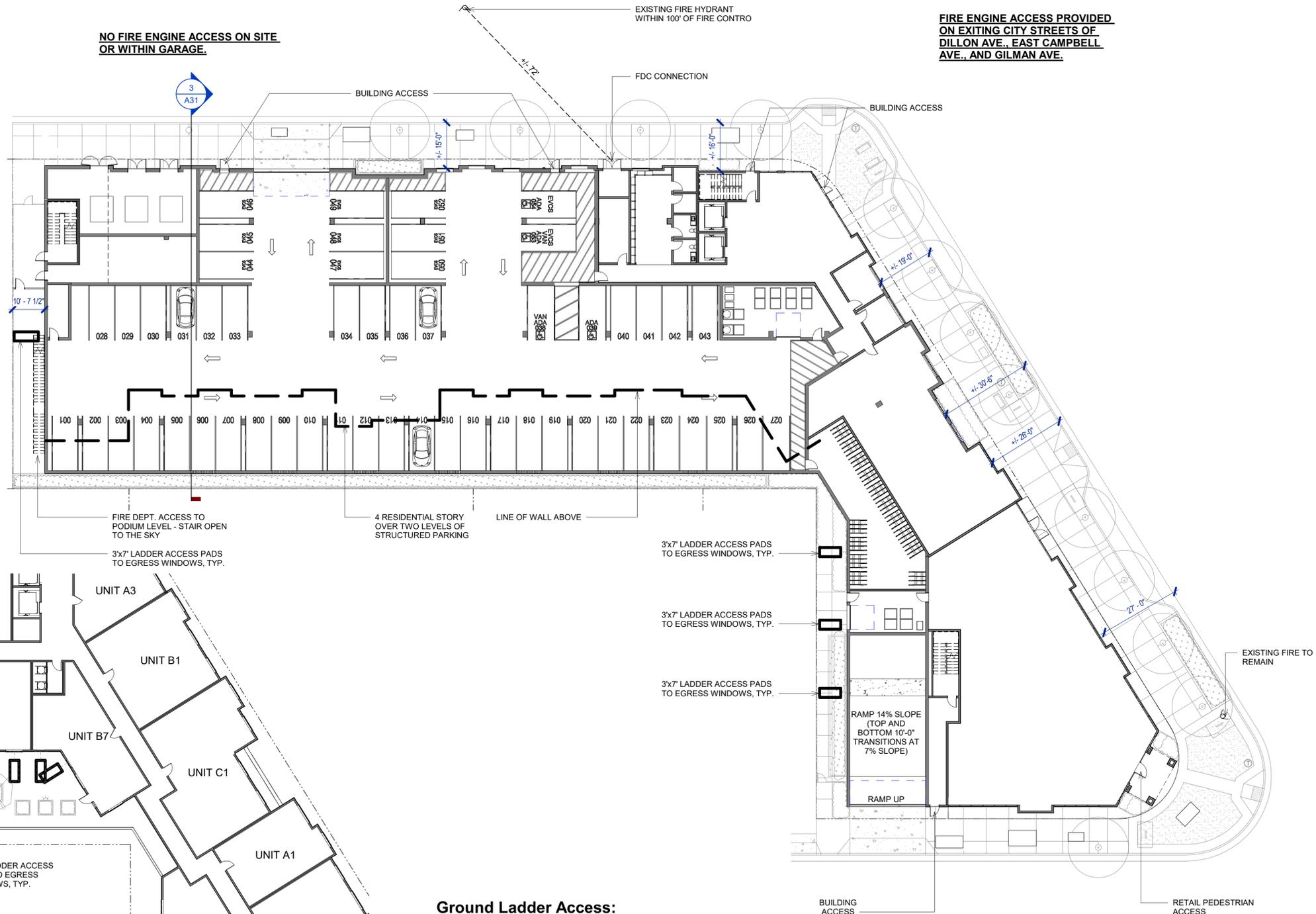
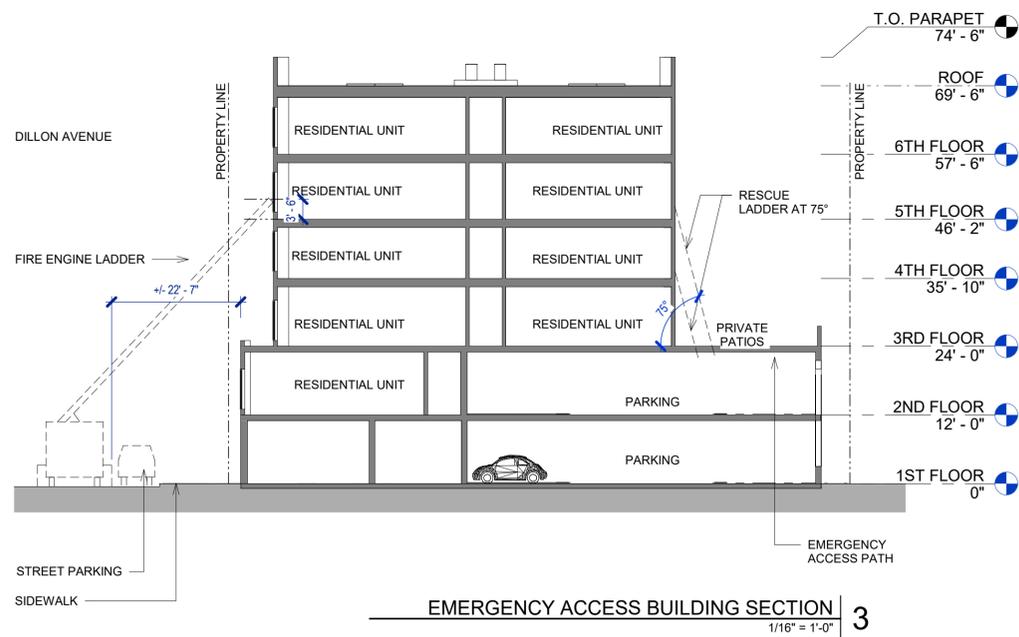


DILLON AVE



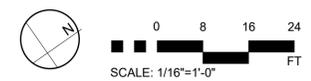
GILMAN AVE

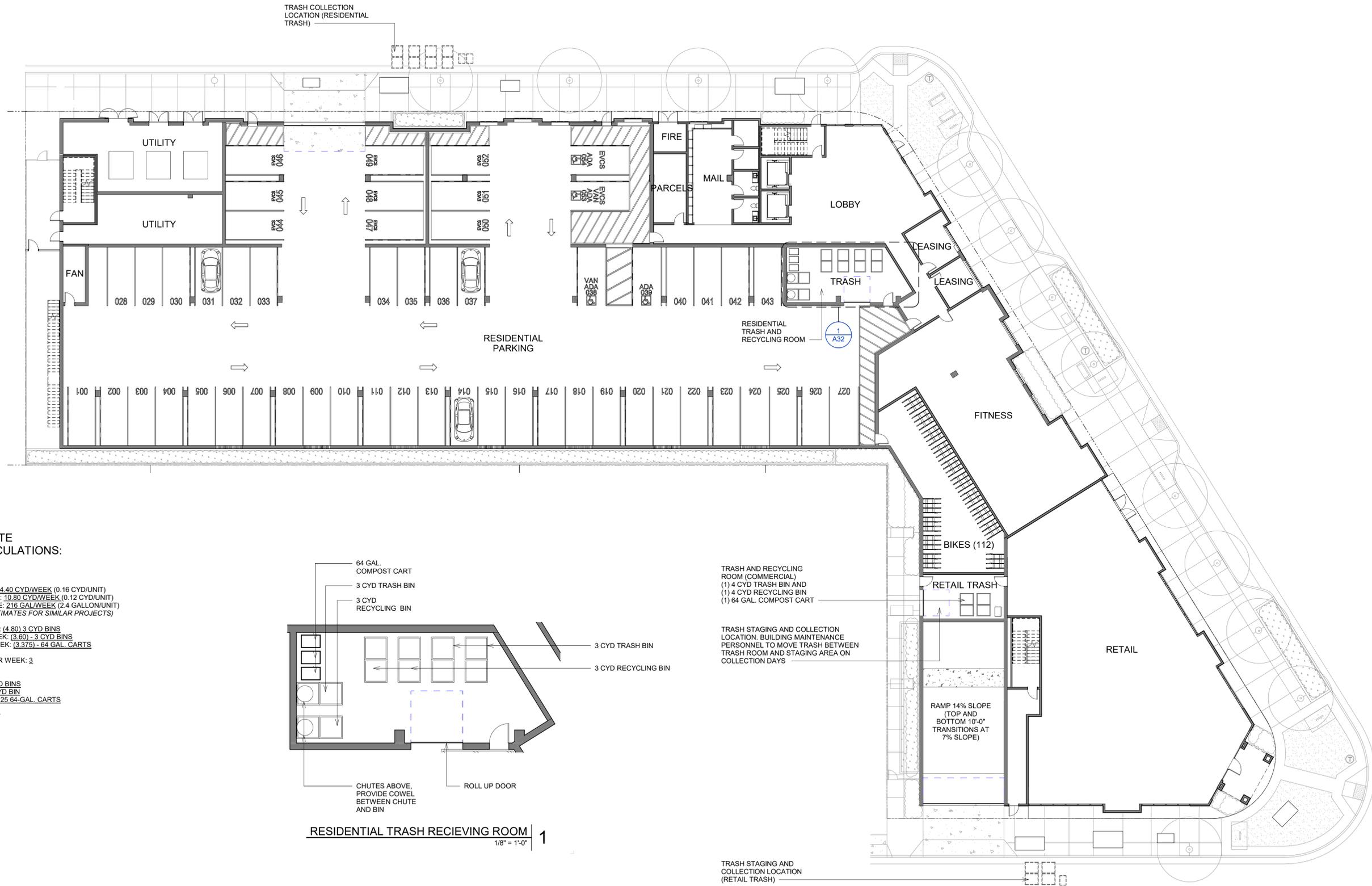




Ground Ladder Access:
 Ground-ladder rescue from second and third floor rooms shall be made possible for fire department operations. With the climbing angle of seventy five degrees maintained, an approximate walkway width along either side of the building shall be no less than seven feet clear. Landscaping shall not be allowed to interfere with the required access. CFC Sec. 503 and 1029 NFPA 1932 Sec. 5.1.8 through 5.1.9.2

FIRE ENGINE ACCESS PROVIDED ON EXITING CITY STREETS OF DILLON AVE., EAST CAMPBELL AVE., AND GILMAN AVE.





RESIDENTIAL WASTE GENERATION CALCULATIONS:

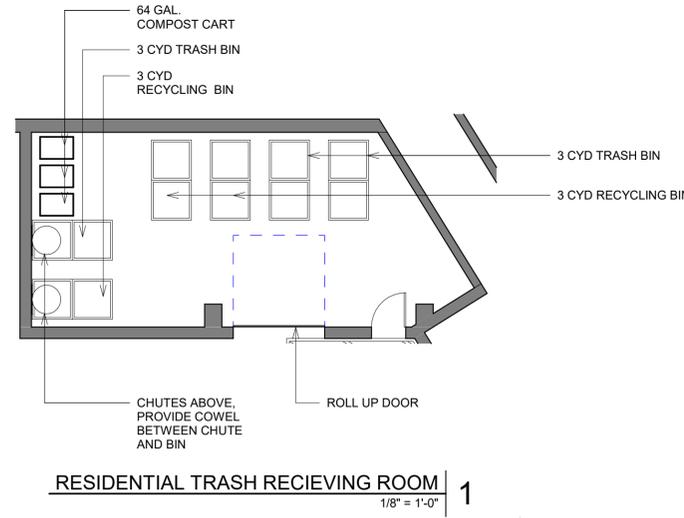
RESIDENTIAL UNIT COUNT: 90
 PROJECTED WASTE VOLUME: 14.40 CYD/WEEK (0.16 CYD/UNIT)
 PROJECTED RECYCLE VOLUME: 10.80 CYD/WEEK (0.12 CYD/UNIT)
 PROJECTED COMPOST VOLUME: 216 GALLON/WEEK (2.4 GALLON/UNIT)
 (CALCULATIONS BASED ON ESTIMATES FOR SIMILAR PROJECTS)

WASTE COLLECTED PER WEEK: (4.80) 3 CYD BINS
 RECYCLE COLLECTED PER WEEK: (3.60) 3 CYD BINS
 COMPOST COLLECTED PER WEEK: (3.375) 64 GAL. CARTS

OF PICK-UPS SCHEDULED PER WEEK: 3

CONTAINERS REQUIRED:
 WASTE: 4.80 BINS / 3 = 1.60 3CYD BINS
 RECYCLE: 3.60 BINS / 3 = 1.2 3CYD BINS
 COMPOST: 3.375 CARTS / 3 = 1.125 64-GAL. CARTS

CONTAINERS TO BE PROVIDED:
 RUBBISH: 2 - 3CYD BINS
 RECYCLE: 2 - 3CYD BIN
 COMPOST: 2 - 64-GAL. CARTS

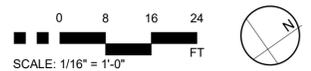


RESIDENTIAL TRASH RECEIVING ROOM | 1
 1/8" = 1'-0"

TRASH AND RECYCLING ROOM (COMMERCIAL)
 (1) 4 CYD TRASH BIN AND
 (1) 4 CYD RECYCLING BIN
 (1) 64 GAL. COMPOST CART

TRASH STAGING AND COLLECTION LOCATION. BUILDING MAINTENANCE PERSONNEL TO MOVE TRASH BETWEEN TRASH ROOM AND STAGING AREA ON COLLECTION DAYS

TRASH STAGING AND COLLECTION LOCATION (RETAIL TRASH)



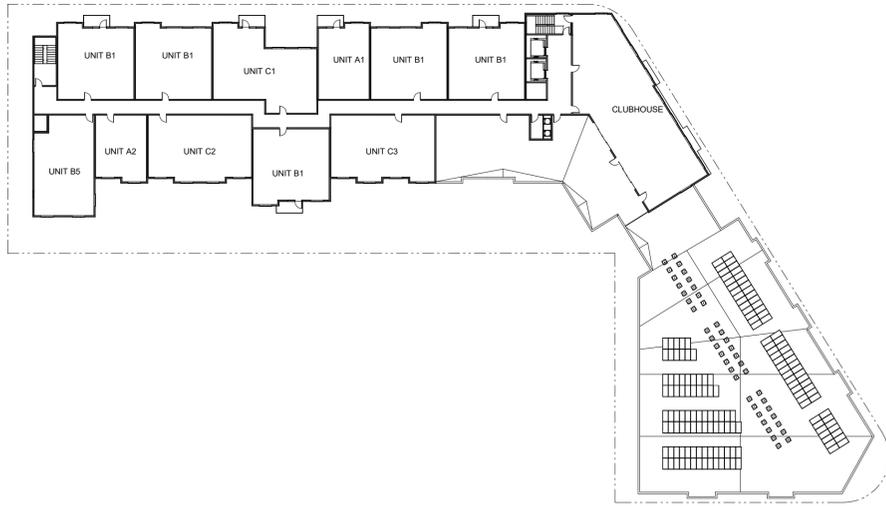


- SITE PERIMETER FENCE
- ▨ CONCRETE PUMP AND MATERIAL DELIVERY STAGING
- DEBRIS BOX WITHIN SITE PERIMETER FENCE
- TOWER CRANE SWING AREA
- ▨ CONSTRUCTION OFFICE TRAILER MONTHS 1 - 9
- ▨ CONSTRUCTION OFFICE IN BUILDING MONTH 9 - COMPLETION
- ▨ MATERIAL STAGING AREA

CONSTRUCTION PARKING WILL BE LIMITED TO OFF SITE DURING STRUCTURAL CONCRETE. AS SOON AS WE MAY UTILIZE THE GARAGE, CONSTRUCTION TRAFFIC WILL PARK IN THE GARAGE SPACES.

FRONT OF PROPERTY (EAST CAMPBELL AVE. ADDRESS)

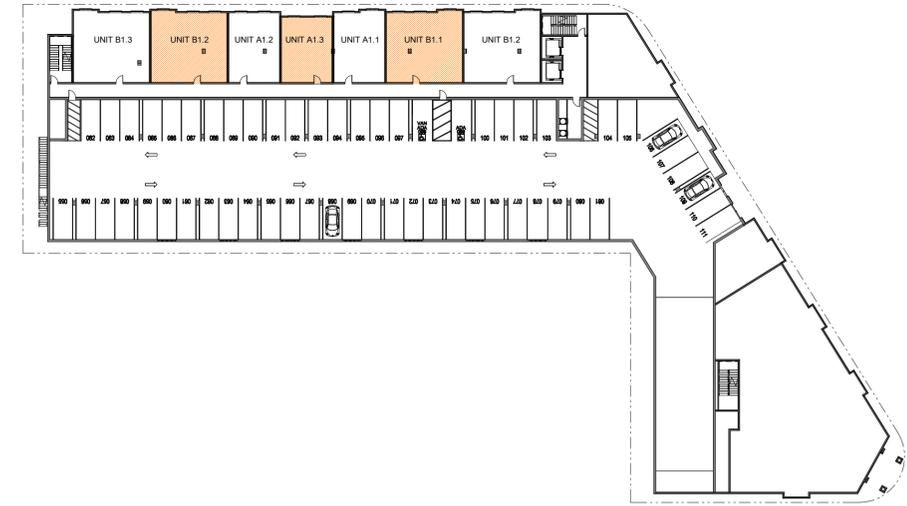




6TH FLOOR - AFFORDABLE UNITS
1" = 40'-0" 6



4TH FLOOR - AFFORDABLE UNITS
1" = 40'-0" 4



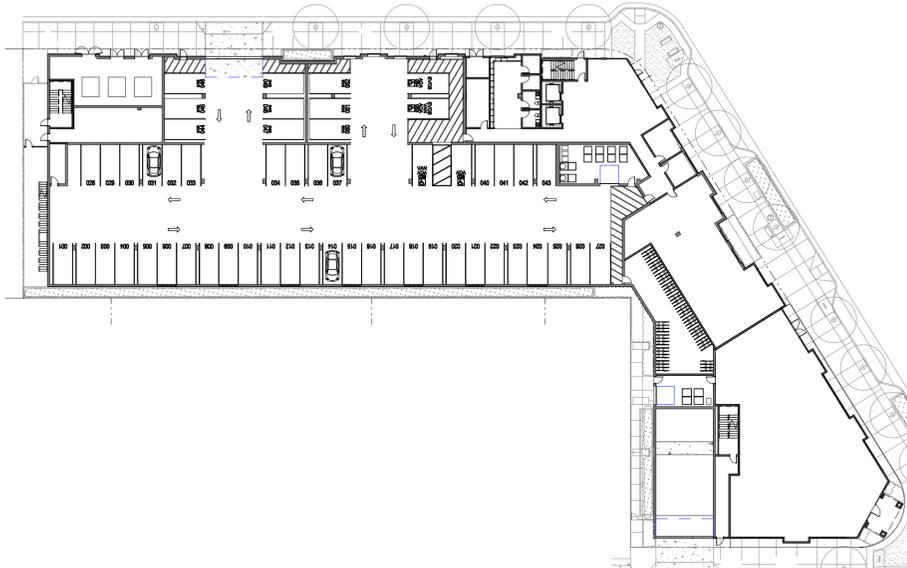
2ND FLOOR AFFORDABLE UNITS
1" = 40'-0" 2



5TH FLOOR - AFFORDABLE UNITS
1" = 40'-0" 5



3RD FLOOR - AFFORDABLE UNITS
1" = 40'-0" 3



1ST FLOOR - AFFORDABLE UNITS
1" = 40'-0" 1

UNIT AND AREA CALCULATOR	GROSS RENTABLE		NET RENTABLE		%	NO. OF UNITS	LOW INCOME
1 BRD A1	760 SF	5,320 SF	707 SF	4,949 SF	7.8%	7 UNITS	2 UNITS
1 BRD A1.1P	736 SF	736 SF	683 SF	683 SF	1.1%	1 UNITS	0 UNITS
1 BRD A1.2P	725 SF	725 SF	671 SF	671 SF	1.1%	1 UNITS	0 UNITS
1 BRD A1.3P	678 SF	678 SF	627 SF	627 SF	1.1%	1 UNITS	1 UNITS
1 BRD A3	803 SF	2,409 SF	749 SF	2,247 SF	3.3%	3 UNITS	0 UNITS
1 BRD TOTAL	759 AVG. SF.	9,868 SF	706 AVG. SF.	9,177 SF		14.4%	13 UNITS
1 BRD A2	668 SF	2,672 SF	620 SF	2,480 SF	4.4%	4 UNITS	3 UNITS < 625 SF
1 BRD A4	685 SF	2,055 SF	622 SF	1,866 SF	3.3%	3 UNITS	1 UNITS < 625 SF
SMALL 1 BRD TOTAL	675 AVG. SF.	4,727 SF	621 AVG. SF.	4,346 SF		7.8%	7 UNITS
2 BRD B1	1,112 SF	28,912 SF	1,048 SF	27,248 SF	28.9%	26 UNITS	0 UNITS
2 BRD B1.1P	1,083 SF	1,083 SF	1,015 SF	1,015 SF	1.1%	1 UNITS	1 UNITS
2 BRD B1.2P	1,083 SF	2,166 SF	1,015 SF	2,030 SF	2.2%	2 UNITS	1 UNITS
2 BRD B1.3P	1,083 SF	1,083 SF	1,015 SF	1,015 SF	1.1%	1 UNITS	0 UNITS
2 BRD B2	1,062 SF	6,372 SF	1,001 SF	6,006 SF	6.7%	6 UNITS	0 UNITS
2 BRD B3	1,111 SF	3,333 SF	1,048 SF	3,144 SF	3.3%	3 UNITS	0 UNITS
2 BRD B4	953 SF	2,859 SF	897 SF	2,691 SF	3.3%	3 UNITS	2 UNITS
2 BRD B5	1,155 SF	4,620 SF	1,086 SF	4,344 SF	4.4%	4 UNITS	0 UNITS
2 BRD B6	1,062 SF	3,186 SF	1,002 SF	3,006 SF	3.3%	3 UNITS	0 UNITS
2 BRD B7	945 SF	2,835 SF	891 SF	2,673 SF	3.3%	3 UNITS	2 UNITS
2 BRD TOTAL	1,086 AVG. SF.	56,449 SF	1,023 AVG. SF.	53,172 SF		57.8%	52 UNITS
3 BRD C1	1,428 SF	9,996 SF	1,341 SF	9,387 SF	7.8%	7 UNITS	0 UNITS
3 BRD C2	1,335 SF	5,340 SF	1,252 SF	5,008 SF	4.4%	4 UNITS	0 UNITS
3 BRD C3	1,335 SF	5,340 SF	1,252 SF	5,008 SF	4.4%	4 UNITS	0 UNITS
3 BRD C4	1,335 SF	4,005 SF	1,252 SF	3,756 SF	3.3%	3 UNITS	0 UNITS
3 BRD TOTAL	1,371 AVG. SF.	24,681 SF	1,287 AVG. SF.	23,159 SF		20.0%	18 UNITS
TOTAL	1,064 AVG. SF.	95,725 SF	998 AVG. SF.	89,854 SF	100%	90 UNITS	13 UNITS

