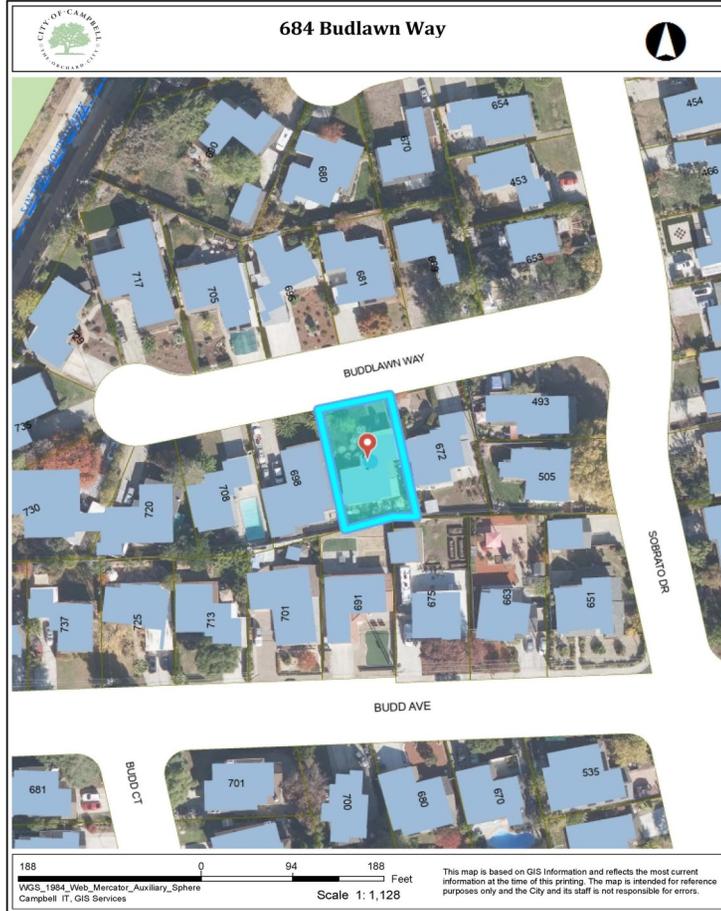


## Location of Proposed Project



 City of Campbell  
70 North First Street  
Campbell, CA 95008 -1423

## Project Image



# Courtesy Notice

Dear Campbell Resident,

December 12, 2024

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 684 Buddlawn Way

Zoning | Area Plan: R-1-6 | STANP

Neighborhood Association(s): N/A

Council District: 4

File No.: PLN-2024-182

APN: 404-24-029

Applicant: Amorsolo Tamayo

Property Owner: Chuntung Wang & Lianting Zhou

Application Type: Administrative Site and Architectural Review Permit

**Project Planner:** Larissa Lomen, Assistant Planner

**Email Contact:** larissal@campbellca.gov

**Phone Contact:** (408) 866-2144

## Project Description:

To allow the construction of a new 2,732 square foot, two-story, single-family dwelling using portions of the existing structure.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal. To view the project plans, please scan the QR code.

\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traducción en Español





Submittal History			
No.	Description	Date	By
-	INITIAL SUBMITTAL	03/2023	

Designer: *Amorsolo Tamayo*



**AT**  
Design Studio  
3929 South Street  
Irvine, CA 92615  
(949) 259-0983  
email: Design@AT-DS.com



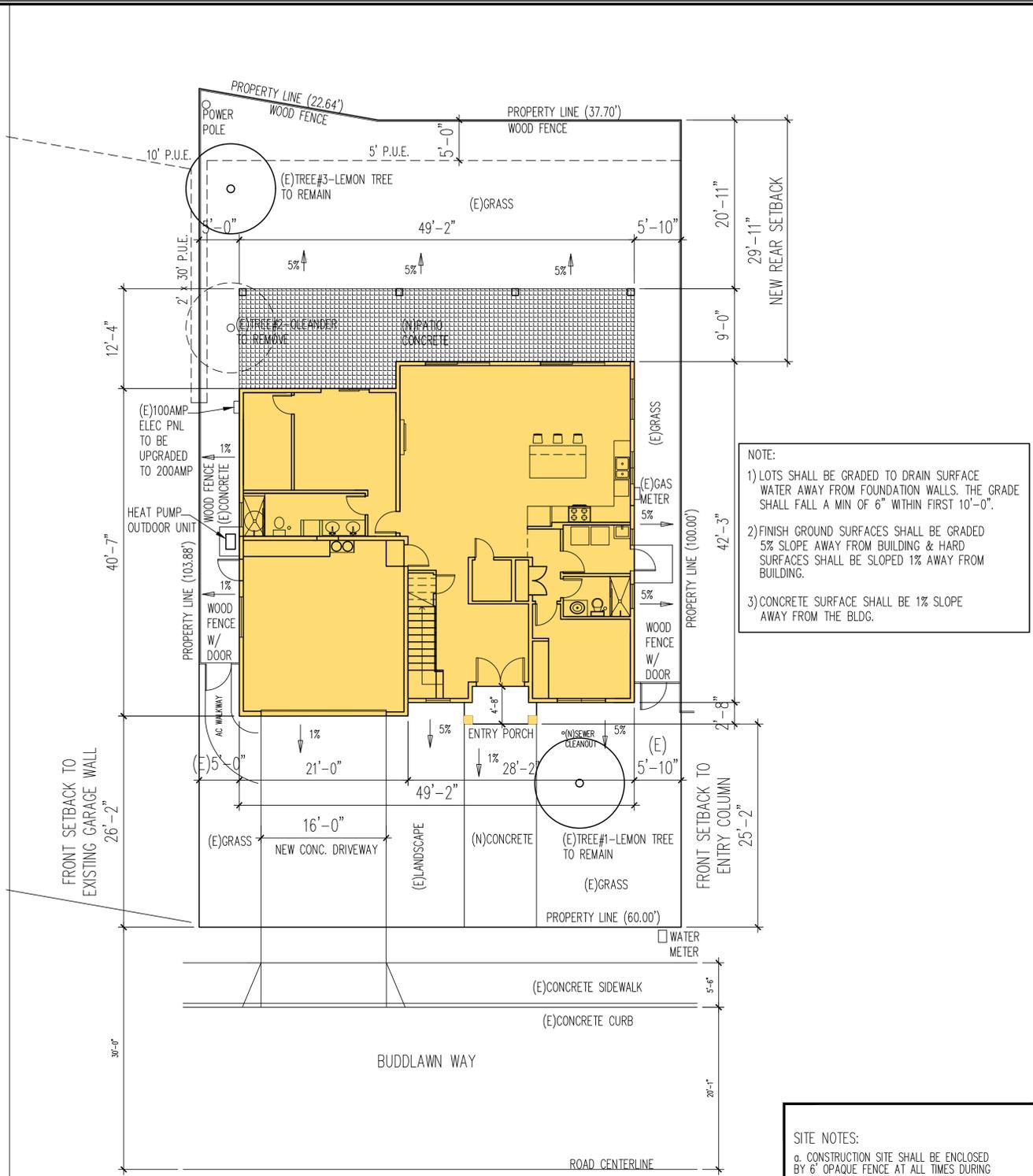
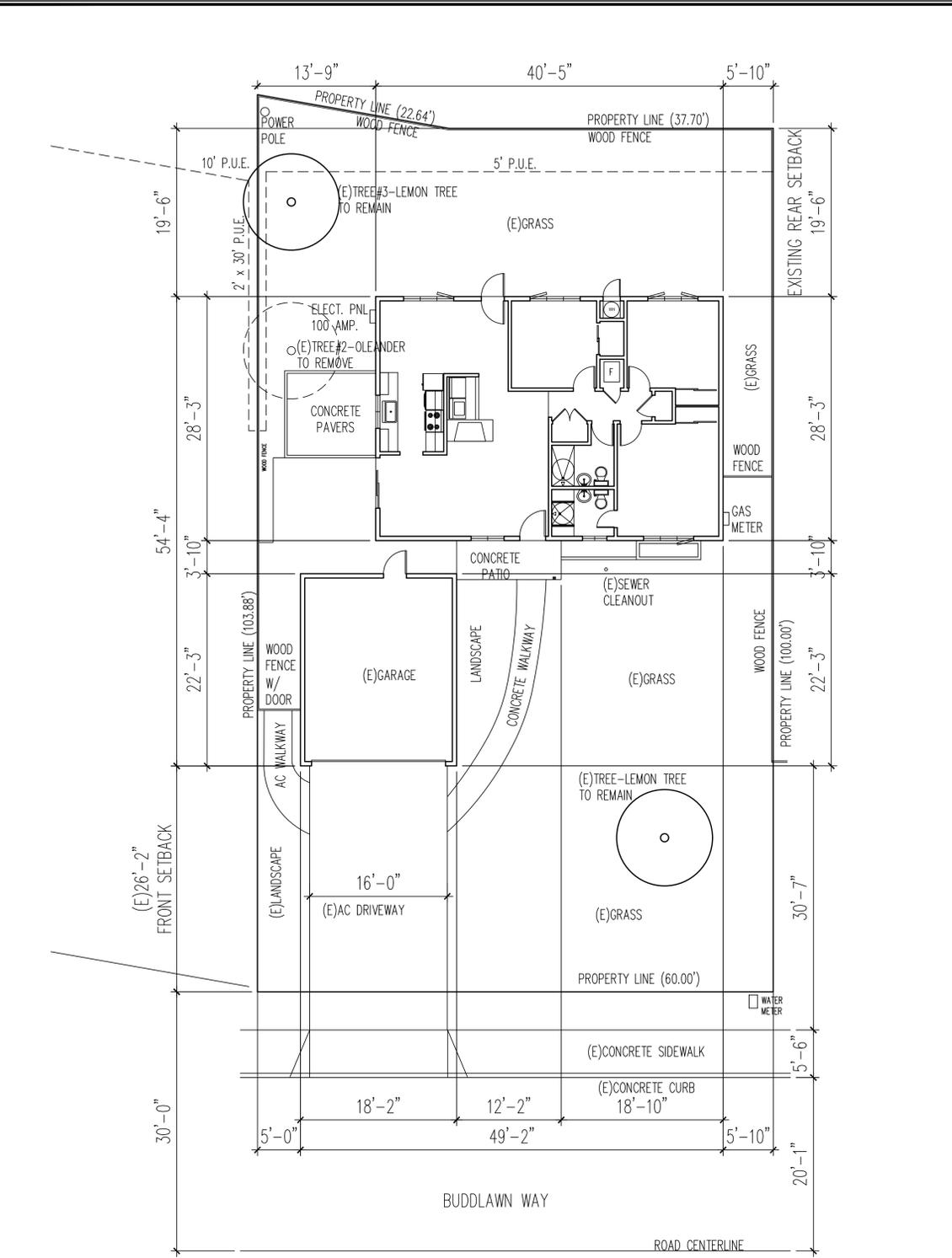
NOTE:

- 1) LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MIN OF 6" WITHIN FIRST 10'-0".
- 2) FINISH GROUND SURFACES SHALL BE GRADED 5% SLOPE AWAY FROM BUILDING & HARD SURFACES SHALL BE SLOPED 1% AWAY FROM BUILDING.
- 3) CONCRETE SURFACE SHALL BE 1% SLOPE AWAY FROM THE BLDG.

Sheet Notes:

**Project Title:**  
NEW 2 STORY SINGLE FAMILY RESIDENCE  
684 Buddlawn Way  
Campbell, California, 95008  
APN: 40424029

Job Number: \_\_\_\_\_  
 Drawn By: *Amorsolo T.*  
 Checked By: *Amorsolo T.*  
 Date: \_\_\_\_\_  
 Drawing Title:  
 EXISTING & NEW SITE PLAN  
 Sheet Number:  
**A1**



NOTE:

- 1) LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MIN OF 6" WITHIN FIRST 10'-0".
- 2) FINISH GROUND SURFACES SHALL BE GRADED 5% SLOPE AWAY FROM BUILDING & HARD SURFACES SHALL BE SLOPED 1% AWAY FROM BUILDING.
- 3) CONCRETE SURFACE SHALL BE 1% SLOPE AWAY FROM THE BLDG.

SITE NOTES:

- a. CONSTRUCTION SITE SHALL BE ENCLOSED BY 6" OPAQUE FENCE AT ALL TIMES DURING CONSTRUCTION AS REQD.
- b. NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT OF WAY.
- c. A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN CONTAINER.
- d. ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE PILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.
- e. THE PROJECT SHALL HAVE A SIGNAGE VIEWABLE FROM THE PUBLIC STREET THAT INDICATES THE HOURS OF CONSTRUCTION AS: MON-FRI FROM 7:30AM TO 6PM, SATURDAYS FROM 9AM TO 5PM.

Submittal History			
No.	Description	Date	By
-	INITIAL SUBMITTAL	10/2024	

Designer: Amorsolo Tamayo

*Amorsolo Tamayo*



Sheet Notes:

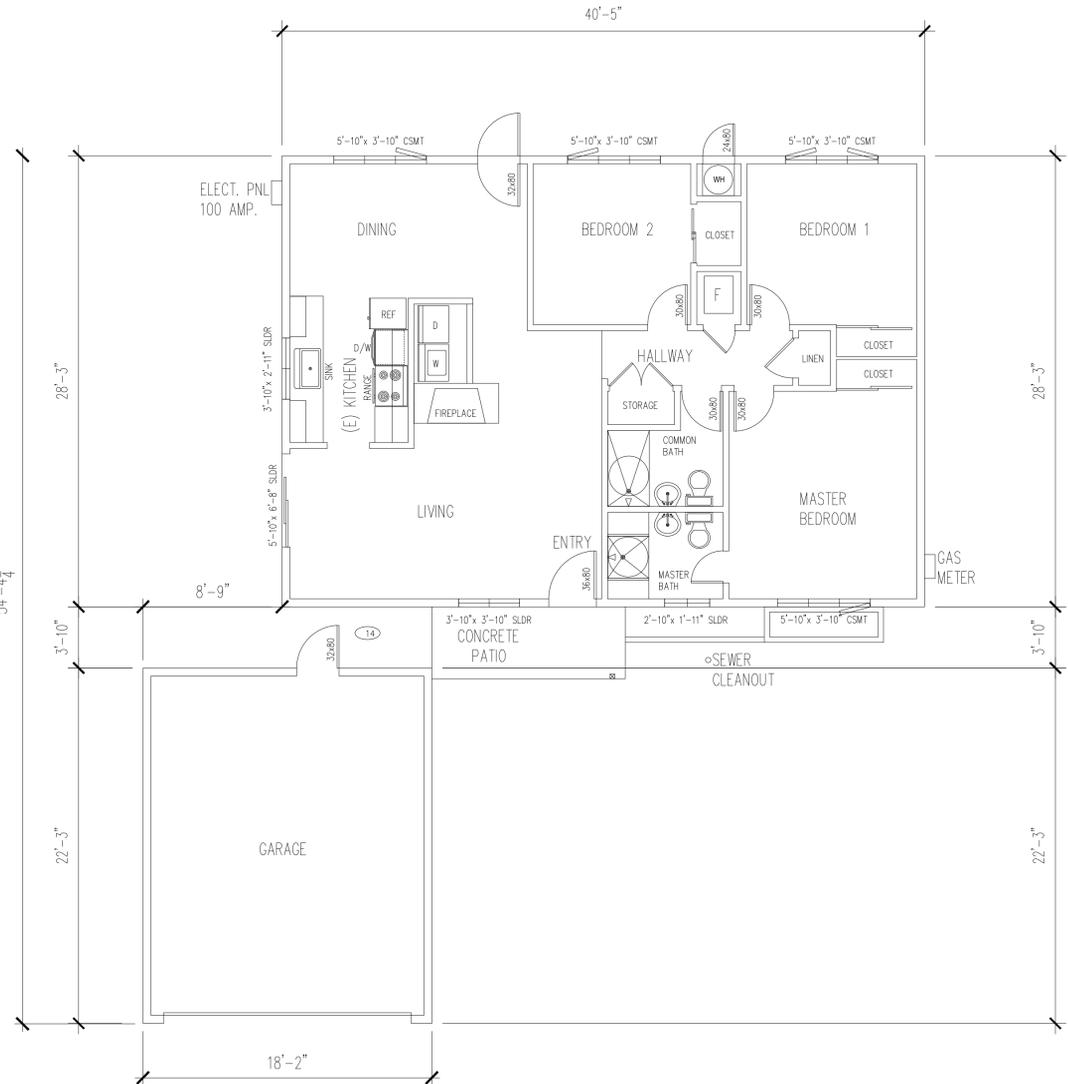
Project Title:

Job Number  
 Drawn By Amorsolo T.  
 Checked By Amorsolo T.  
 Date

Drawing Title:  
 EXISTING FLOOR PLAN  
 DEMOLITION PLAN

Sheet Number:

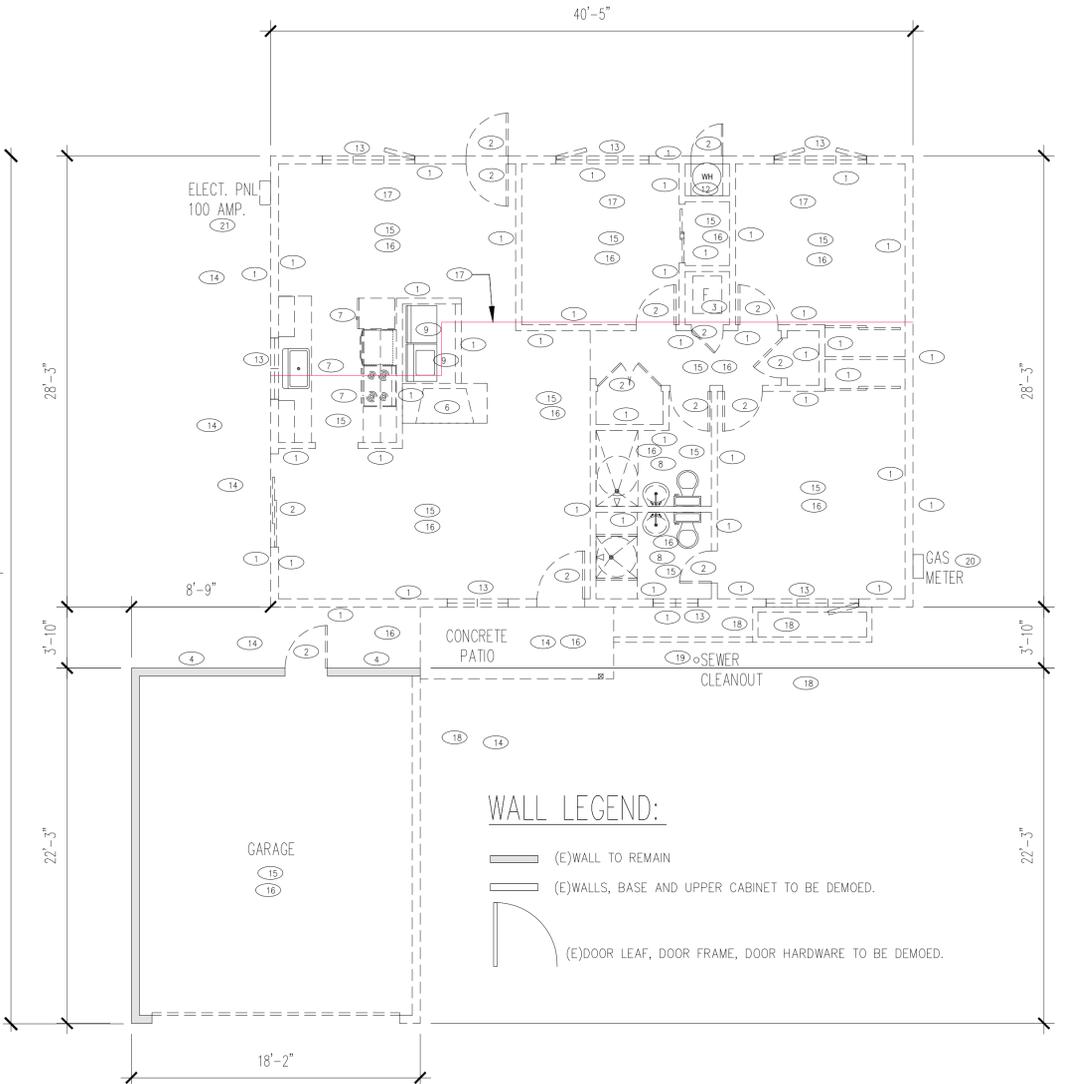
A1.1



1  
A2

**EXISTING FIRST FLOOR PLAN**

SCALE 1/4"=1'-0"



1  
A2

**DEMOLITION PLAN**

SCALE 1/4"=1'-0"

**WALL LEGEND:**

- (E) WALL TO REMAIN
- (E) WALLS, BASE AND UPPER CABINET TO BE DEMOED.
- (E) DOOR LEAF, DOOR FRAME, DOOR HARDWARE TO BE DEMOED.

