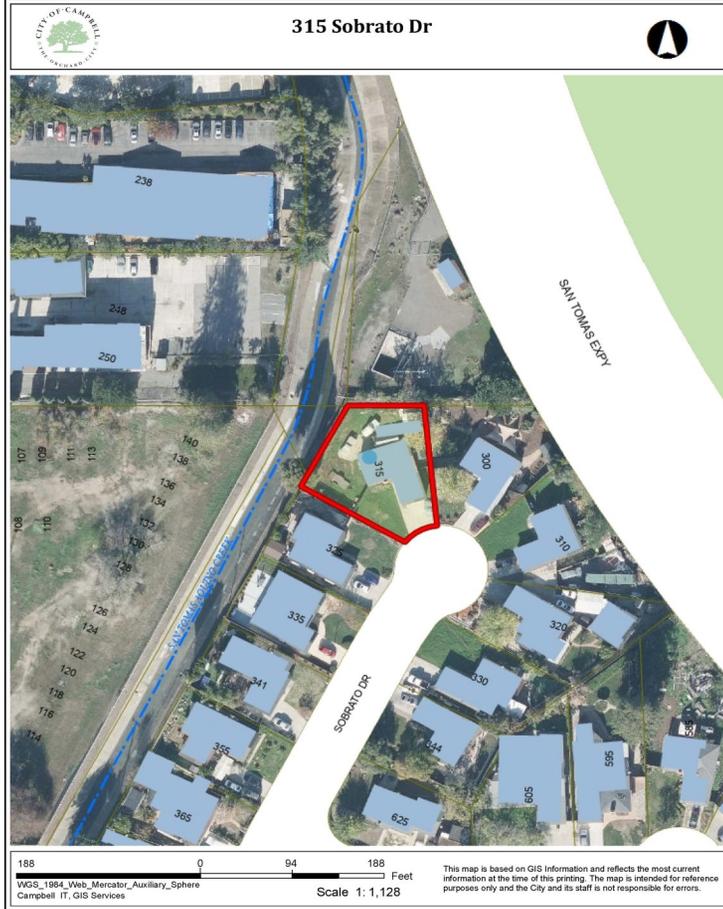
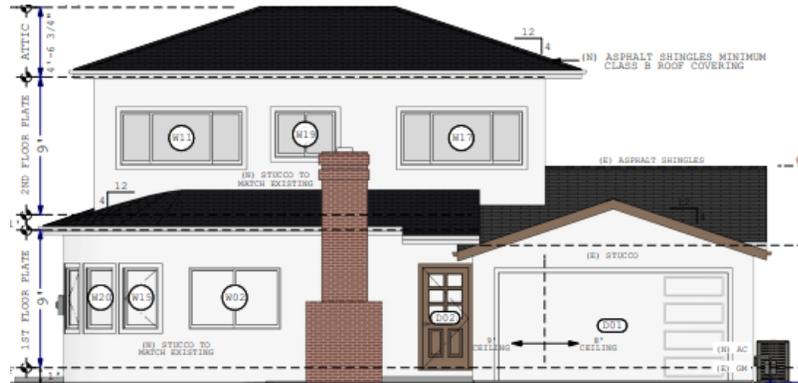


Location of Proposed Project




 City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423

Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

August 30, 2024

The Community Development Director will be rendering a decision on the following project.

Project Address: 315 Sobrato Dr

Zoning | Area Plan: R-1-6 | STANP

Neighborhood Association(s): N/A

File No: PLN-2024-52

APN: 404-25-051

Applicant: Gilbert Fernandez

Property Owner: Krishna Ubrani

Application Type: Administrative Site and Architectural Review

Project Planner: Ishwarya, Planning Technician

Email Contact: ishwarya@campbellca.gov

Phone Contact: (408) 866-2163

Project Description:

To allow an approximately 489 square-foot first floor addition and 785 square-foot second floor addition to an existing single-story residence.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **August 30, 2024**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **September 8, 2024**. The director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



