

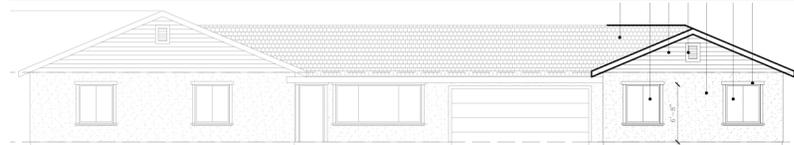


Location of Proposed Project



City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

December 9, 2024

The Community Development Director will be rendering a decision on the following project.

Project Address: 1203 Hazel Avenue

Zoning | Area Plan: R-1-6 | STANP

Neighborhood Association(s): N/A

Council District: 5

File No.: PLN-2024-150

APN: 406-02-047

Applicant: Fischer Yu

Property Owner: Kong Xiangyu & Fang Xiaqing

Application Type: Administrative Site and Architectural Review

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

To allow the addition of approximately 248 square feet to an existing single-story, single-family dwelling to create a new 798 square foot attached exempt ADU.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **December 9, 2024**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **December 18, 2024**. The director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



SITE ADDRESS: 1203 HAZEL AVE, CAMPBELL, CA 95008

SCOPE OF WORKS: - NEW ATTACHED 798 SF ADU
- ADDITION 248 SF TO MAIN HOUSE

ASSESSOR PARCEL NO: 406-02-047

LOT AREA: 7,921 SQ. FT.

PARKING PROVIDED: 2

BUILDING AREA:

(E) 1-STORY HOUSE:	1,220 SF
(E) GARAGE:	453 SF
(N) ADDITION TO MAIN HOUSE :	248 SF
(N) ATTACHED ADU :	798 SF

LOT COVERAGE: $\frac{2,719}{7,921} = 0.2425$ 34%

TREE SURVEY AND REMOVAL PLAN: NOT APPLICABLE

PROJECT NOTES:

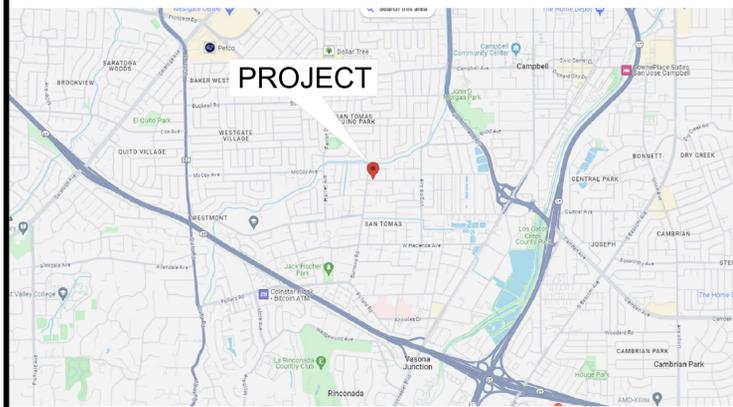
- ADU TO PURSUE STATEWIDE EXEMPTION ADU PER CMC SECTION 21.23.027.
 - ADU IS NOT LARGER THAN 800 SF
 - REAR AND SIDE SETBACKS OF NO LESS THAN 4 FT
 - HEIGHT IS NOT EXCEEDING 18 FT

NOTE:

- CLASS A ROOFING
- DOUBLE UNDERLAYMENT (R905)
- PROVIDE 5% SLOPE AWAY FROM BUILDING, NO SLOPE ONTO ADJACENT PROPERTY
- NO EASEMENT ON SITE

PROJECT SUMMARY

SCALE N.I.S. 7



PARCEL MAP

SCALE N.I.S. 6

- A-0.0 PROJECT INFO / SITE PLANS / ADDITIONAL NOTES
- A-0.1 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET 1
- A-0.2 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET 2
- A-0.3 GREEN BUILDING REVIEW / GENERAL NOTES REQUIREMENTS / BEST MANAGEMENT PRACTICE
- A-1.0 ADUs FLOOR PLAN / DOOR & WINDOW SCHEDULES
- A-2.0 EXTERIOR ELEVATIONS / MATERIAL SPEC / ROOF PLAN / VENT CALCULATION
- A-2.1 BUILDING SECTIONS
- A-3.0 ELECTRICAL & LIGHTING PLAN
- A-3.1 ELECTRICAL & LIGHTING PLAN
- A-4.0 STAIRS DETAILS
- S-1 STRUCTURAL NOTES
- S-2 FOUNDATION PLAN / DETAILS
- S-3 FLR FRAMING PLAN / DETAILS
- S-4 ROOF FRAMING PLAN / DETAILS
- T-1 RESIDENTIAL T-24 SHEET 1 OF 6
- T-2 RESIDENTIAL T-24 SHEET 2 OF 6
- T-3 RESIDENTIAL T-24 SHEET 3 OF 6
- T-4 RESIDENTIAL T-24 SHEET 4 OF 6
- T-5 RESIDENTIAL T-24 SHEET 5 OF 6
- T-6 RESIDENTIAL T-24 SHEET 6 OF 6