**DEMOLITION NOTES:**

- 1 ALL DEMOLITION WORK SHALL BE DONE IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE. "AMERICAN NATIONAL STANDARD SAFETY REQUIREMENTS FOR DEMOLITION" (ANSI A10.6-1) PROTECTION.
- 2 THE REMOVAL, CUTTING, DRILLING, ETC. OF EXISTING WORK SHALL BE PERFORMED WITH CARE AND SMALL TOOLS IN ORDER NOT TO JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING. DO NOT OVERCUT. IF STRUCTURAL MEMBERS NOT INDICATED FOR REMOVAL INTERFERE WITH THE NEW WORK, THE STRUCTURAL ENGINEER SHALL BE IMMEDIATELY NOTIFIED AND PRIOR APPROVAL OBTAINED BEFORE REMOVAL OF MEMBERS.
- 3 REMOVE ALL CONCRETE BOLTS AND EMBEDDED ITEMS IN CONCRETE FLOORS THAT PROTRUDE ABOVE THE CONCRETE FLOOR SURFACE. GRIND FLUSH ALL PROJECTING STEEL OR PATCH HOLES FLUSH WITH NON SHRINK GROUT.
- 4 THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS INDICATED ON THE DRAWINGS OR AS OTHERWISE DIRECTED BY THE OWNER. DURING CONSTRUCTION, 100% OF CONCRETE MUST BE REUSED OR RECYCLED, AND AT LEAST 50% OF THE REMAINING DEBRIS MUST BE RE-USED OR RECYCLED.

**KEY DEMOLITION NOTES:**

- 1 REMOVE (E) EXTERIOR & INTERIOR WALLS
- 2 REMOVE (E) DOOR, DOOR FRAME & DOOR HARDWARE.
- 3 REMOVE (E) FURNACE, DUCTING AND APPURTENANCES & CAP OFF GAS & ELECTRICAL LINE.
- 4 REMOVE (E) STUCCO SKIN. PREP WALL TO RECEIVE NEW WALL FINISH.
- 6 REMOVE / DEMO (E) FIREPLACE (CAP OFF GAS LINE OR ELECTRICAL LINE IF APPLICABLE)
- 7 REMOVE (E) KITCHEN APPLIANCES & CAP OFF PLUMBING, GAS & ELECTRICAL LINES DURING DEMOED PHASE.
- 8 REMOVE (E) BATH FIXTURES & CAP OFF PLUMBING LINES DURING DEMOED PHASE.
- 9 REMOVE (E) WASHER/DRYER/PLUMBING FIXTURE & CAP OFF PLUMBING, GAS & ELECTRICAL LINES DURING DEMOED PHASE.
- 10 REMOVE (E) FLOOR FINISHES, PREP FLOOR TO RECEIVE NEW FLOOR FINISH.
- 11 REMOVE (E) CASEWORK/CABINET/MILLWORK.
- 12 REMOVE (E) WATER HEATER & CAP OFF PLUMBING, GAS & ELECTRICAL LINES DURING DEMOED PHASE.
- 13 REMOVE (E) WINDOW
- 14 REMOVE (E) CONCRETE PATIO / CONCRETE PAVERS.
- 15 REMOVE (E) CEILING GYP BD / CEILING JOIST
- 16 REMOVE (E) ROOF STRUCTURE
- 17 REMOVE (E) FLOOR FRAMING STRUCTURE/FLOOR PLYWOOD SUBSTRATE/ FOUNDATION/ FOOTING/ STEM WALL. SEE NEW FLOOR PLAN FOR THE NEW BUILDING OUTLINE/ LAYOUT & SEE STRUCTURAL DWGS FOR ADDITIONAL INFO.
- 18 REMOVE (E) PLANTER BOX / LANDSCAPE & CAP OFF WATER /SPRINKLER LINE DURING DEMO PHASE.
- 19 REMOVE / RELOCATE (E) CLEAN OUT & REWORK (E) SANITARY LATERAL AS REQUIRED.
- 20 (E) GAS METER TO REMAIN, CONTRACTOR TO PROVIDE PROTECTION DURING DEMO PHASE.
- 21 (E) ELEC PANEL TO BE RELOCATED. (E) 100AMP TO BE UPGRADED TO 200AMP.

Submittal History			
No.	Description	Date	By
-	INITIAL SUBMITTAL	10/2024	

Designer: Amorsolo Tamayo




Sheet Notes:

Project Title:

**NEW 2 STORY  
SINGLE FAMILY RESIDENCE**  
684 Buddlaw Way  
Campbell, California, 95008  
APN: 40424029

Job Number

Drawn By Amorsolo T.

Checked By Amorsolo T.

Date

Drawing Title:

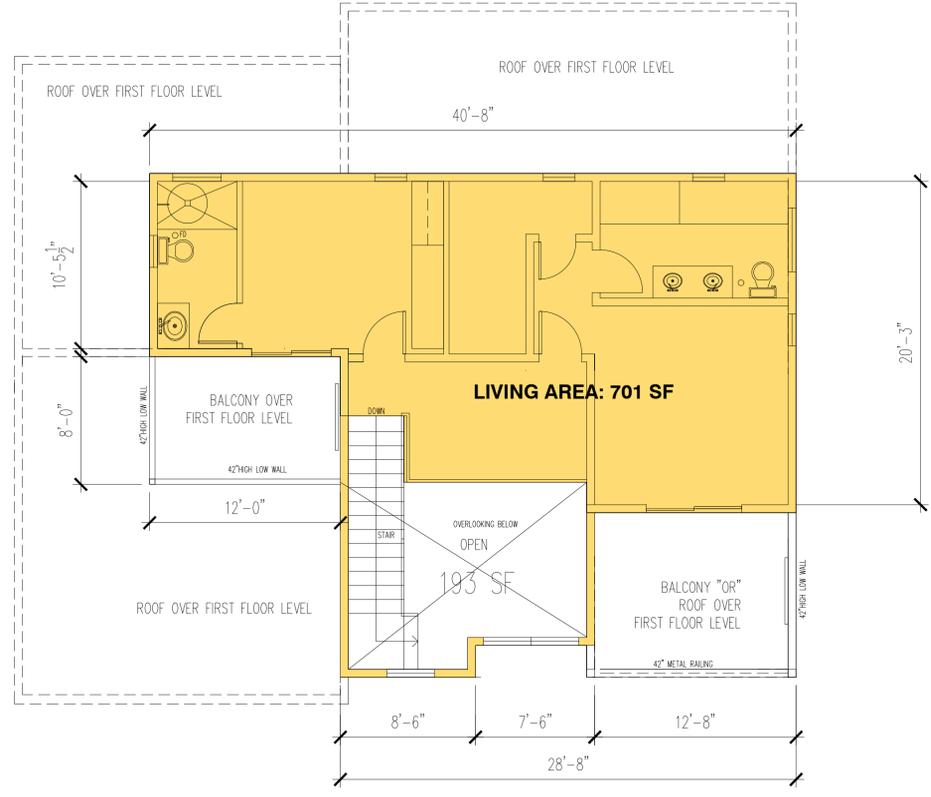
FLOOR AREA RATIO  
NEW FIRST & SECOND FLOOR PLAN

Sheet Number:

**A1.2**



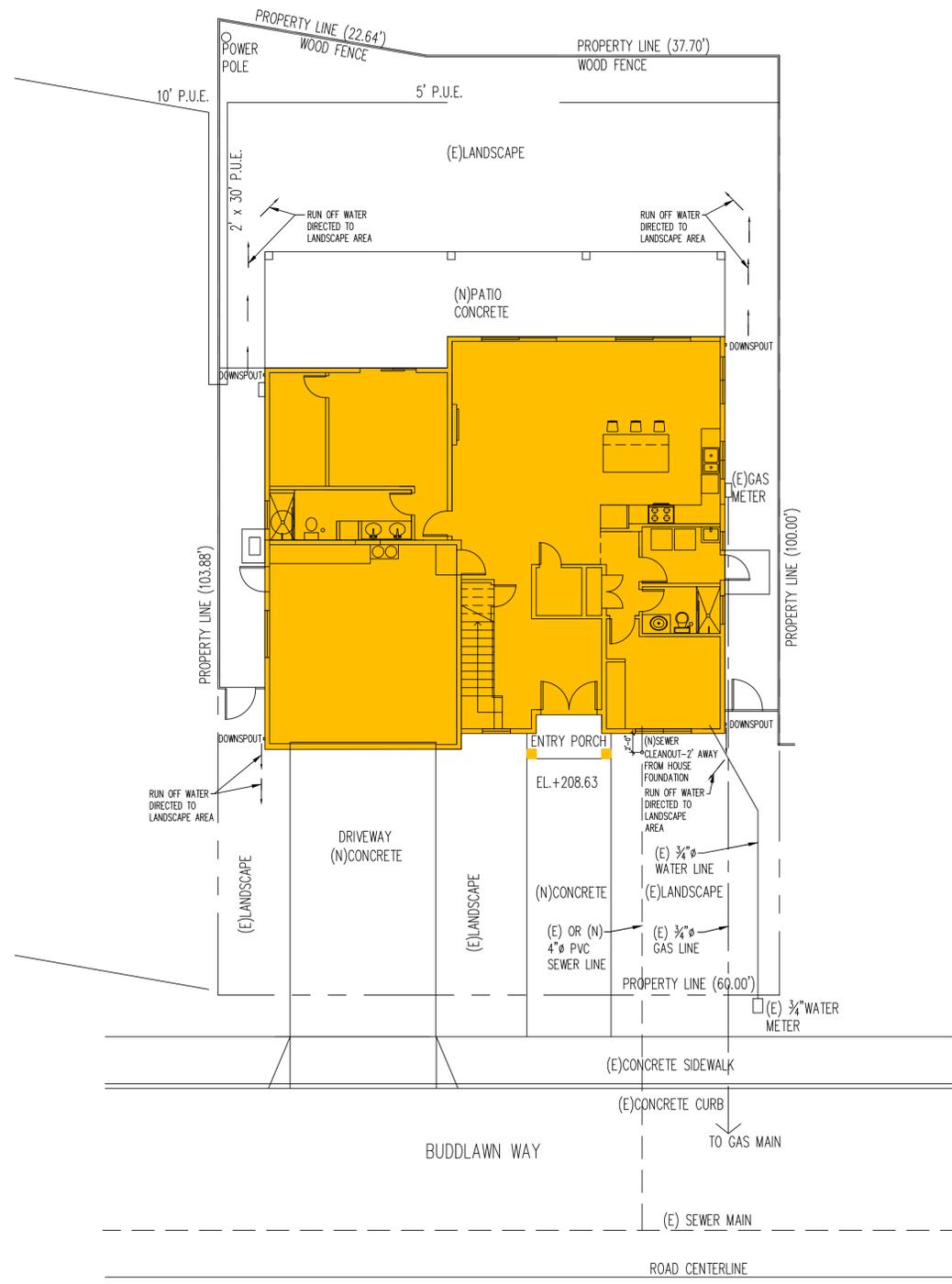
**KEY PLAN  
NEW FIRST FLOOR PLAN**  
LIVING AREA: 1,564 SF  
GARAGE: 467 SF  
SCALE 1/4":1'-0"



**KEY PLAN  
NEW SECOND FLOOR PLAN**  
LIVING AREA: 701 SF  
SCALE 1/4":1'-0"

**FLOOR AREA RATIO:**

FLOOR AREA RATIO (FAR)= 45% MAXIMUM  
LOT AREA: 6,098 SF x 45% = 2,744 SF MAX  
NEW FLOOR AREA:  
NEW LIVING AREA @ FIRST FLOOR LEVEL: 1,564 SF  
NEW NON-LIVING AREA (GARAGE) @ FIRST FLOOR LEVEL: 467 SF  
NEW LIVING AREA @ SECOND FLOOR LEVEL: 701 SF  
AREA= 2,732 SF (44%)  
THEREFORE: 2,732 SF (44%) < 2,744 SF (45%), OK.



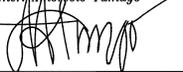
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A1.3

**UTILITY PLAN / GRADING & DRAINAGE PLAN**

SCALE 1/8"=1'-0"

Submittal History			
No.	Description	Date	By
-	INITIAL SUBMITTAL	11/2024	

Designer: Amorsolo Tamayo




Sheet Notes:

Project Title:  
**NEW 2 STORY  
 SINGLE FAMILY RESIDENCE**  
 684 Buddlawn Way  
 Campbell, California, 95008  
 APN: 40424029

Job Number	
Drawn By	Amorsolo T.
Checked By	Amorsolo T.
Date	
Drawing Title:	UTILITY PLAN / GRADING & DRAINAGE PLAN

Sheet Number:  
**A1.3**





FRONT VIEW AT MAIN ENTRY



NEIGHBORS - LEFT & RIGHT VIEW



LOOKING AT LEFT CORNER



LOOKING AT RIGHT CORNER



VIEW FROM MIDDLE OF STREET - LEFT SIDE



VIEW FROM MIDDLE OF STREET - RIGHT SIDE

Submittal History			
No.	Description	Date	By
-	INITIAL SUBMITTAL	10/2024	

Designer: Amorsolo Tamayo

Sheet Notes:

Project Title:  
**NEW 2 STORY SINGLE FAMILY RESIDENCE**  
 684 Buddlaway Way  
 Campbell, California, 95008  
 APN: 40424029

Job Number: \_\_\_\_\_  
 Drawn By: Amorsolo T.  
 Checked By: Amorsolo T.  
 Date: \_\_\_\_\_

Drawing Title:  
 SITE PHOTOS

Sheet Number:  
**A1.5**

Submital History		
No.	Description	Date By
-	INITIAL SUBMITTAL	10/2024

Designer: Amorsolo Tamayo




672 BUDDLAWN WY.  
(E) LEFT NEIGHBOR

684 BUDDLAWN WY.  
(PROPOSED PROJECT)

698 BUDDLAWN WY.  
(E) RIGHT NEIGHBOR

Sheet Notes:

Project Title:

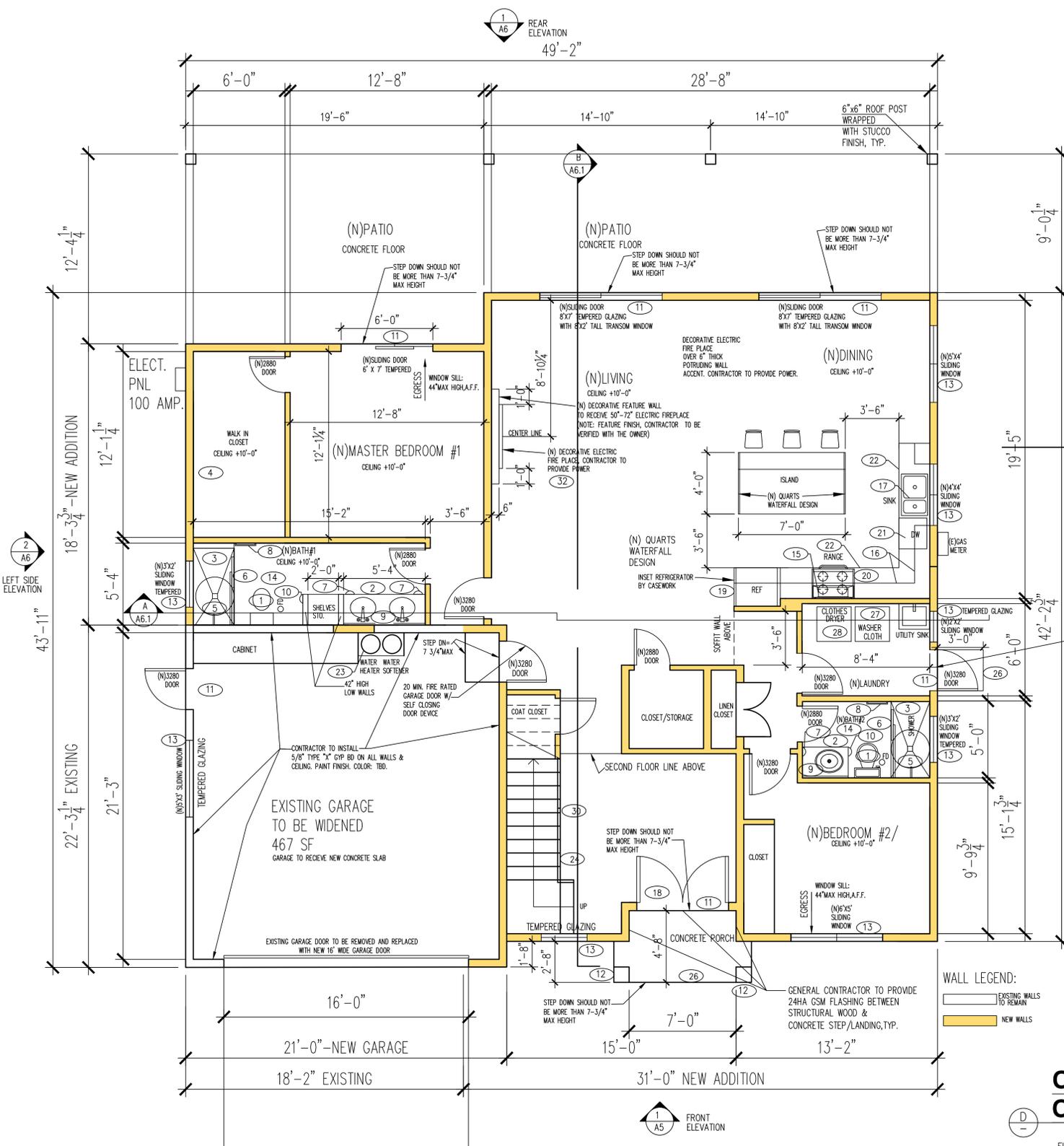
**NEW 2 STORY SINGLE FAMILY RESIDENCE**  
684 Buddlawn Way  
Campbell, California, 95008  
APN: 40424029

Job Number: \_\_\_\_\_  
Drawn By: Amorsolo T.  
Checked By: Amorsolo T.  
Date: \_\_\_\_\_

Drawing Title:  
STREETSCAPE

Sheet Number:  
**A1.6**





**NEW FIRST FLOOR PLAN**  
 LIVING AREA: 1,564 SF  
 GARAGE: 467 SF  
 SCALE 1/4"=1'-0"

**GENERAL NOTES:**

- 1) ALL GARAGE WALLS AND CEILING COMMON WITH HOUSE, OR SUPPORTING LIVING AREA ABOVE, TO BE ONE HOUR CONSTRUCTION WITH 5/8" TYPE "X" GYPSUM BOARD MINIMUM ON EACH SIDE. DOORS FROM GARAGE TO HOUSE TO BE 20 MINUTES RATED WITH SELF-CLOSING DEVICE.
- 2) A SMOKE DETECTOR SHALL BE INSTALLED IN EACH BEDROOM, AT EACH CORRIDOR/AREA NEXT TO THE BEDROOM, AND EACH STORY AND BASEMENT. IT SHALL BE MOUNTED ON A CEILING OR WALL AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. WHEN BEDROOMS ARE ON AN UPPER LEVEL, THE SMOKE DETECTOR SHALL BE PLACED ON THE CEILING OF THE UPPER LEVEL, CLOSE TO THE STAIRWAY. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. PROVIDE HARDWIRE INTERCONNECTED SMOKE DETECTORS EQUIPPED WITH BATTERY BACK UP. EXCEPTIONS: SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED INTO EXISTING BUILDINGS; OR IN BUILDINGS WHICH UNDERGO ALTERATIONS, REPAIRS OR ADDITION.
- 3) ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ.FT. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR.