315 SOBRATO DRIVE ADDITION/REMODEL

PROJECT DATA

A.P.N.	404-25-051
CONSTRUCTION TYPE:	VB
GROUP	R-3/U
LOT SIZE:	9,273 SQ. FT.
ZONING:	R-1-6 (STANP)

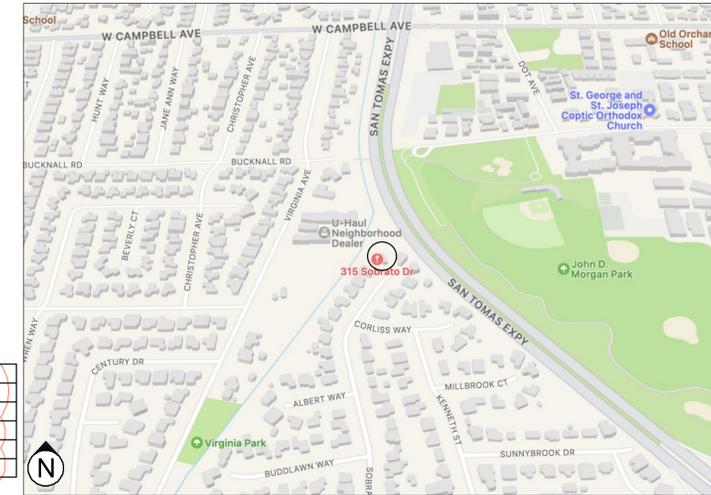
EXISTING FLOOR AREA	1,510 SQ. FT.
+ADDITION	1,254 SQ. FT.
TOTAL FAR	2,764 SQ. FT. (30%)
PROPOSED LOT COVERAGE	2,073 (25%)

SEE SHEET A-4 & A-4.1 FOR DIAGRAM BREAKDOWNS

EXISTING		PROPOSED	
BEDROOMS	3	BEDROOMS	5
BATHROOMS	2	BATHROOMS	3.5
GARAGE	2 CAR	GARAGE	2 CAR
CEILING HEIGHT 1ST FLOOR	8'	CEILING HEIGHT 1ST FLOOR	8'/9'
CEILING HEIGHT 2ND FLOOR	NONE	CEILING HEIGHT 2ND FLOOR	9'



LOCATION MAP



VICINITY MAP



INTERIOR DESIGNER
GILBERT FERNANDEZ III

DELTA	REVISIONS
A	PLANNING COMMENTS 4/30/2024
B	OWNER REVISIONS 7/4/2024
C	-
D	-
E	-
F	-

SCOPE OF WORK

- ADDITION TO THE 1ST FLOOR (REAR AND FRONT), 2ND FLOOR ADDITION.
- EXISTING LAYOUT TO BE REDESIGNED TO WORK WITH THE NEW 2ND FLOOR ADDITION.
- NEW ELECTRICAL, PLUMBING, MECHANICAL. ELECTRICAL METER TO BE UPGRADED TO 200 AMP. TWO NEW FURNACES AND AC UNITS. EXISTING GAS METER TO REMAIN.
- EXISTING GARAGE TO BE REMODELED ONLY AND TO REMAIN IN THE SAME LOCATION WITH SAME ROOF PLANES.

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH ADOPTED ORDINANCES AND POLICIES OF THE GOVERNING AGENCY AND THE LATEST ADOPTED ADDITIONS.
- THE CONTRACTOR SHALL ERRECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, GRADES AND OTHER CONDITIONS, AND HE SHALL CORRELATE ALL SUCH ITEMS AT THE JOB SITE. HE SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION AND OR CORRECTION PRIOR TO BEGINNING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND COORDINATION OF ALL TRADES WITH THE GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR SHOWN IN THESE PLANS TO RENDER THE JOB COMPLETE.
- CHANGES TO THE PLAN DURING CONSTRUCTION OTHER THAN:
 - CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE.
 - INTERIOR DOOR AND ZERO-CLEARANCE FIREPLACE RELOCATION SHOWN ON THE APPROVE PLANS.
 - A SINGLE NONBEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM.
 - INTERIOR NON-STRUCTURAL WALL FINISHES.
- SHALL CAUSE PLANS APPROVAL AND CONSTRUCTION TO BE SUSPENDED, A NEW PLAN CHECK (FOR THE NEW PLAN CHANGES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE COMMON PLAN CHECK PROCESS.

