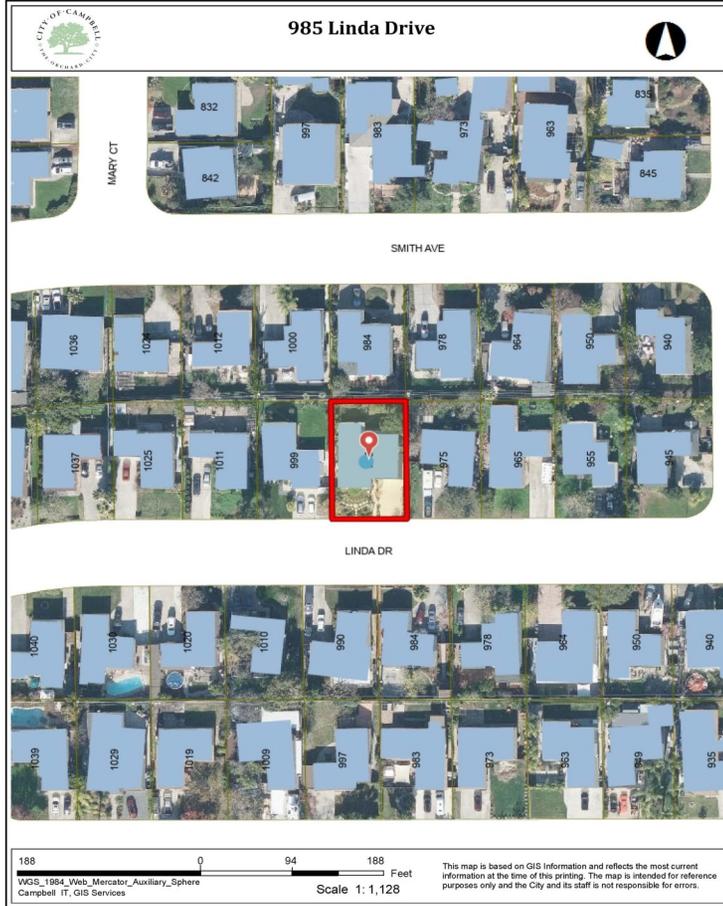
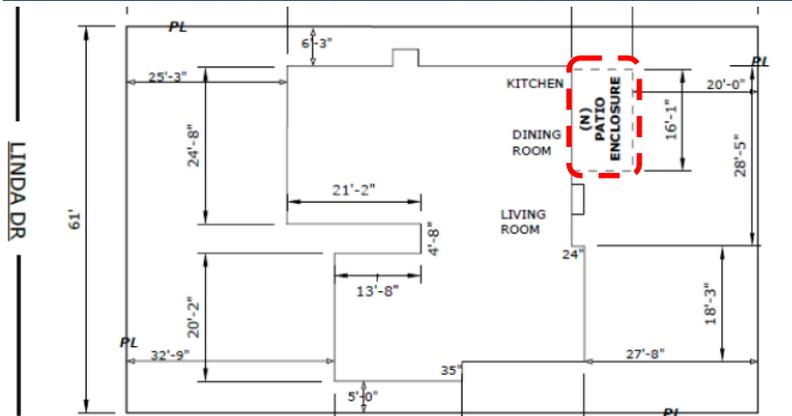


## Location of Proposed Project




City of Campbell  
70 North First Street  
Campbell, CA 95008 –1423

## Project Image



# Courtesy Notice

Dear Campbell Resident,

November 5, 2024

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

**Project Address:** 985 Linda Dr

**Zoning | Area Plan:** R-1-6 | STANP

**Neighborhood Association(s):** N/A

**Council District:** 5

**File No.:** PLN-2024-153

**APN:** 406-05-020

**Applicant:** Vincent Muccilli, GDM CONSTRUCTION + DESIGN INC.

**Property Owner:** ShinKai Chen

**Application Type:** Administrative Site and Architectural Review

**Project Planner:** Ishwarya, Planning Technician

**Email Contact:** [ishwarya@campbellca.gov](mailto:ishwarya@campbellca.gov)

**Phone Contact:** (408) 866-2163

**Project Description:**

To allow the addition of a 155 square feet patio enclosure to the rear of an existing single-story, single-family dwelling.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

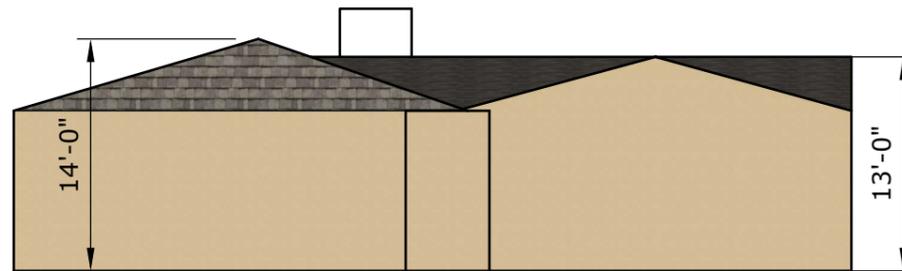
**Note:** Applications may change after initial application submittal. To view the project plans, please scan the QR code.

\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traducción en Español

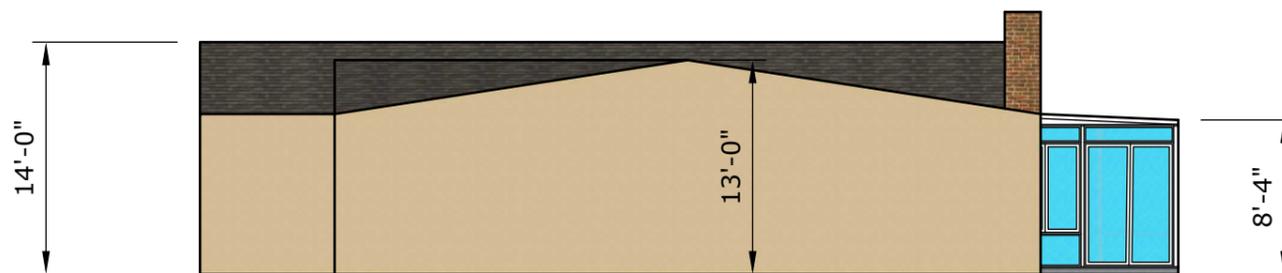




NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



# BUILDING ELEVATIONS

SCALE: 1/8" = 1'-0"

**NOTE:**  
NO EGRESS WINDOW WILL BE WITHIN THE PROJECT AREA OF THE PROPOSED PATIO ENCLOSURE.



GDM CONSTRUCTION + DESIGN INC.  
5893 WINFIELD BLVD  
SAN JOSE, CA. 95123  
408.656.0551  
CA.LIC # 1027191  
EXP: 04/30/25