LAYOUT LEGEND

	Ground Cover		Pedestrian Permeable Paving on Grade
	Pedestrian Concrete Paving		Pedestrian Unit Paving On Structure, Type 1
	Detail Number		Pedestrian Unit Paving On Structure, Type 2
	Sheet Number		Pedestrian Unit Paving On Pedestal, Type 1
	Property Line		Pedestrian Unit Paving On Pedestal, Type 2
	Center Line		
	Align	E.J.	Expansion Joint
	Street Light S.E.D. and S.C.D.	S.A.D.	See Architect's Drawings
	Pedestrian Scale Pole Light S.E.D. See Color and Finish Schedule	S.C.D.	See Civil Engineer's Drawings
	Down Light S.E.D. See Color and Finish Schedule	S.E.D.	See Electrical Engineer's Dwg's
	Wall Light S.E.D. See Color and Finish Schedule	S.C.F.S.	See Color and Finish Schedule
	Fire Hydrant S.C.D.		
	Utility Boxes S.C.D.		
	Below grade utilities as noted S.C.D.		
	Trash Receptacle. See Color and Finish Schedule		
	Planter Pots. See Color and Finish Schedule		
	Bench. See Color and Finish Schedule		

LAYOUT NOTES

- The Contractor shall verify all distances and dimensions in the field and bring any discrepancies to the attention of the Landscape Architect for a decision before proceeding with the work.
- Contractor to take all necessary precautions to protect buildings and waterproof membranes from damage. Any damage caused by the Contractor or the Contractor's representatives during their activities shall be repaired at no cost to the Owner.
- All written dimensions supersede all scaled distances and dimensions. Dimensions shown are from the face of building wall, face of curb, edge of walk, property line, or centerline of column unless otherwise noted on the drawings.
- Walk scoring, expansion joints and paving shall be located as indicated on the Layout Plans, Landscape Construction Details, in the Specifications, or as field adjusted under the direction of the Landscape Architects.
- All building information is based on drawings prepared by:
LPAS
10 Clay Street, Suite 250
Oakland, CA 94607
415.213.0335
- All site civil information is based on drawings prepared by
Kier + Wright
3350 Scott Blvd, Bldg 22
Santa Clara, CA 95054
408.727.6665
- The Contractor is to verify location of all on-site utilities before commencing with the work. The Contractor shall be responsible for the repair of any damage to utilities caused by the activities of the Contractor or the Contractor's representatives. Any utilities shown on Landscape Drawings are for reference and coordination purposes only.
- All uplights are to be directed upward into the trees or objects they are intended to illuminate. Uplight positioning is subject to field modification by the Landscape Architect.
- Protect all existing construction from damage. The Contractor shall be responsible for the repair of any damage to existing construction caused by the activities of the Contractor or the Contractor's representatives.
- Expansion joints shall be located no less than 16' o.c. nor greater than 20' o.c. and/or as indicated on the Layout Plans, Landscape Construction Details, in Specifications, or as field adjusted under the direction of the Landscape Architect.

TREE PROTECTION/PRUNING NOTES

- All trees designated to be preserved shall be verified by the Project Superintendent. This shall occur prior to the removal of any trees on-site.
- Neighboring trees overhanging the site should be protected from site construction impacts in the same manner as existing on-site trees to be preserved.
- Tree drip zone areas shall be protected with a 5' high chain link fence enclosure mounted on 2 inch diameter galvanized iron posts driven into the ground to a depth of at least 2 feet at no more than 10 foot spacing. The fence shall enclose the entire area under the dripline. Spray paint the top of the fence with bright orange paint before unrolling the fabric to ensure visibility of the barrier. In no case shall any vehicles or equipment be permitted to be stored within this enclosed area. Fence shall be erected before construction begins and remain in place until time for relocation.
- No materials or topsoil shall be stored within the tree enclosure area.
- No trenching within enclosure shall be permitted. Any tree roots encountered outside of the enclosure smaller than 2" shall be cut clean with the approved tree pruning tools and sealed with an approved fungicidal tree sealant. Tree roots 2" or larger shall not be cut. Route pipes into alternate location to avoid conflict. Any damaged or torn roots are to be root pruned and sealed with orange shellac.
- No grading or trenching shall be permitted within the fenced zone or under the dripline except as specifically noted on the plans.
- No soil sterilants shall be applied under pavement near existing trees.
- Fertilizer and water soil injections must be done during April-May of the year of construction as well as the year after. These shall consist of Miller Nutrileaf 20-20-20 or equal at 5.5 pounds per 100 gallons of water or equivalent, or as recommended by the Arborist. This shall be applied to a depth of at least 18" and at a 20 degree angle toward the tree trunk at a rate of 10 gallons per inch of tree caliper.
- Above ground surface runoff shall not be directed into the tree canopy area from adjacent areas.
- A supplemental irrigation program is recommended at regular intervals (every three to four weeks) during the period in May 1 through Oct. 31. Irrigation is to be applied at or above the 'dripline' in an amount sufficient to supply approximately fifteen gallons of water for each inch in trunk diameter.
- Irrigation can be provide by means of a soil needle, 'soaker' or permeable hose. When using 'soaker' or permeable hose, water is to be run at low pressure, avoiding runoff/pudding, allowing the needed moisture to penetrate the soil to feeder root depths.
- Periodic inspections by a qualified Arborist are recommended during construction activities, particularly as trees are impacted by trenching/grading operations. Any recommendations by the Arborist for maintaining the health of trees are to be implemented.
- Tree Pruning Notes. All trees shall be pruned in compliance with the following industry standards:
 - All specifications for working on protected trees shall be written and administered by a qualified arborist.
 - All work on protected trees shall be in accordance with the industry Standard Practices for Tree Care Operations outlined in the ANSI A300-1995 and ANSI33-1994.
 - All Specified tree work shall be designed to promote practices which encourage the preservation of tree structure and health, in accordance with the current Tree Pruning Guidelines (International Society of Arboriculture). An I.S.A. Certified Arborist or Tree Worker must be present at all times during pruning operations.

SHEET INDEX

L-1.1	Notes and Legends
L-1.2	Planting Notes and Legends
L-2.1	Schematic Landscape Plan - Site
L-2.2	Schematic Landscape Plan - Podium and Roof
L-3.1	Schematic Planting Plan - Site
L-3.2	Schematic Planting Plan - Podium and Roof
L-4.1	Irrigation Zoning Diagram - Site
L-4.2	Irrigation Zoning Diagram - Podium and Roof
L-4.3	Irrigation Details
L-4.4	Irrigation Details
L-5.1	Schematic Landscape Details
L-5.2	Schematic Landscape Details

COLOR AND FINISH SCHEDULE

PEDESTRIAN CONCRETE PAVING
All colors by Davis Colors, 800.356.4848

Type 1 Natural Grey Concrete with light broom finish. Sweep perpendicular to path of travel.

Type 2 Integral Color Concrete. Color and Finish per City standards

PEDESTRIAN UNIT PAVERS
Precast Concrete Pavers by Acker-Stone, 800.258.2353
Type 1 12x24 Palazzo, Modified Herringbone Pattern, Color: Natural Pewter Monaco with Onyx Monaco 8x8.

Type 2 24x24 Palazzo, Stacked Bond Pattern, Color: Bentley White Monaco

Porcelain Tile Pavers by Acker-Stone, 800.258.2353

Type 3 24"x24" Porcelain Tile. Color: Torre Quarzite Grigia

PRE-CAST PLANTERS

Custom Planters by Deco Planters, available thru Spruce and Gander (760) 690-4083. Planter Types 1-4 by Tournesol Site Works (800) 542-2282. All planters w/ drain holes.

Type 1 36"x36"x30" Wilshire by Tournesol. Color: Sapphire, Smooth

Type 2 48"x48"x30" Wilshire by Tournesol. Color: Sapphire, Smooth

Type 3 60"x60"x36" Wilshire by Tournesol. Color: Sapphire, Smooth

Type 4 96"x48"x30" Wilshire by Tournesol. Color: Sapphire, Smooth

Type 5 Custom 4'x10' Color: Blue

Type 6 Custom 42"x12'. Color: Blue

Type 7 Custom 42"x14'. Color: Blue

Type 8 Custom 42"x16'. Color: Blue

Contractor to submit sample to Landscape Architect for approval prior to acquisition or installation. Contractor to provide unit price.

LIGHTING FIXTURES

Recessed Wall Light: 24 210 by Bega Lighting, bega-us.com, 805.684.0533. S.E.D. for more information. To be recessed into precast planters and cmu planter walls.

Trellis Down Light: BK-Lighting LED Nite Star II, Finish Color: Dark Bronze. S.E.D. for more information.

Work Light at BBQ Countertop: B-K LED Twin Staff Star, Finish Color: Machined Stainless Steel. S.E.D. for more information.

BENCH - City Standard
By: Dumor, Inc.
Model: 58, See Offsite Plans for more information.

BIKE RACK - City Standard
By: Dumor, Inc.
Model: 290, See Offsite plans for more information.

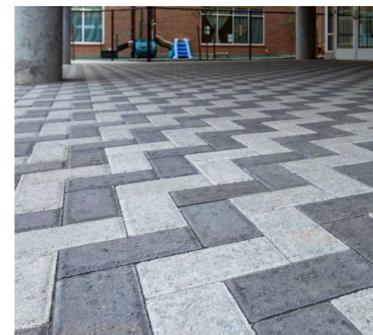
TREE GRATE - City Standard
By: Urban Accessories
Model: 4'x6' Coho, See Offsite Plans for more information.

TRASH RECEPTACLE - City Standard
By: Dumor, Inc.
Model: 84-32-FTO, See Offsite Plans for more information

OUTDOOR TV
By: Sunbrite TV, 866.357.8688
Model: 65" Signature 2 Outdoor Partial Sun TV SB-52-65-4K

TRASH / RECYCLING
082 Element by IAP, Size: 31x17x34, Color: Matte Grey.

Contractor to submit sample to Landscape Architect approval prior to fabrication. Contractor to provide unit price. Quantity to be determined by Landscape Architect and Owner.



Unit Pavers on Structure



Recessed Wall Light



Trellis Down Light



Work Light - Grill



Trash Receptacle



City Standard Bike Rack



City Standard Trash Receptacle



City Standard Bench



Roof Deck Trellis



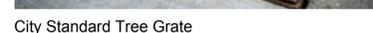
BBQ Grill



Double Sided Fireplace



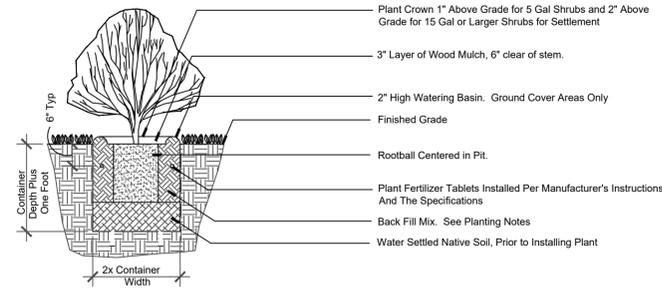
Precast and Custom Planters



City Standard Tree Grate

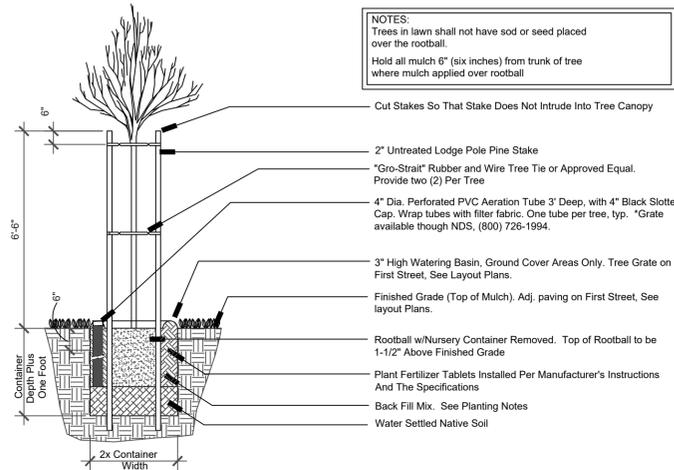
PLANTING NOTES

- All work shall be performed by persons familiar with planting work and under supervisions of a qualified planting foreman.
- Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
- All trees are to be staked as shown in the staking diagrams.
- All tree stakes shall be cut 6" above tree ties after stakes have been installed to the depth indicated in the staking diagrams. Single stake all conifers per tree staking diagram.
- Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
- The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
- All planting areas, except storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Colored Wood Chip" by Vision Recycling (510.429.1300; www.visionrecycling.com) or approved equal. Planter pots shall be top-dressed with "Colored Lumber Fines" mulch by Vision Recycling. Mulch shall be Dark Brown in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
- All street trees to be installed in accordance with the standards and specifications of the City of Campbell. Contractor to contact the city arborist to confirm plant type, plant size (at installation), installation detailing and locations prior to proceeding with installation of street trees. Contractor is to obtain street tree planting permit from the city, if a permit is required, prior to installation of street trees. Contractor is to consult with the Landscape Architect during this process.
- Seasonal color is to be current and locally available. Plant material is to be selected by the Landscape Architect from a list of currently available stock provided by the Landscape Contractor prior to installation. Seasonal color to be 4" pots at 12" o.c. unless otherwise noted.
- Plants shall be installed to anticipate settlement. See Tree and Shrub Planting Details.
- All trees noted with 'deep root' and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications and details for materials, depth of material, and location of installation.
- The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
- The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
- The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.
- Install all plants per plan locations and per patterns shown on the plans. Install all shrubs to ensure that anticipated, maintained plant size is at least 2'-0" from the face of building(s) unless shown otherwise on the plans. Refer to Plant Spacing Diagram for plant masses indicated in a diagrammatic manner on the plans. Refer to Plant Spacing Diagram for spacing of formal hedge rows.
- Contractor to provide one (1) Reference Planting Area for review by Landscape Architect prior to installation of the project planting. The Reference Planting Area shall consist of a representative portion of the site of not less than 900 (nine hundred) square feet. Contractor to set out plants, in containers, in the locations and patterns shown on the plans, for field review by the Landscape Architect. The Reference Planting Area will be used as a guide for the remaining plant installation.
- The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
- Contractor to verify drainage of all tree planting pits. See Planting Specifications. Install drainage well per specifications and Tree Planting Detail(s) if the tree planting pit does not drain at a rate to meet the specifications.
- Contractor shall remove all plant and bar code labels from all installed plants and landscape materials prior to arranging a site visit by the Landscape Architect.
- Versacell drainage board or approved equal is to be installed in all on-structure planters and all pre-cast planters/pots as shown in the drawings.
- All tree rootballs shall be irrigated by water jet during the sixty (60) day maintenance period established by specifications. This irrigation shall occur each time normal irrigation is scheduled.
- The Landscape Contractor shall, as a part of this bid, provide for a planting allowance for the amount of \$5,000,000 (Five Thousand Dollars) to be used for supplying and installing additional plant material as directed by the Landscape Architect and approved by the Owner in writing. The unused portion of the allowance shall be returned to the Owner at the beginning of the maintenance period.
- For trees and shrubs that overhang circulation route, maintain 80" clear above walking surface.



Shrub Planting Detail

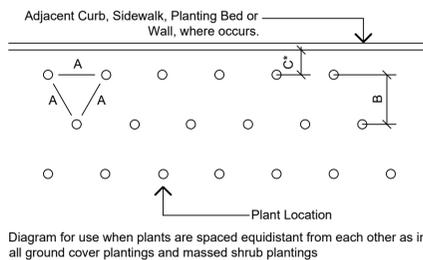
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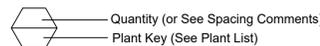
Street Tree Planting Diagram

Scale: 3/8" = 1'-0"

PLANT SPACING DIAGRAM



PLANT CALLOUT SYMBOL



PLANT PALETTE

TREES * 24" Box Standards Unless Noted Otherwise on Plans					
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS
CER CAN	*	<i>Cercis canadensis</i> 'Alba'	White Eastern Redbud	multi	
KOE BIP	*	<i>Koelreuteria bipinnata</i>	Chinese Flame Tree		
LAU SAR	*	<i>Laurus</i> 'Saratoga'	Sweet Bay		
MAG GRA	*	<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia	multi	
MAG SOU	*	<i>Magnolia soulangiana</i> 'Liliputian'	Saucer Magnolia	multi	
PLA ACE	*	<i>Platanus a.</i> 'Columbia'	London Plane Tree		
SHRUBS					
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS
20	5 gal	<i>Leucadendron</i> 'Red Gem'	Yellow Conebush	36" o.c.	
27	15 gal	<i>Podocarpus e.</i> 'Monnal'	Ice Blue Fern Pine	column	
29	5 gal	<i>Rhaphiolepis i.</i> 'Georgia Petite'	Dwarf Indian Hawthorn	24" o.c.	
32	15 gal	<i>Tibouchina urvilleana</i>	Princess Flower		
41	5 gal	<i>Asparagus d.</i> 'Myers'	Myers Asparagus	24" o.c.	
43	5 gal	<i>Chondropetalum tectorum</i>	Cape Rush	30" o.c.	
45	5 gal	<i>Correa pulchella</i> 'Ray's Tangerine'	Australian Fuchsia	36" o.c.	
48	1 gal	<i>Cuphea llavea</i>	Bat-faced Cuphea	24" o.c.	
49	5 gal	<i>Dianella tasmanica</i> 'Variegata'	Flax Lily	24" o.c.	
54	5 gal	<i>Lomandra</i> 'Lime Tuff'	Dwarf Mat Rush	15" o.c.	
57	5 gal	<i>Nandina d.</i> 'Lemon Lime'	Heavenly Bamboo	36" o.c.	
61	5 gal	<i>Phormium</i> 'Golden Ray'	New Zealand Flax cvs	42" o.c.	
63	5 gal	<i>Pittosporum t.</i> 'Wheeler's Dwarf'	Pittosporum	24" o.c.	
64	1 gal	<i>Polystichum munitum</i>	Western Sword Fern	30" o.c.	
66	5 gal	<i>Salvia m.</i> 'Hot Lips'	Garden Sage	30" o.c.	
70	5 gal	<i>Stipa Arundinacea</i>	Pheasant's Tail Grass	36" o.c.	
GROUNDCOVERS					
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
NH	1 gal	<i>Nandina</i> 'Flirt'	Dwarf Heavenly Bamboo	24" o.c.	
TL	1 gal	<i>Teucrium x lucidrys</i>	Germander	18" O.C.	
TJ	1 gal	<i>Trachelospermum jasminoides</i>	Star Jasmine	18" o.c.	

PLANT QUANTITY DIAGRAM

SPACING 'A'	SPACING 'B'	SPACING 'C'	NO. OF PLANTS/SQUARE FOOT
6" O.C.	5.20"	2.60"	4.60
8" O.C.	6.93"	3.47"	2.60
9" O.C.	7.79"	3.90"	1.78
10" O.C.	8.66"	4.33"	1.66
12" O.C.	10.40"	5.20"	1.15
15" O.C.	13.00"	6.50"	0.74
18" O.C.	15.60"	7.80"	0.51
24" O.C.	20.80"	10.40"	0.29
30" O.C.	26.00"	13.00"	0.18
36" O.C.	30.00"	15.00"	0.12
48" O.C.	40.00"	20.00"	0.07
72" O.C.	62.35"	31.18"	0.04

See Plant Spacing Diagram for maximum triangular spacing 'A'. This chart is to be used to determine number of ground cover required in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.

* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant distance from wall, sidewalk, adjacent planting bed or back of curb, where C=1/2 B.