**BATHROOMS**

1. WATER CLOSET TO HAVE A MINIMUM CLEAR STALL SPACE OF 30" AND A MINIMUM CLEAR SPACE OF 24" IN FRONT AND SHALL BE A LOW FLUSH TYPE 1.28 GALLON MAXIMUM.
2. SHOWERS TO HAVE A MINIMUM AREA OF 1024 SQ. IN. AND MINIMUM CLEAR HORIZONTAL DIMENSION OF 10" MEASURED AT A POINT 7" ABOVE THE DRAIN. SHOWER DOOR TO BE MINIMUM 22" WIDE.
3. INSTALL TUB WITH FULL MORTAR SET TILE SURROUND EXTEND TILE SURROUND DOWN SIDES OF TUB A MINIMUM OF ONE FULL TILE WIDTH. INSTALL SHOWER HEAD OVER TUB WHERE SHOWN ON DRAWINGS.
4. SHOWERS MUST BE FINISHED TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET. Tub and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor. MATERIALS OTHER THAN STRUCTURAL ELEMENTS USED IN SUCH WALLS SHALL BE OF A TYPE WHICH IS NOT ADVERSELY AFFECTED BY MOISTURE; I.E. CERAMIC TILE, WATER-RESISTANT GYPSUM, ETC.
5. Materials used as backers for wall tile in tub and shower areas and wall panels in shower areas shall be: 1. Glass mat gypsum panel 2. Fiber-reinforced gypsum panels 3. Non-asbestos fiber-cement backer board 4. Non-asbestos fiber-cement reinforced cementitious backer units installed in accordance with manufacturers' recommendations.
6. ALL BATHROOMS SHALL RECEIVE MECHANICAL EXHAUST. MAXIMUM ALLOWED RATE FOR WATER USE:  
 WATER CLOSETS 1.28 GPF  
 SHOWER HEADS 1.8 GPM @ 80 PSI  
 FAUCETS:  
 a) The maximum flow rate of residential lavatory faucets not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi. [CPC 407.2.1.2]  
 b) The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons (6.8 / L) per minute at 60 psi. [CPC 407.2.1.1]
7. STAGGER STUDS 6" WALL FOR PLUMBING.
8. WATER CLOSET VENT THROUGH ROOF, TYPICAL
9. NOTE: APPLY 5/8" USE MOISTURE RESISTANT GYP BD TO CEILING FRAMING @ 24" O.C.
10. BATHROOM EXHAUST FANS MUST BE ENERGY STAR COMPLIANT, MUST BE DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.

**GLAZING:**

- 1) ALL GLASS AND GLAZING SHALL COMPLY WITH THE U.S. SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS. CBC 2406.
- 2) ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ.FT. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20".
- 3) WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR. CBC 1029.
- 4) GLASS SHOWER AND TUB ENCLOSURES TO BE TEMPERED GLASS. CBC 2406.4
- 5) ALL WINDOWS AND SKYLIGHTS MUST HAVE DUAL GLASS PANE. U.N.O.,

**KEY FLOOR PLAN NOTES:**

- 1) ULTRA LOW FLUSH WATER CLOSET W/ 1.28 GPF (VENT THROUGH THE ROOF)
- 2) VANITY COUNTER TOP, QUARTZ FINISH, COLOR: TBD BY OWNER
- 3) GLASS SHOWER W/TEMPERED GLASS ENCLOSURE PROVIDE MINIMUM SHOWER STALLS OF 1024 SQUARE INCHES CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE. (N)SHOWER WALL WITH LIGHTED SHOWER NICHE: SIZE 12"x24", CONTRACTOR TO PROVIDE POWER TO LIGHT FIXTURE
- 4) CLOSET: VINYL COATED WIRE CLOTHES RACK /SHELF: NUMBER OF SHELVES AND POLES- FIELD VERIFY
- 5) SHOWER HEAD WITH WATER CONSERVING FIXTURE. WALL FINISH: PORCELAIN GLAZED TILE FINISH. FLOOR: UNGLAZED TILE.
- 6) SHOWER DOOR- TEMPERED GLASS- 24" WIDE
- 7) TOWEL RING, PROVIDE BLOCKING +24" HIGH
- 8) TOWEL BAR, PROVIDE BLOCKING +52" HIGH
- 9) LIGHTED MIRROR (LED) ABOVE LAVATORY
- 10) TOILET PAPER HOLDER, PROVIDE BLOCKING +24" HIGH
- 11) PROVIDE DOOR WEATHER STRIP/BOTTOM SWEEP, ALUM.THRESHOLD
- 12) BUILT UP COLUMN-PROVIDE 4"x14" ALUM VENT
- 13) ALL WINDOWS SHALL BE VINYL DOUBLE PANE WINDOW BY MILGARD OR EQUAL, TYPICAL
- 14) TOILET FAN-VENT THRU ROOF OR WALL= 50 CFM HUMIDITY SENSOR & IAQ 21 CFM & < IZONE QUIET
- 15) KITCHEN HOOD-VENT THRU WALL. THE KITCHEN RANGE HOOD MUST BE HVJ RATED LIMITED TO 3 SONE AND W/ A MIN AIRFLOW AS SPECIFIED IN ASHRAE 62.2. PER RCM 4.6.4.7. VENTED RANGE HOODS INCLUDING APPLIANCE-RANGE HOODS MUST BE 100CFM. WHILE ALL OTHER HOOD TYPES INCLUDING DOWNDRAFT MUST BE 300CFM.
- 16) LINE OF UPPER CABINET ABOVE. CONTRACTOR TO PROVIDE BLOCKING TO UPPER & BASE CABINET AS REQUIRED.
- 17) DOUBLE BOWL KITCHEN SINK WITH DISPOSER
- 18) MAIN ENTRY DOUBLE DOOR PROVIDE DOOR WEATHER STRIP/BOTTOM SWEEP, ALUM.THRESHOLD
- 19) REFRIGERATOR/FREEZER-PLUMB FOR ICE-MAKER NOTE-APPLIANCE SHALL MEETS ENERGY STAR STANDARDS.
- 20) ENERGY STAR STANDARDS 36" ELECTRIC RANGE
- 21) ENERGY STAR STANDARDS DISHWASHER
- 22) KITCHEN BASE CABINET QUARTZ COUNTERTOP, TYP. CONTRACTOR TO SUBMIT KITCHEN CABINET / MILLWORK DESIGN, ELEVATION & 3D VIEW PROFILE, BASE & UPPER CABINET / MILLWORK PAINT COLOR, SHOP DRAWINGS FOR OWNER APPROVAL. CONTRACTOR TO FIELD MEASURE AND COORDINATE WITH CABINET VENDOR TO ENSURE ALL DIMENSION ARE CORRECT AND COORDINATE WITH THE OWNER ALL KITCHEN APPLIANCES SIZES AND DIMENSIONS, POWER SUPPLY & PLUMBING & GAS LINES ARE COORDINATED.
- 23) 50 GAL HEAT PUMP WATER HEATER. SEE DETAIL-2/A7.1
- 24) WOOD STAIR: WITH THREAD= 10.5" / RISER= 7 3/4" MAX WITH 36" HIGH TEMPERED GLASS RAILING.
- 25) JACUZZI/TUB, MODEL & STYLE: TBD BY OWNER,
- 26) CONCRETE DOOR LANDINGS, 36" MIN. LENGTH WITH DOOR THRESHOLD.
- 27) ENERGY STAR STANDARDS CLOTHES WASHER
- 28) ENERGY STAR STANDARDS CLOTHES ELECTRIC DRYER
- 29) 42" HIGH METAL RAILING.
- 30) 36" HIGH TEMPERED GLASS RAILING WITH 1-1/4" TO 2-1/2" GRIP RAIL. 4" GUARDRAIL MAX. OPENING SEE DETAIL-A / A3.
- 31) HEAT PUMP INDOOR UNIT (8ROOF ATTIC)
- 32) NEW DECORATIVE FURRING ACCENT WALL TO RECEIVE DECORATIVE ELECTRIC FIREPLACE. CONTRACTOR TO PROVIDE POWER TO NEW ELECTRIC FIRE PLACE AND ALSO TO ENSURE & COORDINATE WITH THE OWNER FINAL DIMENSION OF THE ELECTRIC FIREPLACE. ACCENT WALL TO FINISH WITH TILE, SIZE & TEXTURE: TBD BY OWNER.
- 33) 42" HIGH TEMPERED GLASS RAILING WITH 4'-0" O.C. SUPPORT SEE DETAIL-B / A3.

**CRAWL SPACE VENT CALCULATION :**

FLOOR VENTS:  
 1564 SF/150=10.43 SF x 144=1501 SQ. IN. (REQUIRED VENT AREA)  
 USING 5"x16" VENT, (70 SQ. IN. NET AREA)  
 1501/70=21.44 VENTS, SAY 22 VENTS.  
 NOTE: PROVIDE 22- 5"x16" VENTS WITH INSECT MESH PROTECTION.

THE CRAWL SPACE VENTILATION CALCULATIONS ARE INTENDED AS AN AID IN COMPLYING W/ MIN. VENTILATION REQUIREMENTS PER CODE. IT IS THE CONTRACTOR OPTION TO APPLY THE DESIGN VENTILATION SCHEME OR EQUIVALENT PER CODE, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE REQUIRED MIN. VENTILATION PER CODE.

**T-24 REQUIREMENTS**

R-21 walls  
 R-38 attic  
 R-19 floor  
 Windows/Doors U-Value 0.30 SHGC 0.23  
 9.0 HSPF 14 SEER Heat Pump with R-8 ducting  
 50g heat pump water heater  
 110 cfm ERV (spec sheet attached)

Submittal History			
No.	Description	Date	By
-	INITIAL SUBMITTAL	03/2023	

Designer: Amorsolo Tamayo



Sheet Notes:

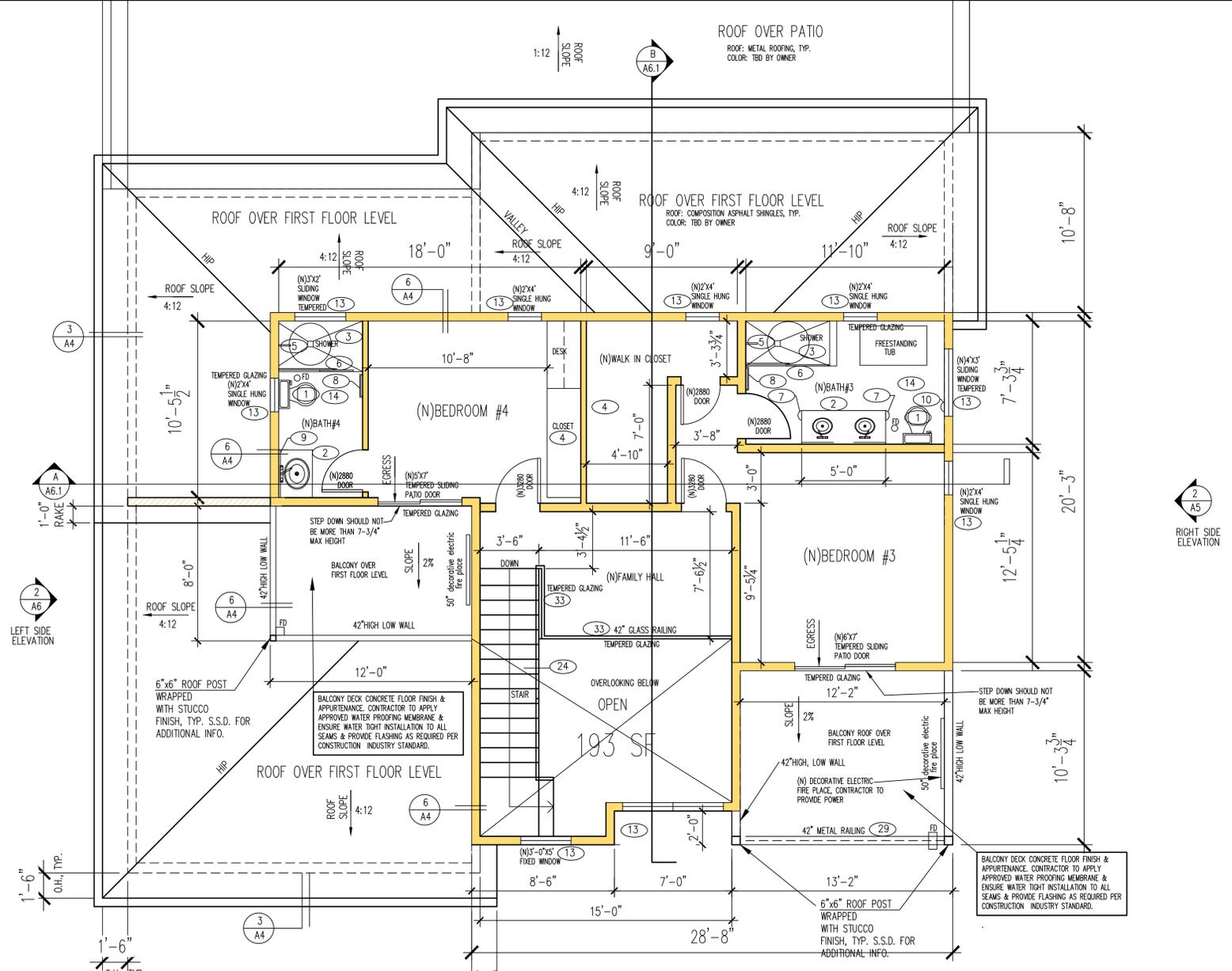
**NEW 2 STORY SINGLE FAMILY RESIDENCE**  
 684 Buddlawn Way  
 Campbell, California, 95008  
 APN: 40424029

Project Title:

Job Number  
 Drawn By Amorsolo T.  
 Checked By Amorsolo T.  
 Date

Drawing Title:  
 NEW FIRST FLOOR PLAN  
 KEY FLOOR PLAN NOTES  
 GENERAL NOTES

Sheet Number:  
**A2**



**KEY FLOOR PLAN NOTES:**

- 1 ULTRA LOW FLUSH WATER CLOSET W/ 1.28 GPF (VENT THROUGH THE ROOF)
- 2 VANITY COUNTER TOP, QUARTZ FINISH, COLOR: TBD BY OWNER
- 3 GLASS SHOWER W/TEMPERED GLASS ENCLOSURE. PROVIDE MINIMUM SHOWER STALLS OF 1024 SQUARE INCHES CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE. (N)SHOWER WALL WITH LIGHTED SHOWER NICHE: SIZE 12"x24". CONTRACTOR TO PROVIDE POWER TO LIGHT FIXTURE
- 4 CLOSET: VINYL COATED WIRE CLOTHES RACK /SHELF: NUMBER OF SHELVES AND POLES- FIELD VERIFY
- 5 SHOWER HEAD WITH WATER CONSERVING FIXTURE. WALL FINISH: PORCELAIN GLAZED TILE FINISH. FLOOR: UNGLAZED TILE.
- 6 SHOWER DOOR- TEMPERED GLASS- 24" WIDE
- 7 TOWEL RING, PROVIDE BLOCKING +24" HIGH
- 8 TOWEL BAR, PROVIDE BLOCKING +52" HIGH
- 9 LIGHTED MIRROR (LED) ABOVE LAVATORY
- 10 TOILET PAPER HOLDER, PROVIDE BLOCKING +24" HIGH
- 11 PROVIDE DOOR WEATHER STRIP/BOTTOM SWEEP, ALUM.THRESHOLD
- 12 BUILT UP COLUMN-PROVIDE 4"x14" ALUM VENT
- 13 ALL WINDOWS SHALL BE VINYL DOUBLE PANE WINDOW BY MILGARD OR EQUAL, TYPICAL
- 14 TOILET FAN-VENT THRU ROOF OR WALL= 50 CFM HUMIDITY SENSOR & IAQ 21 CFM &< IZONE QUIET
- 15 KITCHEN HOOD-VENT THRU WALL. THE KITCHEN RANGE HOOD MUST BE HWI RATED LIMITED TO 3 SONE AND W/ A MIN AIRFLOW AS SPECIFIED IN ASHRAE 62.2. PER ROOM 4.6.4.7. VENTED RANGE HOODS INCLUDING APPLIANCE-RANGE HOODS MUST BE 100CFM. WHILE ALL OTHER HOOD TYPES INCLUDING DOWNDRAFT MUST BE 300CFM.
- 16 LINE OF UPPER CABINET ABOVE. CONTRACTOR TO PROVIDE BLOCKING TO UPPER & BASE CABINET AS REQUIRED.
- 17 DOUBLE BOWL KITCHEN SINK WITH DISPOSER
- 18 MAIN ENTRY DOUBLE DOOR. PROVIDE DOOR WEATHER STRIP/BOTTOM SWEEP, ALUM.THRESHOLD
- 19 REFRIGERATOR/FREEZER-PLUMB FOR ICE-MAKER. NOTE:APPLIANCE SHALL MEETS ENERGY STAR STANDARDS.
- 20 ENERGY STAR STANDARDS 36" ELECTRIC RANGE
- 21 ENERGY STAR STANDARDS DISHWASHER
- 22 KITCHEN BASE CABINET QUARTZ COUNTERTOP, TYP. CONTRACTOR TO SUBMIT KITCHEN CABINET / MILLWORK DESIGN, ELEVATION & 3D VIEW PROFILE, BASE & UPPER CABINET / MILLWORK PAINT COLOR, SHOP DRAWINGS FOR OWNER APPROVAL. CONTRACTOR TO FIELD MEASURE AND COORDINATE WITH CABINET VENDOR TO ENSURE ALL DIMENSIONS ARE CORRECT AND COORDINATE WITH THE OWNER ALL KITCHEN APPLIANCES SIZES AND DIMENSIONS, POWER SUPPLY & PLUMBING & GAS LINES ARE COORDINATED.
- 23 50 GAL HEAT PUMP WATER HEATER. SEE DETAIL-2/A7.1
- 24 WOOD STAIR: WITH THREAD= 10.5" / RISER= 7 3/4" MAX WITH 36" HIGH TEMPERED GLASS RAILING.
- 25 JACUZZI/TUB, MODEL & STYLE: TBD BY OWNER,
- 26 CONCRETE DOOR LANDINGS, 36" MIN. LENGTH WITH DOOR THRESHOLD.
- 27 ENERGY STAR STANDARDS CLOTHES WASHER
- 28 ENERGY STAR STANDARDS CLOTHES ELECTRIC DRYER
- 29 42" HIGH METAL RAILING.
- 30 36" HIGH TEMPERED GLASS RAILING WITH 1-1/4" TO 2-1/2" GRIP RAIL. 4" GUARDRAIL MAX. OPENING SEE DETAIL-A / A3.
- 31 HEAT PUMP INDOOR UNIT (@ROOF ATTIC)
- 32 NEW DECORATIVE FURRING ACCENT WALL TO RECEIVE DECORATIVE ELECTRIC FIREPLACE. CONTRACTOR TO PROVIDE POWER TO NEW ELECTRIC FIRE PLACE AND ALSO TO ENSURE & COORDINATE W/ THE OWNER FINAL DIMENSION OF THE ELECTRIC FIREPLACE. ACCENT WALL TO FINISH WITH TILE, SIZE & TEXTURE: TBD BY OWNER.
- 33 42" HIGH TEMPERED GLASS RAILING WITH 4'-0" O.C. SUPPORT SEE DETAIL-B / A3.