SHINKAI CHEN  
985 LINDA DR,  
CAMPBELL, CA 95008

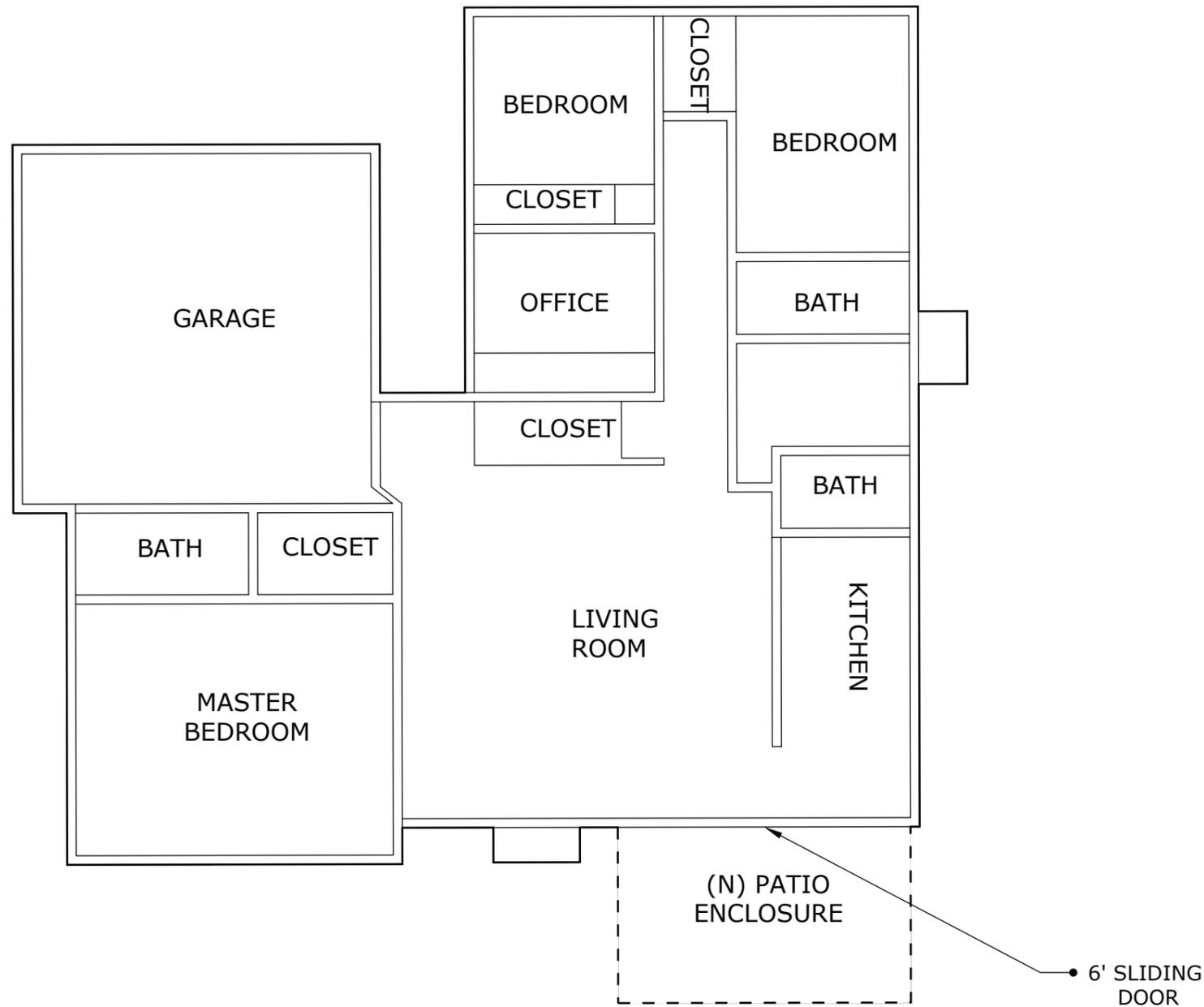
## SCOPE OF WORK:

DEMO (E) PATIO COVER 155 SF.  
INSTALL NEW SLAB. INSTALL NEW PATIO ENCLOSURE (155 SF). INSTALL ELECTRICAL OUTLETS, SWITCHES AND LIGHTS. (N) PATIO ENCLOSURE TO BE UNCONDITIONED/NON-HABITABLE.

## DATA TABLE:

LOT: 6,100 SF  
EXISTING SF: 1,987 SF, 32.57%  
NEW SF: 155 SF, 2.54%  
PROPOSED SF:  
2,142 SF, 35.11%





GDM CONSTRUCTION + DESIGN INC.  
 5893 WINFIELD BLVD  
 SAN JOSE, CA. 95123  
 408.656.0551  
 CA.LIC # 1027191  
 EXP: 04/30/25

SHINKAI CHEN RESIDENCE  
 985 LINDA DR,  
 CAMPBELL, CA 95008

**SCOPE OF WORK:**

DEMO (E) PATIO COVER 155 SF.  
 INSTALL NEW SLAB. INSTALL NEW  
 PATIO ENCLOSURE (155 SF). INSTALL  
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 TO BE UNCONDITIONED/NON-  
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**DATA TABLE:**

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 2,142 SF, 35.11%

**FLOOR PLAN**

SCALE: 1/8" = 1'-0"

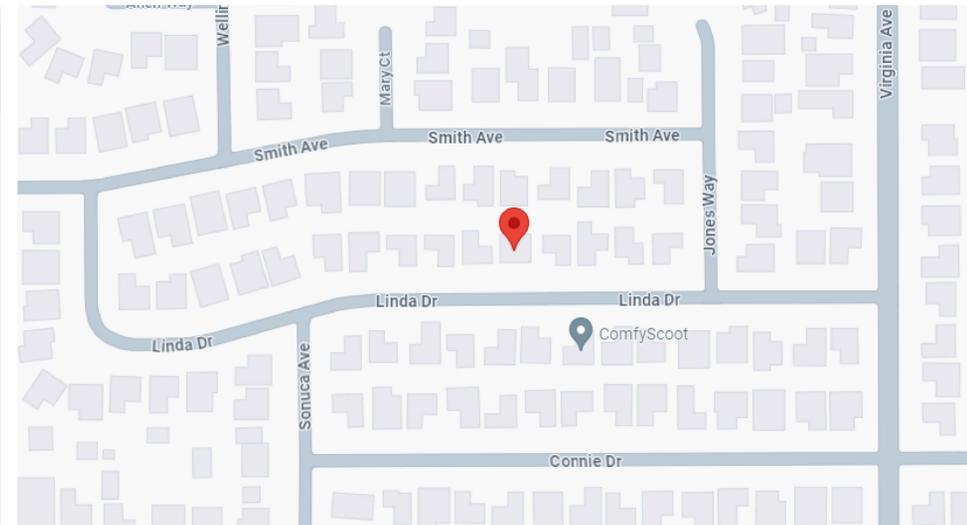
NOTE:  
 NO EGRESS WINDOW WILL  
 BE WITHIN THE PROJECT AREA OF  
 THE PROPOSED PATIO ENCLOSURE.