66-Salvia



54-Lomandra



PLA ACE-Plantanus



64-Polystichum



27-Podocarpus



20-Leucadendron



70-Stipa arundinacea



29-Raphiolepis



54-Nandina



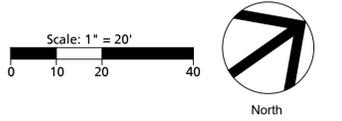
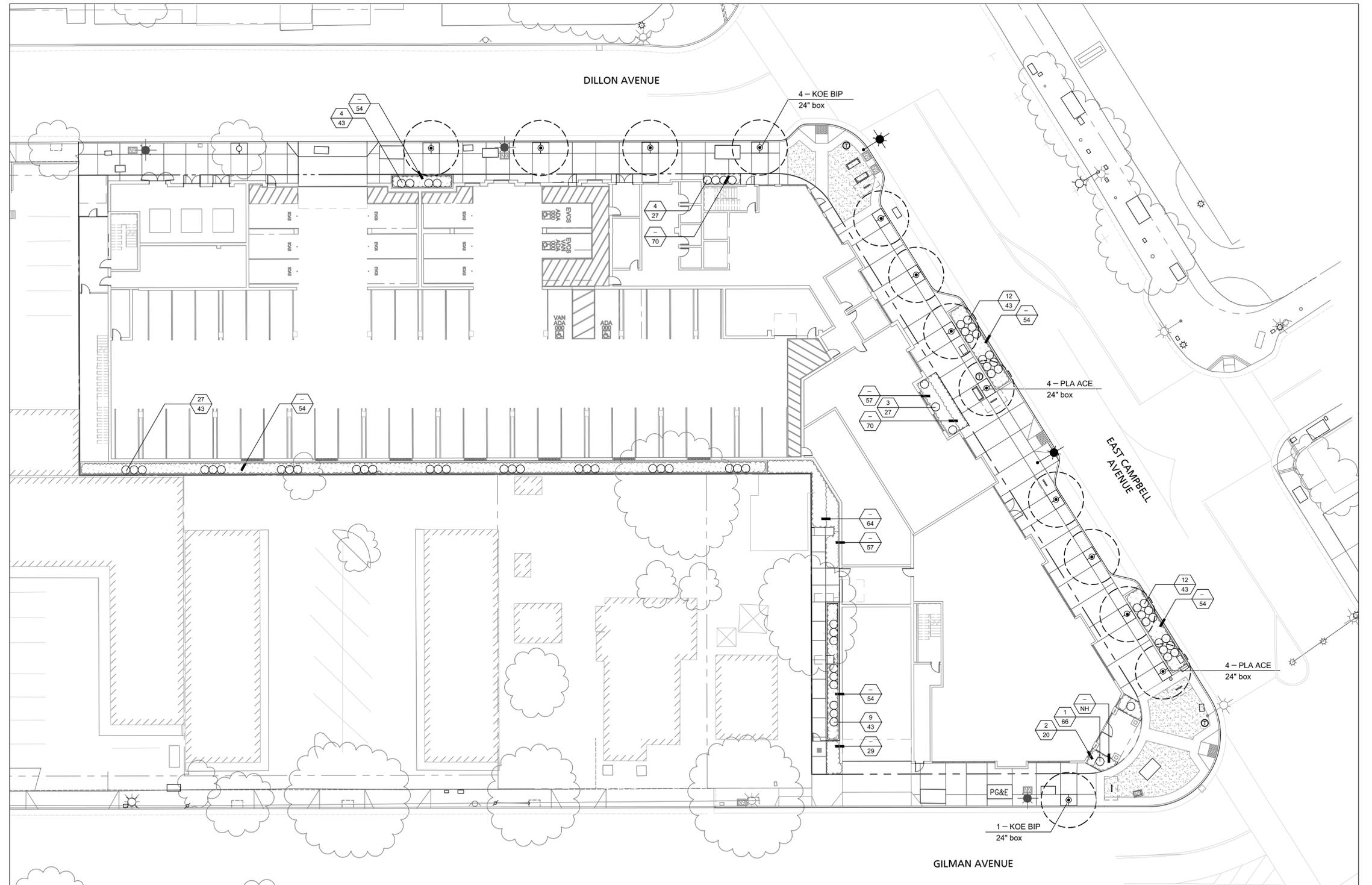
NH-Nandina

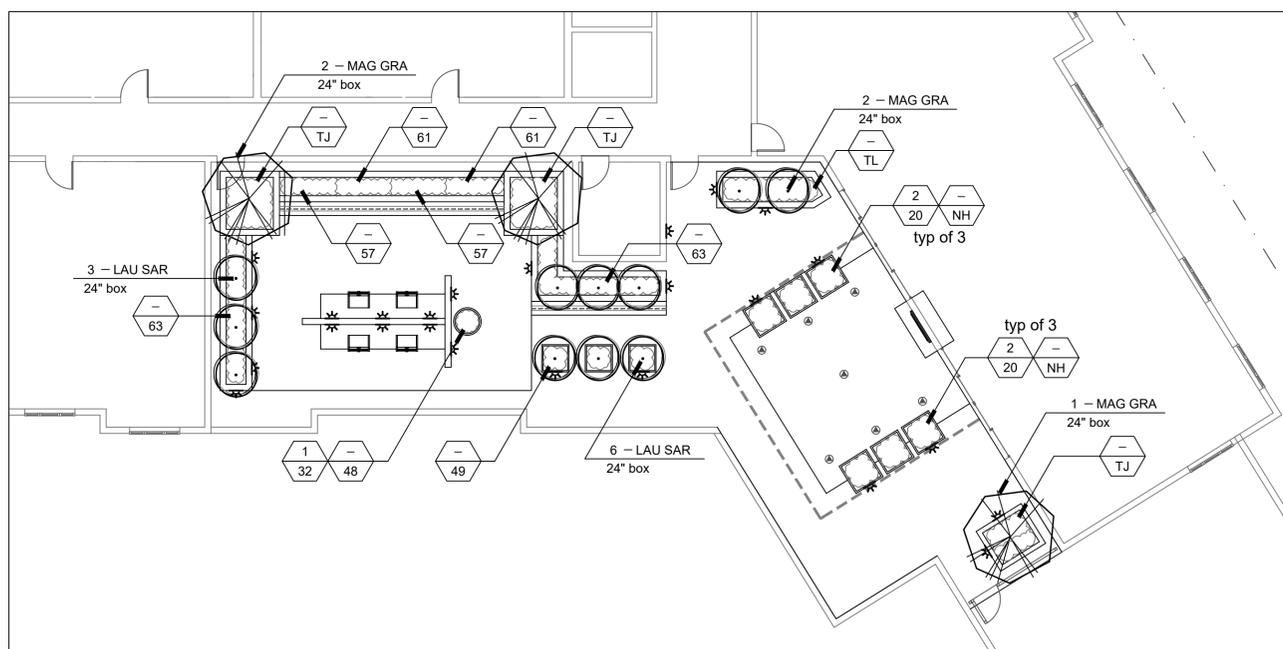
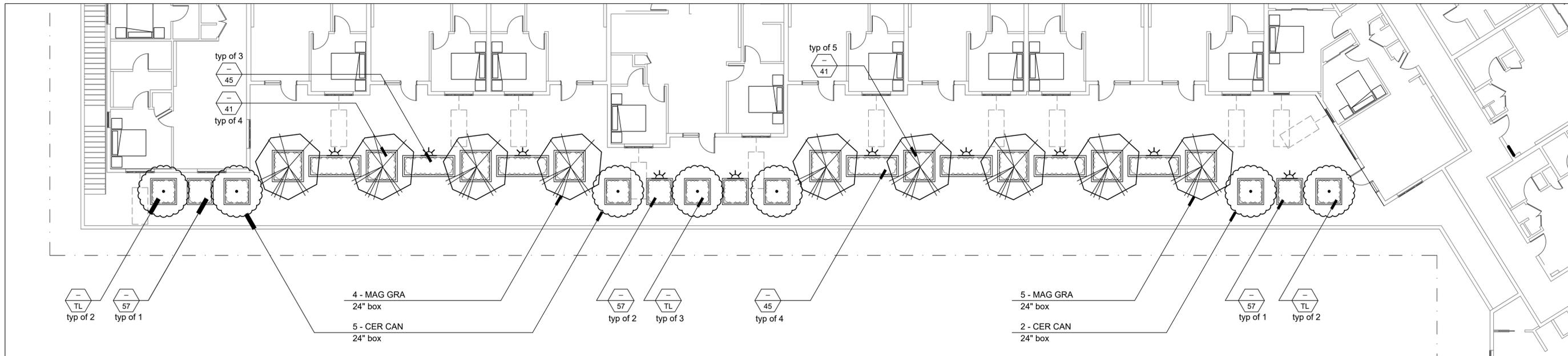


KOE BIP-Koelreuteria

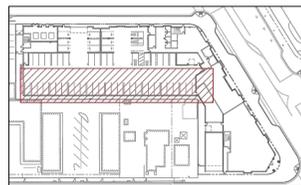


43-Chondropetalum





Scale: 1" = 10'



Scale: 1" = 10'



CER CAN-Cercis



LAU SAR-Laurus



MAG GRA-Magnolia



63-Pittosporum



57-Nandina



32-Tibouchina



NH-Nandina



TJ-Trachelospermum



20-Leucadendron



45-Correa pulchella



61-Phormium



41-Asparagus



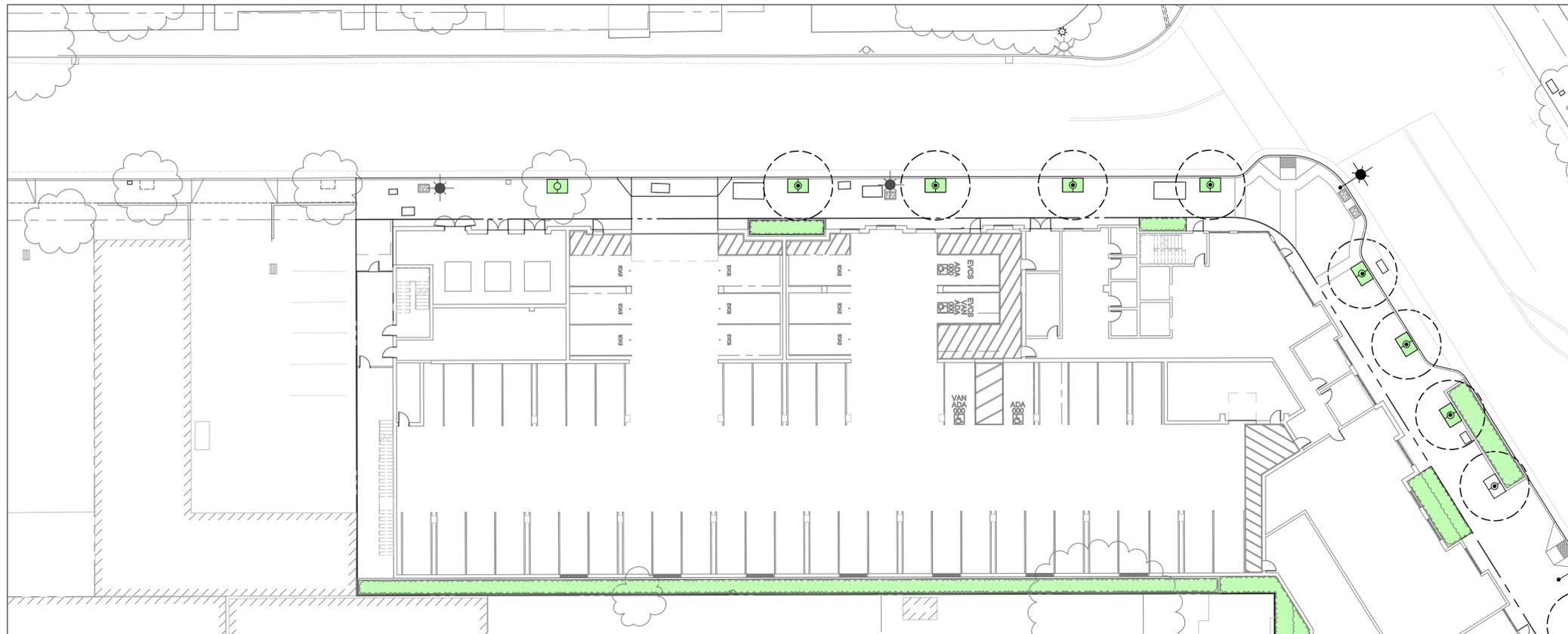
48-Cuphea



TL-Teucrium



49-Dianella



PROPOSED EQUIPMENT LIST

DOMESTIC WATER METER-2"	-BY OTHER SECTION OF CONTRACT
IRRIGATION BACKFLOW PREVENTION DEVICE	-WILKINS-975-XLU-2"
MASTER CONTROL VALVE	-TORO-220-27-09 -2"
FLOW SENSOR	-DATA INDUSTRIAL-P220-1"
FERTIGATION SYSTEM (20 GALLON)	-EZ-FLO-EZ20
ELECTRIC CONTROLLER ASSEMBLIES	-BASELINE 3200 X-CABINET
REMOTE CONTROL VALVES	-TORO-P220 SERIES
DRIP REMOTE CONTROL VALVES	-TORO-P220 SERIES WITH DRIP CONTROL ASSEMBLY
QUICK COUPLING VALVES	-RAINBIRD-33DRC
GATE VALVES -LINE SIZE	-SEE DETAIL
DIGITAL SOIL MOISTURE SENSOR	-BASELINE-BL BISENSOR
RAIN SENSOR	-TORO-TRS
FLUSH VALVE	-SEE DETAIL
PLANTER POT IRRIGATION	-SEE DETAIL
TREE BUBBLERS	-TORO-FB-100-PC
IRRIGATION SUPPLYLINE -DOMESTIC SYSTEM	-1120/SCHEDULE 40 PVC PIPE -24" COVER
IRRIGATION SPRINKLERLINE	-1120/SCHEDULE 40 PVC PIPE -12" COVER
ELECTRICAL CONDUIT-SIZE AS INDICATED	-1120/SCHEDULE 40 PVC PIPE -24" COVER
SLEEVING-SIZE AS INDICATED	-1120/SCHEDULE 40 PVC PIPE -24" COVER
IRRIGATION SUBSURFACE EMITTERLINE	-NETAFIM-TLCV4-12 -4" COVER

- ### NOTES OF DESIGN INTENT
- IRRIGATION SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE.
 - IRRIGATION CONTROLLER SHALL BE "SMART" SELF ADJUSTING BASED ON DAILY ET REQUIREMENTS OF THE PLANT MATERIAL.
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 - VALVE BOX LOCATIONS SHALL BE IN GROUND COVER AREAS WHEREVER POSSIBLE.

WATER USE LEGEND

Key	WUCOLS Category	Area
Light Green	Low Water Use	2,701 sq ft
Orange	Medium Water Use	1,191 sq ft
Red	High Water Use	0 sq ft

NOTES:
Based upon total landscape area of 3,892 SF

Include 3 inches of composted, non-floatable mulch in areas between stormwater treatment plantings and side slopes.

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) **45.3**

Hydrozone # /Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d	
Regular Landscape Areas								
Low Water-Use Plants	0.30	Drip	0.81	0.37	2,701	999	28,068	
Moderate Water-Use Plants	0.50	Drip	0.81	0.62	1,191	738	20,739	
High Water-Use Plants	0.80	Drip	0.81	0.99	0	0	0	
Moderate Water-Use Turf EVA	0.50	Spray	0.75	0.67	0	0	0	
				Totals	3,892	1,738	48,808	
Special Landscape Areas								
				Totals	(C)	(D)	0	
				Totals	0	0	0	
							ETWU Total	48,808
							Maximum Allowed Water Allowance (MAWA)^e	49,190

^aHydrozone #/Planting Description
E.g
1.) front lawn
2.) low water use plantings
3.) medium water use planting

^bIrrigation Method
overhead spray
or drip

^cIrrigation Efficiency
0.75 for spray head
0.81 for drip

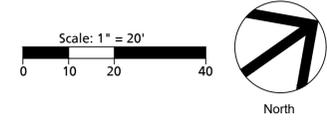
^dETWU (Annual Gallons Required) = $Eto \times 0.62 \times ETAF \times Area$
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

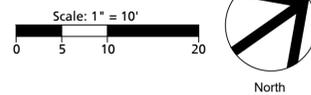
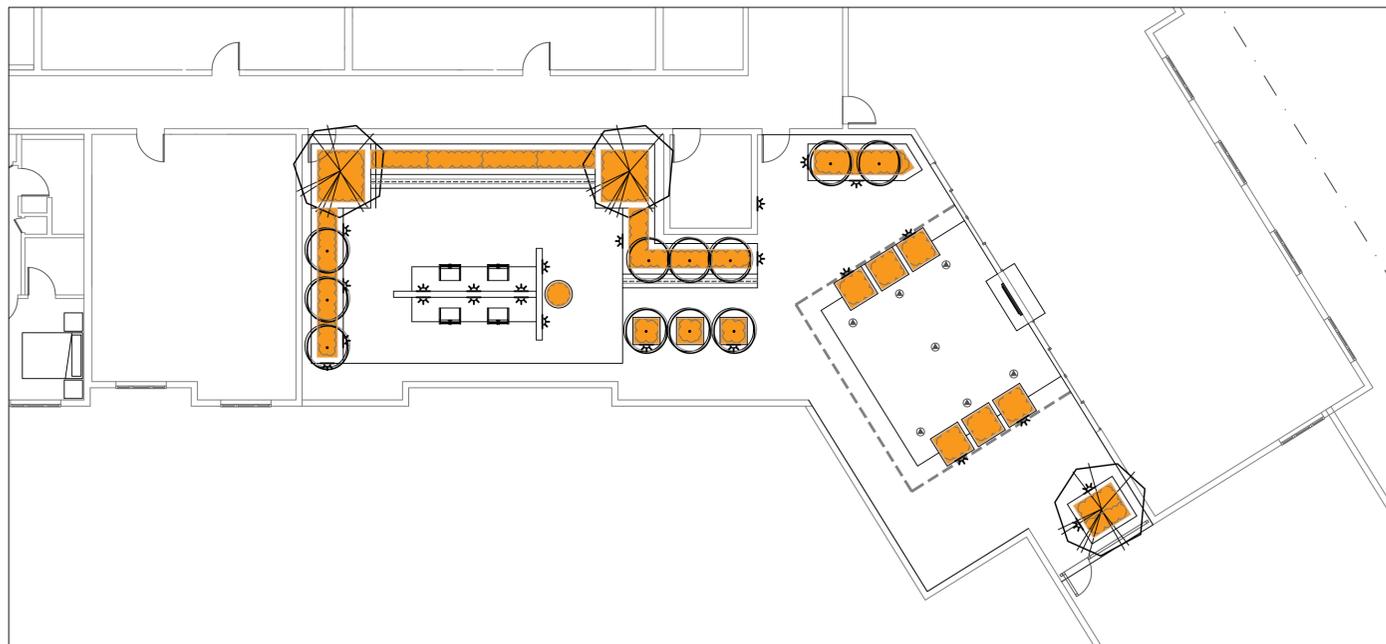
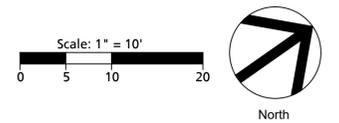
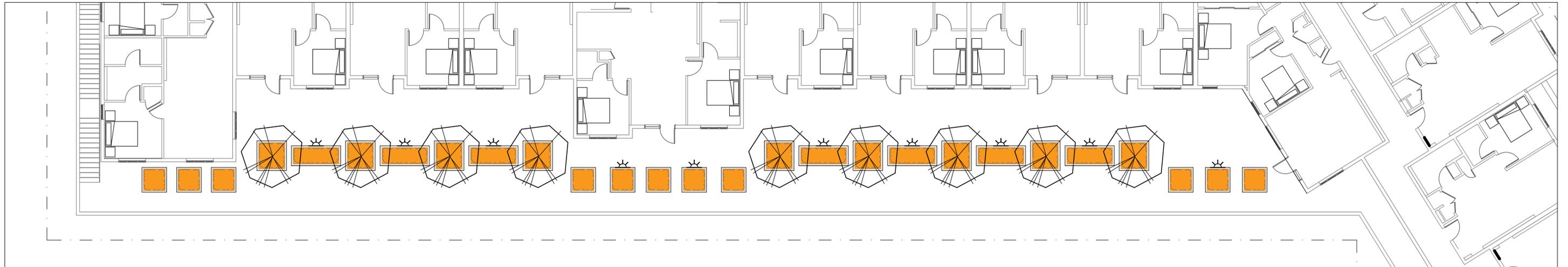
^eMAWA (Annual Gallons Allowed) = $(Eto) (0.62) [(ETAF \times LA) + ((1-ETAF) \times SLA)]$
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Regular Landscape Areas	
Total ETAF x Area (B)	1,738
Total Area (A)	3,892
Average ETAF	0.446503083247688
All Landscape Areas	
Total ETAF x Area (B+D)	1,738
Total Area (A+C)	3,892
Sitewide ETAF (B+D) + (A+C)	0.446503083247688





WATER USE LEGEND

Key	WUCOLS Category	Area
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	Medium Water Use	1,191 sq ft
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NOTES:
Based upon total landscape area of 3,892 SF

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Moderate Water-Use Turf EVA	0.50	Spray	0.75	0.67	0	0	0	
					(A)	(B)		
					Totals	3,892	1,738	48,808
Special Landscape Areas								
					(C)	(D)		
					Totals	0	0	
					ETWU Total		48,808	
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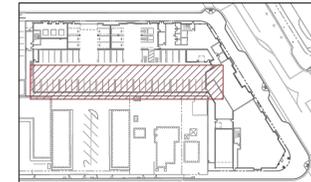
All Landscape Areas	
Total ETAF x Area (B+D)	1,738
Total Area (A+C)	3,892
Sitewide ETAF (B+D) ÷ (A+C)	0.446503083247688