CODE EDITIONS

- CALIFORNIA RESIDENTIAL CODE	2022 EDITION
- CALIFORNIA BUILDING CODE	2022 EDITION
- CALIFORNIA MECHANICAL CODE	2022 EDITION
- CALIFORNIA PLUMBING CODE	2022 EDITION
- CALIFORNIA ELECTRICAL CODE	2022 EDITION
- CALIFORNIA ENERGY CODE	2022 EDITION
- CALIFORNIA FIRE CODE	2022 EDITION
- CALIFORNIA GREEN BUILDING CODE	2022 EDITION
- CAMPBELL MUNICIPAL CODE	2022 EDITION

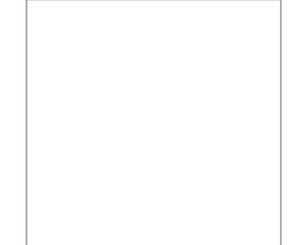
PROJECT INDEX

A-1	ARCHITECTURAL COVER SHEET
TP	TOPOGRAPHIC MAP
A-2	EXISTING AND PROPOSED SITE PLAN CONDITIONS
A-2.1	EXISTING HOME PHOTOS
A-2.2	TREE CONDITIONS
A-3	EXISTING FLOOR PLAN CONDITIONS & DEMO NOTES
A-3.1	PROPOSED FLOOR PLANS AND NOTES
A-4	EXISTING FLOOR AREA DIAGRAM CALCULATIONS
A-4.1	PROPOSED FLOOR AREA DIAGRAM CALCULATIONS
A-5	PROPOSED ROOF PLANS & VENTILATION CALCS
A-6	PROPOSED WINDOW & DOOR SCHEDULES
A-7	EXISTING ELEVATIONS & FRONT STREET VIEW
A-7.1	PROPOSED ELEVATIONS AND NOTES
A-7.2	PROPOSED, EXISTING & ADJACENT STREET VIEWS
A-8	PROPOSED CROSS SECTIONS
A-9.1	ELECTRICAL NOTES AND DETAILS
A-9.2	CONSTRUCTION SITE FIRE SAFETY SPEC S1-7

FIRE SPRINKLERS

FIRESPRINKLERS REQUIRED. OBTAIN SEPARATE FIRE PERMIT, DEFERRED SUBMITTAL. DESIGN AND INSTALL IN ACCORDANCE WITH NFPA 13D, 2022, AND CMV RESIDENTIAL FIRE SPRINKLER SYSTEM REQUIREMENTS (SEE CITY WEBSITE UNDER 'FIRE HANDOUTS'). COORDINATE WATER METER AND WATER MAIN SIZES WITH APPROVED FIRE SPRINKLER SHOP DRAWINGS. (MINIMUM 1" METER AND 1" SERVICE UNLESS HYDRAULIC CALCULATIONS PROVE EXISTING ADEQUATE).

APPROVAL STAMP



PROJECT CONTACTS

ARCHITECTURAL DESIGN	STRUCTURAL DESIGN	OWNER
Designer Gilbert Fernandez (408) 722-0057 gf.gilfernandez@gmail.com	EOR TBD -	Krishna Ubrani (408) 410-2895 kubrani@yahoo.com

DESIGN DISCLAIMER

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEvised SOLELY FOR THIS PROJECT, PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF GILBERT FERNANDEZ INTERIOR DESIGNER.