## GENERAL NOTES

- A. WOOD:**  
 ALL LUMBER ON OR BELOW GRADE, WITHIN 18" OF FINISHED GRADE SHALL OR DIRECTLY BEARING ON CONCRETE OR MASONRY SHALL BE ACQ PRESSURE TREATED DOUGLAS FIR #2 GRADE PER SECTION R323  
 ALL LUMBER ABOVE GRADE (NON-DECKING) SHALL BE DOUGLAS FIR #2 GRADE  
 ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 GRADE OR EQUIVALENT  
 WOOD STRUCTURAL PANELS SHALL BE 1/2" MIN. THICKNESS, EXPOSURE 1 STRUCTURAL SHEATHING  
 ROOF SHEATHING SHALL BE A MINIMUM OF 1/2" EXTERIOR PLYWOOD OR BETTER  
 PROVIDE DIELECTRIC SEPARATION FOR ALL INSTANCES WHERE ALUMINUM COMES INTO CONTACT WITH PRESSURE TREATED WOOD  
 SOIL BEARING PRESSURE SHALL BE ASSUMED TO BE A MINIMUM OF 1500 PSF
- WARNING:** DRILLING, SAWING, SANDING OR MACHINING WOOD PRODUCTS GENERATES WOOD DUST, A SUBSTANCE KNOWN TO CAUSE CANCER. AVOID INHALING WOOD DUST, OR USE A DUST MASK OR OTHER SAFEGUARDS FOR PERSONAL PROTECTION.
- B. CONCRETE:**  
 ALL CONCRETE GRADE BEAMS AND FOOTING SHALL BE 2500 PSI MIN, 12"x12" DIMENSIONS  
 ALL CONCRETE FILLED SUPPORTED SLABS SHALL BE 2500 PSI MIN., 4" MIN. THICKNESS  
 ALL SLABS ON GRADE SHALL BE 4" THICK WITH 6 MIL VAPOR BARRIER  
 REBAR MAT TO BE #3 AT 18" O.C. EACH WAY AND SHALL BE 2" BELOW SLAB GRADE SURFACE  
 ALL REINFORCING SHALL BE GRADE 50 (50 KSI MIN.) DEFORMED BARS, #3 BARS MAY BE GRADE 40  
 ALL OVER POUR CONCRETE FILLED SUPPORTED SLABS SHALL BE 2500 PSI MIN., 2" MIN. THICKNESS  
 SOIL BEARING PRESSURE SHALL BE ASSUMED TO BE A MINIMUM OF 1500 PSF
- C. ALUMINUM**  
 ALL STRUCTURAL ALUMINUM CONFORMS TO THE MINIMUM REQUIREMENTS OF 6005-T5 FOR ALLOY AND TEMPER  
 EXCEPT AS NOTED BELOW:  
 ALL CLIPS ARE 6063-T5  
 12 RIDGE BEAM IS 6063-T6  
 CORNER COLUMN IS 6063-T6  
 H-COLUMN IS 6105-T5  
 ALL STRUCTURAL ALUMINUM WORK CONFORMS TO "PART I-A - SPECIFICATIONS FOR ALUMINUM STRUCTURES - ALLOWABLE STRESS DESIGN" OF THE ALUMINUM ASSOCIATION, INC. SEVENTH EDITION, EFFECTIVE JANUARY 2000  
 IN ALL INSTANCES WHERE ALUMINUM COMES INTO CONTACT WITH STEEL, OR PRESSURE TREATED LUMBER PROVIDE DIELECTRIC SEPARATION  
 ALL ALUMINUM MUST NOT HAVE DIRECT CONTACT WITH CONCRETE.  
 ALL FLASHING SHALL BE CORROSIVE RESISTANT IN ALL AREAS IN ACCORDANCE WITH SECTION R905.2.8
- D. GLASS**  
 GLASS UNITS CONSISTS OF TWO PANES OF 1/8" THICK TEMPERED GLASS WITH A 5/8" STAINLESS STEEL SPACER BETWEEN PANES WITH AN ARGON FILL PER SECTION 308  
 GLASS CONFORMS TO ASTM E1300.  
 ALL CLEAR ARGON ROOF GLASS HAS THE FOLLOWING MINIMUM PROPERTIES: \*  
 ASHRAE WINTER U VALUE = .25  
 ASHRAE WINTER R VALUE = 4.0  
 \*AS PER FOUR SEASONS SUNROOMS GLASS SPECIFICATIONS
- E. ROOF AND SOLID WALL PANELS**  
 ALUMINUM PANEL SKIN IS ALLOY 3105-H14/H25 AND IS 0.024" THICK MIN.  
 OSB PANEL SKIN IS 7/16" THICK MIN.  
 PANEL CORE FOAM IS PREFORMED EXPANDED POLYSTYRENE BOARD (EPS), WITH A NOMINAL DENSITY OF 1.0 POUNDS PER CUBIC FOOT UNLESS OTHERWISE NOTED  
 PANEL COMPONENTS ARE BONDED TOGETHER BY MORAD M-640 SERIES  
 THE 4" THICK, 0.024" ALUMINUM SKIN, 1.5PCF FOAM DENSITY PANELS MEET THE CONDITIONS OF ACCEPTANCE COMPLYING WITH UL1715.  
 PANELS HAVE THE FOLLOWING MINIMUM PROPERTIES:  
 3" ALUMINUM SKIN (1.0 PCF FOAM DENSITY): U-VALUE = 0.080; R-VALUE = 12.51  
 4" ALUMINUM SKIN (1.5 PCF FOAM DENSITY): U-VALUE = 0.05; R-VALUE = 19.1
- F. SEALANT**  
 ALL SEALANT CONFORMS TO TT-S-001543-A, TT-S-002306, ASTM C-920 TYPE S, GRADE NS, CLASS 25.
- G. GASKETS**  
 ALL GASKETS ARE CO-EXTRUDED AND ARE NON-MIGRATORY.
- H. FASTENERS**  
 LAG BOLTS SHALL CONFORM TO STAINLESS STEEL TYPE 300 18-8, WITH STANDARD FLAT WASHER UNLESS MANUFACTURER GALVANIZED BOLTS SPECIFICS FOR USE WITH ACQ PRESSURE TREATED WOOD  
 LAG BOLTS SHALL HAVE A MINIMUM EMBEDMENT OF 6x BOLT DIAMETER INTO STRUCTURAL FRAMING (G= .42 MIN.)  
 LAG BOLTS AND SCREWS INTO WOOD FRAMING SHALL BE PROVIDED WITH PILOT HOLES HAVING A DIAMETER NOT GREATER THAN 70 PERCENT OF THE THREAD DIAMETER OF THE BOLT OR SCREW.  
 LAG BOLTS AND SCREWS SHALL BE INSERTED IN PILOT HOLES BY TURNING AND UNDER NO CIRCUMSTANCES BY DRIVING WITH A HAMMER.  
 HEX BOLTS HAS BE ASTM A325, PLATED WITH STANDARD FLAT WASHERS AND NUTS  
 METAL TIES AND ACCESSORIES SHALL BE HOT DIPPED GALVANIZED  
 FASTENERS CONNECTING ALUMINUM COMPONENTS OR PRESSURE TREATED LUMBER ARE STAINLESS STEEL TYPE 300 18-8 UNLESS MANUFACTURER GALVANIZED BOLTS SPECIFICS FOR USE WITH ACQ PRESSURE TREATED WOOD  
 FASTENERS SHALL COMPLY WITH ASTM A153  
 CONNECTORS SHALL COMPLY WITH ASTM A653 CLASS G-185
- I. SITE PREPARATION**  
 ALL FOUNDATION SYSTEMS MUST BE IN PLACED ON CLEAN, COMPACTED, TERMITE-TREATED FILL/SOIL WITH VAPOR BARRIER IF EXISTING FOUNDATION IS TO REMAIN, FOOTING AND SLAB MUST BE VERIFIED AS ADEQUATE PER ENGINEERING DOCUMENTATION  
 IF EXISTING FOUNDATION HAS ADEQUATE FOOTING AND SLAB, DRILL (12" O.C.) AND TRENCH WITHOUT UNDERCUTTING FOOTING TO PROVIDE TERMITE-TREATMENT AS REQUIRED. EPOXY PATCH ALL OPENINGS.
- J. REFERENCE STANDARDS:**  
 ASTM E 119; ASTM E 1300; ASCE 7
- K. DESIGN LOADS**  
 THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH, AND MEETS THE REQUIREMENTS OF THE 2022 C.R.C., 2022 C.P.C., 2022 C.E.C., 2022 C.M.C., 2022 C.F.C., 2022 CALIFORNIA ENERGY CODE, 2022 C.G.B.C., 2021 I.R.C., AND ASCE 7-16 ALONG WITH ANY OTHER STATE AND LOCAL ORDINANCES AND REGULATIONS
- |   |   |
|---|---|
| <b>DEAD LOAD:</b><br>NEW ENCLOSURE WALLS: 5 PSF<br>NEW ENCLOSURE ROOF: 5 PSF<br>FLOOR: 10 PSF   | <b>LIVE LOAD:</b><br>ROOF: 10 PSF<br>EXTERIOR DECK, LANDING, STAIRS: 60 PSF<br>FLOOR: 40 PSF  |
| <b>WIND LOAD:</b><br>BASIC WIND SPEED: 95 MPH<br>WIND EXPOSURE CATEGORY: B<br>VELOCITY PRESSURE EXPOSURE COEFFICIENT: 0.7<br>DESIGN WIND PRESSURE:<br>WALL: 16 PSF (MIN.)<br>ROOF (UPLIFT): 16 PSF (MIN.) | <b>SEISMIC LOAD:</b><br>SEISMIC RESPONSE SPECTRAL ACC. S1 = 0.741g; Ss=2.071g<br>SITE CLASS: D<br>DESIGN SPECTRAL ACCELERATION PARAMETERS, SDS = 1.657<br>LATERAL RESISTING SYSTEM: UNIDENTIFIED SPACE FRAME<br>RESPONSE MODIFICATION COEFFICIENT, R = 2.0 (WORST CASE)<br>SEISMIC RESPONSE COEFFICIENT, Cs = 0.829 |
- L. RESPONSIBILITY**  
 ALUMINUM ENCLOSURES ARE NOT TO BE INSTALLED ON A MANUFACTURED HOME, TRAILER HOME, OR PRE-FAB HOME. IF THE EXISTING STRUCTURE IS ONE OF THESE, A SEPARATE SUPPORT SYSTEM MUST BE ENGINEERED SO THAT NO ADDITIONAL LOADING IS PLACED ON THE STRUCTURE.  
 ALL SITE WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN ACCORDANCE WITH APPLICABLE BUILDING CODES, LOCAL ORDINANCES, ETC.  
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS, NOTIFYING ENGINEER OF ANY DISCREPANCIES BETWEEN DRAWINGS, FABRICATED ITEMS, OR ACTUAL FIELD CONDITIONS  
 THESE DRAWINGS REPRESENT THE ACCEPTABILITY OF THE ENCLOSURE ELEMENTS AS PROVIDED BY THE CONTRACTOR  
 ALL DETAILS ON THESE DRAWINGS ARE ENGINEERED BASED ON INFORMATION PROVIDED BY THE CONTRACTOR  
 ALL ELECTRICAL PLANS ARE SCHEMATIC ONLY. THESE PLANS REPRESENT THE DESIGN INTENT FOR ITEM LOCATIONS.  
 ADDITIONAL INFORMATION, IF REQUIRED, SHALL BE PROVIDED BY A LICENSED ELECTRICAL SUBCONTRACTOR  
 ANY DETAILS NOT SHOWN ARE TO BE ENGINEERED IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICES  
 REFER TO FOUR SEASONS SHOP DRAWINGS FOR FURTHER DETAILS