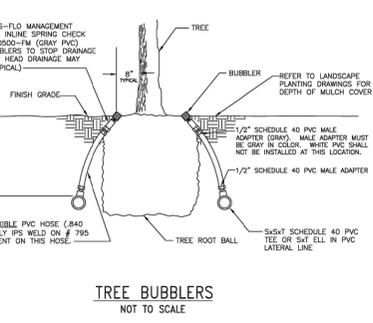
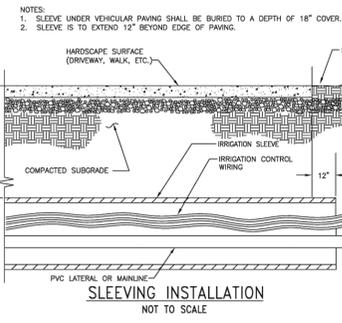
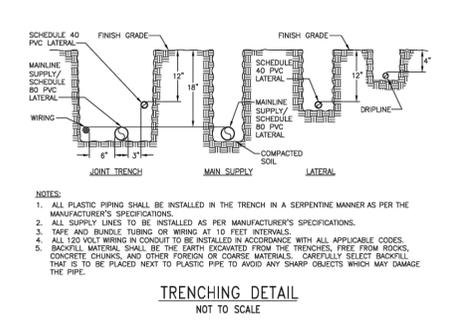
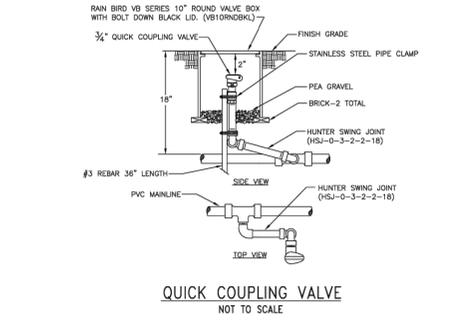
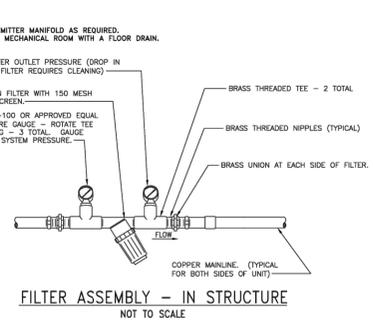
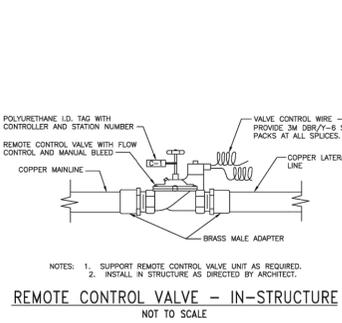
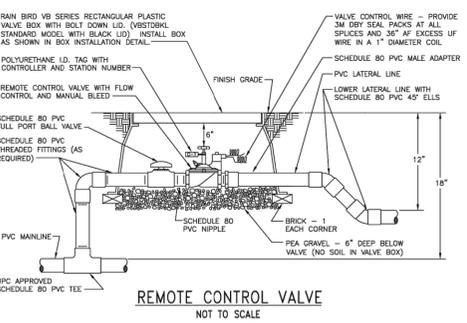
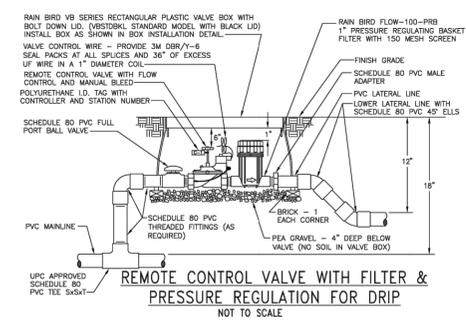
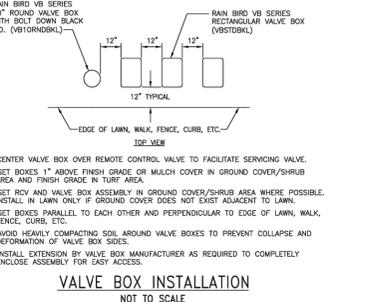
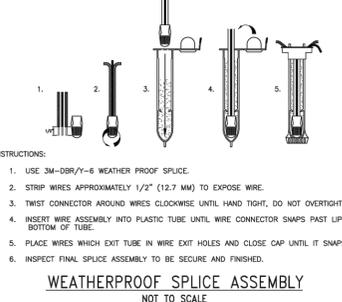
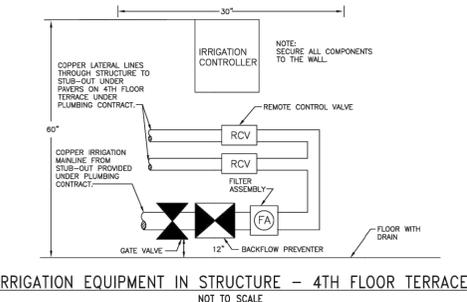
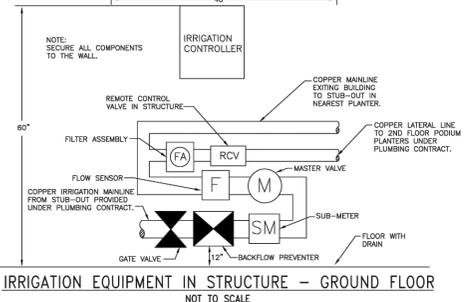
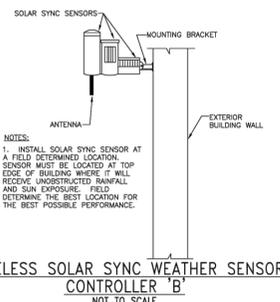
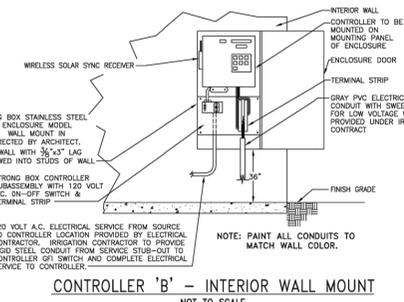
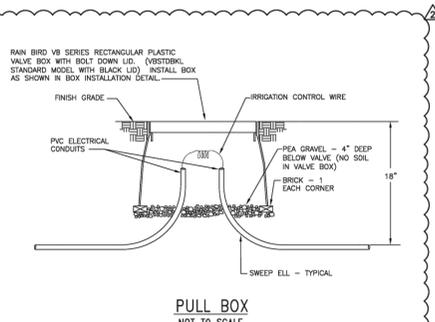
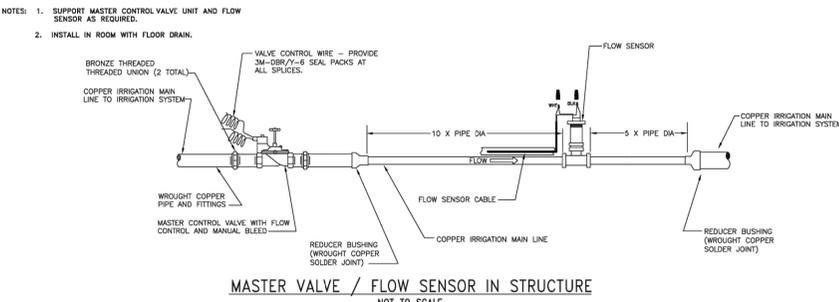
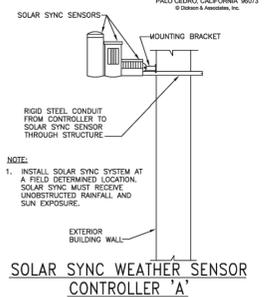
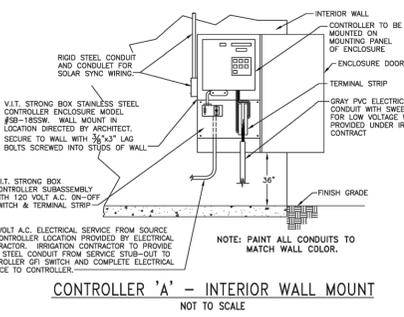
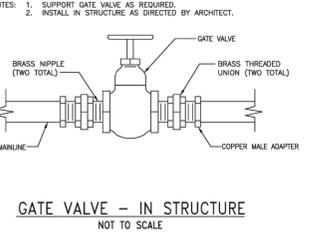
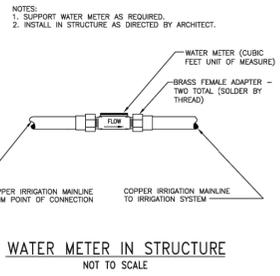
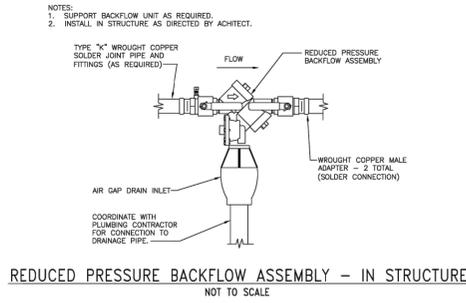
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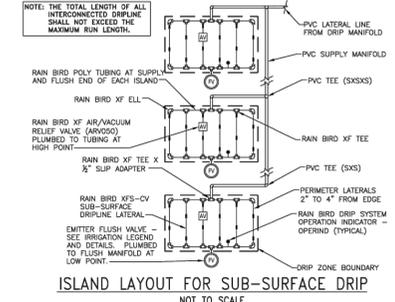
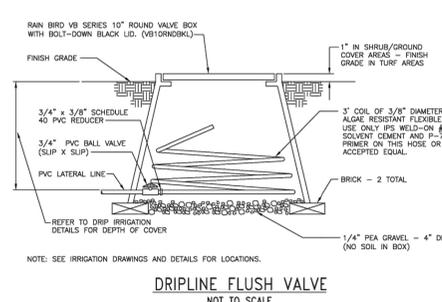
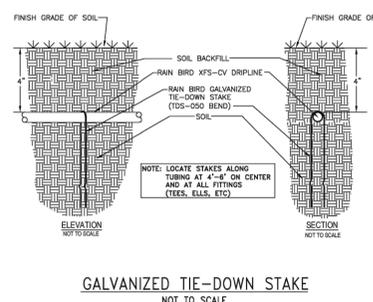
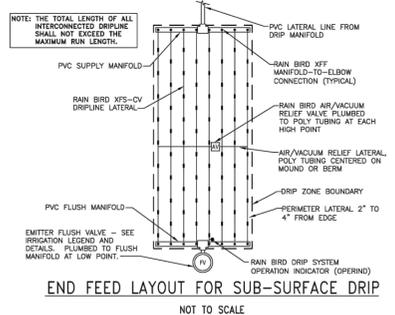
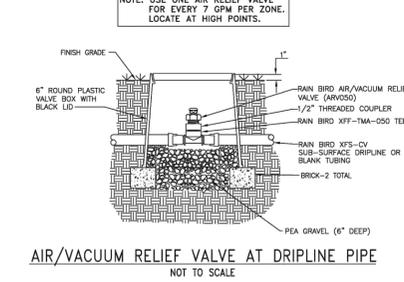
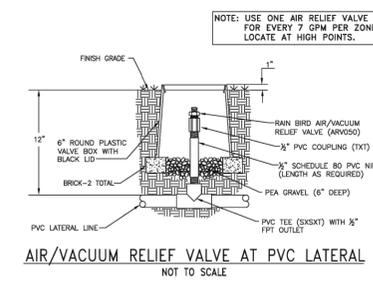
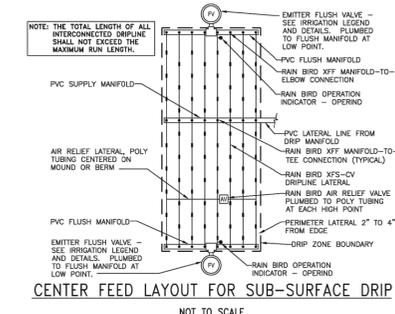
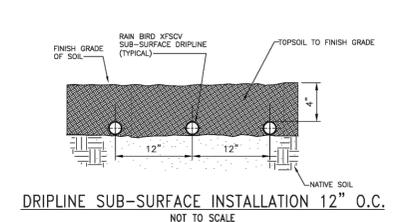
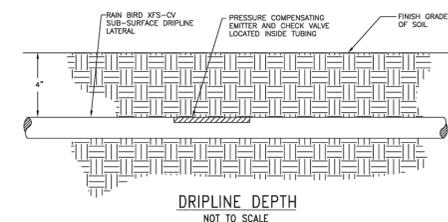
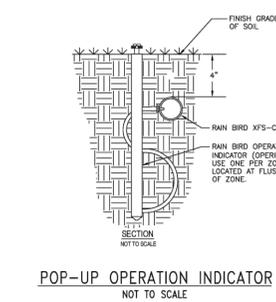
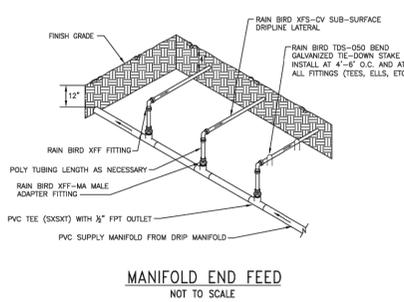
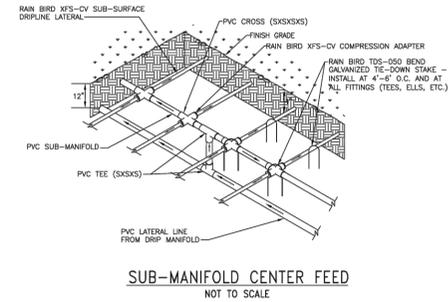
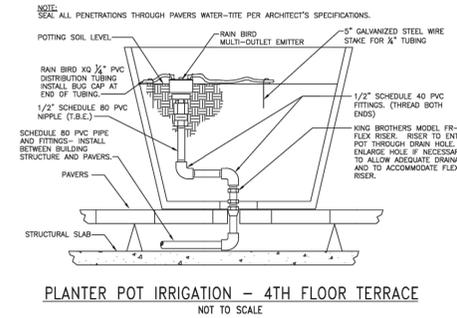
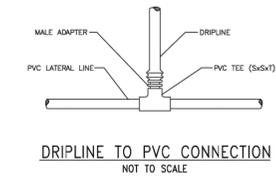
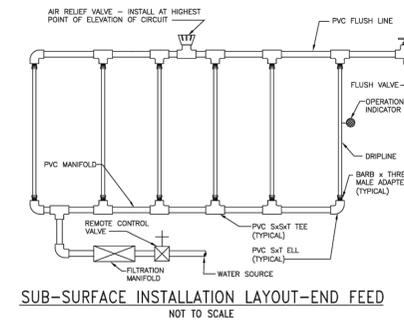
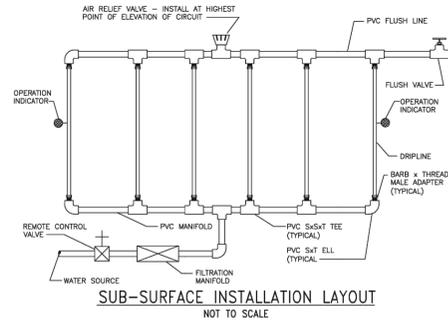
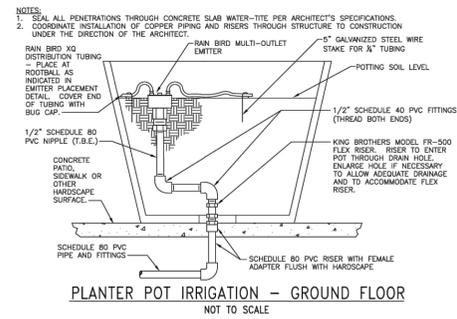
DOMESTIC WATER METER-2"	-BY OTHER SECTION OF CONTRACT
IRRIGATION BACKFLOW PREVENTION DEVICE	-WILKINS-975-XLU-2"
MASTER CONTROL VALVE	-TORO-220-27-09 -2"
FLOW SENSOR	-DATA INDUSTRIAL-P220-1"
FERTIGATION SYSTEM (20 GALLON)	-EZ-FLO-EZ20
ELECTRIC CONTROLLER ASSEMBLIES	-BASELINE 3200 X-CABINET
REMOTE CONTROL VALVES	-TORO-P220 SERIES
DRIP REMOTE CONTROL VALVES	-TORO-P220 SERIES WITH DRIP CONTROL ASSEMBLY
QUICK COUPLING VALVES	-RAINBIRD-33DRC
GATE VALVES -LINE SIZE	-SEE DETAIL
DIGITAL SOIL MOISTURE SENSOR	-BASELINE-BL BISENSOR
RAIN SENSOR	-TORO-TRS
FLUSH VALVE	-SEE DETAIL
PLANTER POT IRRIGATION	-SEE DETAIL
TREE BUBBLERS	-TORO-FB-100-PC
IRRIGATION SUPPLYLINE -DOMESTIC SYSTEM	-1120/SCHEDULE 40 PVC PIPE -24" COVER
IRRIGATION SPRINKLERLINE	-1120/SCHEDULE 40 PVC PIPE -12" COVER
ELECTRICAL CONDUIT-SIZE AS INDICATED	-1120/SCHEDULE 40 PVC PIPE -24" COVER
SLEEVING-SIZE AS INDICATED	-1120/SCHEDULE 40 PVC PIPE -24" COVER
IRRIGATION SUBSURFACE EMITTERLINE	-NETAFIM-TLCV4-12 -4" COVER

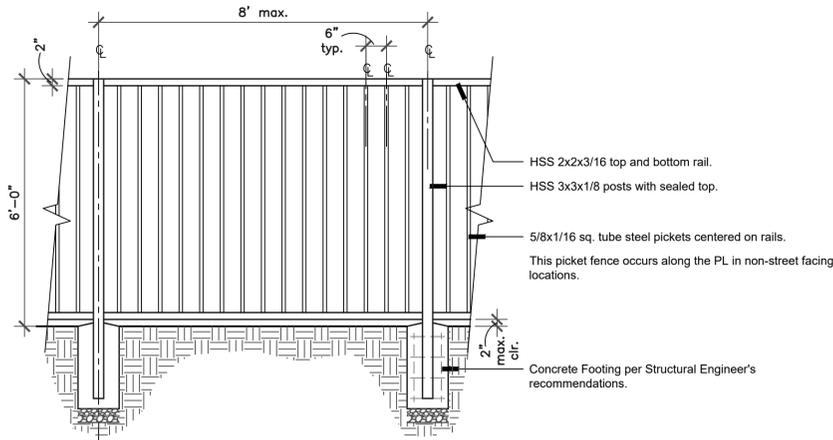
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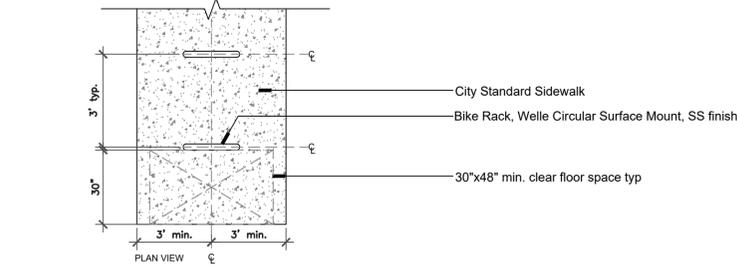




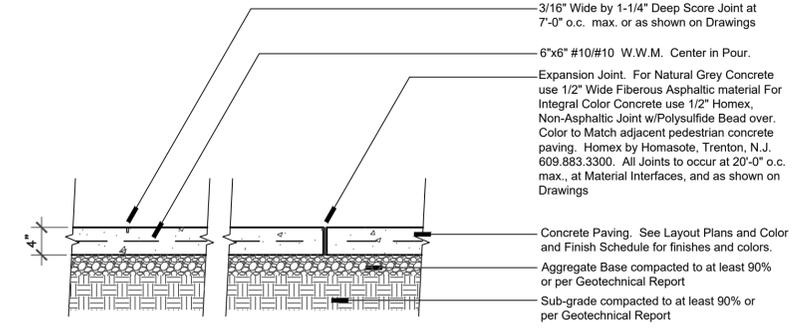




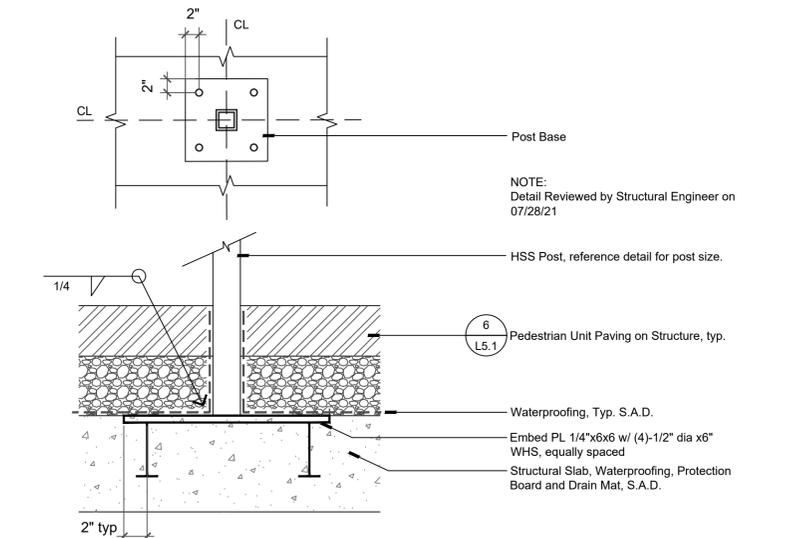
6 Site Fence
Scale: 1/2" = 1'-0"



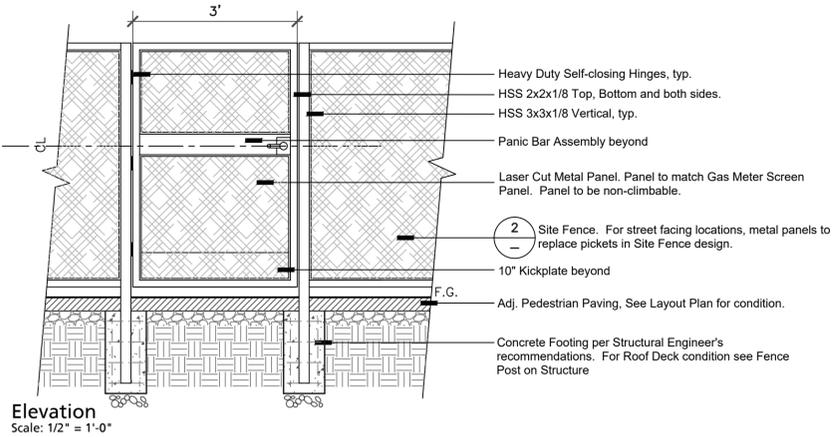
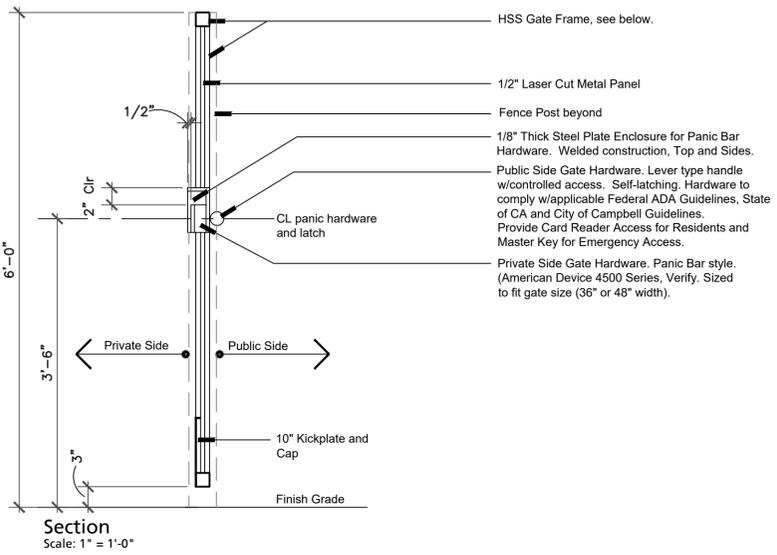
4 Bike Rack
Scale: 3/8" = 1'-0"



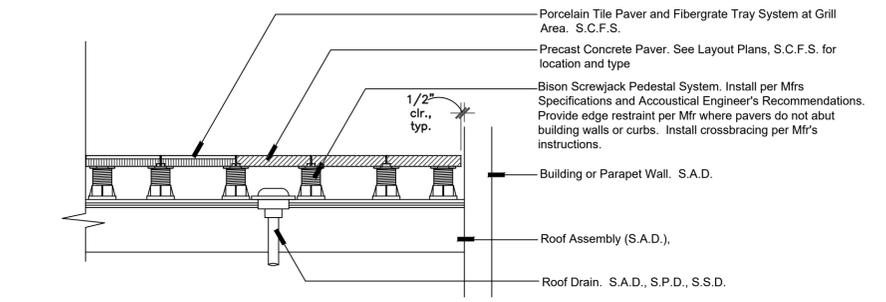
1 Pedestrian Concrete Paving
Scale: 1" = 1'-0"