SHEET INDEX

SCALE N.I.S. 5

TYPE OF CONSTRUCTION:
- VB without Fire Sprinklers

OCCUPANCY: R-3

BUILDING STORIES:
- 2 Story without Basement

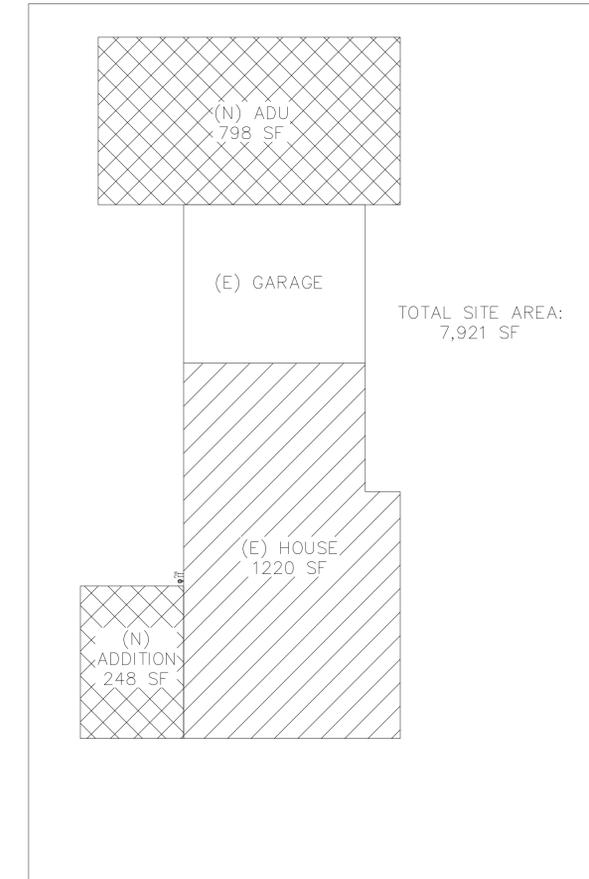
APPLICABLE CODES:
- 2022 California Residential, Green Building, Electrical, Plumbing, Mechanical & Fire Codes
- 2022 California Energy Efficiency Standards
- City Municipal Codes
- 2023 LACO Building Code Amendments