NEW FOUR SEASONS CATEGORY III UNCONDITIONED, NON-HABITABLE PATIO ENCLOSURE 230 SERIES LEAN-TO UNIT CONSTRUCTION TYPE: VB; OCCUPANCY GROUP: R-3/U NO FIRE SPRINKLERS EXISTING; 1-STORY PATIO ENCLOSURE, 2-STORY EXISTING HOUSE		
<b>SCOPE OF WORK:</b> DEMO EXISTING PATIO COVER (155 SQFT) INSTALL NEW SLAB INSTALL NEW PATIO ENCLOSURE (155 SQFT) INSTALL ELECTRICAL OUTLETS, SWITCHES, LIGHTS		
<b>PROJECT SUMMARY TABLE:</b>		
NET LOT AREA:	6100 SQFT	
	EXISTING	PROPOSED
GARAGE		
FIRST FLOOR	1987 SQFT	1987 SQFT
SECOND FLOOR		
PATIO ENCLOSURE		155 SQFT (NEW)
LOT COVERAGE:	1987 SQFT	2142 SQFT
LOT COVERAGE (%):	32.57%	35.11%
<b>SETBACKS:</b>		
FRONT 1ST STORY	25 FT 3 IN	25 FT 3 IN
REAR 1ST STORY	27 FT 8 IN	20 FT 0 IN
RIGHT SIDE 1ST STORY	5 FT 0 IN	5 FT 0 IN
LEFT SIDE 1ST STORY	6 FT 3 IN	6 FT 3 IN
<b>SPECIFIC EXTERIOR MATERIALS (COLORS):</b>	EXISTING	PROPOSED
SIDING:	STUCCO (WHITE)	ALUMINUM (WHITE), GLASS
TRIM:	WOOD (BROWN)	ALUMINUM (WHITE)
ROOF:	COMP SHINGLES (BROWN)	ALUMINUM (WHITE), GLASS



## VICINITY MAP

APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE AN APPROVAL TO VIOLATE ANY BUILDING CODES, CITY ORDINANCES OR OTHER PERTINENT LAWS. THESE APPROVED PLANS MUST BE MADE AVAILABLE TO THE CHIEF BUILDING OFFICIAL OR ANY OF HIS AUTHORIZED REPRESENTATIVES DURING THE WORK APPROVED BY HIS APPROVAL.

UPON ISSUANCE OF A PERMIT THE PERMITEE AGREES THAT ALL WORK SHALL COMPLY WITH THE LATEST EDITIONS OF THE CALIFORNIA CODES AS AMENDED AND ADOPTED BY THE CITY.