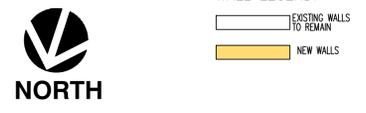


**3** **DETAIL - B**



**2** **DETAIL - A**

**NEW SECOND FLOOR PLAN**



**T-24 REQUIREMENTS**

- R-21 walls
- R-38 attic
- R-19 floor
- Windows/Doors U-Value 0.30 SHGC 0.23
- 9.0 HSPF 14 SEER Heat Pump with R-8 ducting
- 50g heat pump water heater
- 110 cfm ERV (spec sheet attached)

Submittal History			
No.	Description	Date	By
-	INITIAL SUBMITTAL	03/2023	

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Sheet Notes:

**NEW 2 STORY  
SINGLE FAMILY RESIDENCE  
684 Buddlawn Way  
Campbell, California, 95008  
APN: 40424029**

Project Title:

Job Number	
Drawn By	Amorsolo T.
Checked By	Amorsolo T.
Date	

Drawing Title:  
NEW SECOND FLOOR PLAN  
KEY FLOOR PLAN NOTES  
GENERAL NOTES

Sheet Number:

**A3**

**BROAN** Fresh Air Systems - 130 CFM

HRV  
 Top ports: B130H65RT  
 Side ports: B130H65RS  
 35 to 131 CFM @ 0.2 in. w.g.  
 35 to 119 CFM @ 0.4 in. w.g.

**UL**  
**5**  
**100**  
**AVI CERTIFIED**

Parts/Motor HRV Core  
 Visit [www.broan-nutone.com](http://www.broan-nutone.com) for complete warranty text.

**Unit Description**

- SRE of 68% at 32°F and 60% at -13°F (64 CFM)
- Ports size: 5"
- Recirculation mode
- Recirculation defrost
- Painted door, corrosion resistant galvanized body
- One-piece molded insulation shell, no air leakage (expanded polystyrene, UL 94 HF-1 certified)
- Virtuo constant airflow and auto-balancing device (patent pending)
- Motorized dampers (no additional backdraft dampers required)
- Integrated "snap-in" drain system installed in seconds with no additional parts (drain hose included)
- 6' power cord
- Unit electrical characteristics:  
 120 volts, 60 Hz, 2.5 A, 110 W
- Sound: 70.0 dBA at 115 CFM @ 0.4 in. w.g.  
 60.1 dBA at 64 CFM @ 0.2 in. w.g.

**Unit Description**

- Thanks to the Virtuo Air Technology™, the airflow calibration and auto-balancing are achieved quickly and maintained throughout the life of the product
- Select the desired CFM (from 35 to 130 CFM) using the very first integrated LCD screen. The airflow is then set up automatically
- Integrated electronic airflow measurement device with real time LCD
- Integrated diagnostic tool
- Equipped with PMSM ECM motors for a very low power consumption
- Suspended installation (chains included)
- OR
- Wall-mount installation (universal brackets included)
  - installation with 2 brackets
  - installation with 4 brackets

**Controls**

AUTOMATIC SPEED SELECTOR ADVANCED TOUCHSCREEN 20-40-60 DELUXE

**Core**

- Polypropylene crossflow core, impact resistant
- Dimensions: 12" x 12" x 9" (30.5 cm x 30.5 cm x 23 cm)

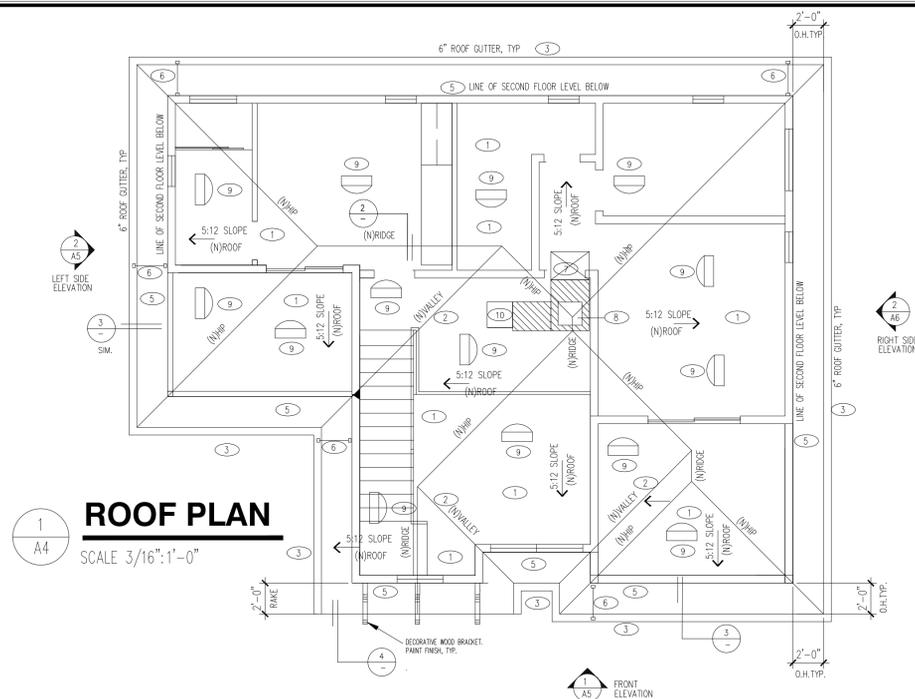
**Filters**

- MERV 8 grade washable standard filter (included)
- Optional MERV13 grade filter part no. V24285

**Options**

- Complete line of registers and diffusers
- Compatible with the Tandem transition (part no. VTYIK1) (for units producing up to 110 CFM only)

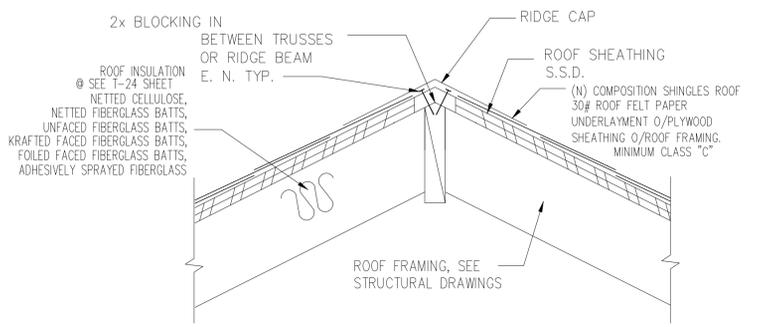
Introducing the industry's most advanced residential fresh air system, created to offer a universal platform specifically designed and improved to make contractors life easier and more profitable while delivering constant superior air quality.



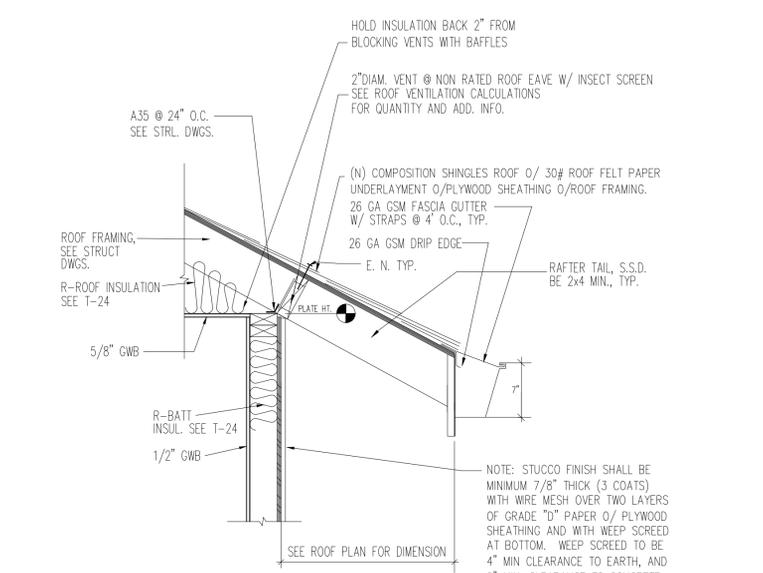
**1 ROOF PLAN**  
 SCALE 3/16":1'-0"

**T-24 REQUIREMENTS**

R-21 walls  
 R-38 attic  
 R-19 floor  
 Windows/Doors U-Value 0.30 SHGC 0.23  
 9.0 HSPF 14 SEER Heat Pump with R-8 ducting  
 50g heat pump water heater  
 110 cfm ERV (spec sheet attached)



**2 RIDGE / HIP DETAIL**  
 SCALE: N.T.S.



**3 TYP. ROOF EAVE**  
 SCALE: N.T.S.

**ERV SPEC SHEET**

**KEY NOTES:**

- COMPOSITION SHINGLES ROOF, SLOPES 5:12, MINIMUM CLASS "C"
  - PROVIDE 26 GA G.I. VALLEY FLASHING, TYP.
  - 6" G.I. 24 GA GUTTERS, TYP.
  - NOT USED
  - LINE OF BUILDING BELOW
  - 24 GA DOWNSPOUTS, TYP.
  - 22"x30" ATTIC ACCESS, 30"x30" IF ACCESS TO FURNACE
- NOTES:  
 1. ATTIC ACCESS OPENING SHALL BE LARGE ENOUGH TO FACILITATE REMOVAL OF THE LARGEST PIECE OF EQUIPMENT IN THE ATTIC.
- DUCTED HEAT PUMP INDOOR UNIT LOCATED IN ROOF ATTIC SPACE. CONTRACTOR TO PROVIDE SUPPORT.
  - 18" LOW PROFILE EYEBROW VENT W/ INSECT SCREENS - SEE BELOW
  - ERV LOCATION IN ROOF ATTIC SPACE. CONTRACTOR TO PROVIDE SUPPORT.

**ATTIC VENTS AT ROOF:**

ROOF ATTIC VENT AREA REQUIRED:  
 1124 S.F./150 = 7.49 S.F. x 144 = 1078.56 SQ. IN.

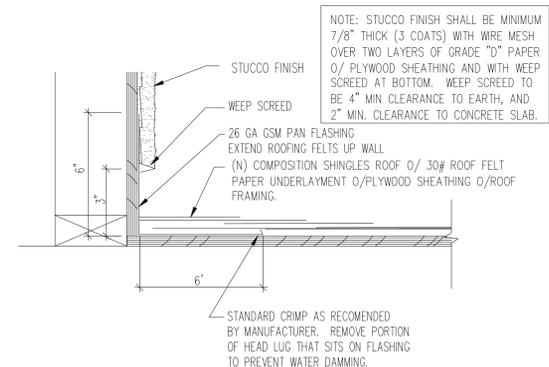
NUMBER OF VENTS REQUIRED:  
 AT ROOF EAVES (50% = 539.28 SQ. IN.)  
 539.28/213 SQ. IN. NET F.A. PER HOLE=253 HOLES  
 PROVIDE 253 -2" DIAMETER HOLES WITH INSECT SCREENS IN THE PERIMETER EAVE BLOCKING

AT UPPER ROOF AREA (50% = 539.28 SQ. IN.)  
 539.28/40.79 SQ. IN. NET F.A. PER LOW PROFILE EYEBROW VENT =13.22 VENTS  
 PROVIDE 22 -14" LOW PROFILE EYEBROW VENTS AT LOWER ROOF AREA

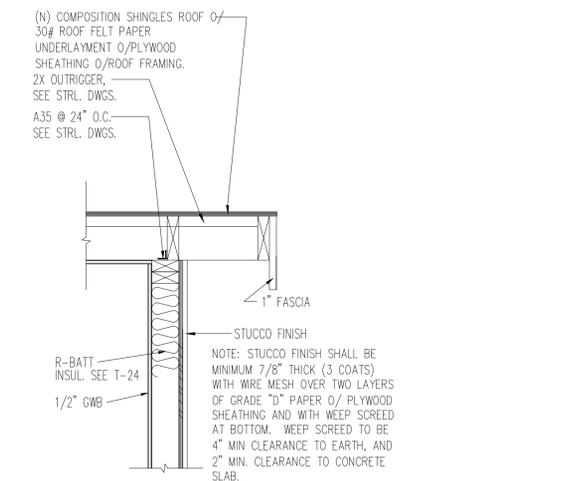
**ROOF NOTES:**

- THE ROOF ATTIC VENTILATION CALCULATIONS ARE INTENDED AS AN AID IN COMPLYING W/ MIN. VENTILATION REQUIREMENTS PER CODE. IT IS THE CONTRACTOR OPTION TO APPLY THE DESIGN VENTILATION SCHEME OR EQUIVALENT PER CODE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE REQUIRED MIN. VENTILATION PER CODE.
- FLASHINGS SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. A FLASHING SHALL BE INSTALLED TO DIVERT THE WATER AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL.

CONTRACTOR TO INSTALL TWO LAYERS OF ROOF UNDERLAYMENT. UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE 1, ASTM D4869 TYP-E, LULUH OR IV; ASTM D6757 AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION.



**6 ROOF AT WALL - STUCCO**  
 SCALE: N.T.S.



**4 ROOF RAKE**  
 SCALE: N.T.S.

**Submittal History**

No.	Description	Date	By
-	INITIAL SUBMITTAL	03/2023	

Designer: Amorsolo Tamayo



Sheet Notes:

**Project Title:**  
 NEW 2 STORY  
 SINGLE FAMILY RESIDENCE  
 684 Buddlawon Way  
 Campbell, California, 95008  
 APN: 40424029

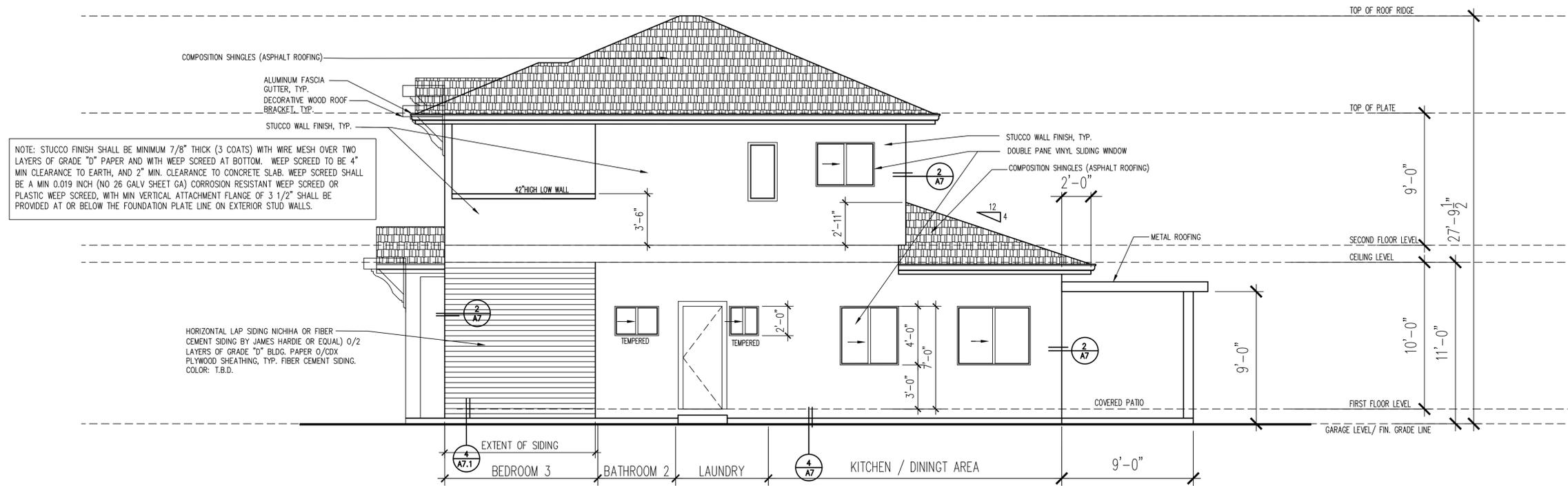
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**Drawn By** Amorsolo T.  
**Checked By** Amorsolo T.  
**Date**

**Drawing Title:**  
 ROOF PLAN  
 KEY NOTES  
 ATTIC VENT AT ROOF  
 ROOF NOTES  
 ROOF DETAILS

**Sheet Number:**  
 A4



**1 FRONT ELEVATION**  
SCALE 1/4":1'-0"



**2 RIGHT SIDE ELEVATION**  
SCALE 1/4":1'-0"

Submittal History			
No.	Description	Date	By
-	INITIAL SUBMITTAL		

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Sheet Notes:

**NEW 2 STORY  
SINGLE FAMILY RESIDENCE**  
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APN: 40424029

Project Title:

Job Number	
Drawn By	Amorsolo T.
Checked By	Amorsolo T.
Date	

Drawing Title:  
FRONT ELEVATION  
RIGHT SIDE ELEVATION

Sheet Number:  
**A5**

**STUCCO WALL PAINT COLOR**

SW 9541  
White Snow

Designer  
Color  
Collection

**ASPHALT SHINGLE ROOFING**



CERTAIN TEED-CHARCOAL BLACK

**FIBER CEMENT SIDING (ACCENT WALL)**

VINTAGEWOOD  
Cedar

**VINYL DOUBLE PANE WINDOW  
BLACK TRIM**



**METAL RAILING**

SW 9541  
White Snow

Designer  
Color  
Collection

**COLOR FRONT ELEVATION**  
SCALE 1/4":1'-0"

Submittal History			
No.	Description	Date	By
-	INITIAL SUBMITTAL		

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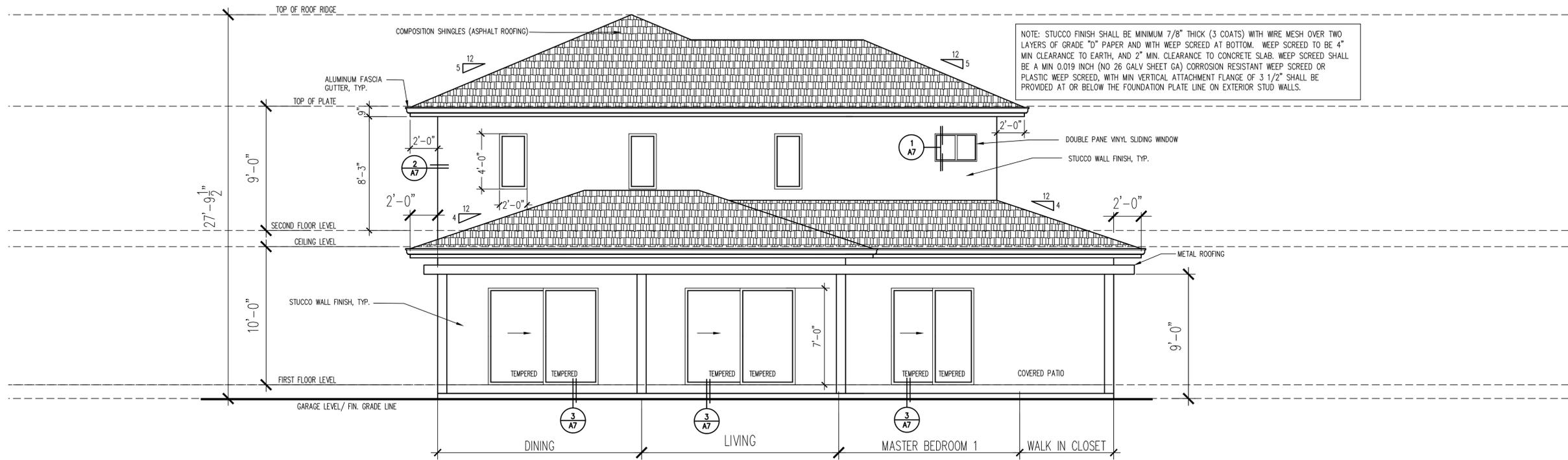
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**Project Title:**  
NEW 2 STORY  
SINGLE FAMILY RESIDENCE  
684 Buddlawn Way  
Campbell, California, 95008  
APN: 40424029