DESIGNER:
FINIQUE INC
886 S AZUSA AVE, CITY OF INDUSTRY, CA 91748

STRUCTURAL DESIGNER:
CHEN, YESHEN JASON
(626) 298-9899
20601 ALDA CT, WALNUT, CA 91789

ENERGY CONSULTANT:
PERFECT DESIGN
2416 W VALLEY BLVD,
ALHAMBRA, CA 91803

CONTACT:
FISCHER YU
(909)203-7577
FISCHER2276@GMAIL.COM
590 W CENTRAL AVE, #J, BREA, CA 92821



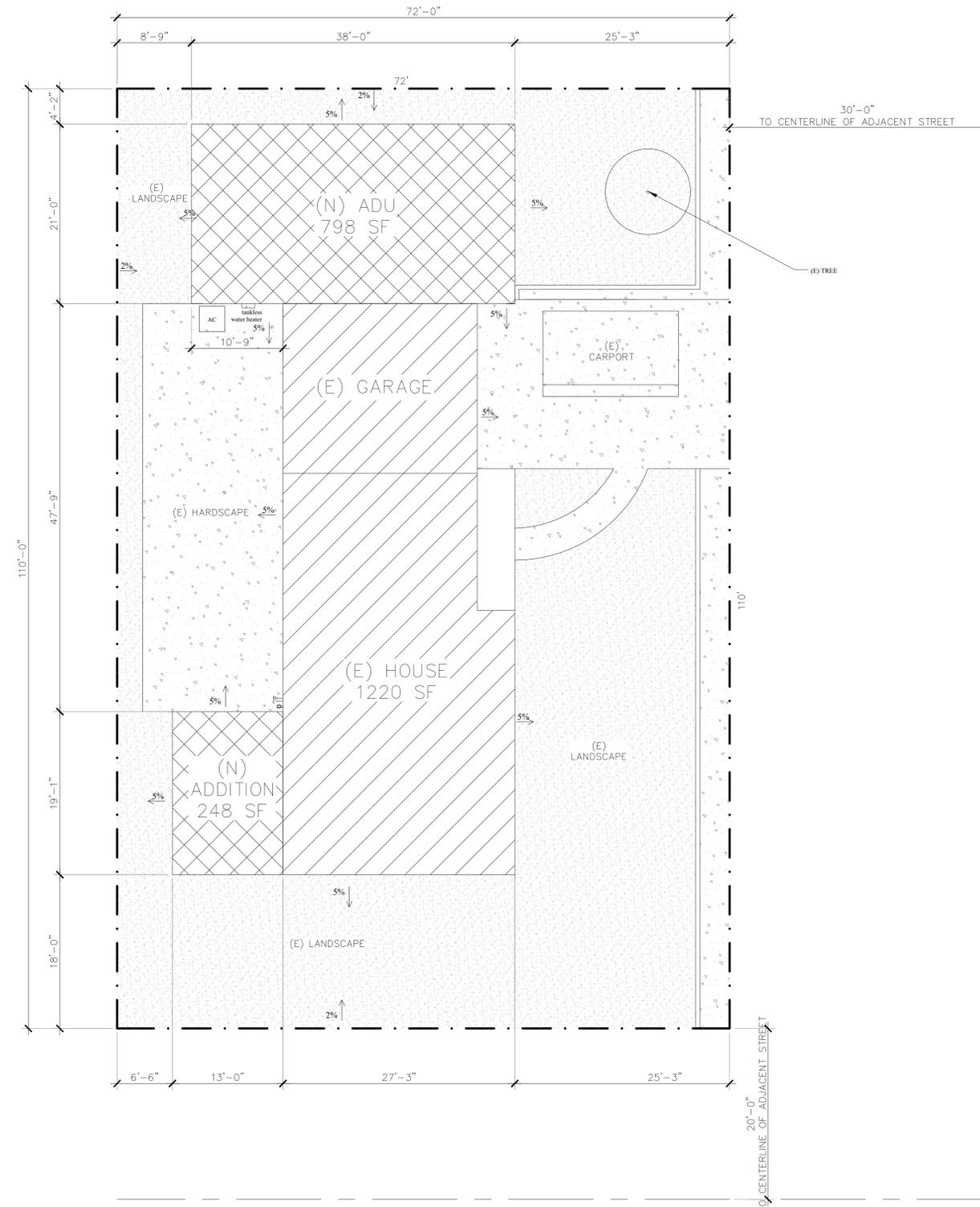
TOTAL SITE AREA = 7,921 SF

EXISTING HOUSE AREA = 1,220 SF

NEW ADDITION AREA TO MAIN HOUSE : 248 SF

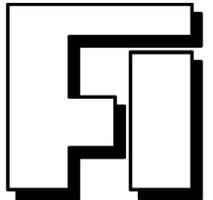
NEW ADU AREA = 798 SF

TOTAL FAR = (1,220 + 248) / 7,921 = 18.3%



PROPOSED SITE PLAN

SCALE 1/8"=1' 1



909.234.7577
finique909@gmail.com
886 S Azusa Ave, City of Industry, CA 91748

PROJECT:
CAMPBELL HOUSE
(ADDITION & ATTACHED ADU)
1203 HAZEL AVE
CAMPBELL, CA 95008

SHEET CONTENT:

SITE PLAN / VICINITY MAP / PROJECT SUMMARY

NO.	REVISION	DATE
1	PLANNING	11/16/24

DESIGNER SIGNATURE

PROJECT NO:

DATE:
9/11/2024

SCALE:
1/8"=1'