IT IS THE APPLICANT'S RESPONSIBILITY TO REPLACE ALL NON-CONFORMING PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES. COMPLIANT PLUMBING IS: ANY TOILET NO MORE THAN 1.2GAL PER FLUSH AND SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATER SENSE SPECIFICATION FOR TANK TYPE TOILETS.  
 ANY SHOWER WITH A FLOW RATE NO MORE THAN 1.8GAL PER MINUTE AT 80 PSI AND SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATER SENSE SPECIFICATION FOR SHOWERHEADS.  
 ANY LAVATORY FAUCETS WITH A FLOW RATE NO MORE THAN 1.2GAL PER MINUTE AT 60 PSI AND NO LESS THAN 0.8 GAL PER MINUTE AT 20 PSI.

**FIRE:** NO FIRE SPRINKLERS. ANY CHANGES OR ADDITIONS OF A FIRE SPRINKLER WOULD REQUIRE A SEPARATE FIRE SPRINKLER PERMIT.  
 SMOKE DETECTOR AND CARBON MONOXIDE ALARMS ARE REQUIRED PER CRC 314, CRC 315.  
 FIRE DEPARTMENT ACCESS ROADWAY MUST BE PROVIDED AND MAINTAINED SERVICEABLE PRIOR TO AND DURING CONSTRUCTION  
 THE APPLICANT MUST IMMEDIATELY NOTIFY THE HERCULES FIRE DEPARTMENT/CONTRA COSTA FIRE, HAZARDOUS MATERIALS UNIT OF ANY UNDERGROUND PIPES, TANKS OR STRUCTURES; ANY SUSPECTED OR ACTUAL CONTAMINATED SOILS; OR OTHER ENVIRONMENTAL ANOMALIES ENCOUNTERED DURING SITE DEVELOPMENT ACTIVITIES. ANY CONFIRMED ENVIRONMENTAL LIABILITIES WILL NEED TO BE REMEDIATED PRIOR TO PROCEEDING WITH SITE DEVELOPMENT

- A) CALL BEFORE YOU DIG! CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR AT 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.  
 B) FINISHED GROUND SURFACES SHALL BE GRADED TO DRAIN THE FINISHED SITE PROPERLY. FINISHED GROUND SLOPE WITHIN FIVE FEET OF THE BUILDING OR STRUCTURE SHALL SLOPE AWAY AT A 5%. ALL EXTERIOR HARD SURFACES (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 2% MINIMUM SLOPE AND SHALL DRAIN AWAY FROM THE BUILDING. DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1.5% MAXIMUM ALLOWABLE GRADED SLOPE IS 3 HORIZONTAL TO 1 VERTICAL (33%)  
 C) LOT GRADING SHALL CONFORM AT THE PROPERTY LINES AND SHALL NOT SLOPE TOWARD PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORM WATER TO FLOW ONTO NEIGHBORING PROPERTY. HISTORIC DRAINAGE PATTERNS SHALL NOT BE ALTERED IN A MANNER TO CAUSE DRAINAGE PROBLEMS TO NEIGHBORING PROPERTY  
 D) NEW RAINWATER DOWNSPOUTS SHALL BE DISCONNECTED AND RUNOFF DIRECTED TO A LANDSCAPED AREA. DOWNSPOUTS MAY BE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING. "THRU-CUB" DRAINS ARE NOT ALLOWED.  
 E) A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY PROPOSED CONSTRUCTION WORK WITHIN THE CITY OF HERCULES RIGHT-OF-WAY (STREET, SIDEWALK, DRIVEWAY, ETC). THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT PRIOR TO STARTING ANY WORK WITHIN THE CITY OF HERCULES RIGHT-OF-WAY. ALL CONSTRUCTION WITHIN THE CITY OF HERCULES/ COUNTY RIGHT-OF-WAY SHALL CONFORM TO CURRENT CITY STANDARDS AND SPECIFICATIONS.  
 F) UTILITY WORK WITHIN THE CITY OF HERCULES/COUNTY RIGHT-OF-WAY WHICH IS NOT INSTALLED BY THE CONTRACTOR WILL REQUIRE A SEPARATE ENCROACHMENT PERMIT ISSUED TO THE UTILITY AGENCY PERFORMING THE WORK.  
 G) ALL CONTRACTORS AND SUBCONTRACTORS SHALL IMPLEMENT CONSTRUCTION BEST MANAGEMENT PRACTICES TO PROTECT STORM WATER QUALITY AND PREVENT POLLUTANTS FROM ENTERING THE STORM DRAIN SYSTEM. FAILURE TO IMPLEMENT AND COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, OR STOP ORDERS.

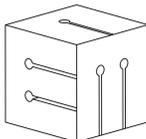
## DRAWING INDEX:

- PAGE 1: GENERAL NOTES, JOB SUMMARY, VICINITY MAP  
 PAGE 1A: SITE PLAN  
 PAGE 2: FOUNDATION PLAN, FOUNDATION DETAILS, FLOOR PLAN, ELECTRICAL LAYOUT  
 PAGE 3: ROOF PLAN, ELEVATIONS  
 PAGE 4: ENCLOSURE DETAILS