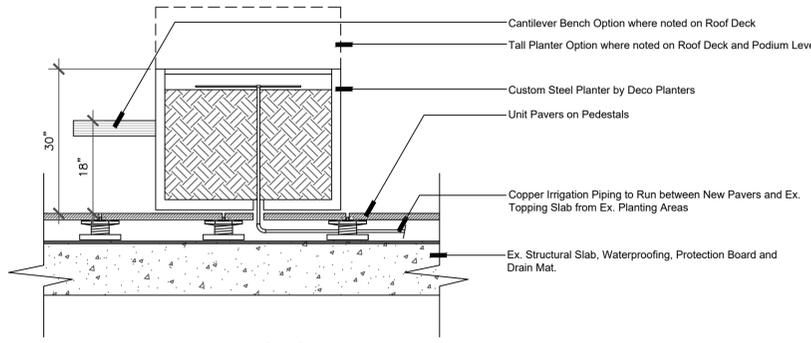
7 Post Mount on Structure
Scale: 1/2" = 1'-0"



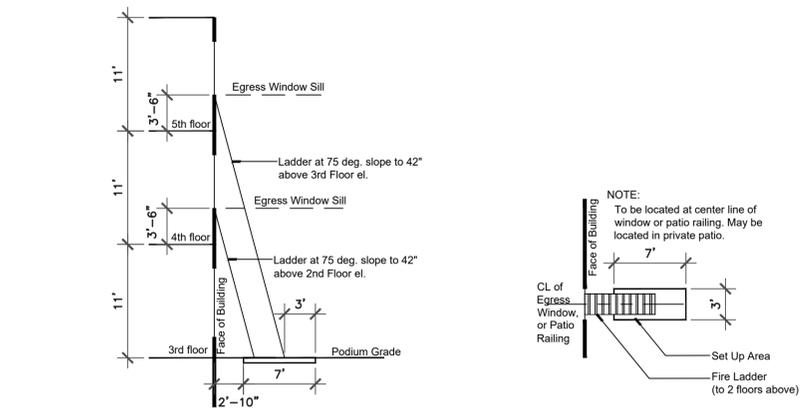
5 Site Gate
Scale as Noted



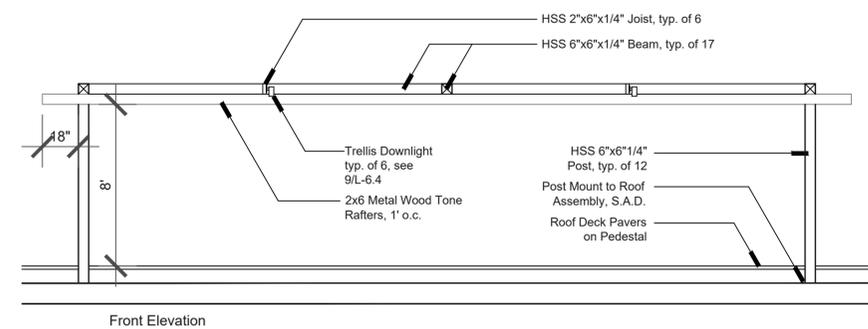
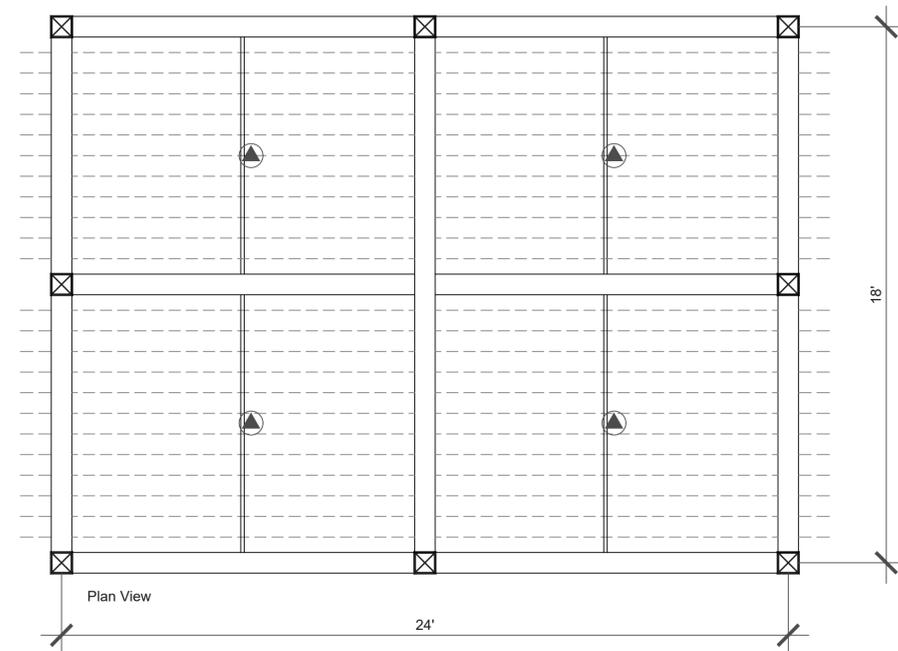
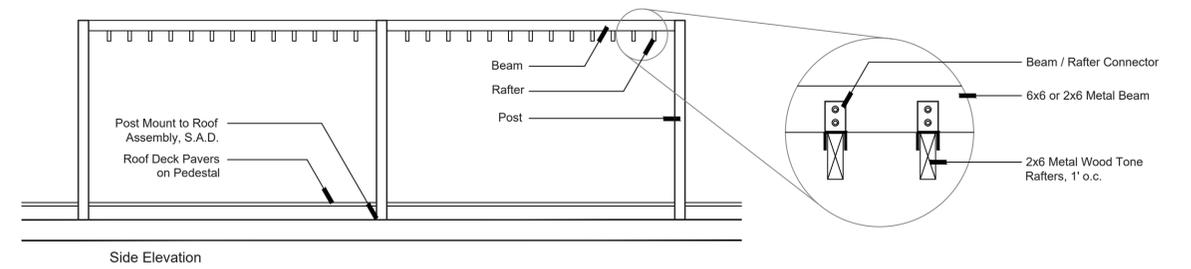
2 Unit Pavers on Pedestal
Scale: 1/2" = 1'-0"



8 Custom Metal Planter
Scale: 3/4" = 1'-0"



3 Egress Ladder Set Up Area
Scale: 1/8" = 1'-0"

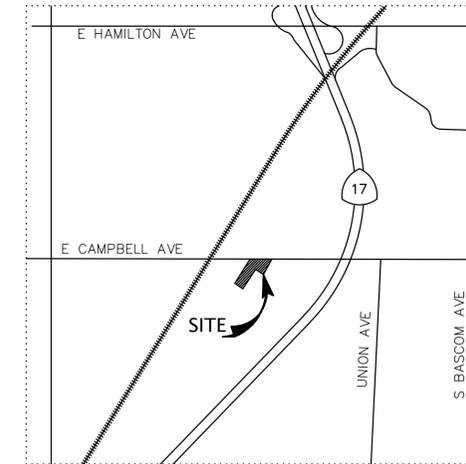


1 **Metal Trellis - Roof**
Scale: 1/4" = 1'-0"

VESTING TENTATIVE MAP

FOR A 1 LOT SUBDIVISION
FOR 108 RESIDENTIAL UNITS

PARKVUE FOR CRESLEIGH HOMES CAMPBELL CALIFORNIA

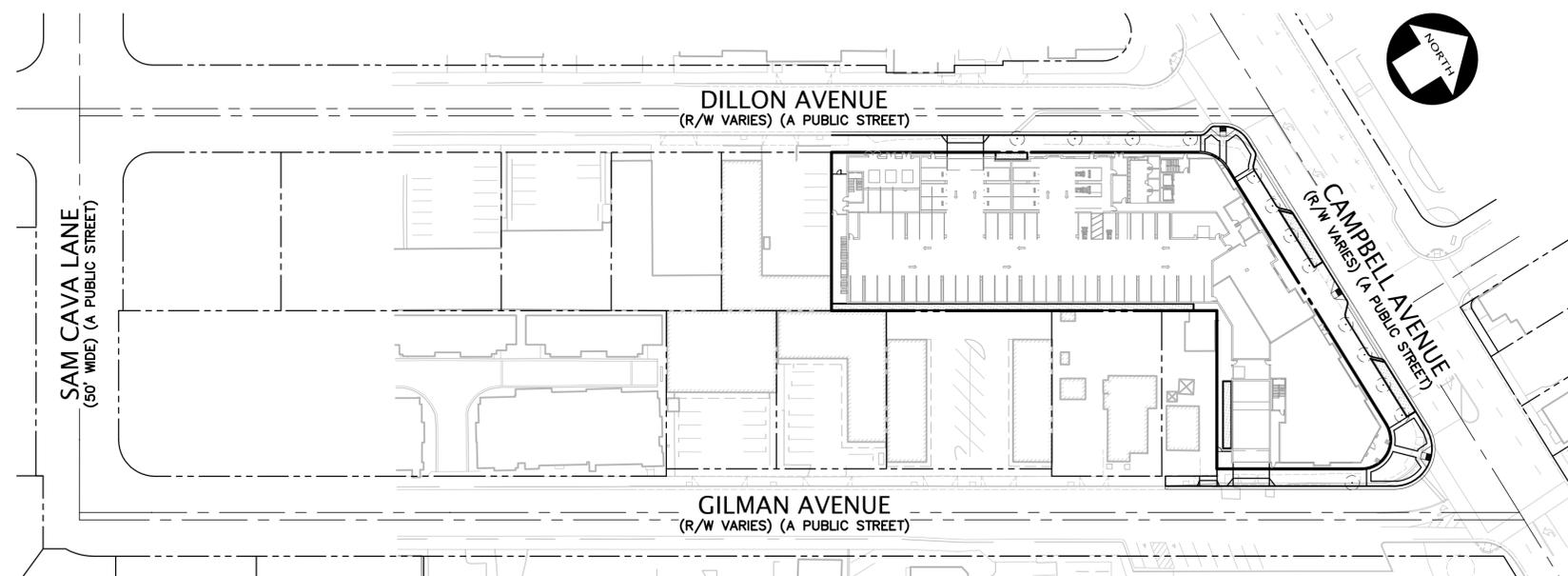


VICINITY MAP
NOT TO SCALE

PROJECT DATA

1. RECORD OWNER: CAMPBELL PARK DEVELOPMENT LLC
ATTN: JEREMY LUI
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SAN FRANCISCO, CA 94104
EMAIL: JLUI@CRESLEIGH.COM
2. SUBDIVIDER: CAMPBELL PARK DEVELOPMENT LLC
403 CALIFORNIA STREET, SUITE 700
SAN FRANCISCO, CA 94104
PHONE: (415) 266-9929
3. MAP PREPARED BY: KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
3350 SCOTT BOULEVARD, BUILDING 22
SANTA CLARA, CA 95054
PHONE: (408) 727-6665
MARK A. KNUDSEN, P.E. 75828
4. A.P.N.: 412-09-066
5. GENERAL PLAN: CB-MU - CENTRAL BUSINESS MIXED USE
6. EXISTING USE: MIXED USE
7. PROPOSED USE: MIXED USE
8. EXISTING ZONING: C-PD - CONDOMINIUM PLANNED DEVELOPMENT
9. PROPOSED ZONING: C-PD - CONDOMINIUM PLANNED DEVELOPMENT
10. EXISTING NUMBER OF LOTS: 1
11. PROPOSED NUMBER OF RESIDENTIAL UNITS: 108 CONDOMINIUM UNITS
12. DENSITY: MINIMUM: 23 DU/ACRE
ACTUAL: 108 DU/ACRE
13. TOTAL ACREAGE: 0.985
14. ALL DISTANCES ARE APPROXIMATE.
15. THERE ARE NO NEW PUBLIC STREET NAMES PROPOSED.
16. BENCHMARK: CITY OF CAMPBELL BENCHMARK NO. 73: 2 1/4" BRASS DISK IN TOP OF CURB AT NORTHWEST CORNER OF EAST CAMPBELL AVENUE AND PAGE STREET. ELEVATION = 192.275 FEET
17. BASIS OF BEARINGS: THE BEARING OF NORTH 31°51'45" EAST TAKEN ON GILMAN AVENUE AS SHOWN ON THAT CERTAIN TRACT MAP NUMBER 10570 FILED FOR RECORD ON AUGUST 9, 2023, IN BOOK 956 OF MAPS AT PAGES 22-23, OFFICIAL RECORDS OF SANTA CLARA COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
18. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SANTA CLARA COUNTY, CALIFORNIA, MAP NUMBER 06085C0237H FOR COMMUNITY NUMBER 060338 (CITY OF CAMPBELL), WITH AN EFFECTIVE DATE OF MAY 18, 2009, AS BEING LOCATED IN FLOOD ZONE "X" (UNSHADED)
19. THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED AUGUST 8, 2024, NUMBER 3409-6734098. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
20. UTILITIES:

STORM DRAINAGE	CITY OF CAMPBELL
SANITARY SEWER	CITY OF CAMPBELL
WATER	CITY OF CAMPBELL
ELECTRIC	PG&E
TELEPHONE	AT&T
CABLE	COMCAST



KEY MAP
SCALE: 1" = 60'

SHEET INDEX

CIVIL SHEETS

NO.	SHEET	DESCRIPTION
1	TM1.0	COVER SHEET
2	TM2.1	EXISTING CONDITIONS PLAN
3	TM3.1	VESTING TENTATIVE MAP
4	TM4.1	PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
5	TM5.1	PRELIMINARY STORMWATER QUALITY CONTROL PLAN
6	TM5.2	PRELIMINARY STORMWATER QUALITY CALCULATIONS & DETAILS
7	TM6.1	PRELIMINARY SITE FIRE ACCESS PLAN

DEVELOPER

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ARCHITECT

LPAS ARCHITECTURE + DESIGN
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CIVIL ENGINEER

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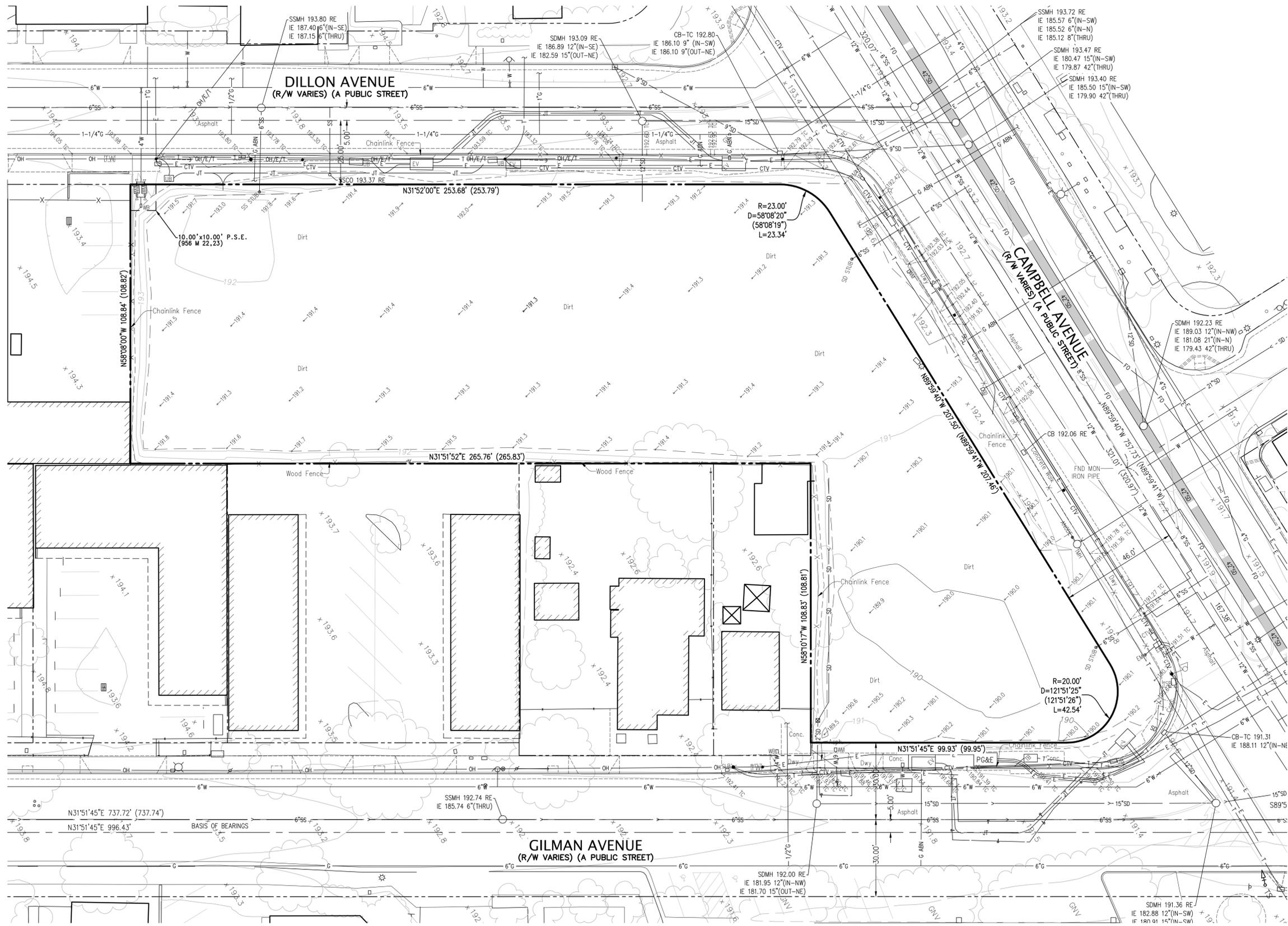


LEGEND

- BUILDING LINE
- CENTER LINE
- CONCRETE/BLOCK WALL
- CONCRETE CURB
- CONCRETE CURB & GUTTER
- CONTOUR LINE-MAJOR
- CONTOUR LINE-MINOR
- DRIVEWAY
- ELECTRIC LINE
- FENCE LINE
- GAS LINE-VALVE & METER
- JOINT TRENCH LINE
- MONUMENT/MONUMENT LINE
- OVERHEAD POWER LINE
- PROPERTY LINE
- SANITARY SEWER LINE-MANHOLE & CLEANOUT
- SIDEWALK
- SPOT ELEVATION
- STORM DRAIN LINE-MANHOLE & CATCH BASIN
- STORM DRAIN LINE-MANHOLE & CATCH BASIN
-
- STREET LIGHT CONDUIT LINE
- WATER LINE & VALVE
- ANODE
- ELECTRODER
- FIRE HYDRANT
- GUY ANCHOR
- POWER POLE/JOINT POLE
- TRANSFORMER
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGN
- UTILITY BOX
- WALK-BOLLARD LIGHT
- WATER VALVE

ABBREVIATIONS

- B-C BEGINNING OF CURVE
- BL BUILDING LINE
- BR BOTTOM OF RAMP
- BW BACK OF WALK
- CB CATCH BASIN
- CL CENTER LINE
- CTV CABLE TV
- DI DRAIN INLET
- DWY DRIVEWAY
- E EAST
- E-C END OF CURVE
- EB ELECTRIC BOX
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- EV ELECTRICAL VAULT
- EW EDGE OF WALK
- FH FIRE HYDRANT
- FL FLOW LINE
- FND FOUND
- GRN GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- IE INVERT ELEVATION
- IP IRON PIPE
- JP JOINT POWER POLE
- LIP UP OF GUTTER
- LL LANE LINE
- LT LIGHT
- LTW LIGHT WALK
- MH MANHOLE
- MON MONUMENT
- N NORTH
- NE NORTH EAST
- NW NORTH WEST
- PGE PACIFIC GAS & ELECTRIC
- PP POWER POLE
- RE RIM ELEVATION
- S SOUTH
- SD STORM DRAIN
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT
- SLB STREET LIGHT BOX
- SSCO SANITARY SEWER CLEAN OUT
- SSMH SANITARY SEWER MANHOLE
- ST START
- STL STEEL
- SW SOUTH WEST
- TB TELEPHONE BOX
- TC TOP OF CURB
- TMH TELEPHONE MANHOLE
- TOE GRADE BREAK LINE TOE
- TR TOP OF RAMP
- TSP TRAFFIC SIGNAL BOX
- TSP TRAFFIC SIGNAL POLE
- TW TREE WELL
- UB UNKNOWN UTILITY BOX
- W WEST
- WB WATER BOX
- WM WATER METER
- WV WATER VALVE