ABBREVIATIONS

AA	Attic Access	(E)	Existing
AC	Air Conditioning	EA	Each
ACC	Access	EM	Electrical Meter
AD	Access Door	FAR	Floor Area Ratio
ADD	Addition	FC	Finished Ceiling
ADH	Adhesive	FF	Finished Floor
AFF	Above Finished Floor	FUR	Furnace
ALM	Alarm	GPM	Gallons Per Minute
AP	Access Panel	GM	Gas Meter
APPROX	Approximate	HB	Hose Bib
APRVD	Approved	KIT	Kitchen
ASPH	Asphalt	IN	Inch
AVG	Average	MAX	Maximum
BDRM	Bedroom	MIN	Minimum
BEL	Below	MISC	Miscellaneous
BLDG	Building	(N)	New
BN	Bullnose	OBS	Obscure
CA	Crawlspace Access	OC	On Center
CAB	Cabinet	OH	Overhead
CF	Cubic Feet	QTY	Quantity
CFM	Cubic Feet per Minute	R	Return
CL	Centerline	REF	Refrigerator
CLG	Ceiling	REQ	Required
CLST	Closet	RM	Room
CO	Clean Out	RO	Rough Opening
CuFt	Cubic Feet	S	Sewer Lateral
CuYd	Cubic Yard	SF	Square Foot
CW	Cold Water	SHWR	Shower
DBL	Double	SL	Sky Light
DEMO	Demolition	TYP	Typical
DIA	Diameter	UT	Utility
DR	Door	W	Water Lateral
DS	Downspout	WH	Water Heater
DW	Driveway	WIN	Window
		WM	Water Meter
		WP	Weatherproof