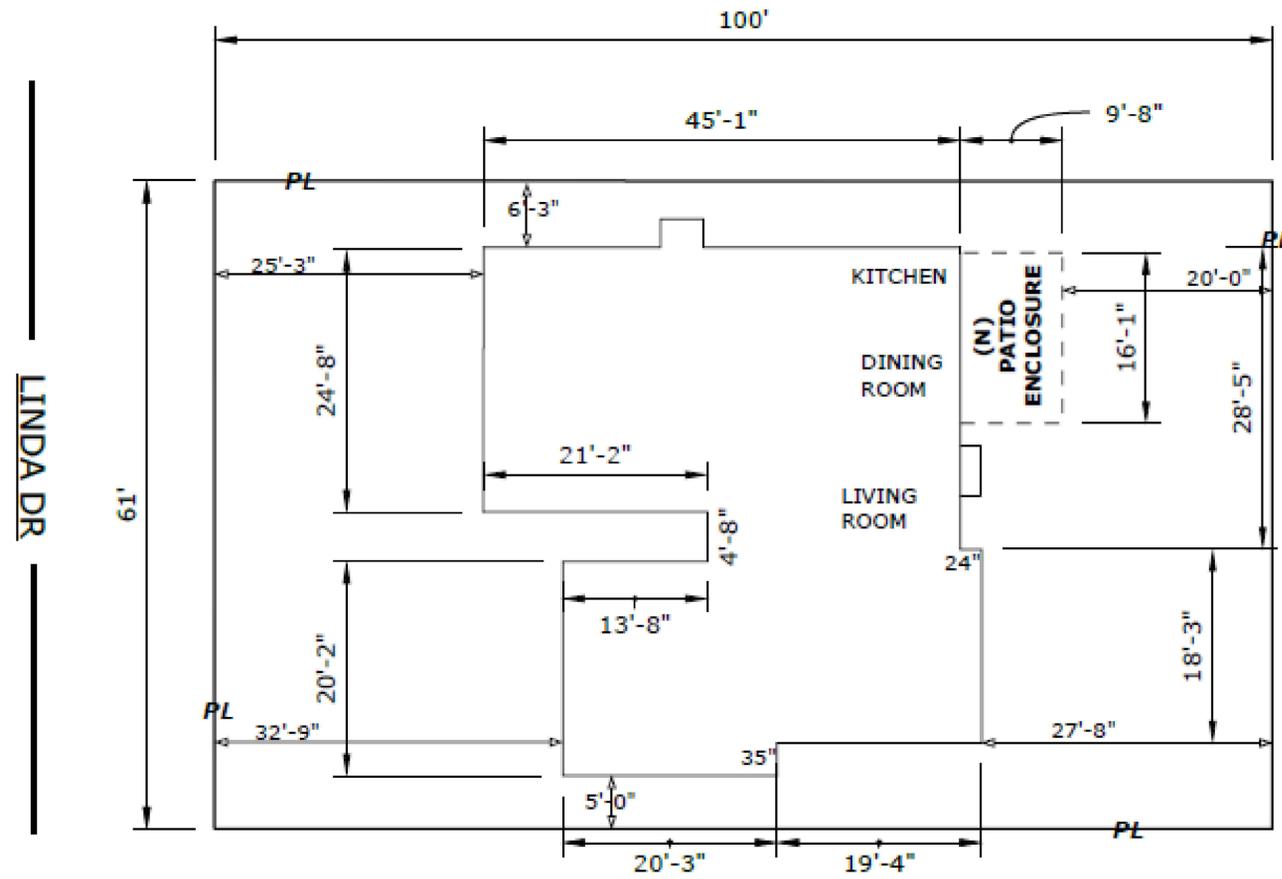


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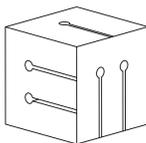
NEW FOUR SEASONS CATEGORY III  
UNCONDITIONED, NON-HABITABLE PATIO ENCLOSURE  
230 SERIES LEAN-TO UNIT  
CONSTRUCTION TYPE: VB; OCCUPANCY GROUP: R-3/U  
NO FIRE SPRINKLERS EXISTING;  
1-STORY PATIO ENCLOSURE, 2-STORY EXISTING HOUSE



**NOTE:**  
NO EGRESS WINDOW WILL  
BE WITHIN THE PROJECT AREA OF  
THE PROPOSED PATIO ENCLOSURE.

**PROPOSED PLOT PLAN**

**SCALE: 1/8" = 1'**



PROJECT NAME:	PROJECT ADDRESS:	HOMEOWNER:	CONTRACTOR:	DESIGN FIRM	PROFESSIONAL ENGINEER
CHEN RESIDENCE	985 LINDA DR. CAMPBELL, CA. 95008 APN NO.: 406-05-020	SHINKAI CHEN	GDM CONSTRUCTION 5893 WINFIELD BLVD SAN JOSE, CA. 95123 831.334.2694 CONTRACTOR: 1027191	EMC2 STRUCTURAL DESIGN LAWRENCE DUFFY 315 HOMESTEAD DR. LEBANON, PA. 17042 717.889.3622	EMC2 ENGINEERING MANAGEMENT CONSULTANTS LLC LAWRENCE DUFFY CA LICENSE NO. C 96847



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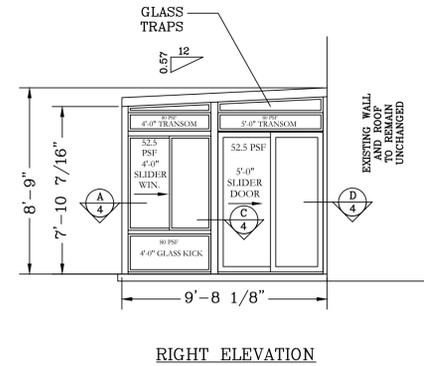
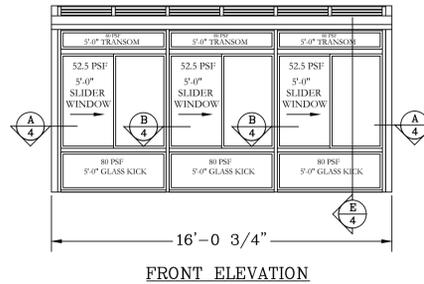
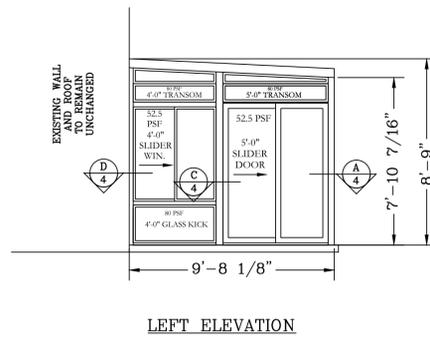
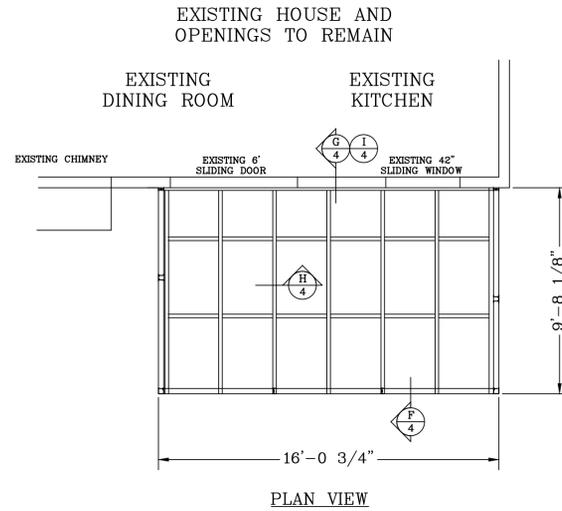


NEW FOUR SEASONS CATEGORY III  
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230 SERIES LEAN-TO UNIT  
CONSTRUCTION TYPE: VB; OCCUPANCY GROUP: R-3/U  
NO FIRE SPRINKLERS EXISTING;  
1-STORY PATIO ENCLOSURE, 2-STORY EXISTING HOUSE

**NOTES:**

- 1.- ALL CONDITIONS/DIMENSIONS TO BE VERIFIED IN THE FIELD.
- 2.- ACTUAL FILL MAY DIFFER FROM AMOUNT SHOWN.
- 3.- ALL NEW GLAZING TO BE TEMPERED AS NOTED IN THE GENERAL NOTES SECTION D ON PAGE 1

**SCALE:**  
1/4" = 1'



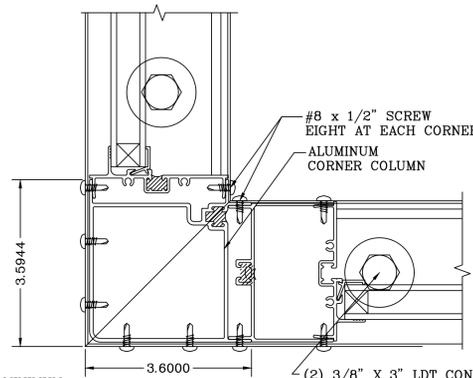
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NO FIRE SPRINKLERS EXISTING;  
1-STORY PATIO ENCLOSURE, 2-STORY EXISTING HOUSE