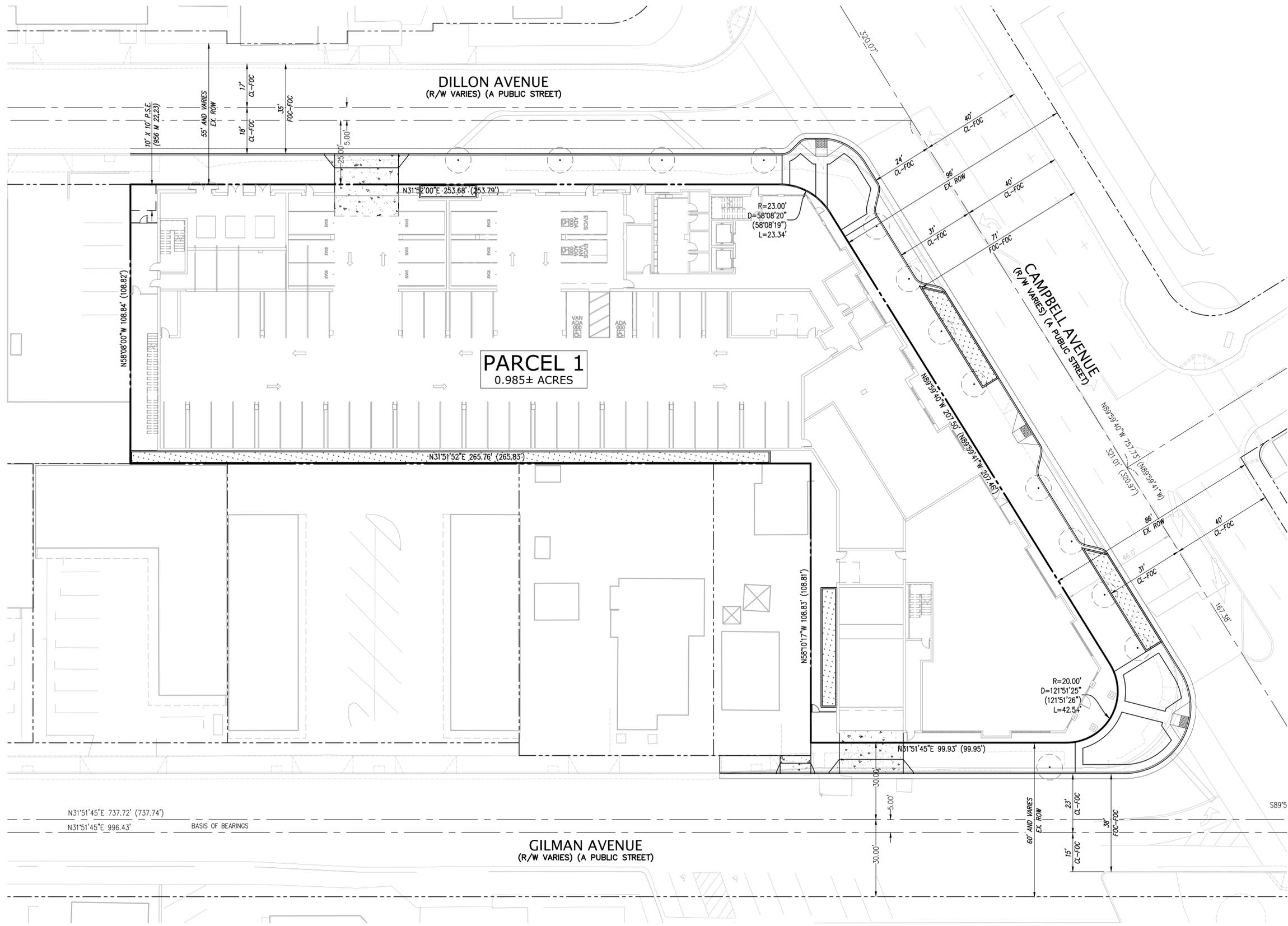


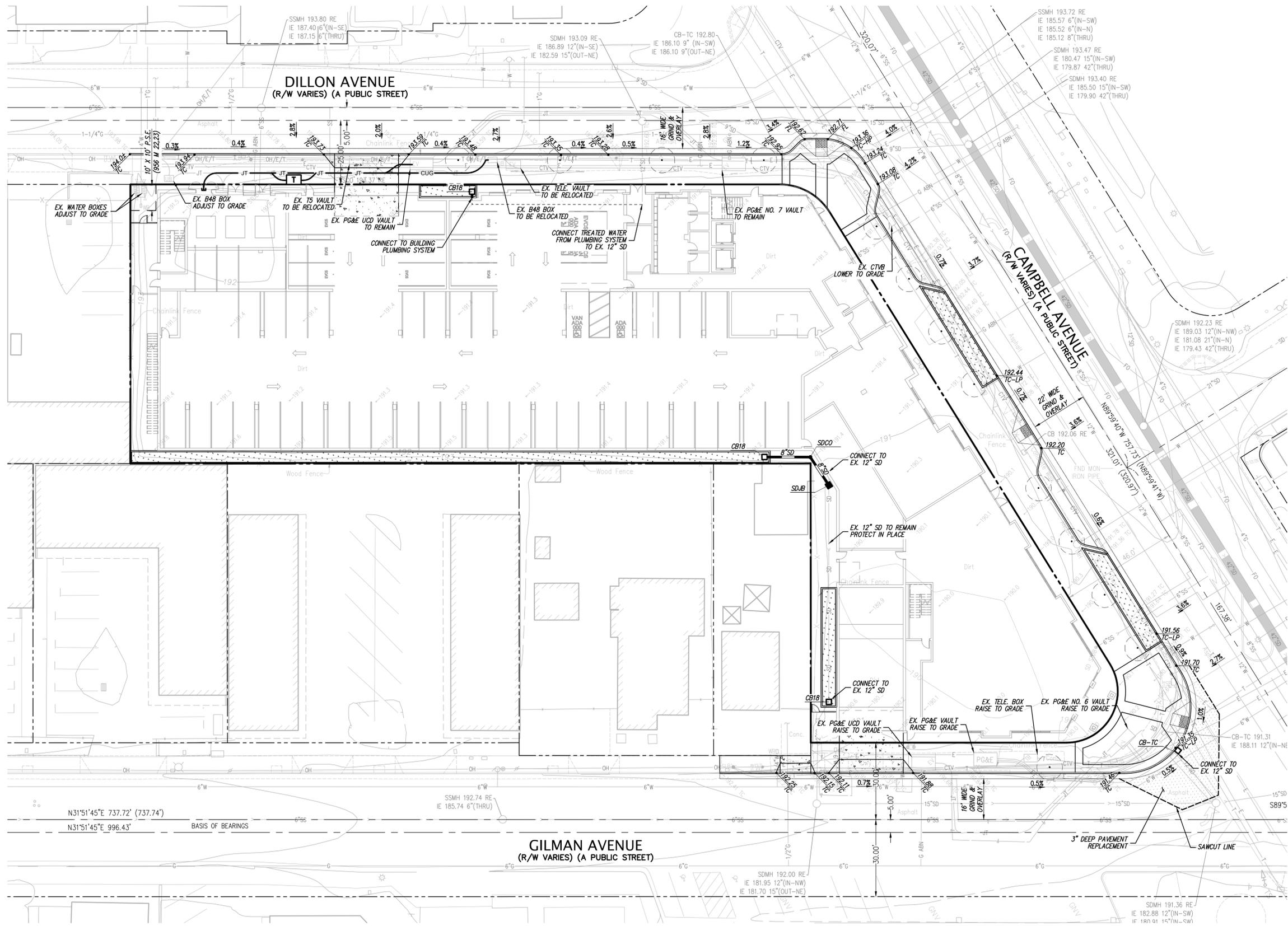
VESTING TENTATIVE MAP LEGEND

- ADJACENT PROPERTY LINE
- STREET CENTERLINE OR MONUMENT LINE
- DISTINCTIVE BORDER
- EXISTING EASEMENT LINE

ABBREVIATIONS

- | | |
|--------|---------------|
| CL | CENTER LINE |
| EX. | EXISTING |
| FOC | FACE OF CURB |
| PL | PROPERTY LINE |
| P.S.E. | PROPERTY LINE |
| ROW | RIGHT-OF-WAY |





GRADING AND DRAINAGE LEGEND

PROPOSED	EXISTING	DESCRIPTION
		CONTOUR LINE
		LOT LINE
		SPOT ELEVATION
		STORM DRAIN - MANHOLE AND CATCH BASIN
		THRU CURB DRAIN
		AREA DRAIN
		BUILDING
		BLDG
		BW
		C
		CB
		DIP
		FC
		FF
		GB
		HP
		IE
		LP
		NEF
		OF
		PV
		R
		RE
		SDJB
		SDMH
		TC

UTILITY LEGEND

PROPOSED	EXISTING	DESCRIPTION
		ELECTRIC LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE - VALVE & METER
		OVERHEAD POWER LINE
		JOINT TRENCH LINE
		PERFORATED STORM DRAIN PIPE
		PROPERTY LINE
		SANITARY SEWER - MANHOLE AND CATCH BASIN
		SPOT ELEVATION
		STORM DRAIN - MANHOLE AND CATCH BASIN
		THRU CURB DRAIN
		TELEPHONE LINE
		WATER LINE & VALVE
		BACKFLOW PREVENTION DEVICE
		ELECTROLINER
		WALK-BOLLARD LIGHT
		FIRE HYDRANT
		POST INDICATOR VALVE
		POWER POLE/JOINT POLE
		TRANSFORMER
		TRAFFIC SIGN
		UTILITY BOX
		AREA DRAIN
		AUTOMATIC SPRINKLER RISER
		BACKFLOW PREVENTION DEVICE
		CATCH BASIN
		CLEANOUT TO GRADE
		DOUBLE DETECTOR CHECK VALVE
		DOWN SPOUT
		FINISHED FLOOR
		FIRE HYDRANT
		FLOW LINE
		INVERT ELEVATION
		LIGHT
		POINT OF CONNECTION
		POST INDICATOR VALVE
		RAIN WATER LEADER
		RIM ELEVATION
		SANITARY SEWER CLEANOUT
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		STORM DRAIN JUNCTION BOX
		STREET LIGHT
		STREET LIGHT BOX
		WATER METER
		WATER VALVE

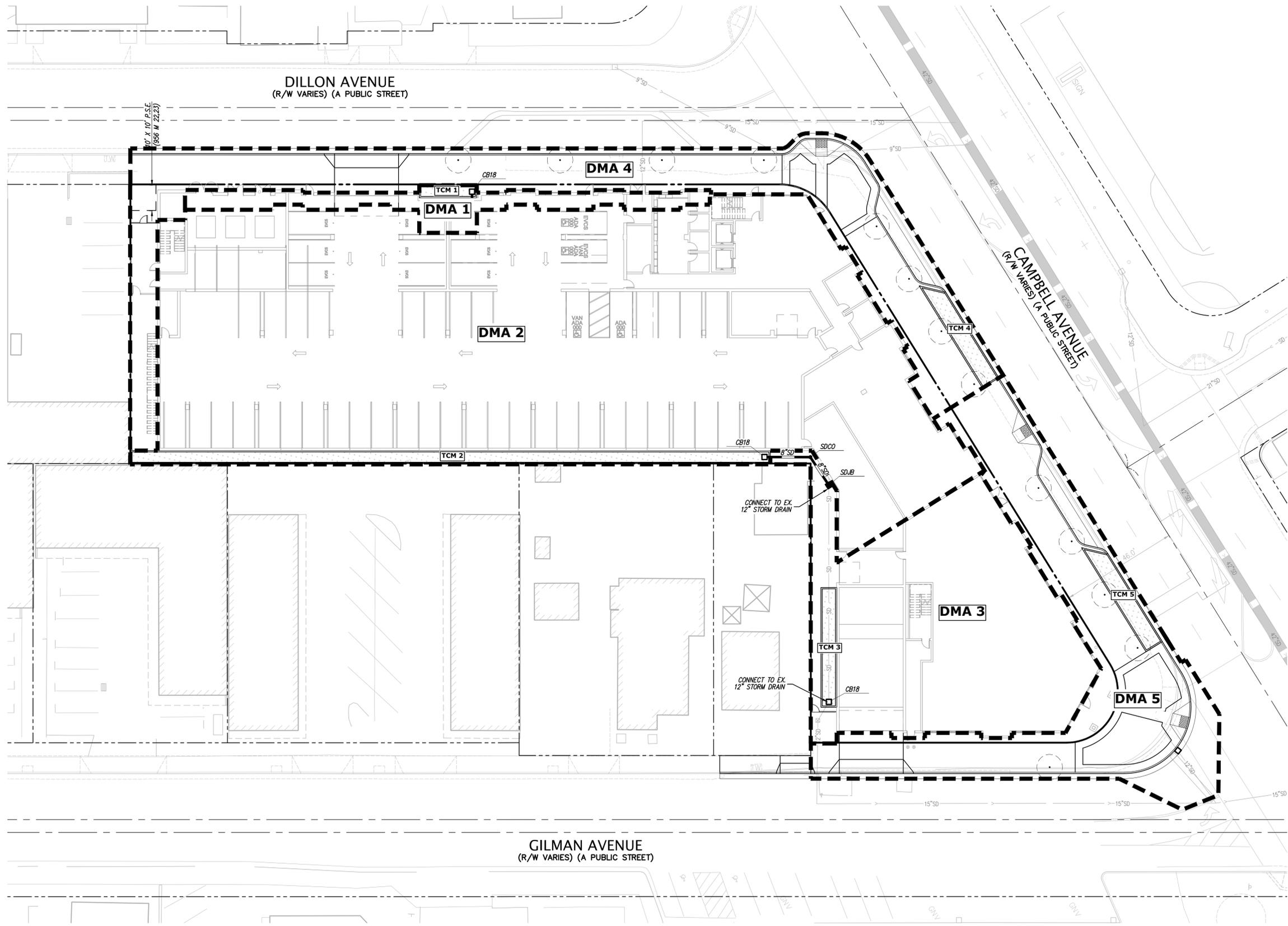


STORMWATER LEGEND

-  TRIBUTARY AREA LIMITS
-  BIO-TREATMENT POND
-  FLOW-THROUGH PLANTER
-  DRAINAGE MANAGEMENT AREA
-  TREATMENT CONTROL MEASURE
-  SELF-TREATING AREA
-  SELF-RETAINING AREA
-  RUNOFF FLOW DIRECTION

STORMWATER NOTES

1. NON-LOW IMPACT DEVELOPMENT (LID) TREATMENT MEASURES SHALL BE SIZED TO TREAT LID DMAs IF THERE IS NOT DUAL PIPING WITHIN THE BUILDING FOOTPRINT.
2. THE PROJECT IS EXEMPT FROM HYDROMODIFICATION REQUIREMENTS PER THE SANTA CLARA COUNTY C.3 TECHNICAL GUIDANCE DOCUMENT AS IT IS NOT LOCATED WITHIN A SUBWATERSHED AREA LESS THAN 65% IMPERVIOUSNESS ON THE HYDROMODIFICATION MANAGEMENT (HM) APPLICABILITY MAP.
3. TRASH AND RECYCLING ENCLOSURES ARE LOCATED WITHIN THE BUILDING FOOTPRINT AND ARE NOT ON THE EXTERIOR.
4. THE PROJECT IS REPLACING MORE THAN 50% OF THE SITE IMPERVIOUSNESS. THEREFORE, STORMWATER TREATMENT IS REQUIRED FOR THE ENTIRE SITE.
5. ALL PLANT MATERIALS WITHIN LID STORMWATER TREATMENT SHALL ADHERE TO APPENDIX D OF THE SANTA CLARA COUNTY C.3 TECHNICAL GUIDANCE DOCUMENT.



Instructions: Complete this worksheet for each Drainage Management Area of the project that has a combination flow- and volume-based treatment measure. Enter information specific to the project and DMA in the cells shaded in yellow. Cells shaded in light blue contain formulas and values that will be automatically calculated.

Worksheet for Sizing Flow- and Volume-Based Treatment Measures (Combination Flow and Volume Approach)

Stormwater Treatment Measure: Flow-through planter box

For bioretention areas and flow-through planters, the following approach may be used to take into consideration both the flow of stormwater through the planting media and the volume of stormwater in the surface ponding area.

Step 1 Determine the contributing drainage area to the treatment measure.

Drainage Area = 1607 square feet

Step 2 Determine the Percent Imperviousness of the drainage area.

Enter the amount of surface area draining to the BMP:

a Impervious Area = 1516 square feet Includes rooftops, hardscapes, streets, and sidewalks, etc.

b Pervious Area = 91 square feet

% Impervious = 94 %

Step 3 Determine the required treatment volume (using Adopted CAGQA Stormwater BMP Handbook Approach).

a Find the mean annual precipitation at the site (MAPin). Estimate where the site is on Figure B-1 and estimate the mean annual precipitation in inches from the rain line (isopleth) nearest to the project site. Interpolate between isopleths if necessary. Click here for map (Figure B-1).

MAP_{site} = 18 Site Mean Annual Precipitation

b Identify the reference rain gage closest to the project site (San Jose Airport, Palo Alto, or Morgan Hill).

Closest Reference Rain Gage: San Jose Airport

MAP_{ref} = 13.9 inches Reference Gage Mean Annual Precipitation

c Determine the rain gage correction factor for the precipitation at the site from Step 3 and Step 4.

MAP correction factor = 1.29 Correction factor = MAP_{site}/MAP_{ref}

d Identify the representative soil type for the drainage area. Identify from Figure B-1 or from site soils data, the soil type that is representative of the pervious portion of the project (see dropdown menu).

Site Soil Type = Clay Loam (D) If soil will be compacted during site preparation and grading, the soil's infiltration rate will be decreased. Modify your answer to a soil with a lower infiltration rate.

Does the site planning allow for protection of natural areas, vegetation, and soils so that the soils outside the building footprint are not graded/compacted? No

If your answer is no, and the soil will be compacted during site preparation and grading, the soil's infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (e.g., Silty loam or Clay loam or Clay).

e Determine the average slope for the drainage area.

Average Slope (%) = 1

f Determine the unit basin storage volume from sizing curves.

Unit Basin Storage (UBS) = 0.55 inches Unit basin storage volume from Figure B-2, B-3, or B-4, based on slope

g Determine the Adjusted Unit Basin Storage Volume for the site.

Adjusted UBS = 0.71 inches Adjusted UBS = Rain Gage Correction Factor x Unit Basin Storage Volume

h Determine the Design Volume.

Design Volume = 95 cubic feet Design Volume = Adj. Unit Basin Storage Volume x Total Drainage Area

Step 4 Determine the Design Rainfall Intensity (Uniform Intensity Approach, Section III.C, Step 3) which is 0.2 in/hr.

Design Rainfall Intensity = 0.20 in/hr

Step 5 Assume that the rain event that generates the Adjusted Unit Basin Storage Volume of runoff occurs at the Design Rainfall Intensity for the entire length of the storm. Calculate the duration of the storm by dividing the Adjusted Unit Basin Storage Volume by the Design Rainfall Intensity. In other words, determine the amount of time required for the Adjusted Unit Basin Storage Volume to be achieved at the design intensity rate.

Duration = 3.53 hours Adjusted UBS ÷ Design Rainfall Intensity

Step 6 Make a preliminary estimate of the surface area of the treatment measure.

Try a preliminary surface area estimate = 803.68 Square feet 3% of total drainage area

BMP Surface Area = 880 Square feet

Step 7 Calculate the volume of runoff that filters through the bioretention soil at a rate of 5 inches per hour (the design surface loading rate for bioretention facilities). For the duration of the storm calculated in Step 5.

Volume of Treated Runoff = 1.295 cubic feet Surface Area x Duration

Step 8 Calculate the portion of the water quality design (WQD) volume remaining after treatment is accomplished by filtering through the bioretention soil. The result is the amount that must be stored in the ponding area above the bioretention surface area estimated in Step 6.

Volume in Ponding Area = 461

Step 9 Calculate the depth of the volume in the ponding area by dividing this volume by the estimated surface area in Step 6.

Depth of Ponding = 0.52 Feet

Depth of Ponding = 6 Inches

The average ponding depth is acceptable. The range of allowable ponding depths in a bioretention facility or flow-through planter is between 0.5 and 1.0 feet (6 and 12 inches). 0.5 feet is recommended.

Instructions: Complete this worksheet for each Drainage Management Area of the project that has a combination flow- and volume-based treatment measure. Enter information specific to the project and DMA in the cells shaded in yellow. Cells shaded in light blue contain formulas and values that will be automatically calculated.

Worksheet for Sizing Flow- and Volume-Based Treatment Measures

Stormwater Treatment Measure: Flow-through planter box

For bioretention areas and flow-through planters, the following approach may be used to take into consideration both the flow of stormwater through the planting media and the volume of stormwater in the surface ponding area.

Step 1 Determine the contributing drainage area to the treatment measure.

Drainage Area = 29783 square feet

Drainage Area = 0.584 acres

Step 2 Determine the Percent Imperviousness of the drainage area.

Enter the amount of surface area draining to the BMP:

a Impervious Area = 28782 square feet Includes rooftops, hardscapes, streets, and sidewalks, etc.

b Pervious Area = 1001 square feet

% Impervious = 97 %

Step 3 Determine the required treatment volume (using Adopted CAGQA Stormwater BMP Handbook Approach).

a Find the mean annual precipitation at the site (MAPin). Estimate where the site is on Figure B-1 and estimate the mean annual precipitation in inches from the rain line (isopleth) nearest to the project site. Interpolate between isopleths if necessary. Click here for map (Figure B-1).

MAP_{site} = 18 Site Mean Annual Precipitation

b Identify the reference rain gage closest to the project site (San Jose Airport, Palo Alto, or Morgan Hill).

Closest Reference Rain Gage: San Jose Airport

MAP_{ref} = 13.9 inches Reference Gage Mean Annual Precipitation

c Determine the rain gage correction factor for the precipitation at the site from Step 3 and Step 4.

MAP correction factor = 1.29 Correction factor = MAP_{site}/MAP_{ref}

d Identify the representative soil type for the drainage area. Identify from Figure B-1 or from site soils data, the soil type that is representative of the pervious portion of the project (see dropdown menu).

Site Soil Type = Clay Loam (D) If soil will be compacted during site preparation and grading, the soil's infiltration rate will be decreased. Modify your answer to a soil with a lower infiltration rate.

Does the site planning allow for protection of natural areas, vegetation, and soils so that the soils outside the building footprint are not graded/compacted? No

If your answer is no, and the soil will be compacted during site preparation and grading, the soil's infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (e.g., Silty loam or Clay loam or Clay).

e Determine the average slope for the drainage area.

Average Slope (%) = 1

f Determine the unit basin storage volume from sizing curves.

Unit Basin Storage (UBS) = 0.55 inches Unit basin storage volume from Figure B-2, B-3, or B-4, based on slope

g Determine the Adjusted Unit Basin Storage Volume for the site.

Adjusted UBS = 0.71 inches Adjusted UBS = Rain Gage Correction Factor x Unit Basin Storage Volume

h Determine the Design Volume.

Design Volume = 0.0403 acre-feet

Design Volume = 1.755 cubic feet Design Volume = Adj. Unit Basin Storage Volume x Total Drainage Area

Step 4 Determine the Design Rainfall Intensity (Uniform Intensity Approach, Section III.C, Step 3) which is 0.2 in/hr.

Design Rainfall Intensity = 0.20 in/hr

Step 5 Assume that the rain event that generates the Adjusted Unit Basin Storage Volume of runoff occurs at the Design Rainfall Intensity for the entire length of the storm. Calculate the duration of the storm by dividing the Adjusted Unit Basin Storage Volume by the Design Rainfall Intensity. In other words, determine the amount of time required for the Adjusted Unit Basin Storage Volume to be achieved at the design intensity rate.

Duration = 3.53 hours Adjusted UBS ÷ Design Rainfall Intensity

Step 6 Make a preliminary estimate of the surface area of the treatment measure.

Try a preliminary surface area estimate = 803.68 Square feet 3% of total drainage area

BMP Surface Area = 880 Square feet

Step 7 Calculate the volume of runoff that filters through the bioretention soil at a rate of 5 inches per hour (the design surface loading rate for bioretention facilities). For the duration of the storm calculated in Step 5.

Volume of Treated Runoff = 1.295 cubic feet Surface Area x Duration

Step 8 Calculate the portion of the water quality design (WQD) volume remaining after treatment is accomplished by filtering through the bioretention soil. The result is the amount that must be stored in the ponding area above the bioretention surface area estimated in Step 6.

Volume in Ponding Area = 461

Step 9 Calculate the depth of the volume in the ponding area by dividing this volume by the estimated surface area in Step 6.

Depth of Ponding = 0.52 Feet

Depth of Ponding = 6 Inches

The average ponding depth is acceptable. The range of allowable ponding depths in a bioretention facility or flow-through planter is between 0.5 and 1.0 feet (6 and 12 inches). 0.5 feet is recommended.