ARCHITECTURAL COVER SHEET

315 SOBRATO DRIVE
CAMPBELL CA 95008

7/29/24

A-1

LEGEND

-  CONCRETE
-  EASEMENTS
-  2ND FLOOR OUTLINE
-  ITEMS REMOVED

SITE PLAN GENERAL NOTES

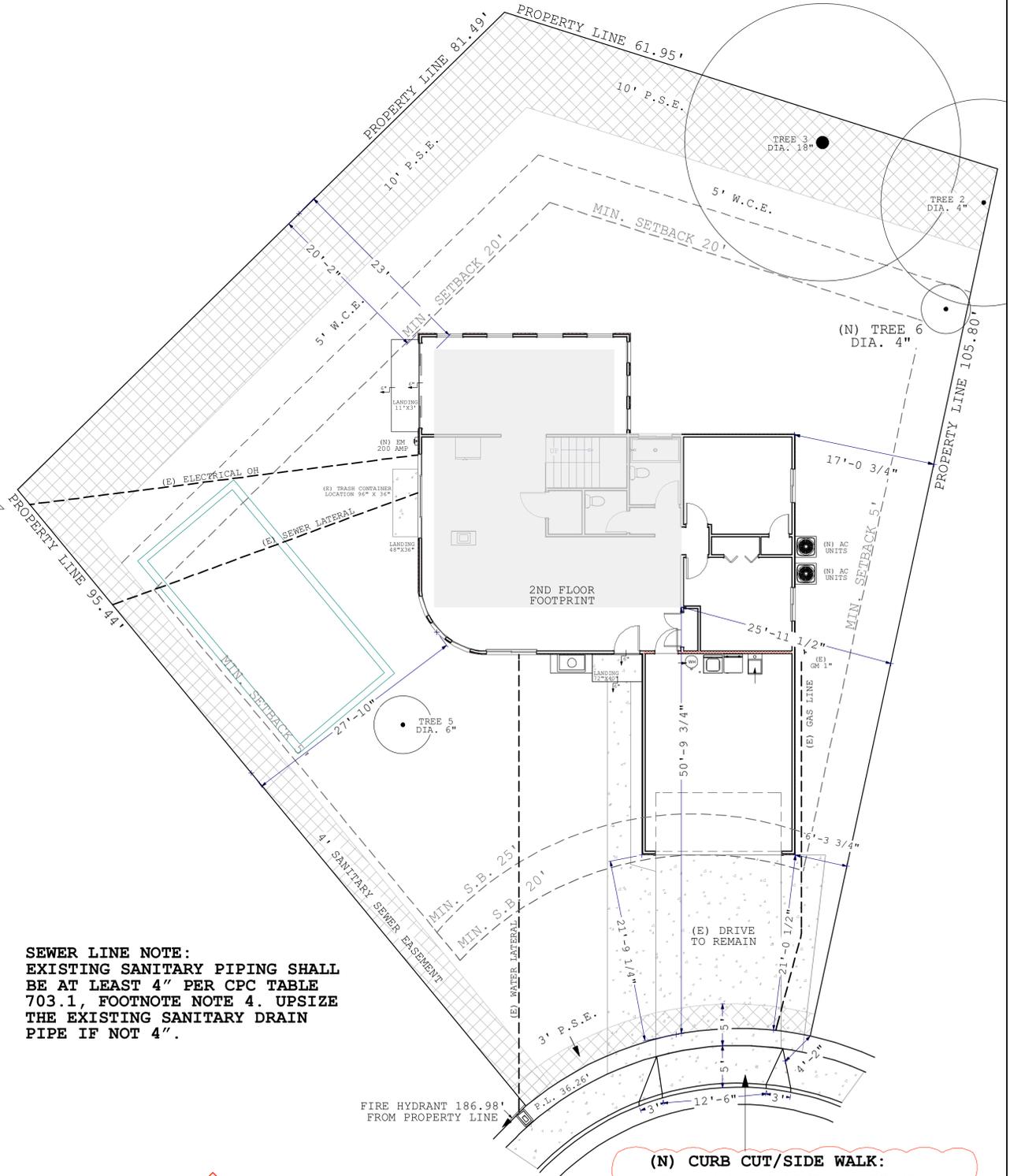
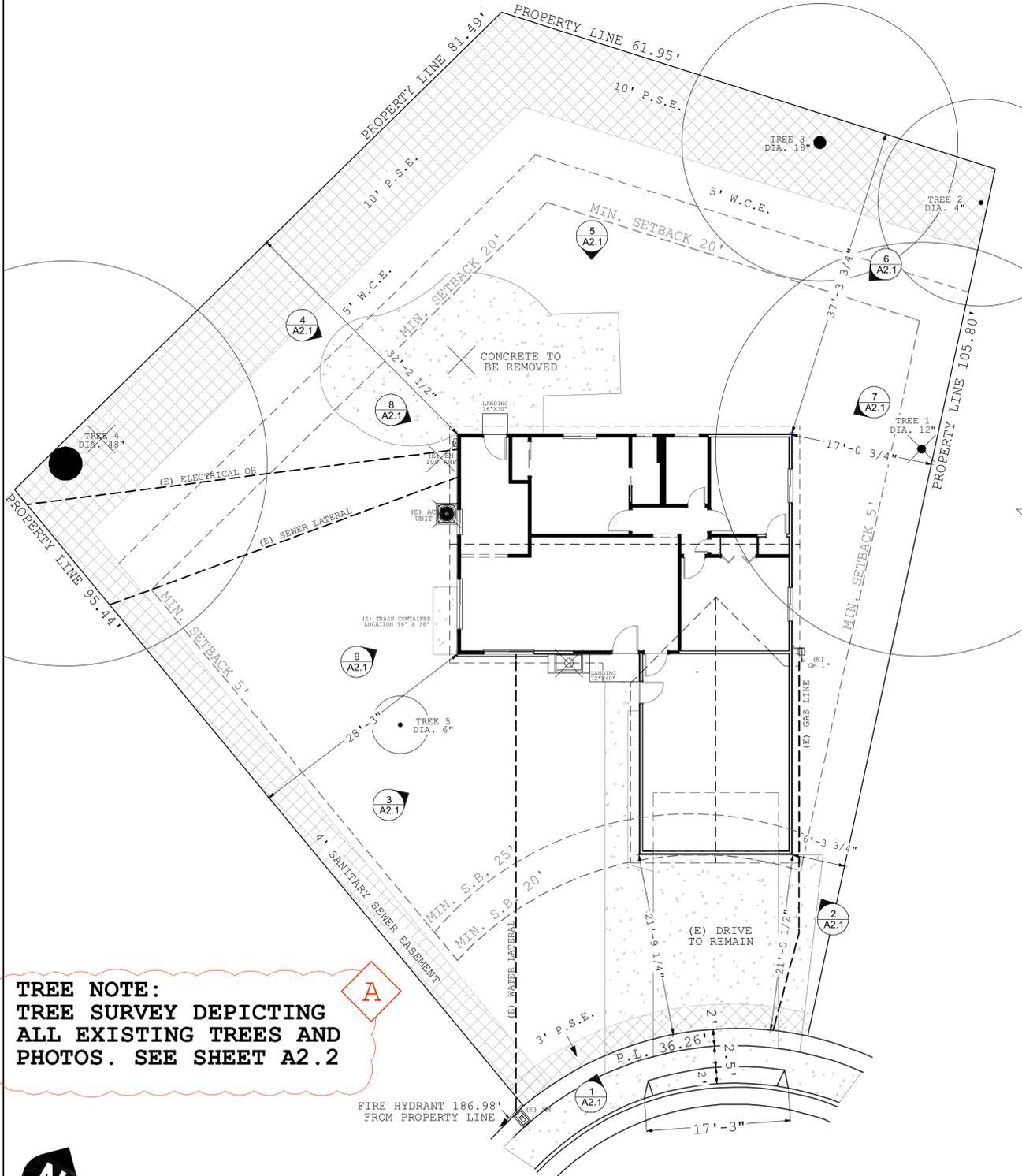
1. CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-642-2444 OR USANORTH811.ORG AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.
2. BEFORE ANY EXCAVATION, COORDINATE LOCATION OF ALL EXISTING UTILITIES.
3. EXCAVATION, FILLS, AND UTILITIES FOR ALL BUILDINGS OR STRUCTURES SHALL BE SO CONSTRUCTED OR PROTECTED THAT THEY DO NOT ENDANGER LIFE OR PROPERTY.
4. CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN DURING EXCAVATION AND CONSTRUCTION, U.O.N.
5. FINISH GRADE SHALL SLOPE AWAY FROM THE FOUNDATION OF ALL BUILDINGS AND STRUCTURES A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF TEN FEET. (CBC 1804.3). ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT A POINT OF DISCHARGE (OR THE INLET OF AN APPROVED DRAINAGE DEVICE), A MINIMUM OF 12 INCHES PLUS 2%.