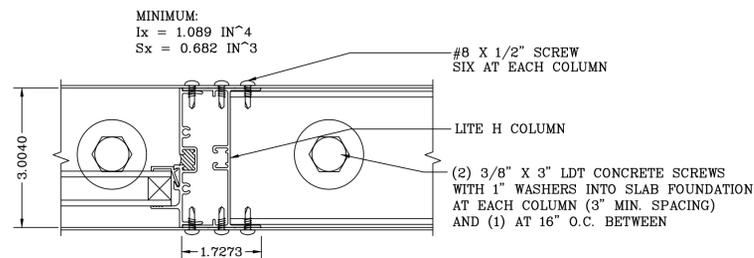


MINIMUM:  
Ix = 3.072 IN<sup>4</sup>  
Sx = 1.548 IN<sup>3</sup>

(2) 3/8" X 3" LDT CONCRETE SCREWS WITH 1" WASHERS INTO SLAB FOUNDATION AT EACH COLUMN (3" MIN. SPACING) AND (1) AT 16" O.C. BETWEEN

#8 X 1/2" SCREW EIGHT AT EACH CORNER  
ALUMINUM CORNER COLUMN

**A**  
4  
CORNER POST CONNECTION AT SILL  
NOT TO SCALE



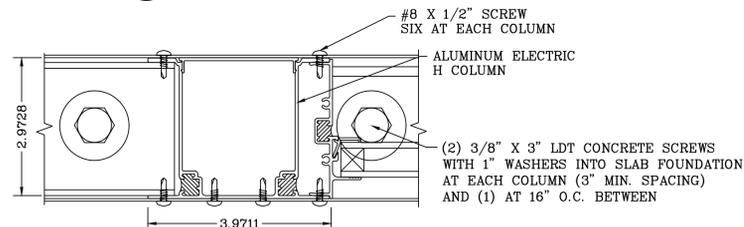
MINIMUM:  
Ix = 1.089 IN<sup>4</sup>  
Sx = 0.682 IN<sup>3</sup>

#8 X 1/2" SCREW SIX AT EACH COLUMN

LITE H COLUMN

(2) 3/8" X 3" LDT CONCRETE SCREWS WITH 1" WASHERS INTO SLAB FOUNDATION AT EACH COLUMN (3" MIN. SPACING) AND (1) AT 16" O.C. BETWEEN

**B**  
4  
H COLUMN CONNECTION AT SILL  
NOT TO SCALE



MINIMUM:  
Ix = 1.747 IN<sup>4</sup>  
Sx = 0.973 IN<sup>3</sup>

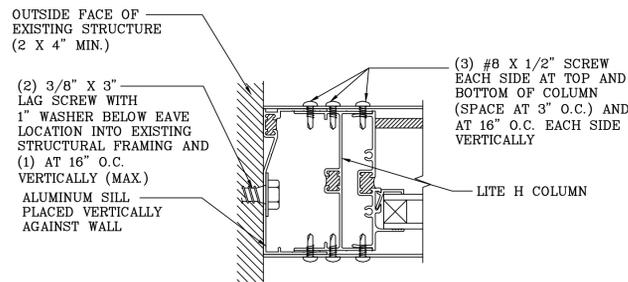
#8 X 1/2" SCREW SIX AT EACH COLUMN

ALUMINUM ELECTRIC H COLUMN

(2) 3/8" X 3" LDT CONCRETE SCREWS WITH 1" WASHERS INTO SLAB FOUNDATION AT EACH COLUMN (3" MIN. SPACING) AND (1) AT 16" O.C. BETWEEN

ALTERNATIVE TO DETAIL B/4 IF DESIRED

**C**  
4  
ELECTRIC/UTILITY H COLUMN CONNECTION AT SILL  
NOT TO SCALE



OUTSIDE FACE OF EXISTING STRUCTURE (2 X 4" MIN.)

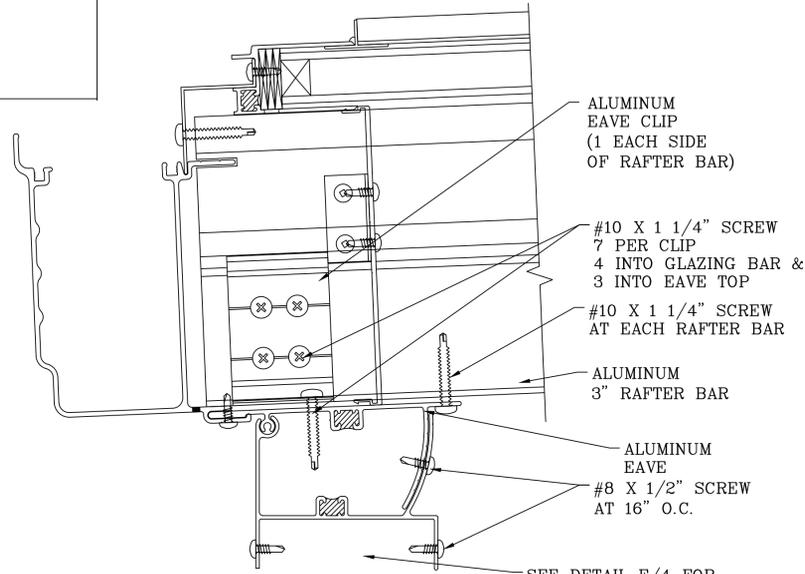
(2) 3/8" X 3" LAG SCREW WITH 1" WASHER BELOW EAVE LOCATION INTO EXISTING STRUCTURAL FRAMING AND (1) AT 16" O.C. VERTICALLY (MAX.)

ALUMINUM SILL PLACED VERTICALLY AGAINST WALL

(3) #8 X 1/2" SCREW EACH SIDE AT TOP AND BOTTOM OF COLUMN (SPACE AT 3" O.C.) AND AT 16" O.C. EACH SIDE VERTICALLY

LITE H COLUMN

**D**  
4  
GABLE ATTACHMENT TO EXISTING STRUCTURE  
NOT TO SCALE



ALUMINUM EAVE CLIP (1 EACH SIDE OF RAFTER BAR)

#10 X 1 1/4" SCREW 7 PER CLIP 4 INTO GLAZING BAR & 3 INTO EAVE TOP

#10 X 1 1/4" SCREW AT EACH RAFTER BAR

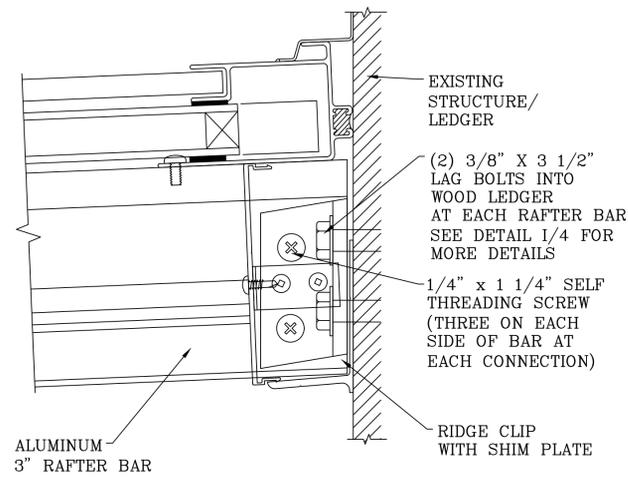
ALUMINUM 3" RAFTER BAR

ALUMINUM EAVE

#8 X 1/2" SCREW AT 16" O.C.