A
Architectural

A-0.0

CODE DATA

SCALE N.I.S. 4

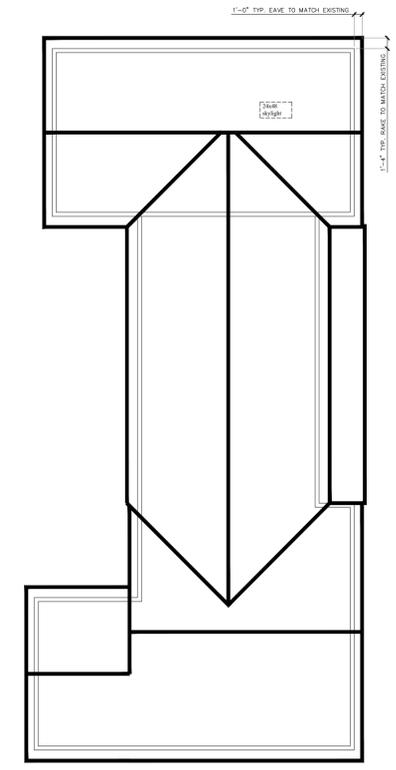
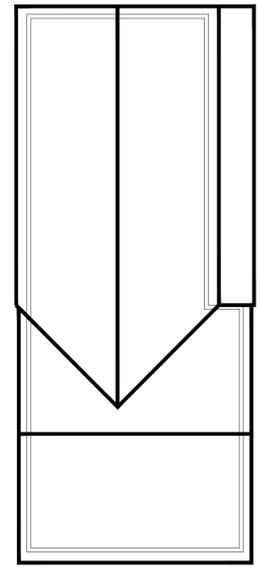
CONTACT

SCALE N.I.S. 3

FLOOR AREA DIAGRAM

SCALE 2

- 1 NOT USED 11
- 2 (N) CLASS A ROOFING DOUBLE UNDERLAYMENT SHINGLE ROOF MATCH EXISTING 12
- 3 NOT USED 13
- 4 NEW EXTERIOR STUCCO TO MATCHING EXISTING 14
- 5 NEW HORIZONTAL SIDING TO MATCHING EXISTING 15
- 6 NEW WINDOWS AND DOORS 16
- 7 NOT USED 17
- 8 NEW GABLE VENTS 18
- 9 NEW FOAM TRIM AROUND WINDOWS & DOORS TO MATCH EXISTING 19
- 20 20