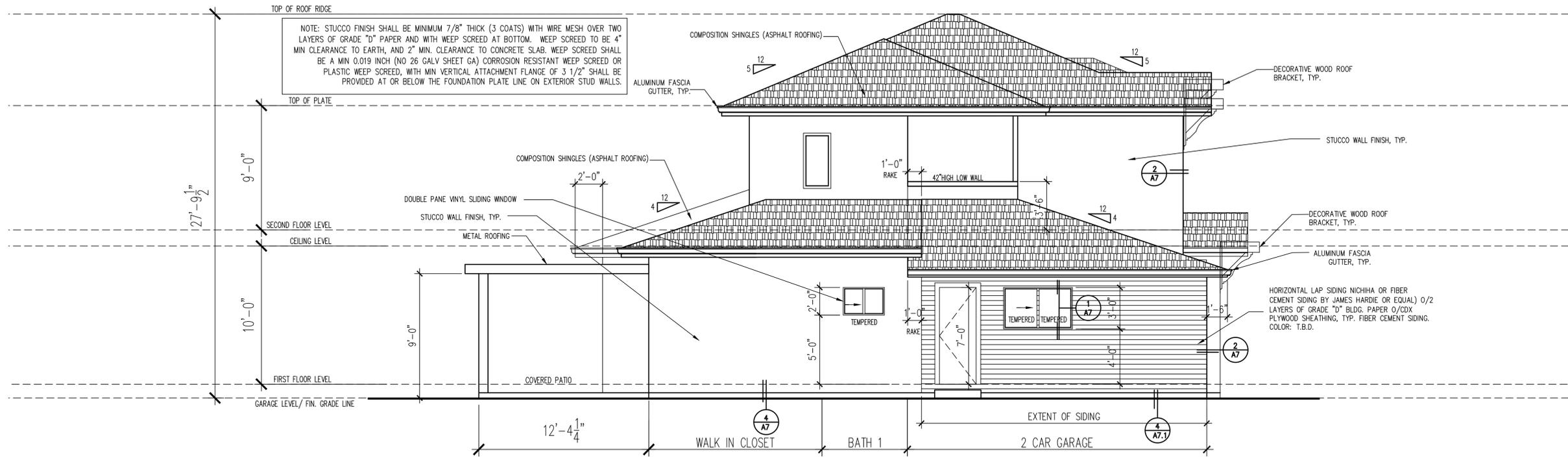
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**Drawn By** Amorsolo T.  
**Checked By** Amorsolo T.  
**Date** \_\_\_\_\_

**Drawing Title:**  
COLOR FRONT ELEVATION

**Sheet Number:**  
**A5.1**



**(N) REAR ELEVATION**  
 SCALE 1/4":1'-0"



**(N) LEFT SIDE ELEVATION**  
 SCALE 1/4":1'-0"

Submittal History			
No.	Description	Date	By
-	INITIAL SUBMITTAL		

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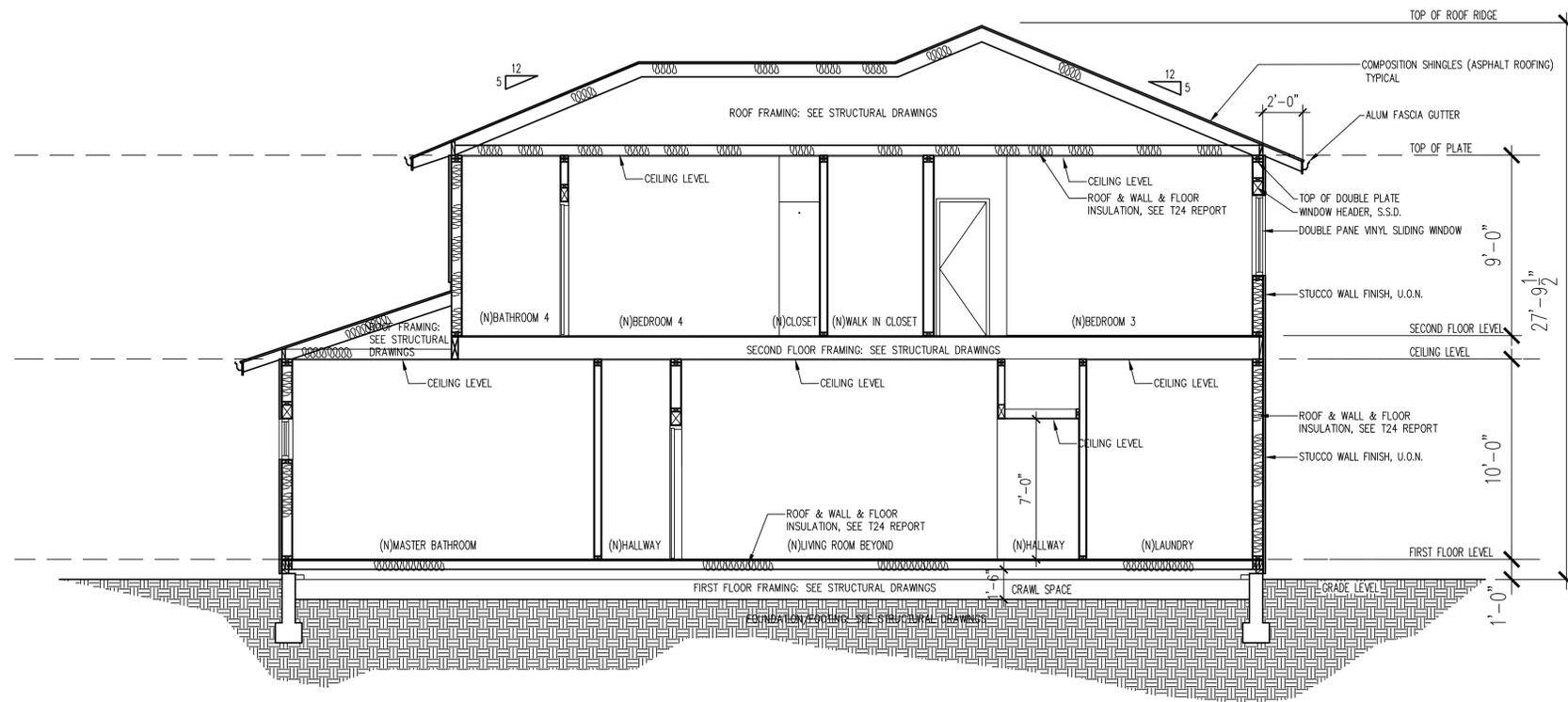
**NEW 2 STORY  
 SINGLE FAMILY RESIDENCE**  
 684 Buddlawn Way  
 Campbell, California, 95008  
 APN: 40424029

Project Title:

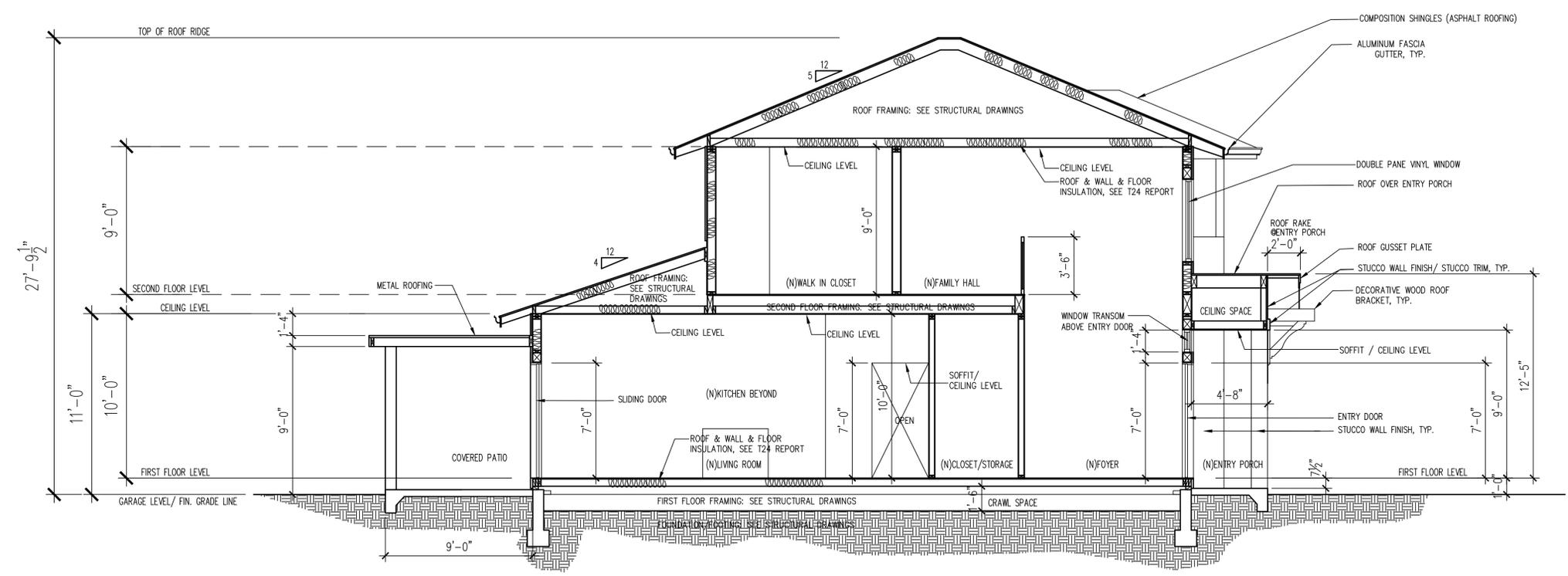
Job Number  
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 Checked By Amorsolo T.  
 Date

Drawing Title:  
 (N) REAR ELEVATION  
 (N) LEFT SIDE ELEVATION

Sheet Number:  
**A6**



**BUILDING SECTION-A**  
 SCALE 1/4"=1'-0"



**BUILDING SECTION-B**  
 SCALE 1/4"=1'-0"

Submittal History		
No.	Description	Date By
-	INITIAL SUBMITTAL	

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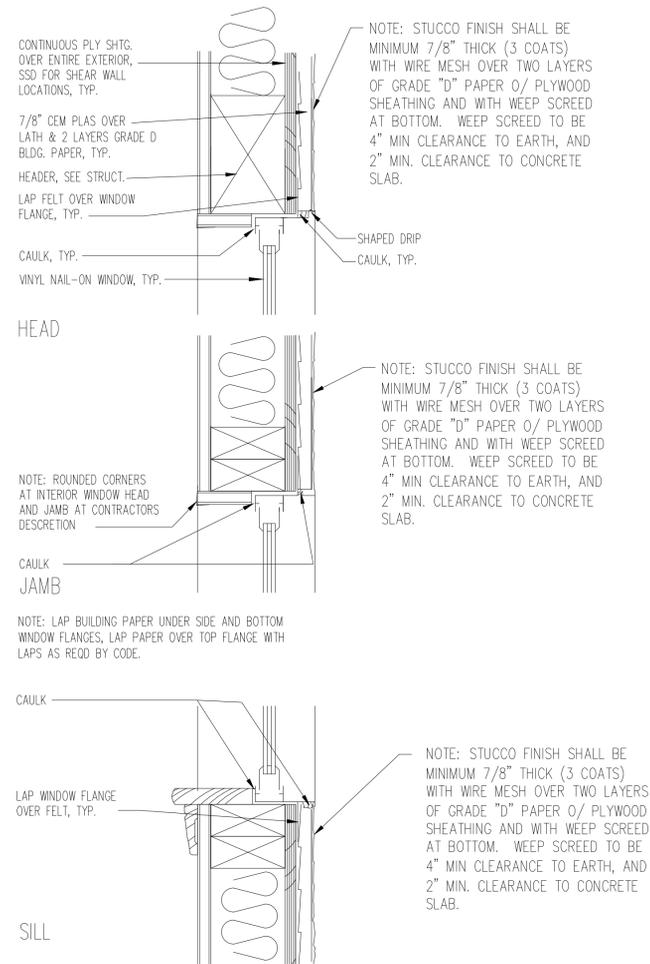
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**Project Title:**  
 NEW 2 STORY  
 SINGLE FAMILY RESIDENCE  
 684 Buddlawn Way  
 Campbell, California, 95008  
 APN: 40424029

**Job Number:**  
**Drawn By:** Amorsolo T.  
**Checked By:** Amorsolo T.  
**Date:**

**Drawing Title:**  
 BUILDING SECTION A & B

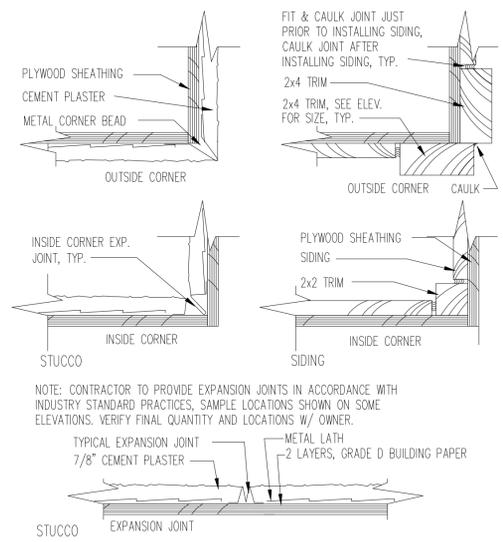
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1  
A7

**TYPICAL WINDOW DETAIL**

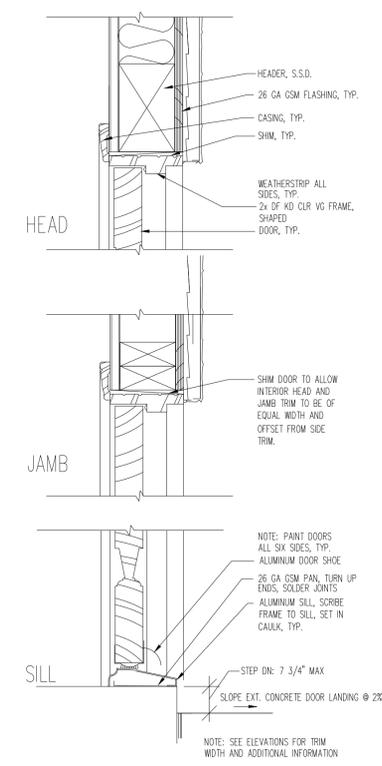
SCALE 3/4":1'-0"



2  
A7

**EXT. AND INT. CORNERS, TYP.**

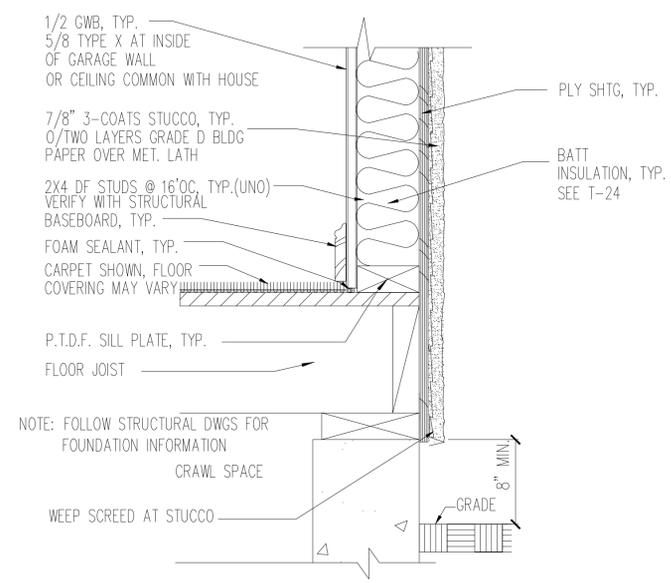
SCALE 3/4":1'-0"



3  
A7

**ENTRY DOOR**

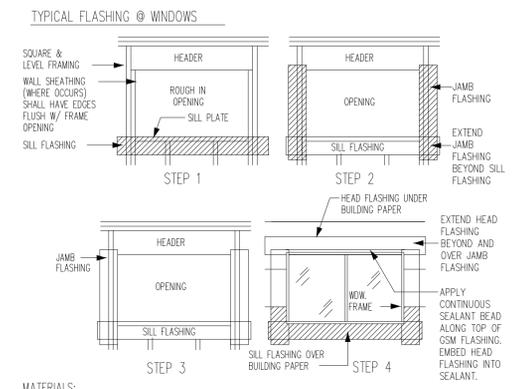
SCALE 3/4":1'-0"



4  
A7

**TYPICAL SILL**

SCALE 3/4":1'-0"



MATERIALS:  
CONTRACTOR SHALL USE 9" WIDE STRIP OF SELF-ADHERED FLASHING (SAF) WATERPROOFING MATERIAL FOR WINDOW FRAME UNITS. SEAL ENTIRE PERIMETER AS ILLUSTRATED IN THE DIAGRAM ABOVE.

STEP 1:  
APPLY A STRIP OF SAF HORIZONTALLY BELOW AND EXTEND INTO OPENING TO ACT AS FLASHING PAN WITH UPTURNED SIDES AND BACK. APPLY THE HORIZONTAL STRIP SO THAT ENDS EXTEND BEYOND THE SIDE FLASHING STRIPS TO BE APPLIED IN STEP 2. ATTACH ONLY THE TOP EDGE OF THE SILL STRIP TO THE FRAMING. DO NOT FASTEN TO THE LOWER EDGE IN ORDER TO SLIP THE WATER RESISTANT SHEET MEMBRANE (BUILDING PAPER) UNDER THE STRIP IN A WEATHER SHED METHOD.

STEP 2:  
APPLY A VERTICAL STRIP OF SAF AT EACH JAMB AND EXTEND INTO OPENING. LAP THE VERTICAL STRIPS OVER AND BEYOND THE SILL STRIP. PROVIDE ENOUGH SAF STRIP TO EXTEND BEYOND THE HEAD OPENINGS IN ORDER TO BE INSTALLED UNDER THE HEAD SAF FLASHING STRIP. ATTACH ALONG THE VERTICAL FRAMING AND ALIGN WITH TOP OF SILL.

STEP 3:  
APPLY A CONTINUOUS BEAD OF WATERPROOF SEAL ALONG THE INSIDE PERIMETER OF THE OPENING ON TOP OF THE SAF STRIPS IN ORDER TO PROVIDE A WATERTIGHT SEAL IN BETWEEN THE SAF STRIPS AND THE WINDOW FRAME. SAF STRIPS SHALL BE AT LEAST 12" WIDE AND EXTEND INTO THE ROUGH OPENING FRAMING AT THE SILL AND JAMBS IN AN OVERLAPPING WEATHERIZED PATTERN. INSTALL THE WINDOW INTO THE ROUGH OPENING AND FASTEN TO THE FRAMING.

STEP 4:  
APPLY A CONTINUOUS WATERPROOF CAULKING BEAD ALONG THE TOP EDGE OF THE GALVANIZED SHEET METAL FLASHING. APPLY AND EMBED THE BOTTOM OF THE HORIZONTAL SAF FLASHING STRIP OVER THE CAULKING BEAD AND THE GSM FLASHING. EXTEND THE SAF FLASHING STRIP BEYOND THE EDGE OF THE VERTICAL JAMB SAF STRIPS. FASTEN THE STRIP TO THE FRAMING.

APPLY REMAINING WEATHER RESISTIVE BARRIER LAPPED OVER THE SAF HEAD STRIP AND THE VERTICAL STRIPS IN AN OVERLAPPING WATER SHED FASHION. APPLY THE WEATHER RESISTIVE BARRIER UNDER THE SAF SILL FLASHING STRIP.

NOTES:

- FLASH ALL EXTERIOR OPENINGS IN THIS MANNER INCLUDING, BUT NOT LIMITED TO, DOORS, WINDOWS AND VENTS FOR A WATER TIGHT CONSTRUCTION. PENETRATION FLASHING MATERIAL SHALL BE BARRIER COATED REINFORCED AND SHALL PROVIDE A MINIMUM OF 4 HOUR PROTECTION FROM WATER PENETRATION IN ACCORDANCE WITH ASTM-D-779. WATER PROOF CAULKING OR SEALANT SHALL COMPLY WITH FF TT-S-1657. IN HIGH WIND AREAS A WATER RESISTANT SHEET MEMBRANE SHALL BE APPLIED OVER SOLID BACKING.
- CONTRACTOR TO VERIFY WITH SELF ADHERED FLASHING (SAF) MANUFACTURER THAT THE TYPE OF SEALANT AND OTHER PRODUCTS IN CONTACT WITH SAF ARE COMPATIBLE WITH SELF ADHERED FLASHING PRODUCT.