SEE DETAIL E/4 FOR MORE INFORMATION

**F**  
4  
ADJUSTABLE EAVE SECTION  
NOT TO SCALE



EXISTING STRUCTURE/ LEDGER

(2) 3/8" X 3 1/2" LAG BOLTS INTO WOOD LEDGER AT EACH RAFTER BAR SEE DETAIL I/4 FOR MORE DETAILS

1/4" X 1 1/4" SELF THREADING SCREW (THREE ON EACH SIDE OF BAR AT EACH CONNECTION)

RIDGE CLIP WITH SHIM PLATE

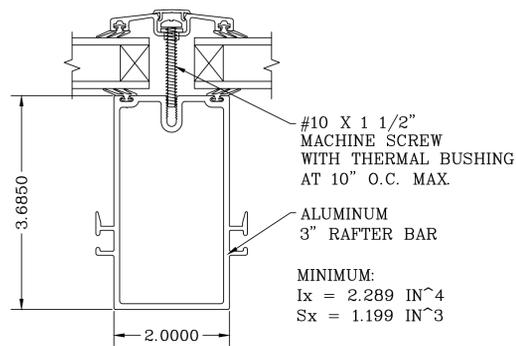
ALUMINUM 3" RAFTER BAR

MINIMUM:  
Ix = 2.289 IN<sup>4</sup>  
Sx = 1.199 IN<sup>3</sup>

#10 X 1 1/2" MACHINE SCREW WITH THERMAL BUSHING AT 10" O.C. MAX.

ALUMINUM 3" RAFTER BAR

**G**  
4  
RIDGE SECTION  
NOT TO SCALE



ALUMINUM EAVE

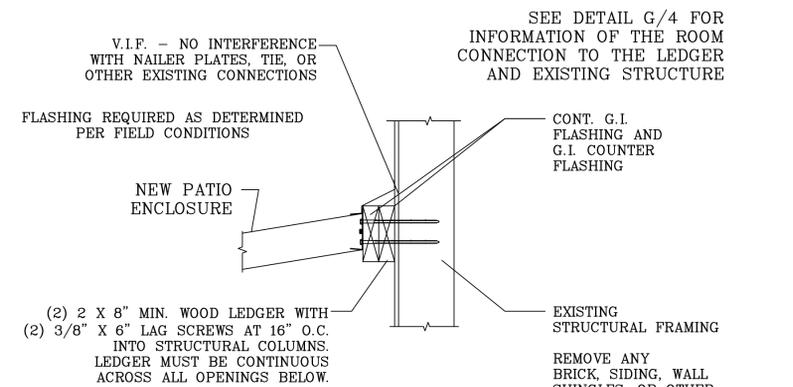
#8 X 1/2" TEK SCREW AT 16" O.C. INSIDE AND OUTSIDE (TYP.)

SEE DETAILS A, B, C ON PAGE 4 FOR CONNECTION INFORMATION

SEE PAGE 2 FOR FOUNDATION INFORMATION

2 1/2" MIN.

**H**  
4  
3" RAFTER BAR SECTION  
NOT TO SCALE



V.I.F. - NO INTERFERENCE WITH NAILER PLATES, TIE, OR OTHER EXISTING CONNECTIONS

FLASHING REQUIRED AS DETERMINED PER FIELD CONDITIONS

NEW PATIO ENCLOSURE

CONT. G.I. FLASHING AND G.I. COUNTER FLASHING

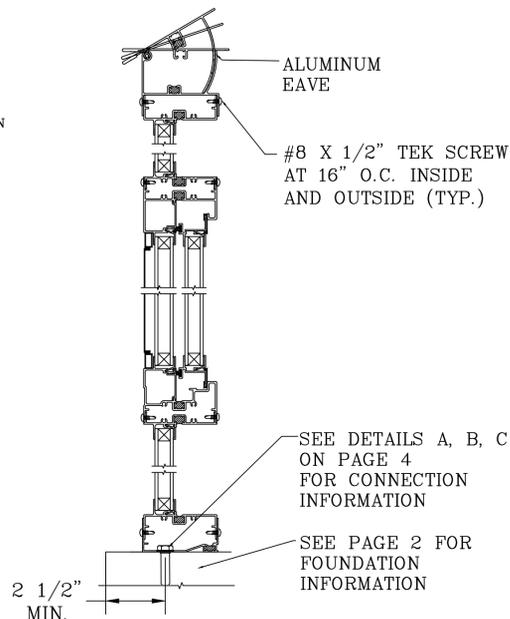
EXISTING STRUCTURAL FRAMING

REMOVE ANY BRICK, SIDING, WALL SHINGLES, OR OTHER FACADE SO THAT THE LEDGER WILL ATTACH DIRECTLY TO THE FRAMING

(2) 2 X 8" MIN. WOOD LEDGER WITH (2) 3/8" X 6" LAG SCREWS AT 16" O.C. INTO STRUCTURAL COLUMNS. LEDGER MUST BE CONTINUOUS ACROSS ALL OPENINGS BELOW.

SEE DETAIL G/4 FOR INFORMATION OF THE ROOM CONNECTION TO THE LEDGER AND EXISTING STRUCTURE

**I**  
4  
TYP STRAIGHT EAVE CONNECTION DETAIL AT EXIST STRUCTURE  
NOT TO SCALE



**E**  
4  
GLASS KICKS - WINDOW SECTION - GLASS TRANSOMS  
NOT TO SCALE

PROJECT NAME:	PROJECT ADDRESS:	HOMEOWNER:	CONTRACTOR:	DESIGN FIRM	PROFESSIONAL ENGINEER
CHEN RESIDENCE	985 LINDA DR. CAMPBELL, CA. 95008 APN NO.: 406-05-020	SHINKAI CHEN	GDM CONSTRUCTION 5893 WINFIELD BLVD SAN JOSE, CA. 95123 831.334.2694 CONTRACTOR: 1027191	EMC2 STRUCTURAL DESIGN LAWRENCE DUFFY 315 HOMESTEAD DR. LEBANON, PA. 17042 717.889.3622	EMC2 ENGINEERING MANAGEMENT CONSULTANTS LLC LAWRENCE DUFFY CA LICENSE NO. C 96847



DESIGN DATE:	PAGE
08-21-24	4
REV.	DATE:
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