MATERIAL SPECIFICATIONS

SCALE N/A 12

VENT CALCULATION

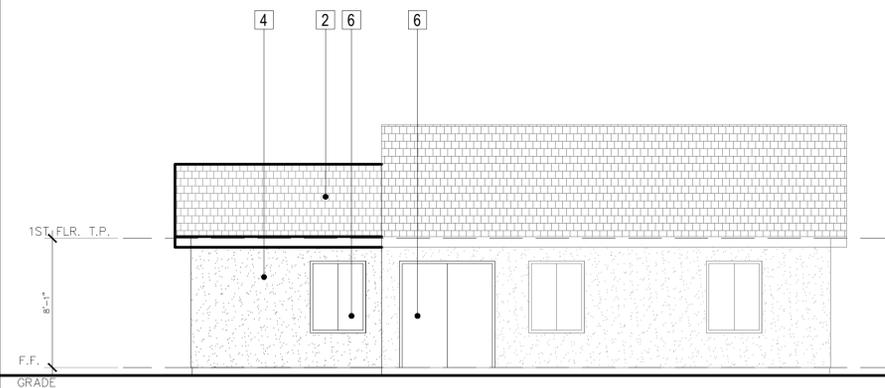
SCALE N/A 11

EXISTING ROOF PLAN

SCALE 3/32"=1' 10

PROPOSED ROOF PLAN

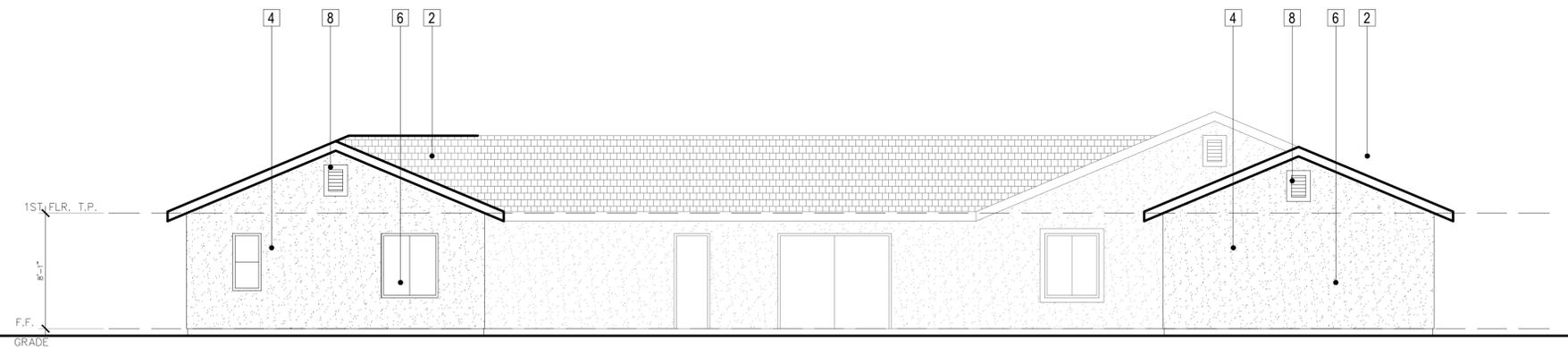
SCALE 3/32"=1' 9



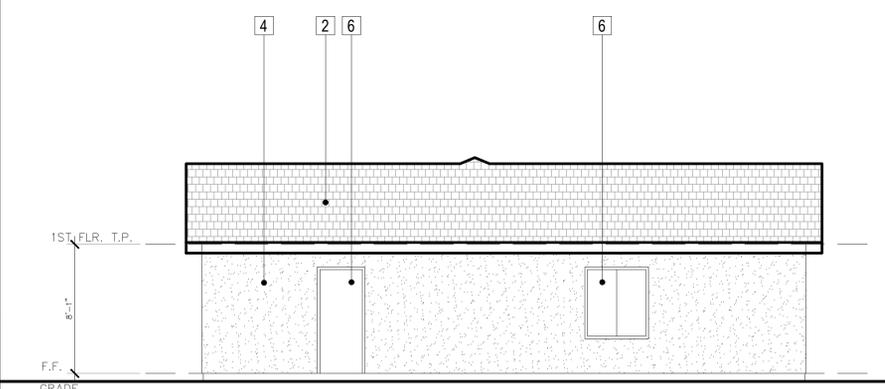
LEFT ELEVATION

SCALE 3/16"=1' 4

FRONT ELEVATION



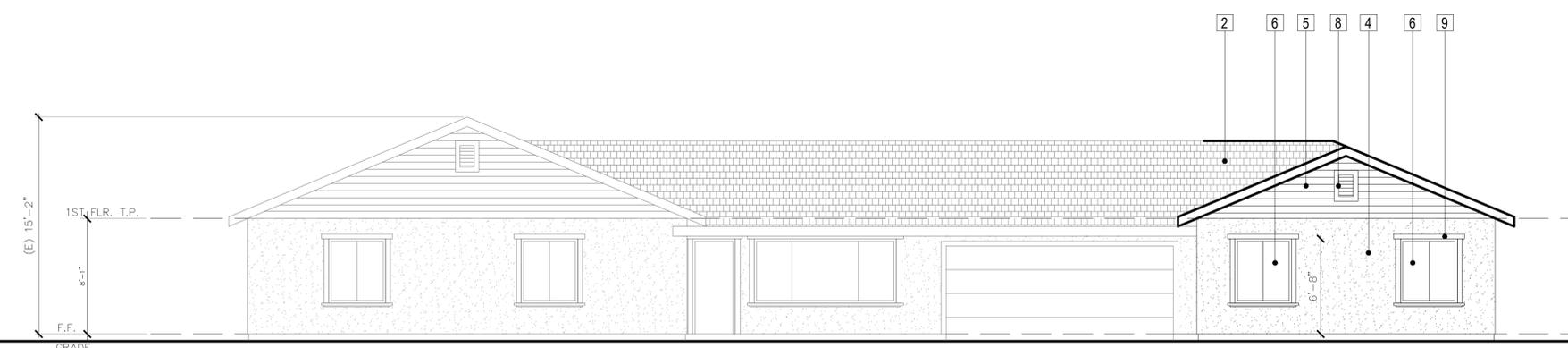
SCALE 3/16"=1' 3



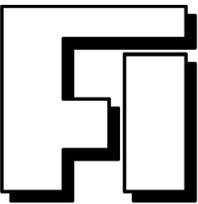
LEFT ELEVATION

SCALE 3/16"=1' 2

FRONT ELEVATION



SCALE 3/16"=1' 1



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PROJECT:
**CAMPBELL HOUSE
 (ADDITION & ATTACHED ADU)**
 1203 HAZEL AVE
 CAMPBELL, CA 95008

SHEET CONTENT:

- ELEVATION
- MATERIAL SPEC
- ROOF PLAN
- VENT CALCULATION

NO.	REVISION	DATE
1	PLANNING	11/16/24

DESIGNER SIGNATURE

PROJECT NO:

DATE:
 9/11/2024

SCALE:
 1/8"=1'

A
 Architectural

A-2.0