Instructions: Complete this worksheet for each Drainage Management Area of the project that has a combination flow- and volume-based treatment measure. Enter information specific to the project and DMA in the cells shaded in yellow. Cells shaded in light blue contain formulas and values that will be automatically calculated.

Worksheet for Sizing Flow- and Volume-Based Treatment Measures

Stormwater Treatment Measure: Flow-through planter box

For bioretention areas and flow-through planters, the following approach may be used to take into consideration both the flow of stormwater through the planting media and the volume of stormwater in the surface ponding area.

Step 1 Determine the contributing drainage area to the treatment measure.

Drainage Area = 8768 square feet

Drainage Area = 0.201 acres

Step 2 Determine the Percent Imperviousness of the drainage area.

Enter the amount of surface area draining to the BMP:

a Impervious Area = 8505 square feet Includes rooftops, hardscapes, streets, and sidewalks, etc.

b Pervious Area = 263 square feet

% Impervious = 97 %

Step 3 Determine the required treatment volume (using Adopted CAGQA Stormwater BMP Handbook Approach).

a Find the mean annual precipitation at the site (MAPin). Estimate where the site is on Figure B-1 and estimate the mean annual precipitation in inches from the rain line (isopleth) nearest to the project site. Interpolate between isopleths if necessary. Click here for map (Figure B-1).

MAP_{site} = 18 Site Mean Annual Precipitation

b Identify the reference rain gage closest to the project site (San Jose Airport, Palo Alto, or Morgan Hill).

Closest Reference Rain Gage: San Jose Airport

MAP_{ref} = 13.9 inches Reference Gage Mean Annual Precipitation

c Determine the rain gage correction factor for the precipitation at the site from Step 3 and Step 4.

MAP correction factor = 1.29 Correction factor = MAP_{site}/MAP_{ref}

d Identify the representative soil type for the drainage area. Identify from Figure B-1 or from site soils data, the soil type that is representative of the pervious portion of the project (see dropdown menu).

Site Soil Type = Clay Loam (D) If soil will be compacted during site preparation and grading, the soil's infiltration rate will be decreased. Modify your answer to a soil with a lower infiltration rate.

Does the site planning allow for protection of natural areas, vegetation, and soils so that the soils outside the building footprint are not graded/compacted? No

If your answer is no, and the soil will be compacted during site preparation and grading, the soil's infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (e.g., Silty loam or Clay loam or Clay).

e Determine the average slope for the drainage area.

Average Slope (%) = 1

f Determine the unit basin storage volume from sizing curves.

Unit Basin Storage (UBS) = 0.55 inches Unit basin storage volume from Figure B-2, B-3, or B-4, based on slope

g Determine the Adjusted Unit Basin Storage Volume for the site.

Adjusted UBS = 0.71 inches Adjusted UBS = Rain Gage Correction Factor x Unit Basin Storage Volume

h Determine the Design Volume.

Design Volume = 0.0118 acre-feet

Design Volume = 514 cubic feet Design Volume = Adj. Unit Basin Storage Volume x Total Drainage Area

Step 4 Determine the Design Rainfall Intensity (Uniform Intensity Approach, Section III.C, Step 3) which is 0.2 in/hr.

Design Rainfall Intensity = 0.20 in/hr

Step 5 Assume that the rain event that generates the Adjusted Unit Basin Storage Volume of runoff occurs at the Design Rainfall Intensity for the entire length of the storm. Calculate the duration of the storm by dividing the Adjusted Unit Basin Storage Volume by the Design Rainfall Intensity. In other words, determine the amount of time required for the Adjusted Unit Basin Storage Volume to be achieved at the design intensity rate.

Duration = 3.53 hours Adjusted UBS ÷ Design Rainfall Intensity

Step 6 Make a preliminary estimate of the surface area of the treatment measure.

Try a preliminary surface area estimate = 255.96 Square feet 3% of total drainage area

BMP Surface Area = 260 Square feet

Step 7 Calculate the volume of runoff that filters through the bioretention soil at a rate of 5 inches per hour (the design surface loading rate for bioretention facilities). For the duration of the storm calculated in Step 5.

Volume of Treated Runoff = 383 cubic feet Surface Area x Duration

Step 8 Calculate the portion of the water quality design (WQD) volume remaining after treatment is accomplished by filtering through the bioretention soil. The result is the amount that must be stored in the ponding area above the bioretention surface area estimated in Step 6.

Volume in Ponding Area = 131

Step 9 Calculate the depth of the volume in the ponding area by dividing this volume by the estimated surface area in Step 6.

Depth of Ponding = 0.51 Feet

Depth of Ponding = 6 Inches

The average ponding depth is acceptable. The range of allowable ponding depths in a bioretention facility or flow-through planter is between 0.5 and 1.0 feet (6 and 12 inches). 0.5 feet is recommended.

Instructions: Complete this worksheet for each Drainage Management Area of the project that has a combination flow- and volume-based treatment measure. Enter information specific to the project and DMA in the cells shaded in yellow. Cells shaded in light blue contain formulas and values that will be automatically calculated.

Worksheet for Sizing Flow- and Volume-Based Treatment Measures

Stormwater Treatment Measure: Flow-through planter box

For bioretention areas and flow-through planters, the following approach may be used to take into consideration both the flow of stormwater through the planting media and the volume of stormwater in the surface ponding area.

Step 1 Determine the contributing drainage area to the treatment measure.

Drainage Area = 8904 square feet

Drainage Area = 0.202 acres

Step 2 Determine the Percent Imperviousness of the drainage area.

Enter the amount of surface area draining to the BMP:

a Impervious Area = 8532 square feet Includes rooftops, hardscapes, streets, and sidewalks, etc.

b Pervious Area = 272 square feet

% Impervious = 97 %

Step 3 Determine the required treatment volume (using Adopted CAGQA Stormwater BMP Handbook Approach).

a Find the mean annual precipitation at the site (MAPin). Estimate where the site is on Figure B-1 and estimate the mean annual precipitation in inches from the rain line (isopleth) nearest to the project site. Interpolate between isopleths if necessary. Click here for map (Figure B-1).

MAP_{site} = 18 Site Mean Annual Precipitation

b Identify the reference rain gage closest to the project site (San Jose Airport, Palo Alto, or Morgan Hill).

Closest Reference Rain Gage: San Jose Airport

MAP_{ref} = 13.9 inches Reference Gage Mean Annual Precipitation

c Determine the rain gage correction factor for the precipitation at the site from Step 3 and Step 4.

MAP correction factor = 1.29 Correction factor = MAP_{site}/MAP_{ref}

d Identify the representative soil type for the drainage area. Identify from Figure B-1 or from site soils data, the soil type that is representative of the pervious portion of the project (see dropdown menu).

Site Soil Type = Clay Loam (D) If soil will be compacted during site preparation and grading, the soil's infiltration rate will be decreased. Modify your answer to a soil with a lower infiltration rate.

Does the site planning allow for protection of natural areas, vegetation, and soils so that the soils outside the building footprint are not graded/compacted? No

If your answer is no, and the soil will be compacted during site preparation and grading, the soil's infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (e.g., Silty loam or Clay loam or Clay).

e Determine the average slope for the drainage area.

Average Slope (%) = 1

f Determine the unit basin storage volume from sizing curves.

Unit Basin Storage (UBS) = 0.55 inches Unit basin storage volume from Figure B-2, B-3, or B-4, based on slope

g Determine the Adjusted Unit Basin Storage Volume for the site.

Adjusted UBS = 0.71 inches Adjusted UBS = Rain Gage Correction Factor x Unit Basin Storage Volume

h Determine the Design Volume.

Design Volume = 0.0119 acre-feet

Design Volume = 518 cubic feet Design Volume = Adj. Unit Basin Storage Volume x Total Drainage Area

Step 4 Determine the Design Rainfall Intensity (Uniform Intensity Approach, Section III.C, Step 3) which is 0.2 in/hr.

Design Rainfall Intensity = 0.20 in/hr

Step 5 Assume that the rain event that generates the Adjusted Unit Basin Storage Volume of runoff occurs at the Design Rainfall Intensity for the entire length of the storm. Calculate the duration of the storm by dividing the Adjusted Unit Basin Storage Volume by the Design Rainfall Intensity. In other words, determine the amount of time required for the Adjusted Unit Basin Storage Volume to be achieved at the design intensity rate.

Duration = 3.53 hours Adjusted UBS ÷ Design Rainfall Intensity

Step 6 Make a preliminary estimate of the surface area of the treatment measure.

Try a preliminary surface area estimate = 223.68 Square feet 3% of total drainage area

BMP Surface Area = 232 Square feet

Step 7 Calculate the volume of runoff that filters through the bioretention soil at a rate of 5 inches per hour (the design surface loading rate for bioretention facilities). For the duration of the storm calculated in Step 5.

Volume of Treated Runoff = 385 cubic feet Surface Area x Duration

Step 8 Calculate the portion of the water quality design (WQD) volume remaining after treatment is accomplished by filtering through the bioretention soil. The result is the amount that must be stored in the ponding area above the bioretention surface area estimated in Step 6.

Volume in Ponding Area = 133

Step 9 Calculate the depth of the volume in the ponding area by dividing this volume by the estimated surface area in Step 6.

Depth of Ponding = 0.51 Feet

Depth of Ponding = 6 Inches

The average ponding depth is acceptable. The range of allowable ponding depths in a bioretention facility or flow-through planter is between 0.5 and 1.0 feet (6 and 12 inches). 0.5 feet is recommended.

Instructions: Complete this worksheet for each Drainage Management Area of the project that has a combination flow- and volume-based treatment measure. Enter information specific to the project and DMA in the cells shaded in yellow. Cells shaded in light blue contain formulas and values that will be automatically calculated.

Worksheet for Sizing Flow- and Volume-Based Treatment Measures

Stormwater Treatment Measure: Flow-through planter box

For bioretention areas and flow-through planters, the following approach may be used to take into consideration both the flow of stormwater through the planting media and the volume of stormwater in the surface ponding area.

Step 1 Determine the contributing drainage area to the treatment measure.

Drainage Area = 7734 square feet

Drainage Area = 0.178 acres

Step 2 Determine the Percent Imperviousness of the drainage area.

Enter the amount of surface area draining to the BMP:

a Impervious Area = 7456 square feet Includes rooftops, hardscapes, streets, and sidewalks, etc.

b Pervious Area = 278 square feet

% Impervious = 96 %

Step 3 Determine the required treatment volume (using Adopted CAGQA Stormwater BMP Handbook Approach).

a Find the mean annual precipitation at the site (MAPin). Estimate where the site is on Figure B-1 and estimate the mean annual precipitation in inches from the rain line (isopleth) nearest to the project site. Interpolate between isopleths if necessary. Click here for map (Figure B-1).

MAP_{site} = 18 Site Mean Annual Precipitation

b Identify the reference rain gage closest to the project site (San Jose Airport, Palo Alto, or Morgan Hill).

Closest Reference Rain Gage: San Jose Airport

MAP_{ref} = 13.9 inches Reference Gage Mean Annual Precipitation

c Determine the rain gage correction factor for the precipitation at the site from Step 3 and Step 4.

MAP correction factor = 1.29 Correction factor = MAP_{site}/MAP_{ref}

d Identify the representative soil type for the drainage area. Identify from Figure B-1 or from site soils data, the soil type that is representative of the pervious portion of the project (see dropdown menu).

Site Soil Type = Clay Loam (D) If soil will be compacted during site preparation and grading, the soil's infiltration rate will be decreased. Modify your answer to a soil with a lower infiltration rate.

Does the site planning allow for protection of natural areas, vegetation, and soils so that the soils outside the building footprint are not graded/compacted? No

If your answer is no, and the soil will be compacted during site preparation and grading, the soil's infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (e.g., Silty loam or Clay loam or Clay).

e Determine the average slope for the drainage area.

Average Slope (%) = 1

f Determine the unit basin storage volume from sizing curves.

Unit Basin Storage (UBS) = 0.55 inches Unit basin storage volume from Figure B-2, B-3, or B-4, based on slope

g Determine the Adjusted Unit Basin Storage Volume for the site.

Adjusted UBS = 0.71 inches Adjusted UBS = Rain Gage Correction Factor x Unit Basin Storage Volume

h Determine the Design Volume.

Design Volume = 0.0105 acre-feet

Design Volume = 457 cubic feet Design Volume = Adj. Unit Basin Storage Volume x Total Drainage Area

Step 4 Determine the Design Rainfall Intensity (Uniform Intensity Approach, Section III.C, Step 3) which is 0.2 in/hr.

Design Rainfall Intensity = 0.20 in/hr

Step 5 Assume that the rain event that generates the Adjusted Unit Basin Storage Volume of runoff occurs at the Design Rainfall Intensity for the entire length of the storm. Calculate the duration of the storm by dividing the Adjusted Unit Basin Storage Volume by the Design Rainfall Intensity. In other words, determine the amount of time required for the Adjusted Unit Basin Storage Volume to be achieved at the design intensity rate.

Duration = 3.53 hours Adjusted UBS ÷ Design Rainfall Intensity

Step 6 Make a preliminary estimate of the surface area of the treatment measure.

Try a preliminary surface area estimate = 223.68 Square feet 3% of total drainage area

BMP Surface Area = 232 Square feet

Step 7 Calculate the volume of runoff that filters through the bioretention soil at a rate of 5 inches per hour (the design surface loading rate for bioretention facilities). For the duration of the storm calculated in Step 5.

Volume of Treated Runoff = 341 cubic feet Surface Area x Duration

Step 8 Calculate the portion of the water quality design (WQD) volume remaining after treatment is accomplished by filtering through the bioretention soil. The result is the amount that must be stored in the ponding area above the bioretention surface area estimated in Step 6.

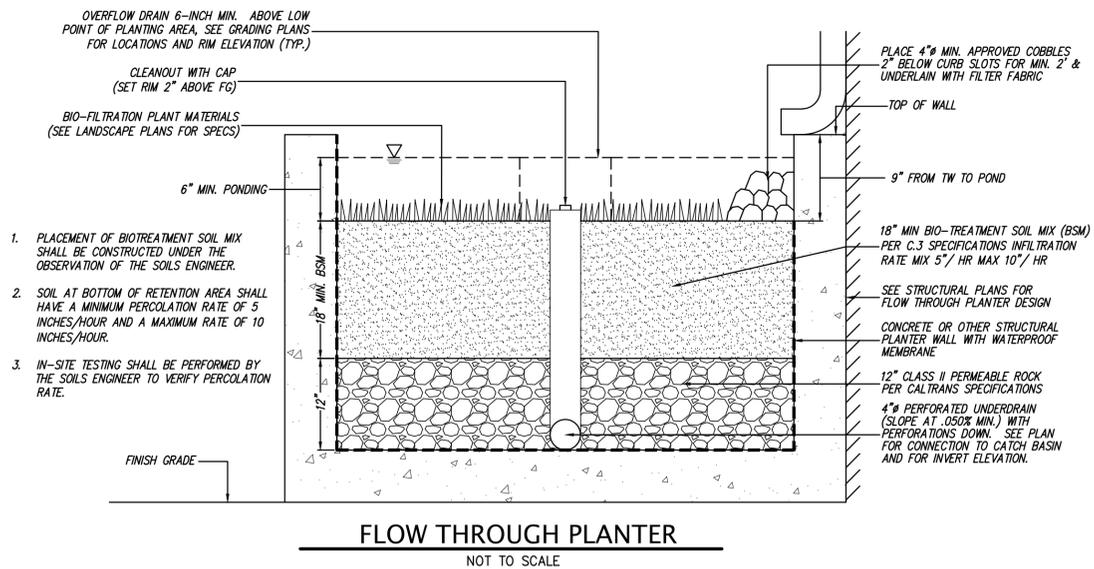
Volume in Ponding Area = 116

Step 9 Calculate the depth of the volume in the ponding area by dividing this volume by the estimated surface area in Step 6.

Depth of Ponding = 0.50 Feet

Depth of Ponding = 6 Inches

The average ponding depth is acceptable. The range of allowable ponding depths in a bioretention facility or flow-through planter is between 0.5 and 1.0 feet (6 and 12 inches). 0.5 feet is recommended.



NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR ANY OBSTRUCTIONS AND REMOVE TRASH.	QUARTERLY
2	INSPECT PLANTER FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, THE SURFACE BIOTREATMENT SOIL SHOULD BE TILLED OR REPLACED WITH THE APPROVED SOIL MIX AND REPLANTED. USE THE CLEANOUT RISER TO CLEAR ANY UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	QUARTERLY
3	CHECK FOR ERODED OR SETTLED BIOTREATMENT SOIL MEDIA. LEVEL SOIL WITH RAKE AND REMOVE/REPLANT VEGETATION AS NECESSARY. MAINTAIN THE VEGETATION AND IRRIGATION SYSTEM. PRUNE AND WEED TO KEEP FLOW-THROUGH PLANTER NEAT AND ORDERLY IN APPEARANCE.	QUARTERLY
4	EVALUATE HEALTH AND DENSITY OF VEGETATION. REMOVE AND REPLACE ALL DEAD AND DISEASED VEGETATION. REMOVE EXCESSIVE GROWTH OF PLANTS THAT ARE TOO CLOSE TOGETHER.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
5	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
6	INSPECT THE OVERFLOW PIPE TO MAKE SURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE ANY DAMAGED OR DISCONNECTED PIPING. USE THE CLEANOUT RISER TO CLEAR UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
7	INSPECT THE ENERGY DISSIPATOR AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ANY ACCUMULATION OF SEDIMENT.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
8	INSPECT AND, IF NEEDED, REPLACE WOOD MULCH. IT IS RECOMMENDED THAT 2" TO 3" OF COMPOSTED ARBOR MULCH BE APPLIED ONCE A YEAR.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
9	INSPECT SYSTEM FOR EROSION OF BIOTREATMENT SOIL MEDIA, LOSS OF MULCH, STANDING WATER, CLOGGED OVERFLOWS, WEEDS, TRASH AND DEAD PLANTS. IF USING ROCK MULCH, CHECK FOR 3" OF COVERAGE.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS.
10	INSPECT SYSTEM FOR EROSION OF BIOTREATMENT SOIL MEDIA, LOSS OF MULCH, STANDING WATER, CLOGGED OVERFLOWS, WEEDS, TRASH AND DEAD PLANTS. IF USING ROCK MULCH, CHECK FOR 3" OF COVERAGE.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS.
11	INSPECT SYSTEM FOR STRUCTURAL INTEGRITY OF WALLS, FLOW SPREADERS, ENERGY DISSIPATORS, CURB CUTS, OUTLETS AND FLOW SPLITTERS.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS.

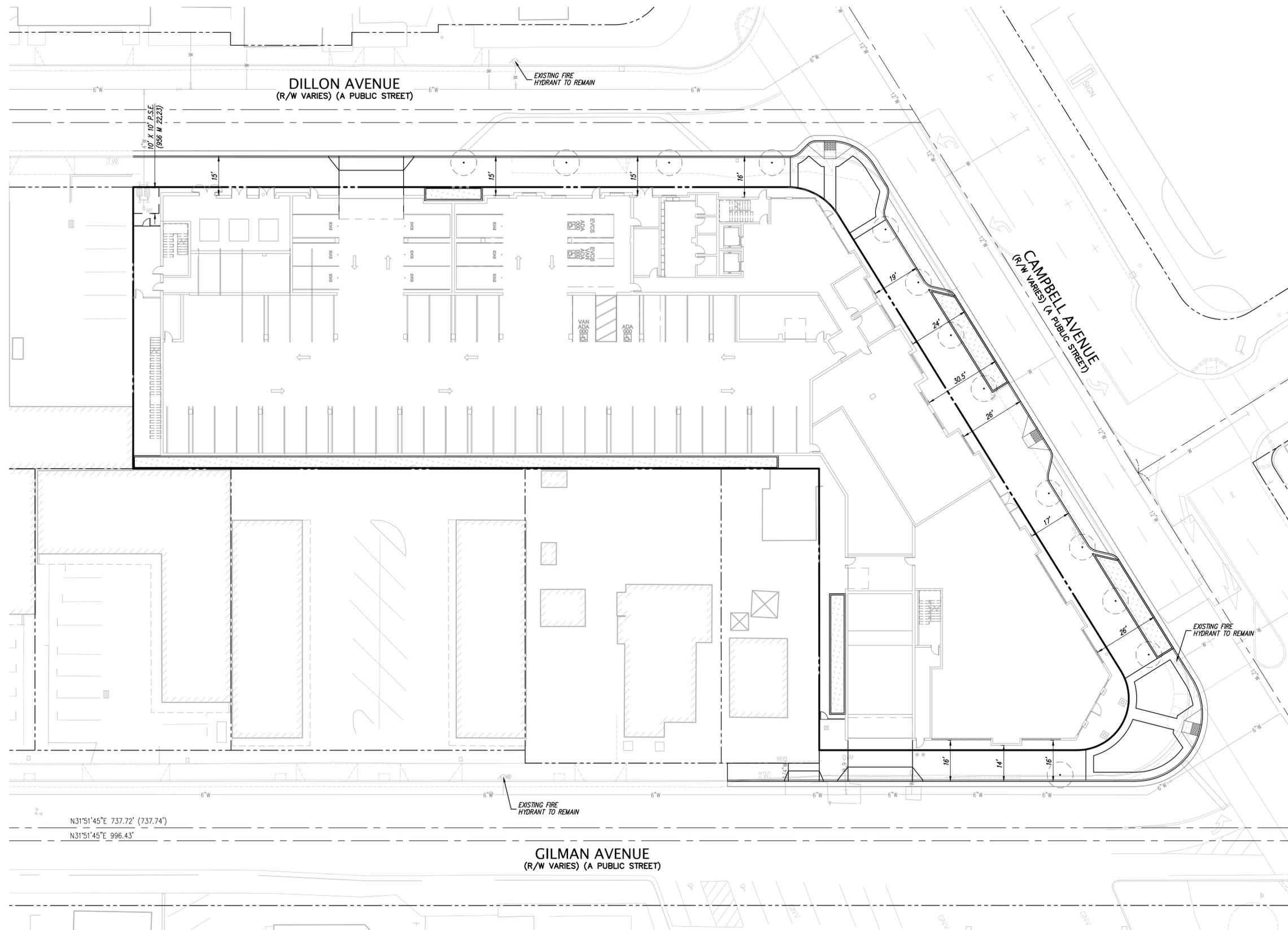
AREA	TCM	TREATMENT TYPE	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	TREATMENT AREA REQ. (SQ. FT.)	TREATMENT AREA PROVIDED (SQ. FT.)	PONDING DEPTH (IN.)
DMA 1	1	FLOW THROUGH PLANTER	1,607	1,516	91	47	91	6
DMA 2	2	FLOW THROUGH PLANTER	29,783	28,782	1,001	880	1,001	6
DMA 3	3	FLOW THROUGH PLANTER	8,768	8,505	263	260	263	6
DMA 4	4	FLOW THROUGH PLANTER	8,804	8,532	272	262	272	6
DMA 5	5	FLOW THROUGH PLANTER	7,734	7,456	278	232	278	6

*BIOTREATMENT SIZING BASED ON COMBINATION FLOW AND VOLUME METHOD.