5  
A7

**FLASHING AT TYPICAL EXTERIOR WALL OPENINGS**

SCALE 3/4":1'-0"

Submittal History		
No.	Description	Date By
-	INITIAL SUBMITTAL	03/2023

Designer: Amorsolo Tamayo

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email: Design@AT-DS.com

Amorsolo Tamayo  
Design Studio, LLC

Sheet Notes:

Project Title:

**NEW 2 STORY  
SINGLE FAMILY RESIDENCE  
684 Buddlawn Way  
Campbell, California, 95008  
APN: 40424029**

Job Number	
Drawn By	Amorsolo T.
Checked By	Amorsolo T.
Date	7/2022

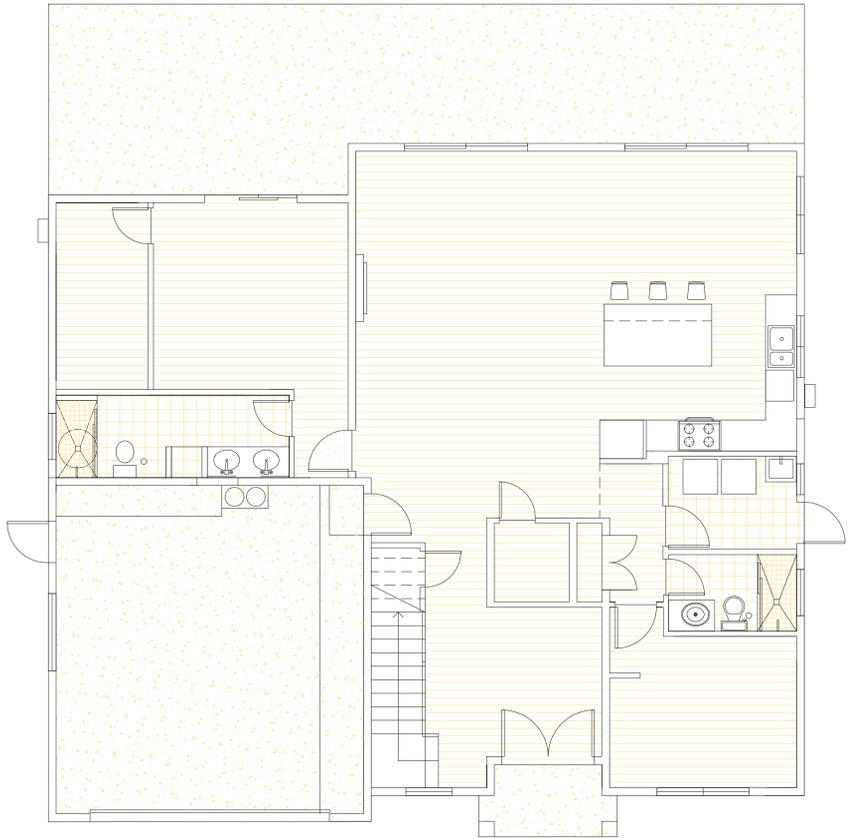
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MISCELLANEOUS DETAILS

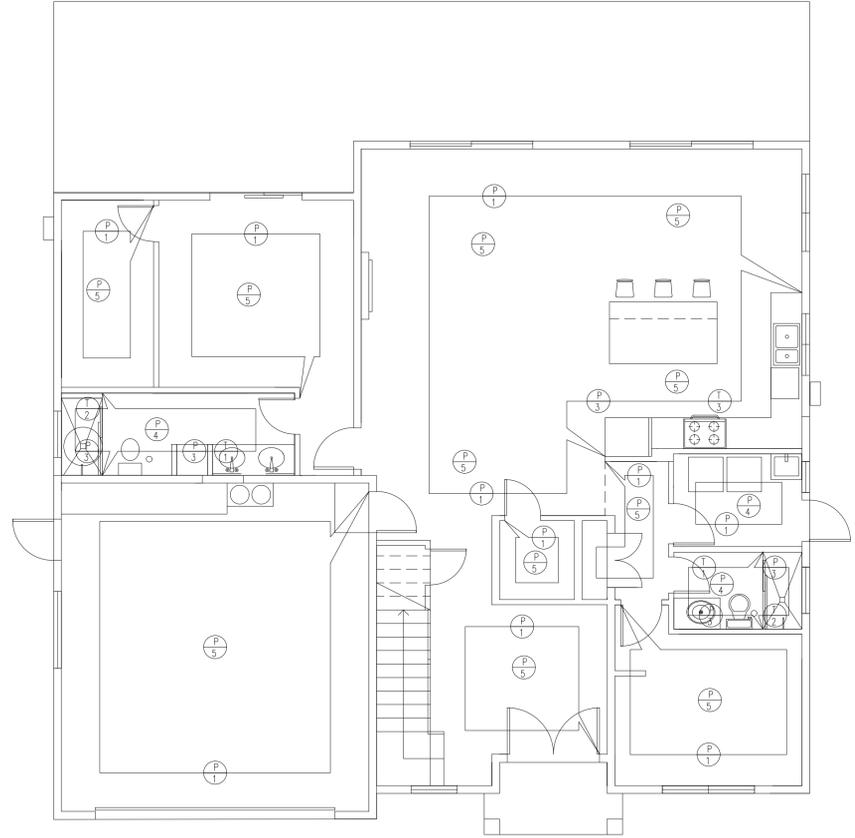
Sheet Number:

**A7**





**1 FIRST FLOOR FINISH LAYOUT**  
SCALE 3/16":1'-0"



**2 FIRST FLOOR WALL FINISH LAYOUT**  
SCALE 3/16":1'-0"

**CA GREEN MANDATORY MEASURES:**

THE CONTRACTOR SHALL REVIEW THE LIMITATIONS AND BASELINES FOR THE SEALANT VOC LIMIT ARCHITECTURAL COATING, WATER USE, FIXTURE FLOW RATES, AND FORMALDEHYDE LIMIT.

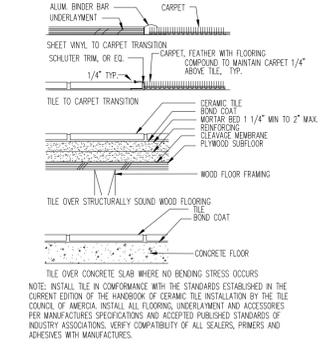
- CA GREEN MANDATORY MEASURES:
- GRADING AND PREVENTION OF WATER INTO THE BUILDING. NO STORM WATER RETENTION.
  - INDOOR FIXTURES REDUCES WATER USE.
  - RODENT PROOFING. SEAL PLATES WITH MORTAR.
  - MOISTURE CONTENT OF BUILDING MATERIALS IS 19%
  - BATHROOM EXHAUST FAN WITH HUMIDITY CONTROL.
  - WILL RECYCLE 50% OF DEMOLITION. STUDS, JOISTS, DOORS, AND CABINETS.
  - WASTE MANAGEMENT BY AUTHORITY HAVING JURISDICTION WILL HANDLE WASTE DISPOSALS.

- VOC COMPLIANCE
- ADHESIVE MARLITE C-109 OR APPROVED EQUAL
  - SEALANT SHEET ROCK SAELANT LOW-VOC.
  - COATING NONE

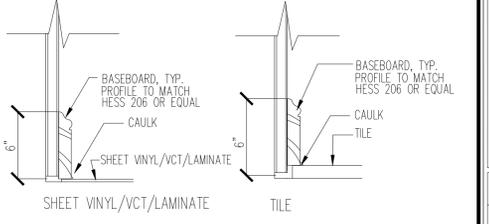
- FORMALDEHYDE COMPLIANCE
- CARPET PER CARPET AND RUG INSTITUTES GREEN LABEL
  - PARTICLEBOARD, FIBERBOARD, PLYWOOD COMPOSITE NONESEALANT

STORMWATER NOTES:  
NEW RAINWATER DOWNSPOUT SHALL BE DIRECTED TO A LANDSCAPE AREA. DOWNSPOUTS MAY BE CONNECTED TO A POP-UP DRAIN EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCK THAT DIRECTS WATER AWAY FROM THE BUILDING. THRU-CURB DRAINS ARE NOT ALLOWED.

SOLID WASTE  
GARBAGE AND WASTE HANDLING SHALL BE IN ACCORDANCE WITH THE CITY OF SANTA CLARA "WASTE HANDLING GUIDELINES". THE CONTRACTOR AND THE OWNER SHALL OBTAIN A COPY AND INCORPORATE THE APPLICABLE PARTS.



**3 FLOOR TRANSITION DETAIL**  
SCALE : NTS



**4 WALL BASE DETAILS**  
SCALE : NTS

**Submittal History**

No.	Description	Date	By
-	INITIAL SUBMITTAL	03/2023	

Designer: *Amorsolo Tamayo*

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*Amorsolo Tamayo*  
Design Studio, LLC

Sheet Notes:

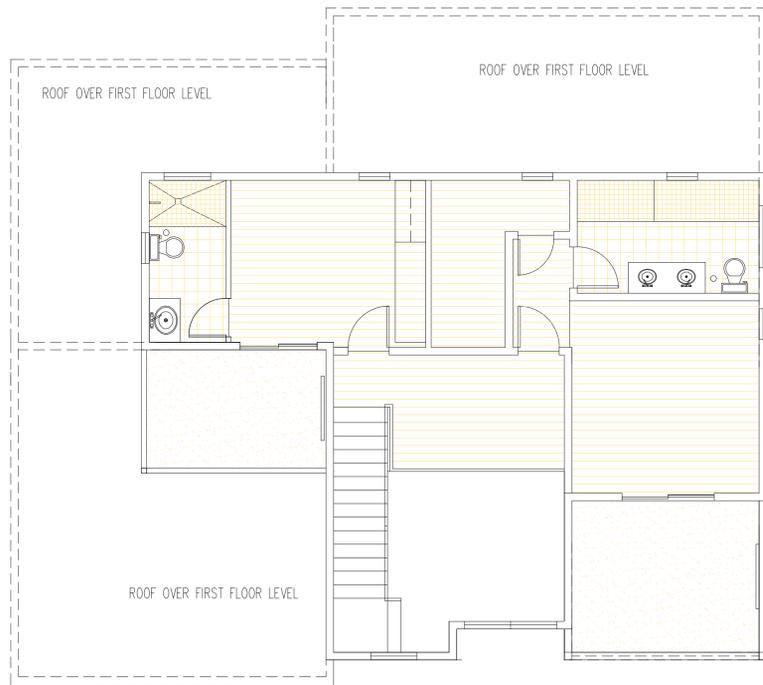
**NEW 2 STORY  
SINGLE FAMILY RESIDENCE**  
684 Buddlawon Way  
Campbell, California, 95008  
APN: 40424029

Project Title:

Job Number  
Drawn By *Amorsolo T.*  
Checked By *Amorsolo T.*  
Date 7/2022

Drawing Title:  
FLOOR FINISH LAYOUT  
FIRST FLOOR WALL FINISH LAYOUT  
CA GREEN MANDATORY MEASURES

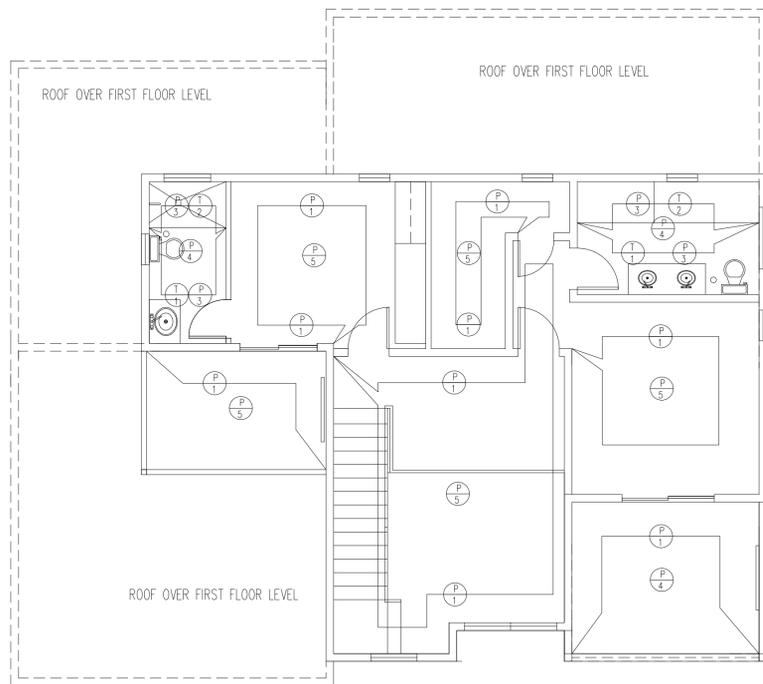
Sheet Number:  
**A8**



**FLOOR LEGEND:**

-  NON SLIP UNGLAZED PORCELAIN FLOOR TILE @ BATHROOM (COLOR & SIZE: T.B.D. BY OWNER)
-  NON SLIP UNGLAZED PORCELAIN FLOOR TILE @ SHOWER (COLOR & SIZE: T.B.D. BY OWNER)
-  LUXURY VINYL TILE FLOOR FINISH W/ 8" HIGH WOOD BASE BOARD COLOR: TBD
-  CONCRETE

**1 SECOND FLOOR FINISH LAYOUT**  
SCALE 3/16":1'-0"



**WALL LEGEND:**

-  FIELD PAINT COLOR: T.B.D. BY OWNER FLAT PAINT FINISH (SEMI-GLOSS PAINT @ KITCHEN AREA)
-  ACCENT PAINT COLOR: T.B.D. BY OWNER FLAT PAINT FINISH
-  FIELD PAINT - ABOVE MARBLE WALL TILE SKIRTING TO CEILING FINISH COLOR: T.B.D. BY OWNER GLOSS PAINT FINISH
-  CEILING FIELD PAINT COLOR: T.B.D. BY OWNER SEMI GLOSS PAINT FINISH
-  CEILING FIELD PAINT COLOR: T.B.D. BY OWNER FLAT PAINT FINISH (SEMI-GLOSS @ KITCHEN)
-  GLAZED MARBLE WALL TILE (4'-0" ABOVE FLOOR FINISH @ BATHROOM AREA - ALL WALLS EXCEPT SHOWER AREAS) COLOR & TEXTURE: T.B.D. BY OWNER
-  GLAZED MARBLE WALL TILE (FULL HEIGHT FROM FLOOR TO CEILING @ SHOWER AREA - ALL WALLS) COLOR / TEXTURE: T.B.D. BY OWNER
-  ACCENT WALL TILE @ KITCHEN SPLASH BACK FROM COUNTER TOP TO UNDER SIDE OF UPPER CABINET COLOR / TEXTURE: T.B.D. BY OWNER

**2 SECOND FLOOR WALL FINISH LAYOUT**  
SCALE 3/16":1'-0"

**CA GREEN MANDATORY MEASURES:**

THE CONTRACTOR SHALL REVIEW THE LIMITATIONS AND BASELINES FOR THE SEALANT VOC LIMIT ARCHITECTURAL COATING, WATER USE, FIXTURE FLOW RATES, AND FORMALDEHYDE LIMIT.

**CA GREEN MANDATORY MEASURES:**

- GRADING AND PREVENTION OF WATER INTO THE BUILDING. NO STORM WATER RETENTION.
- INDOOR FIXTURES REDUCES WATER USE.
- RODENT PROOFING. SEAL PLATES WITH MORTAR.
- MOISTURE CONTENT OF BUILDING MATERIALS IS 19%
- BATHROOM EXHAUST FAN WITH HUMIDITY CONTROL.
- WILL RECYCLE 50% OF DEMOLITION. STUDS, JOISTS, DOORS, AND CABINETS.
- WASTE MANAGEMENT BY AUTHORITY HAVING JURISDICTION WILL HANDLE WASTE DISPOSALS.

**VOC COMPLIANCE**

- ADHESIVE MARLITE C-109 OR APPROVED EQUAL
- SEALANT SHEET ROCK SAELANT LOW-VOC.
- COATING NONE

**FORMALDEHYDE COMPLIANCE**

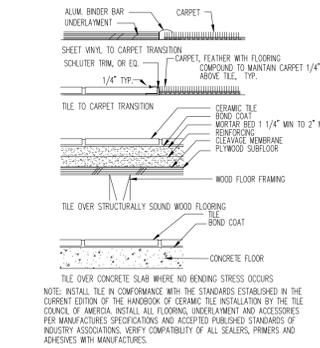
- CARPET PER CARPET AND RUG INSTITUTES GREEN LABEL
- PARTICLEBOARD, FIBERBOARD, PLYWOOD COMPOSITE NONSEALANT

**STORMWATER NOTES:**

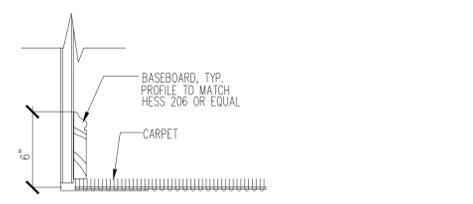
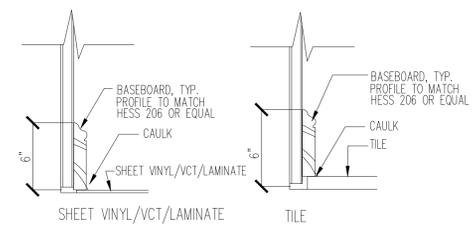
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**3 FLOOR TRANSITION DETAIL**  
SCALE : NTS



**4 WALL BASE DETAILS**  
SCALE : NTS

Submittal History			
No.	Description	Date	By
-	INITIAL SUBMITTAL	03/2023	

Designer: *Amorsolo Tamayo*




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Sheet Notes:

**NEW 2 STORY  
SINGLE FAMILY RESIDENCE**  
684 Buddlawon Way  
Campbell, California, 95008  
APN: 40424029

Job Number  
Drawn By *Amorsolo T.*  
Checked By *Amorsolo T.*  
Date 7/2022

Drawing Title:  
**SECOND FLOOR FINISH LAYOUT  
SECOND FLOOR WALL FINISH  
LAYOUT  
CA GREEN MANDATORY  
MEASURES**

Sheet Number:  
**A9**

Submittal History			
No.	Description	Date	By
-	INITIAL SUBMITTAL	03/2023	

Designer: *Amorsolo Tamayo*




AT Design Studio  
3979 Smith Street  
Mission City, California 94533  
(916) 430-2669  
email: Design@AT-DS.com



## ELECTRICAL/MECHANICAL LEGEND

- OUTDOOR PENDANT LIGHT FIXTURE  
LED (WEATHERPROOF)
- 2" DIAM. RECESSED LIGHT FIXTURE
- CEILING MOUNTED OR HUNG LIGHT FIXTURE
- WATERPROOF RECESSED LIGHT FIXTURE
- SENSOR ACTIVATED LIGHT FIXTURE
- LED COVE LIGHTING OR UNDER CABINET LIGHTING OR STRIP LIGHTING
- EXTERIOR WALL MOUNTED LED LIGHT FIXTURE (+ 80" TYP.)  
WEATHERPROOF- SENSOR ACTIVATED LIGHT FIXTURE
- FLUORESCENT WALL MOUNTED LIGHT FIXTURE
- 110V DUPLEX CONVENIENCE OUTLET SURFACE MOUNTED
- DUPLEX RECEPTACLE +15" TO < (U.O.N.) WITH ARC FAULT CIRCUIT INTERRUPTER
- DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER
- DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT & WATER PROOF INTERRUPTER
- SINGLE POLE WALL SWITCH +48" (U.O.N.)
- SINGLE POLE WALL SWITCH +48" (U.O.N.)  
W/ VACANCY SENSORS
- DIMMER WALL SWITCH +48" (U.O.N.)
- TWO-WAY WALL SWITCH +48" (U.O.N.)
- PHONE OUTLET
- TELEVISION OUTLET (CABLE CONNECTION)
- ELECTRICAL PANEL
- THERMOSTAT
- CARBON MONOXIDE ALARMS-BATTERY OPERATED
- SMOKE DETECTOR (WITH BATTERY BACKUP)
- EXHAUST FAN / LIGHT FIXTURE-TO PROVIDE 5 AIR CHANGES PER HOUR  
W/BACK-DRAFT DAMPER POINT OF DISCHARGE, MIN. 3' AWAY FROM ANY OPNG.
- CEILING REGISTER
- HEATER
- HOSE BIBB W/ BACK FLOW VALVE PREVENTION

## GENERAL NOTES

NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED ON THIS PROJECT.  
ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNER TO DETERMINE THE FINAL LOCATIONS FOR RECEPTABLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC.

PLUMBING LINES UTILIZED AS GROUNDS ARE PROHIBITED.

SMOKE DETECTORS/ALARM SHALL BE INSTALLED PER C.B.C. SECTION 310.9.1.3 AND 310.9.1.4; EACH NEW OR EXISTING BEDROOM SHALL BE SERVED BY A SMOKE DETECTOR; IN NEW CONSTRUCTION EACH SMOKE DETECTOR SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS WITH HOUSE WIRING AS THE PRIMARY POWER SOURCE WITH BATTERY BACK-UP; IN REMODELS EACH SMOKE DETECTOR MAY BE POWERED BY BATTERY ONLY. SMOKE DETECTORS SHALL SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.

A) SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:  
1. IN EACH SLEEPING ROOM  
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS  
3. ON EACH ADDITIONAL STORY OF THE BUILDING INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

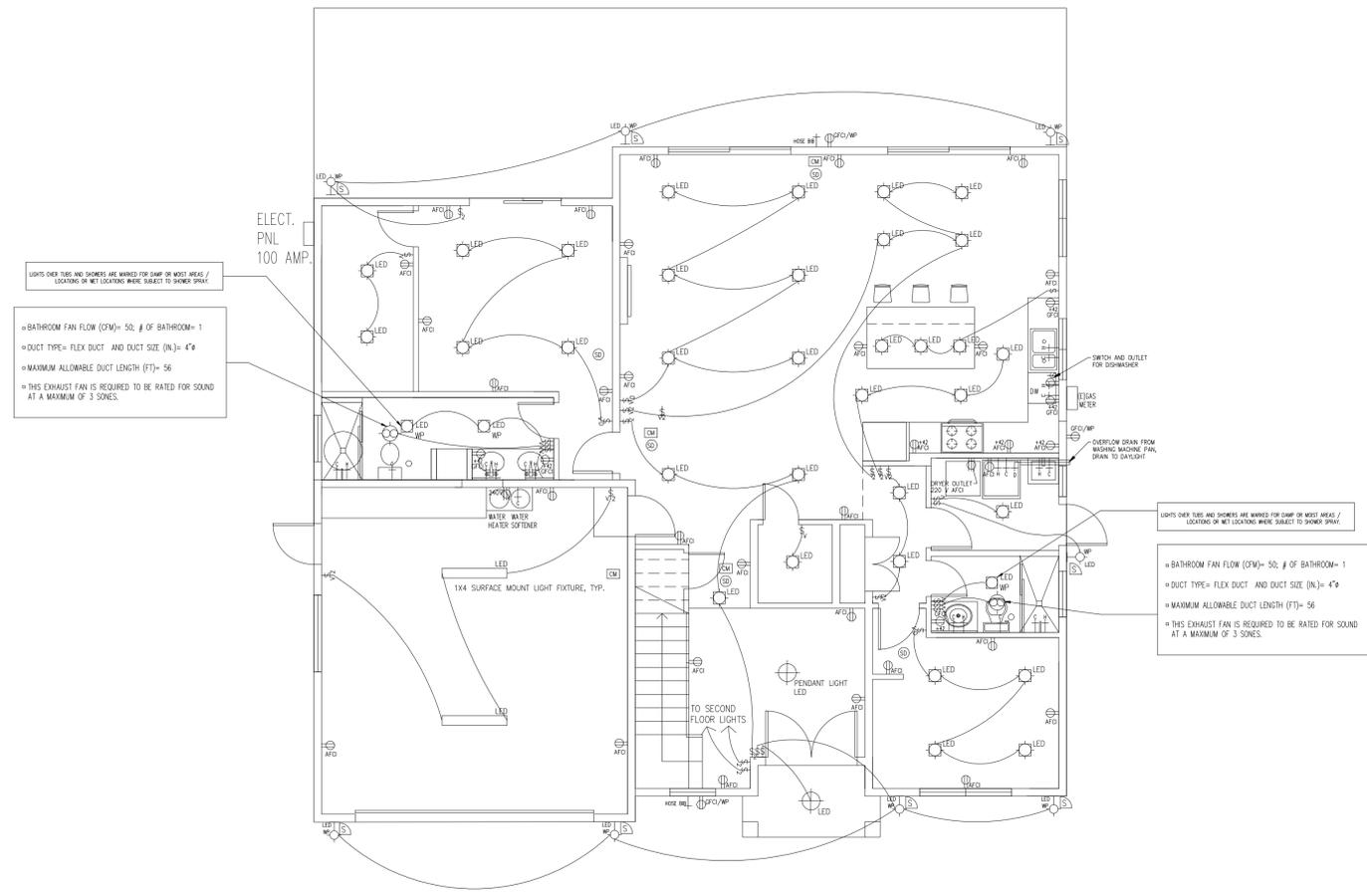
IF A FIRE ALARM SYSTEM IS INTERGRATED INTO A SECURITY SYSTEM, THE FIRE ALARM SYSTEM DRAWINGS MUST BE SUBMITTED TO THE LOCAL FIRE JURISDICTION FOR APPROVAL PRIOR TO INSTALLATION.

NOTE:  
1. ALL BUILDING WATER SUPPLY SYSTEMS IN WHICH QUICK ACTING VALVES ARE INSTALLED SHALL BE PROVIDED WITH DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM QUICK CLOSING THESE VALVES (TYPICALLY THIS DEVICE MAY BE INSTALLED FOR CLOTH WASHER OR DISH WASHER)

2. (IF NEW) W.H. SHALL BE "A.O.SMITH" OR EQUAL AND FURNACE SHALL BE "BRYANT" OR EQUAL- T.B.D. BY OWNER

## ELECTRICAL REQUIREMENTS:

- 1) RECEPTACLE OUTLETS SHALL BE INSTALLED IN ALL HABITABLE ROOMS:
  - A. ON ALL WALL SPACES 2 FEET OR WIDER.
  - B. NOT MORE THAN 6 FEET FROM OPENINGS.
  - C. NOT MORE THAN 12 FEET ON CENTERS.
- 2) RECEPTACLE OUTLETS SHALL BE INSTALLED IN KITCHENS:
  - A. ON COUNTER SPACES 12 INCHES OR WIDER.
  - B. NOT MORE THAN 4 FEET ON CENTERS.
  - C. NOT MORE THAN 2 FEET FROM AN EDGE COUNTER.
  - D. ON ISLAND/PENINSULAR COUNTER 12" OR WIDER (1 EVERY 4').
- 3) PROVIDE AT LEAST ONE RECEPTACLE OUTLET AT:
  - A. BATHROOM
  - B. OUTSIDE
- 4) ALL 110 VOLT, SINGLE PHASE RECEPTACLE OUTLETS SHALL HAVE GROUND FAULT CIRCUIT PROTECTION AT THE FOLLOWING LOCATIONS:
  - A. BATHROOM, ADJACENT TO BASIN
  - B. OUTSIDE
  - C. WITHIN 6 FEET FROM KITCHEN SINK
- 5) PROVIDE RECEPTACLE OUTLET IN DWELLING UNIT HALLWAYS 10'-0" OR MORE IN LENGTH.
- 6) PROVIDE WALL SWITCH (2-WAY) AT EACH FLOOR LEVEL TO CONTROL INTERIOR STAIRWAY LIGHTING OUTLET WHEN DIFFERENCE BETWEEN FLOOR LEVELS IS SIX STEPS OR MORE.
- 7) PROVIDE SWITCH AND LIGHT AT ATTIC, CRAWL SPACE, UTILITY ROOM OR AREAS WITH HVAC EQUIPMENT.
- 8) BATHROOM EXHAUST FAN SHALL HAVE 50 CUBIC FEET PER MINUTE OF INTERMITTENT VENTILATION, 25 CUBIC FEET PER MINUTE OF CONTINUOUS VENTILATION.
- 9) ALL POWER AND LIGHTING OUTLETS IN FAMILY ROOMS, HALLWAYS, & BEDROOMS SHALL BE PROTECTED BY A "LISTED AFCI BREAKER". KITCHEN AND BATHROOMS ARE EXEMPTED FROM THIS REQUIREMENTS PER CEC 210.12(A).
- 10) INSTALL DEDICATED 20AMP CIRCUIT @ BATHROOMS, TYP.



## FIRST FLOOR CONCEPTUALIZED/ ELECTRICAL MECHANICAL LAYOUT

SCALE 3/16"=1'-0"

ELECTRICAL & MECHANICAL SYSTEM ARE SHOWN FOR CONCEPTUALIZED & INTENT ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.

CAL

HEAD CONTROLLED BY A SINGLE

ADDITIONAL NOTE A:  
1. ALL LIGHTS SHALL BE HIGH EFFICACY LUMINARIES THROUGHOUT THE HOUSE.  
2. ALL RECESSED LIGHT FIXTURES TO HAVE IC RATED ELECTRONIC BALLAST AND SHALL BE AIR-TIGHT.  
3. ALL NEW RECEPTABLES ARE TAMPER RESISTANT PER CEC 406.11.

ADDITIONAL NOTE B:  
A) SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN 36-INCHES HORIZONTAL PATH FROM THE SUPPLY REGISTERS OF A FORCED AIR HEATING OR COOLING SYSTEM.  
B) SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN 36-INCHES HORIZONTAL PATH FROM THE TIP OF THE BLADE OF A CEILING-SUSPENDED (PADDLE) FAN.  
C) SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.  
D) WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT, THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.

NOTE:  
OUTDOOR LIGHTS MUST BE HIGH EFFICACY AND CONTROLLED BY BOTH A MOTION SENSOR AND PHOTOCCELL. CONTRACTOR TO SUBMIT FOR OWNER APPROVAL.

ADDITIONAL NOTE C:  
1. MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS SHALL BE LOCATED A MIN OF 10' FROM ANY HAZARDOUS OR NOXIOUS CONTAMINANT, SUCH AS VENTS, CHIMNEYS, PLUMBING VENTS, STREETS, ALLEYS, PARKING LOTS AND LOADING DOCKS, EXCEPT AS OTHERWISE SPECIFIED IN THIS CODE. TOILET ROOMS, BATHROOMS, AND KITCHENS SHALL NOT BE CONSIDERED HAZARDOUS OR NOXIOUS.

MECHANICAL & ELECTRICAL SYSTEM, GAS/WATER/SEWER LINE DIAGRAM ARE SHOWN FOR CONCEPTUALIZED & INTENT ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.

## PLUMBING AND MECHANICAL REQUIREMENTS:

- 1) A. MAXIMUM 2.0 GALLONS PER MINUTE FOR A SHOWERHEAD CONTROLLED BY A SINGLE VALVE. IF A SINGLE VALVE CONTROLS MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS CONTROLLED BY THAT VALVE SHALL NOT EXCEED MORE THAN 2.0 GALLONS PER MINUTE.  
B. MAXIMUM 1.2 GALLONS PER MINUTE FOR BATHROOM FAUCETS (LAVATORY).  
C. MAXIMUM 1.28 GALLONS PER FLUSH FOR NEW TOILETS.  
D. MAXIMUM WATER FACTOR EQUAL TO OR LESS THAN 6.0 FOR CLOTHES WASHERS.  
E. MAXIMUM 6.5 GALLONS PER CYCLE OR BE ENERGY STAR QUALIFIED FOR NEW DISHWASHERS.
- 2) PROVIDE WATER CLOSET CLEAR SPACE NOT LESS THAN 30 INCHES IN WIDTH AND 24" INCHES CLEAR SPACE IN FRONT.
- 3) PROVIDE MINIMUM SHOWER STALLS OF 1024 SQUARE INCHES CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE.
- 4) ANCHOR OR STRAP WATER HEATER AT POINTS WITHIN THE UPPER AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSION, THE LOWER ANCHOR/STRAP LOCATED TO MAINTAIN A MINIMUM DISTANCE OF 4 INCHES ABOVE THE CONTROLS.
- 5) PLASTIC PLUMBING PIPES SHALL NOT BE USED FOR DOMESTIC WATER SUPPLY OR SANITARY WASTE WITHIN THE BUILDING.

Sheet Notes:

Project Title:  
**NEW 2 STORY  
SINGLE FAMILY RESIDENCE  
684 Buddlawon Way  
Campbell, California, 95008  
APN: 40424029**

Job Number  
Drawn By *Amorsolo T.*  
Checked By *Amorsolo T.*  
Date

Drawing Title:  
**FIRST FLOOR CONCEPTUALIZED  
ELECTRICAL/MECHANICAL LAYOUT  
ELECTRICAL/MECHANICAL LEGEND  
GENERAL NOTES  
ADDITIONAL NOTES**

Sheet Number:  
**A10**

Submittal History			
No.	Description	Date	By
-	INITIAL SUBMITTAL	03/2023	

Designer: *Amorsolo Tamayo*




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Mission City, California 94039  
(916) 430-2669 0613  
email: Design@AT-DS.com



## ELECTRICAL/MECHANICAL LEGEND

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- LED (WEATHERPROOF)
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## GENERAL NOTES

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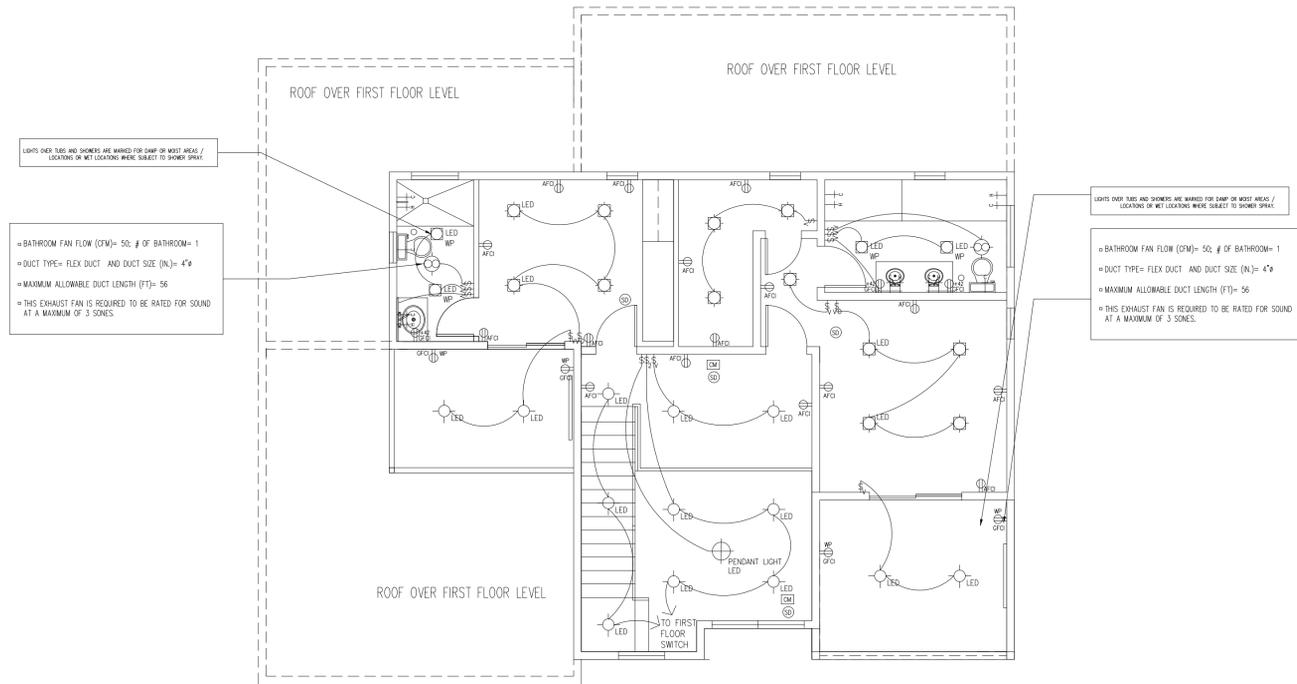
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- NOTE:
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  - B. OUTSIDE
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  - A. BATHROOM, ADJACENT TO BASIN
  - B. OUTSIDE
  - C. WITHIN 6 FEET FROM KITCHEN SINK
- 5) PROVIDE RECEPTACLE OUTLET IN DWELLING UNIT HALLWAYS 10'-0" OR MORE IN LENGTH.
- 6) PROVIDE WALL SWITCH (2-WAY) AT EACH FLOOR LEVEL TO CONTROL INTERIOR STAIRWAY LIGHTING OUTLET WHEN DIFFERENCE BETWEEN FLOOR LEVELS IS SIX STEPS OR MORE.
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- 10) INSTALL DEDICATED 20AMP CIRCUIT @ BATHROOMS, TYP.



## SECOND FLOOR CONCEPTUALIZED/ ELECTRICAL MECHANICAL LAYOUT

1  
A11

SCALE 3/16"=1'-0"

ELECTRICAL & MECHANICAL SYSTEM ARE SHOWN FOR CONCEPTUALIZED & INTENT ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.

## PLUMBING AND MECHANICAL REQUIREMENTS:

1-C

- 1) A. MAXIMUM 2.0 GALLONS PER MINUTE FOR A SHOWERHEAD CONTROLLED BY A SINGLE VALVE. IF A SINGLE VALVE CONTROLS MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS CONTROLLED BY THAT VALVE SHALL NOT EXCEED MORE THAN 2.0 GALLONS PER MINUTE.
  - B. MAXIMUM 1.2 GALLONS PER MINUTE FOR BATHROOM FAUCETS (LAVATORY).
  - C. MAXIMUM 1.28 GALLONS PER FLUSH FOR NEW TOILETS.
  - D. MAXIMUM WATER FACTOR EQUAL TO OR LESS THAN 6.0 FOR CLOTHES WASHERS.
  - E. MAXIMUM 6.5 GALLONS PER CYCLE OR BE ENERGY STAR QUALIFIED FOR NEW DISHWASHERS.
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- 5) PLASTIC PLUMBING PIPES SHALL NOT BE USED FOR DOMESTIC WATER SUPPLY OR SANITARY WASTE WITHIN THE BUILDING.

ADDITIONAL NOTE A:

1. ALL LIGHTS SHALL BE HIGH EFFICACY LUMINARIES THROUGHOUT THE HOUSE.
2. ALL RECESSED LIGHT FIXTURES TO HAVE IC RATED ELECTRONIC BALLAST AND SHALL BE AIR-TIGHT.
3. ALL NEW RECEPTABLES ARE TAMPER RESISTANT PER CEC 406.11.

ADDITIONAL NOTE B:

- A) SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN 36-INCHES HORIZONTAL PATH FROM THE SUPPLY REGISTERS OF A FORCED AIR HEATING OR COOLING SYSTEM.
- B) SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN 36-INCHES HORIZONTAL PATH FROM THE TIP OF THE BLADE OF A CEILING-SUSPENDED (PADDL) FAN.
- C) SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
- D) WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT, THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.

NOTE:

OUTDOOR LIGHTS MUST BE HIGH EFFICACY AND CONTROLLED BY BOTH A MOTION SENSOR AND PHOTOCCELL. CONTRACTOR TO SUBMIT FOR OWNER APPROVAL.

ADDITIONAL NOTE C:

1. MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS SHALL BE LOCATED A MIN OF 10' FROM ANY HAZARDOUS OR NOXIOUS CONTAMINANT, SUCH AS VENTS, CHIMNEYS, PLUMBING VENTS, STREETS, ALLEYS, PARKING LOTS AND LOADING DOCKS, EXCEPT AS OTHERWISE SPECIFIED IN THIS CODE. TOILET ROOMS, BATHROOMS, AND KITCHENS SHALL NOT BE CONSIDERED HAZARDOUS OR NOXIOUS.

MECHANICAL & ELECTRICAL SYSTEM, GAS/WATER/SEWER LINE DIAGRAM ARE SHOWN FOR CONCEPTUALIZED & INTENT ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.