SITE FIRE NOTES

1. EMERGENCY VEHICLE ACCESS EASEMENTS SHALL BE PAVED WITH ASPHALT OR REINFORCED CONCRETE, BOTH OF WHICH WILL SUPPORT THE MINIMUM REQUIRED LOAD OF 75,000 LBS.
2. CURB SPANS DESIGNATED WITH RED MARKINGS INDICATE FIRE LANE IDENTIFICATION AND PARKING RESTRICTIONS FOR FIRE APPARATUS ACCESS ROADS. THESE ROADWAYS SHALL BE MARKED WITH PERMANENT SIGNAGE INDICATING "NO PARKING - FIRE LANE" IN ACCORDANCE WITH FIGURE 7 OF THE S.C.F.D. EMERGENCY APPARATUS ACCESS REQUIREMENTS DOCUMENT.
3. TREES DO NOT INTERFERE WITH AERIAL LADDER TRUCKS.
4. ALL BUILDINGS ARE 150' OR LESS FROM AN EMERGENCY VEHICLE ACCESS LANE.
5. FIRE ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES. AERIAL APPARATUS ACCESS ROADS MAY REQUIRE ADDITIONAL VERTICAL CLEARANCE.
6. DEAD-END FIRE ACCESS ROADS MORE THAN 150 FEET IN LENGTH (MEASURED FROM THE CURB PERPENDICULAR TO THE ROADWAY) SHALL BE PROVIDED WITH AN APPROVED TURNAROUND THAT ADHERES TO APPENDIX D FIGURE D103.1 OF THE CALIFORNIA FIRE CODE.

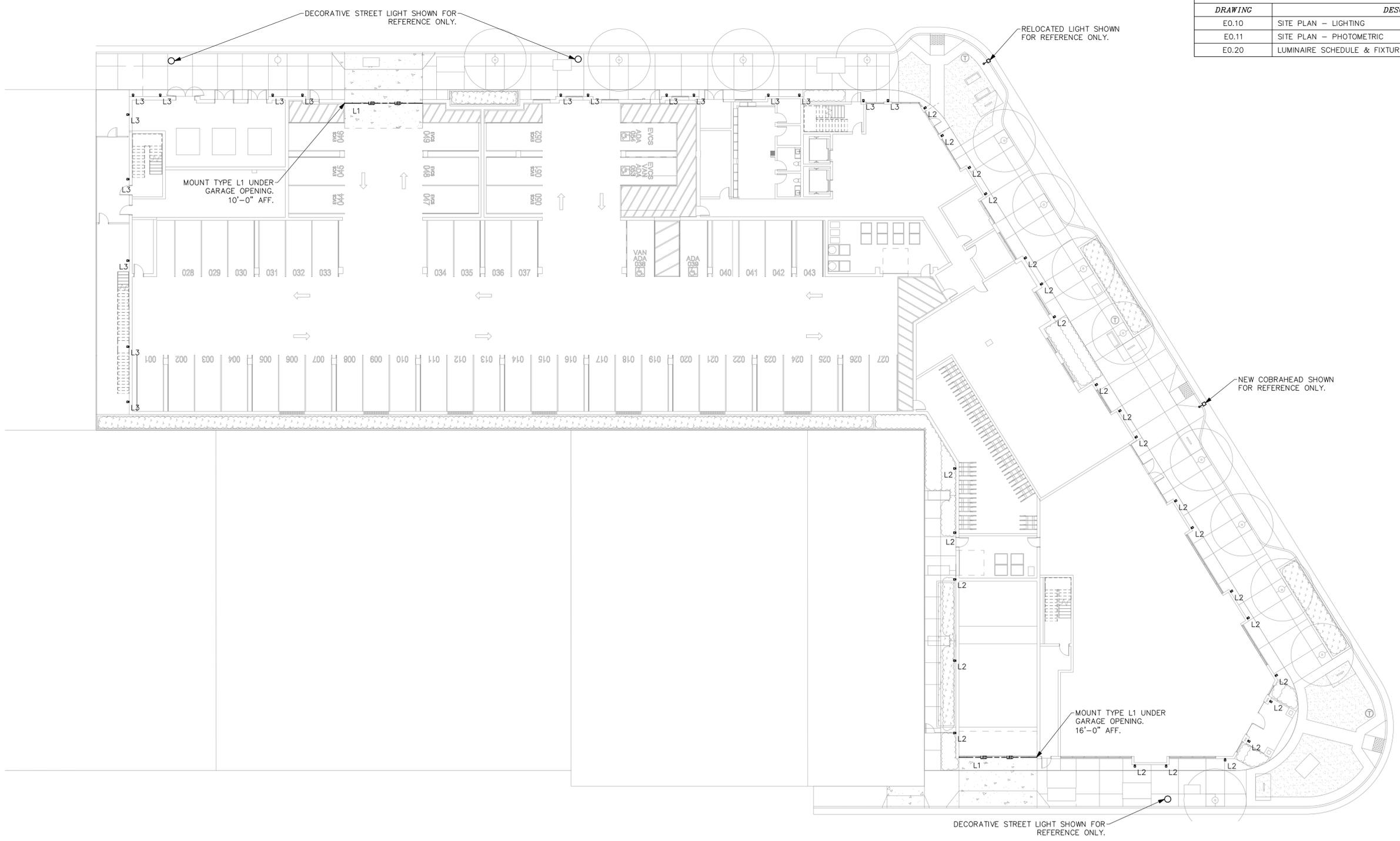


GENERAL NOTES

1. LIGHTING CONTROLS SHALL BE INSTALLED WHICH MEET ALL REQUIREMENTS OF LOCAL ENERGY CODES.
2. ALL EXTERIOR MOUNTED LIGHTING SHALL BE CONTROLLED BY PHOTOCONTROL OR ASTRONOMIC TIME-CLOCK SCHEDULING PER CALIFORNIA ENERGY CODE (CENC) REQUIREMENTS 160.5(c)2. PROVIDE MOTION SENSING CONTROLS FOR LUMINAIRES OVER 40 WATTS MOUNTED LESS THAN 24' ABOVE GRADE AND WALL MOUNTED LUMINAIRES MORE THAN 24' ABOVE GRADE.
3. ALL EXTERIOR MOUNTED LUMINAIRES SHALL FOLLOW MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS FOUND IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 5.106.8.
4. MOUNTING HEIGHT (MH) LISTED IN LUMINAIRE SCHEDULE SHALL BE FROM ABOVE GRADE TO BOTTOM OF COMPLETE EXPOSED FIXTURE.

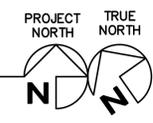
SHEET INDEX

DRAWING	DESCRIPTION
E0.10	SITE PLAN - LIGHTING
E0.11	SITE PLAN - PHOTOMETRIC
E0.20	LUMINAIRE SCHEDULE & FIXTURE DETAILS



SITE PLAN - LIGHTING

SCALE: 1/16" = 1'-0" 0' 4' 8' 16"



NO.	DATE	DESCRIPTION	REVISIONS

ROBISON ENGINEERING, INC.
 19401 40TH AVE W, SUITE 302
 LYNNWOOD, WA 98036
 206-864-3475
 RE PROJECT NO. 1376001
 CONTACT: JACOB GREEN

DRAWN:	MNR	DESIGNED:	MNR	CHECKED:	AJS	APPROVED:	AJS
--------	-----	-----------	-----	----------	-----	-----------	-----

PROJECT: EAST CAMPBELL APTS.
 600 EAST CAMPBELL AVE, CAMPBELL, CA

19401 40TH AVE W, SUITE 302
 LYNNWOOD, WA 98036
 PHONE: 206/364-3343

ROBISON ENGINEERING, INC.

DATE: 12/19/2024

SHEET TITLE:
 SITE PLAN - LIGHTING

SHEET NO.
E0.10

FOR REFERENCE ONLY

PHOTOMETRIC NOTES

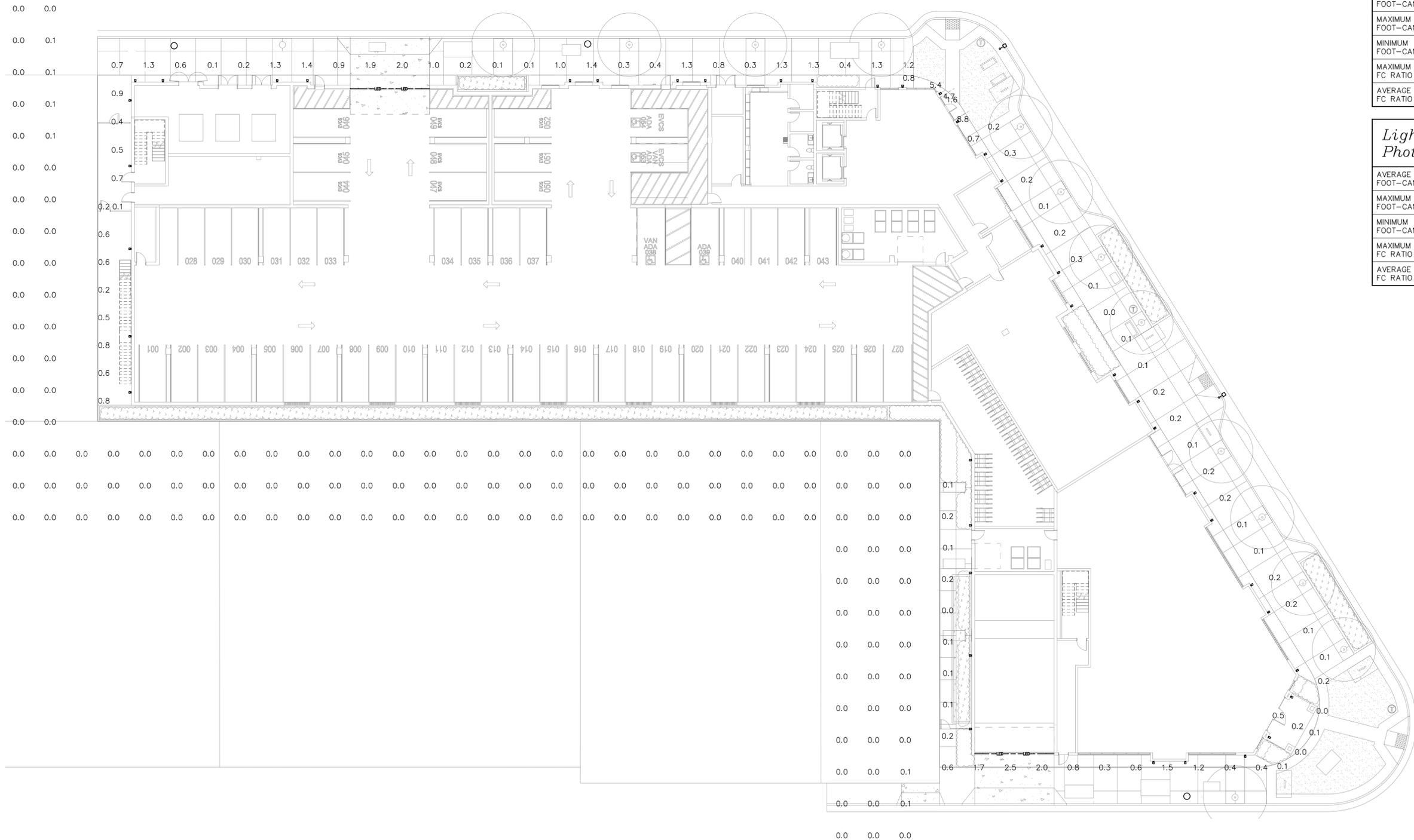
1. PHOTOMETRIC CALCULATIONS BASED ON AVAILABLE IES FILE FROM FIXTURE MANUFACTURER (OR EQUIVALENT). FIXTURE SUBSTITUTIONS MAY COMPROMISE FOOT CANDLE LEVELS.
2. PHOTOMETRIC CALCULATIONS MEASURED AT GRADE LEVEL FROM CEILING HEIGHT OR MOUNTING HEIGHT (MH) NOTED IN LUMINAIRE SCHEDULE.
3. SITE PHOTOMETRIC CALCULATIONS: BASED ON PROPOSED SITE LIGHTING FOR PROJECT ONLY.
4. LIGHT TRESPASS: LIGHT SPILL PAST PROJECT SITE PROPERTY LINE.
5. NEW, EXISTING, AND DECORATIVE STREET LIGHTS NOT INCLUDED IN PHOTOMETRIC CALCULATIONS. SHOWN FOR REFERENCE ONLY.

Walkway Photometric Schedule

AVERAGE FOOT-CANDLES	0.74
MAXIMUM FOOT-CANDLES	8.8
MINIMUM FOOT-CANDLES	0.0
MAXIMUM TO MINIMUM FC RATIO	397.85
AVERAGE TO MINIMUM FC RATIO	33.57

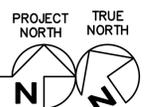
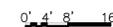
Light Trespass Photometric Schedule

AVERAGE FOOT-CANDLES	0.01
MAXIMUM FOOT-CANDLES	0.1
MINIMUM FOOT-CANDLES	0.0
MAXIMUM TO MINIMUM FC RATIO	0.12 / 0.00
AVERAGE TO MINIMUM FC RATIO	0.01 / 0.00



SITE PLAN - PHOTOMETRIC

SCALE: 1/16" = 1'-0"



NO.	DATE	DESCRIPTION	REVISIONS

ROBISON ENGINEERING, INC.
 19401 40TH AVE W, SUITE 302
 LYNNWOOD, WA 98036
 206-864-3475
 REI PROJECT NO. 1376001
 CONTACT: JACOB GREEN

DRAWN:	MNR	DESIGNED:	MNR	CHECKED:	AJS	APPROVED:	AJS
--------	-----	-----------	-----	----------	-----	-----------	-----

PROJECT: EAST CAMPBELL APTS.
 600 EAST CAMPBELL AVE, CAMPBELL, CA

19401 40TH AVE W, SUITE 302
 LYNNWOOD, WA 98036
 PHONE: 206/364-3343

ROBISON ENGINEERING, INC.

DATE: 12/19/2024

SHEET TITLE:
 SITE PLAN - PHOTOMETRIC

SHEET NO.
 E0.11

FOR REFERENCE ONLY

EXTERIOR LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	MOUNTING	DESCRIPTION	MODEL	VOLTAGE	PROTOCOL	CRI / CCT	LAMPING	WATTAGE
L1	— — —	RECESSED	GARAGE — RECESSED LINEAR — B1 U1 GO	FOCAL POINT: FSM2LWL 125 30K [CIRCUITS] UNV L11 [CEILING] [FINISH]	MULTIPLE	0-10V DIMMING	80 / 3000K	(1) 5.6 /FT LED	
L2	■	SURFACE	WALL SCONCE — B1 U4 G0 — MH 8'	SONNEMAN: 7522 [FINISH]	MULTIPLE	0-10V DIMMING	90 / 3000K	(2) 3.5W LED	7
L3	■	SURFACE	VERTICAL SCONCE — B1 U3 G1 — MH 6'-8"	SONNEMAN: 7115 [FINISH]	120	ELV DIMMING	90 / 3000K	(1) LED	15

NOTES:

- CONTRACTOR TO FURNISH AND INSTALL ALL FIXTURES.
- LUMINAIRE SCHEDULE IS BOD ONLY. CONTRACTOR TO SUBMIT FIXTURE MODEL OR EQUIVALENT. CONTRACTOR TO COORDINATE FIXTURE FINISHES WITH ARCHITECT/OWNER.
- FIXTURE CATALOG NUMBERS DO NOT NECESSARILY DENOTE SPECIFIC MOUNTING ACCESSORIES. CONTRACTOR TO PROVIDE ALL NECESSARY ACCESSORIES TO SUCCESSFULLY COMPLETE THE INSTALLATION.
- 'BUG' RATING ON EXTERIOR FIXTURES INDICATES 'BACKLIGHT', 'UPLIGHT', AND 'GLARE' AS STANDARDS IN CLASSIFYING OUTDOOR LIGHT FIXTURES.

SONNEMAN
A WAY OF LIGHT
L3

Project:

Stripe LED Sconce Spec Sheet

SKU: 7115.72-WL

This square vertical column is a strong and commanding element, with presence and dramatic impact. Light is indirectly reflected off the surface it is mounted upon, highlighting the white LED front stripe, which can be made red, blue, or yellow by an interchangeable color strip.

Learn more: <https://sonnemanlight.com/strip-led-sconce>

Type #:



Dimensions

Height: 30"
Width: 1.5"
Extends: 3"
Minimum Extension: 3"
Maximum Extension: 3"
Size: 3"
Canopy/Backplate/Base Width: 4.5"
Canopy/Backplate/Base Depth: 0.5"
Canopy/Backplate/Base Height: 6"

Electrical Specs

Bulb(s) Included?: Yes
Bulb Type: Integral LED
Bulb Quantity: 1
Input Voltage: 120VAC
Wattage: 15
Initial Lumens: 1300
Delivered Lumens: 740
Kelvin: 3000K
CRI: 90
Power Supply Type: Driver
Power Supply Quantity: 1
Power Supply Location: Outlet Box
Dimming Type: TRIAC/ELV-10V
Bulb Max Wattage: 15

Installation

Installation: Licensed electrician required
Installation Orientation: Vertical

Shipping

Carton 1 L x W x H: 33" X 8" X 5"
Carton 1 Gross Weight: 6 LBS

Shade

Shade Material: Aluminum w/Colored Strip

General Listings

Features: Wet Rated
Certification: C-ETL-US
Color/Finish: Textured Bronze (.72)
Dark Sky Friendly: N

Available Finishes

Available Finishes: Textured Bronze (.72), Textured Gray (.74), Textured White (.98)

Available Color Temperatures

Available Color Temperatures: 3000K

Options In This Family

SKU	Size	Wattage	CRI	Delivered Lumens
7113.XX-WL	24"	11	90	830
7115.XX-WL	30"	15	90	740

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SONNEMAN
A WAY OF LIGHT
L2

Project:

Qube Large Sconce Spec Sheet

SKU: 7522.77

Defined by its cube form, Qube reframes space while projecting light up and down through a clear lens. This timeless geometric sconce is ideal for any architectural space, including living spaces, luxury bedrooms, and outdoor spaces. The collection can be scaled for larger residential, hospitality and commercial settings. Qube is IP65 rated, making it an ideal solution for outdoor locations.

Learn more: <https://sonnemanlight.com/qube-sconce>

Type #:



Dimensions

Height: 5.25"
Width: 5.25"
Size: Large

Electrical Specs

Bulb(s) Included?: Yes
Bulb Type: Integral LED
Bulb Quantity: 2
Input Voltage: 120-277VAC
Wattage: 7
Initial Lumens: 1900
Delivered Lumens: 750
Kelvin: 3000K
CRI: 90
Power Supply Type: Driver
Power Supply Quantity: 1
Power Supply Location: Outlet Box
Dimming Type: TRIAC/ELV-10V

Installation

Installation: Licensed electrician required
Sloped Ceiling Compatible?: N/A
Installation Orientation: Vertical

Shade

Shade Material: Aluminum

General Listings

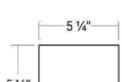
Features: IP65 Rated, Wet Rated
Certification: C-ETL-US
Color/Finish: Natural Anodized (.77)
Dark Sky Friendly: N

Available Finishes

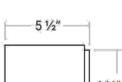
Available Finishes: Natural Anodized (.77), Textured Black (.97), Textured White (.98)

Available Color Temperatures

Available Color Temperatures: 3000K



5 1/4"



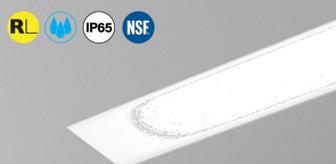
5 1/2"



4 1/2" sq.

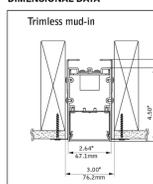
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Seem® 2
LED - WET LOCATION
L1
FOCAL POINT®



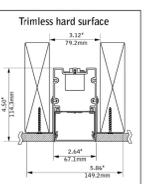

DIMENSIONAL DATA

Trimless mud-in



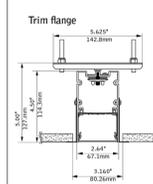
note: 0.375" min - 2.125" max ceiling thickness

Trimless hard surface



note: 0.375" min - 2.125" max ceiling thickness

Trim flange



FEATURES

Narrow extruded aluminum 2.5" aperture recessed slot LED suitable for wet location.

Integrates with ceiling for a clean, unobtrusive aesthetic.

Individual units and continuous runs in 1' increments.

Frosted acrylic lens provides uninterrupted illumination, without pixels or shadows.

LED position and lens material optimized to provide the perfect blend of high performance and visual comfort.

PERFORMANCE



Asymmetric Lens



Batwing Lens



Flush Lens

Photometric performance is measured in accordance with IESNA LM-79. Visit seemlights.com for complete photometric data.

A brand of **legrand** Focal Point LLC 441 S. Pulaski Rd. Chicago, IL 60632 | 773.293.9494 | focallights.com October 2024 W

NO.	DATE	DESCRIPTION	REVISIONS



**ROBISON
ENGINEERING, INC**

19401 40TH AVE W, SUITE 302
LYNNWOOD, WA 98036
206.864.3343
RE PROJECT NO.: 13767001
CONTACT: JACOB@ROBISON.COM

DRAWN:	MNR
DESIGNED:	MNR
CHECKED:	AJS
APPROVED:	AJS

PROJECT: EAST CAMPBELL APTS.
600 EAST CAMPBELL AVE, CAMPBELL, CA

19401 40TH AVE W, SUITE 302
LYNNWOOD, WA 98036
PHONE: (206) 364-3343

**ROBISON
ENGINEERING, INC**

DATE: 12\19\2024

SHEET TITLE:
LUMINAIRE SCHEDULE & LIGHTING NOTES

SHEET NO.
E0.20

FOR REFERENCE ONLY