Sheet Notes:

Project Title:

NEW 2 STORY  
SINGLE FAMILY RESIDENCE  
684 Buddlawon Way  
Campbell, California, 95008  
APN: 40424029

Job Number	
Drawn By	Amorsolo T.
Checked By	Amorsolo T.
Date	7/2022

Drawing Title:  
SECOND FLOOR CONCEPTUALIZED  
ELECTRICAL/MECHANICAL LAYOUT  
ELECTRICAL/MECHANICAL LEGEND  
ADDITIONAL NOTES  
GENERAL NOTES

Sheet Number:  
**A11**



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CHAPTER 1 – ADMINISTRATION	
SECTION	REQUIREMENTS
<b>Scope</b>	
101.3.1	Applies to ALL newly constructed residential buildings: low-rise, high-rise, and hotels/motels.
102.3	Requires a completed Residential Occupancies Application Checklist or alternate method acceptable to the enforcing agency to be used for documentation of conformance.
CHAPTER 3 – GREEN BUILDING	
SECTION	REQUIREMENTS
<b>Additions and alterations</b>	
301.1.1	<ul style="list-style-type: none"> <li>Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size.</li> <li>Requirements only apply within the specific area of the addition or alteration.</li> <li>Requirements for electric vehicle charging may apply to additions to or alterations of parking facilities for multifamily buildings.</li> </ul>
<b>Low-rise and high-rise residential buildings</b>	
301.2	Banners identify provisions applying to low-rise only [LR] or high-rise only [HR].
<b>Mixed occupancy buildings</b>	
302.1	<p>Requires each portion of mixed occupancy buildings to comply with CALGreen measures applicable for the specific occupancy.</p> <p><b>Exceptions:</b></p> <ul style="list-style-type: none"> <li>Accessory structures and accessory occupancies serving residential buildings to comply with Chapter 4 and Appendix A4, as applicable.</li> <li>Live/work units complying with the California Building Code Section 508.5 shall not be considered a mixed occupancy. Live/work units are required to comply with Chapter 4 and Appendix A4, as applicable.</li> </ul>

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CHAPTER 4 – RESIDENTIAL MANDATORY MEASURES DIVISION 4.1 – PLANNING AND DESIGN	
SECTION	REQUIREMENTS
<b>Storm water drainage and retention during construction</b>	
4.106.2	Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.
<b>Grading and paving</b>	
4.106.3	Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. <b>Exception:</b> Additions and alterations which do not alter the existing drainage path.
<b>Electric vehicle (EV) charging for new construction and existing multifamily parking facilities</b>	
4.106.4	<ul style="list-style-type: none"> <li>Comply with Section 4.106.4.1 or 4.106.4.2 for installation and use of EV chargers and receptacles.</li> <li>Electric vehicle supply equipment (EVSE) shall comply with the California Electrical Code.</li> </ul> <p><b>Exceptions:</b></p> <ol style="list-style-type: none"> <li>On a case-by-case basis where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following: <ol style="list-style-type: none"> <li>Where there is no local utility power supply, or the local utility is unable to supply adequate power.</li> <li>Where local enforcing agency determines additional local utility infrastructure design requirements for implementation of Section 4.106.4, may adversely impact the construction cost of the project.</li> </ol> </li> <li>Accessory Dwelling Units and Junior Accessory Dwelling Units without additional parking facilities.</li> </ol>

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<b>EV charging: New 1- &amp; 2-family dwellings/townhouses with attached private garages</b>	
4.106.4.1	<ul style="list-style-type: none"> <li>Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit for each dwelling unit.</li> <li>Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter).</li> <li>Raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger.</li> <li>Raceways are required to be continuous at enclosed, inaccessible, or concealed areas and spaces.</li> <li>Service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.</li> </ul> <p><b>Exception:</b> A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.</p>
<b>Identification</b>	
4.106.4.1.1	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."
<b>EV charging for new multifamily dwellings, hotels and motels and new residential parking facilities</b>	
4.106.4.2	<ul style="list-style-type: none"> <li>Applies to all new multifamily dwelling units, hotels and motels and new residential parking facilities.</li> <li>Shall meet the requirements of Sections 4.106.4.2.1 or 4.106.4.2.2.</li> <li>Calculations for spaces shall be rounded up to the nearest whole number.</li> <li>A parking space served by electric vehicle supply equipment (EVSE) or designed as a future EV charging space shall count as at least one standard parking space in order to comply with minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2.</li> </ul>

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<b>Multifamily development projects, hotels, and motels with less than 20 units</b>	
The number of dwelling units, sleeping units or guest rooms shall be based on all building on a project site.	
<ol style="list-style-type: none"> <li><b>EV Capable.</b> 10% of the total number of parking spaces on a building site shall be EV spaces capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate electrical panel service capacity, electrical system, and any on-site distribution transformer(s) have sufficient capacity to charge all EVs at a minimum of 40 amps. The service panel/subpanel shall identify overcurrent protective device spaces reserved for future EV charging as "EV CAPABLE."</li> </ol> <p><b>Exceptions:</b></p> <ol style="list-style-type: none"> <li>When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.</li> <li>When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.</li> </ol>	
4.106.4.2.1	<ol style="list-style-type: none"> <li><b>EV Ready.</b> 25% of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.</li> </ol> <p><b>Exception:</b> Areas of parking facilities by parking lifts.</p>

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<b>Multifamily development projects, hotels and motels with 20 or more units</b>	
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site.	
<ol style="list-style-type: none"> <li><b>EV Capable.</b> 10% of the total number of parking spaces on a building site shall be EV spaces capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate electrical panel service capacity, electrical system, and any on-site distribution transformer(s) have sufficient capacity to charge all EVs at a minimum of 40 amperes. The service panel/subpanel shall identify future EV spaces as "EV CAPABLE."</li> </ol> <p><b>Exception:</b> When EV chargers (Level 2 EVSE) are installed in a number greater than 5% of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the 5% required.</p>	
4.106.4.2.2	<ol style="list-style-type: none"> <li><b>EV Ready.</b> 25% of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.</li> </ol> <p><b>Exception:</b> Areas of parking facilities served by parking lifts.</p>
<ol style="list-style-type: none"> <li><b>EV Chargers.</b> 5% of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.</li> </ol> <p>When low power Level 2 EV charging receptacles or EVSE are installed beyond the minimum required, automatic load management systems (ALMS) may be used to reduce electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EVCS.</p>	

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<b>EV charging stations (EVCS)</b>	
4.106.4.2.2.1	EVCS required by Section 4.106.4.2.2.1.2, Item 3 (1 in 25 EVCS with chargers) shall comply with Section 4.106.4.2.2.1.1. <b>Exception:</b> EVCS serving public accommodations, public housing motels and hotel shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.
<b>Location</b>	
4.106.4.2.2.1.1	<p>When EV chargers are installed, EVCS shall comply with at least one of the following options:</p> <ol style="list-style-type: none"> <li>The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.</li> <li>The EV space shall be located on an accessible route to the building, as defined in the California Building Code, Chapter 2.</li> </ol> <p><b>Exception:</b> EVCS designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2, Item 3.</p>
<b>EV charging stations (EVCS) dimensions</b>	
4.106.4.2.2.1.2	<p>EV charging spaces shall be designed to comply with the following:</p> <ul style="list-style-type: none"> <li>Minimum length of each EV space shall be 18 feet.</li> <li>Minimum width of each EV space shall be 9 feet.</li> <li>One in every 25 charging spaces, but not less than one, shall have an 8-foot minimum aisle. A 5-foot minimum aisle shall be permitted if the minimum width of the EV space is 12 feet. <ol style="list-style-type: none"> <li>Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083% slope) in any direction.</li> </ol> </li> </ul>

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<b>Accessible EV spaces</b>	
4.106.4.2.2.1.3	In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.
<b>EV space requirements</b>	
<b>Single EV space required</b>	
<ul style="list-style-type: none"> <li>Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit.</li> <li>Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter).</li> <li>Raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space.</li> <li>Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable.</li> <li>Service panel and/or subpanel shall have a 40-ampere minimum dedicated branch circuit including an installed branch circuit overcurrent protective device, or spaces reserved to install a branch circuit overcurrent protective device.</li> </ul>	
4.106.4.2.3	<p><b>Multiple EV spaces required</b></p> <ul style="list-style-type: none"> <li>Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations.</li> <li>Plan design shall be based upon a 40-ampere minimum branch circuit.</li> <li>Required raceways and related components planned to be installed underground, enclosed, inaccessible or, in concealed areas and spaces shall be installed at the time of original construction.</li> </ul> <p><b>Exception (applies to both single and multiple EV spaces):</b> A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.</p>

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<b>Identification</b>	
4.106.4.2.4	The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.
<b>EV ready space signage</b>	
4.106.4.2.5	EV ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor.
<b>EV charging for additions and alterations of parking facilities serving existing multifamily buildings</b>	
4.106.4.3	When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, 10% of the total number of parking spaces added or altered shall be EV spaces capable of supporting future Level 2 EVSE.
DIVISION 4.2 – ENERGY EFFICIENCY	
SECTION	REQUIREMENTS
<b>Scope</b>	
4.201.1 & 5.201.1	<ul style="list-style-type: none"> <li>Energy efficiency requirements for low-rise residential (single-family) (Section 4.201.1); and high-rise residential (multifamily) and hotels/motels (Section 5.201.1) are now in both residential and nonresidential chapters of CALGreen.</li> <li>Standards for residential buildings do not require compliance with levels of minimum energy efficiency beyond those required by the 2022 California Energy Code.</li> </ul>

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Submittal History		
No.	Description	Date By
-	INITIAL SUBMITTAL	03/20/24

Designer:

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3929 Smith Street  
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Sheet Notes:

Project Title:

Job Number

Drawn By Amorsolo T.

Checked By Amorsolo T.

Date

Drawing Title:

CALGREEN SHEET

Sheet Number:

CG-1



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DIVISION 4.3 – WATER EFFICIENCY AND CONSERVATION	
SECTION	REQUIREMENTS
<b>Water conserving plumbing fixtures and fittings</b>	
Plumbing fixtures and fittings shall comply with the following:	
4.303.1.1	Water closets: ≤ 1.28 gal/flush.
4.303.1.2	Wall mounted urinals: ≤ 0.125 gal/flush; all other urinals ≤ 0.5 gal/flush.
4.303.1.3.1	Single showerheads: ≤ 1.8 gpm @ 80 psi.
4.303.1.3.2	Multiple showerheads: combined flow rate of all showerheads controlled by a single valve shall not exceed 1.8 gpm @ 80 psi, or only 1 shower outlet is to be in operation at a time.
4.303.1.4.1	Residential lavatory faucets: maximum flow rate ≤ 1.2 gpm @ 60 psi; minimum flow rate ≥ 0.8 gpm @ 20 psi.
4.303.1.4.2	Lavatory faucets in common and public use areas of residential buildings: ≤ 0.5 gpm @ 60 psi.
4.303.1.4.3	Metering faucets: ≤ 0.2 gallons per cycle.
4.303.1.4.4	Kitchen faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm.
4.303.1.4.5	Pre-rinse spray valves: comply with California Code of Regulations (CCR), Title 20, Appliance Efficiency Regulations, Sections 1605.1(h)(4) Table H-2, Section 1605.3(h)(4)(A), and Section 1607(d)(7). Shall be equipped with an integral automatic shutoff.
<b>Submeters for multifamily buildings and dwelling units in mixed-use residential/commercial buildings</b>	
4.303.2	Submeters shall be installed to measure water usage on individual dwelling units in accordance with the <i>California Plumbing Code</i> .
<b>Standards for plumbing fixtures and fittings</b>	
4.303.3	Plumbing fixtures and fittings shall be installed in accordance with the <i>California Plumbing Code</i> and shall meet applicable standards referenced in Table 1701.1 of the <i>California Plumbing Code</i> .

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4.304.1	New residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.
<b>DIVISION 4.4 – MATERIAL CONSERVATION &amp; RESOURCE EFFICIENCY</b>	
SECTION	REQUIREMENTS
<b>Rodent proofing</b>	
4.406.1	Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of rodents.
<b>Construction waste management</b>	
Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.	
Provide documentation to the enforcing agency per Section 4.408.5.	
4.408.1	<b>Exceptions:</b> 1. Excavated soil and land-clearing debris. 2. Alternative waste reduction methods developed by working with local enforcing agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
<b>Construction waste management plan</b>	
4.408.2	Submit a construction waste management plan that meets Items 1 through 5.

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<b>Waste management company</b>	
4.408.3	Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that diverted construction and demolition waste materials meet the requirements in Section 4.408.1.
<b>Waste stream reduction alternative</b>	
4.408.4 & 4.408.4.1	Low-rise residential projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.
<b>Operation and maintenance manual</b>	
4.410.1	At the time of final inspection, a manual, compact disc, web-based reference, or other media acceptable to the enforcing agency which covers 12 specific subject areas shall be placed in the building.
<b>Recycling by occupants</b>	
4.410.2	Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage, and collection of nonhazardous materials for recycling, including (at minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. <b>Exception:</b> Rural jurisdictions that meet and apply for the exemption in <i>Public Resources Code</i> Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.

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DIVISION 4.5 – ENVIRONMENTAL QUALITY	
SECTION	REQUIREMENTS
<b>Fireplaces – General</b>	
4.503.1	Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves, and fireplaces shall also comply with all applicable local ordinances.
<b>Protection of mechanical equipment during construction</b>	
4.504.1	At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic, Sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used.
<b>Adhesives, sealants and caulks</b>	
Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:	
4.504.2.1	1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products shall also comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of CCR, Title 17, commencing with Section 94507.

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<b>Paints and coatings</b>	
4.504.2.2	Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat, or Nonflat-high Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-high Gloss VOC limit in Table 4.504.3 shall apply.
<b>Aerosol paints and coatings</b>	
4.504.2.3 & 4.504.2.4	Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of CCR, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District shall additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49. Documentation is required per Section 4.504.2.4.
<b>Carpet systems</b>	
4.504.3	Carpet installed in the building interior shall meet the testing and product requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (also known as Specification 01350).
<b>Carpet cushion</b>	
4.504.3.1	Carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (also known as Specification 01350).
<b>Carpet adhesive</b>	
4.504.3.2	Carpet adhesives shall meet the requirements of Table 4.504.1.

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**2022 CALGREEN RESIDENTIAL MANDATORY MEASURES**  
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See specific referenced sections for complete details on CALGreen mandatory requirements.

**2022 CALGREEN CODE**

<b>Paints and coatings</b>	
4.504.2.2	Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat, or Nonflat-high Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-high Gloss VOC limit in Table 4.504.3 shall apply.
<b>Aerosol paints and coatings</b>	
4.504.2.3 & 4.504.2.4	Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of CCR, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District shall additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49. Documentation is required per Section 4.504.2.4.
<b>Carpet systems</b>	
4.504.3	Carpet installed in the building interior shall meet the testing and product requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (also known as Specification 01350).
<b>Carpet cushion</b>	
4.504.3.1	Carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (also known as Specification 01350).
<b>Carpet adhesive</b>	
4.504.3.2	Carpet adhesives shall meet the requirements of Table 4.504.1.

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<b>Moisture content of building materials</b>	
4.505.3	Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be verified in compliance with the following: 1. Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8. 2. Moisture readings shall be taken at a point 2 feet to 4 feet from the grade stamped end of each piece to be verified. 3. At least 3 random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure.
<b>Bathroom exhaust fans</b>	
4.506.1	Each bathroom shall be mechanically ventilated and shall comply with the following: 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. a. Humidity controls shall be capable of manual or automatic adjustment between a relative humidity range of ≤ 50% to a maximum of 80%. b. A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in. <b>Note:</b> For CALGreen, a bathroom is a room which contains a bathtub, shower, or tub/shower combination. Lighting integral to bathroom exhaust fans shall comply with <i>California Energy Code</i> .

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**2022 CALGREEN CODE**

<b>Heating and air-conditioning system design</b>	
4.507.2	Heating and air-conditioning systems shall be sized, designed and equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J – 2016 ( <i>Residential Load Calculation</i> ), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D – 2016 ( <i>Residential Duct Systems</i> ), ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S – 2014 ( <i>Residential Equipment Selection</i> ) or other equivalent design software or methods. <b>Exception:</b> Use of alternate design temperatures necessary to ensure the systems function are acceptable.
<b>CHAPTER 7 – INSTALLER &amp; SPECIAL INSPECTOR QUALIFICATIONS</b>	
SECTION	REQUIREMENTS
<b>Installer training</b>	
702.1	Heating, ventilation, and air conditioning (HVAC) system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a recognized training or certification program. Examples of acceptable HVAC training and certification programs include, but are not limited to, the following: 1. State certified apprenticeship programs. 2. Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.

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Submittal History		
No.	Description	Date By
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Job Number

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CG-2



**2022 CALGREEN RESIDENTIAL MANDATORY MEASURES**  
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**2022 CALGREEN CODE**

Special inspection	
<b>702.2</b>	When required by the enforcing agency, special inspectors must be qualified and able to demonstrate competence to the enforcing agency in the discipline in which they are inspecting.
Documentation	
<b>703.1</b>	Documentation of compliance shall include, but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the local enforcing agency. Other specific documentation or special inspections necessary to verify compliance are specified in appropriate sections of CALGreen.

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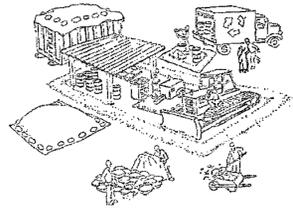
Project Title:

Job Number |  
 Drawn By | Amorsolo T.  
 Checked By | Amorsolo T.  
 Date |

Drawing Title:  
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**CG-3**

# Clean Bay Blue Print



## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with City of Fremont requirements.

### Materials storage & spill cleanup

#### Non-hazardous materials management

- Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from catch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control as needed.
- Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water!
- Recycle all asphalt, concrete, and aggregate base material from demolition activities. Comply with City of Fremont Ordinances for recycling construction materials, wood, gyp board, pipe, etc.
- Check dumpsters regularly for leaks and to make sure they are not overfilled. Repair or replace leaking dumpsters promptly.
- Cover all dumpsters with a tarp at the end of every work day or during wet weather.

#### Hazardous materials management

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.
- Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

- Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- Dispose of all containment and cleanup materials properly.
- Report any hazardous materials spills immediately! Dial 911

#### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

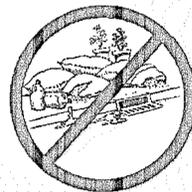
### Vehicle and equipment maintenance & cleaning

- Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Earthwork & contaminated soils

- Keep excavated soil on the site where it will not collect in the street.
- Transfer to dump trucks should take place on the site, not in the street.
- Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.



- Earth moving activities are only allowed during dry weather by permit and as approved by the City Inspector in the Field.
- Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.

- If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of contaminated soil according to their instructions.

### Dewatering operations

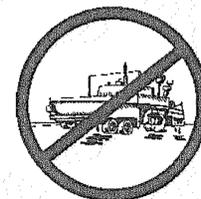
- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off site shall be directed away from all disturbed areas or shall collectively be in compliance.
- Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- Be sure to notify and obtain approval from the Engineer before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



### Saw cutting

- Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If saw cut slurry enters a catch basin, clean it up immediately.

### Paving/asphalt work



- Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
- Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- Do not use water to wash down fresh asphalt concrete pavement.

### Concrete, grout, and mortar storage & waste disposal

- Store concrete, grout, and mortar under cover, on pallets, and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks off-site or into contained washout areas that will not allow discharge of wash water onto the underlying soil or onto the surrounding areas.



- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal off site.

### Painting

- Never rinse paint brushes or materials in a gutter or street!
- Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink.
- Paint out excess oil-based paint before cleaning brushes in thinner.
- Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



### Landscape Materials

- Contain, cover, and store on pallets all stockpiled landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.
- Discontinue the application of any erodible landscape material within 2 days of forecasted rain and during wet weather.

Storm drain polluters may be liable for fines of \$10,000 or more per day!

For references and more detailed information:  
[www.cleanwaterprogram.org](http://www.cleanwaterprogram.org)  
[www.cabmphandbooks.com](http://www.cabmphandbooks.com)

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Checked By

Date

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