6. ALL EXTERIOR HARD SURFACES (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 1% MINIMUM SLOPE AND SHALL DRAIN AWAY FROM THE BUILDING. DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1.5%. MAXIMUM ALLOWABLE GRADED SLOPE IS 3 HORIZONTAL TO 1 VERTICAL (33%).
7. LOT GRADINGS SHALL CONFORM AT THE PROPERTY LINES AND SHALL NOT SLOPE TOWARD PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORM WATER TO SLOPE ONTO NEIGHBORING PROPERTY.
8. NEW RAINWATER DOWNSPOUTS SHALL BE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.

9. IMPLEMENTATION OF "BEST MANAGEMENT PRACTICES" SHALL BE USED TO PROTECT STORM QUALITY AND PREVENT POLLUTANTS ENTERING THE PUBLIC STORM DRAIN. FAILURE TO IMPLEMENT AND COMPLY WITH THE APPROVED CONSTRUCTION "BEST MANAGEMENT PRACTICES" WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICE, CITATIONS, OR STOP ORDERS.
10. PROVIDE EXPANSION AND CONTROL JOINTS IN ALL EXTERIOR CONCRETE SLABS. SPACING OF JOINTS SHALL BE PER INDUSTRY STANDARDS.
11. ANY TRENCHES SHALL BE LOCATED OUTSIDE OF THE DRIP LINE OF EXISTING TREES IN ORDER TO MINIMIZE NEGATIVE IMPACTS.
12. SEE COVER SHEET, FLOOR PLAN, AND BEST PRACTICES MANAGEMENT SHEETS FOR ADDITIONAL PROJECT INFORMATION.
13. NATURAL GRADE AND VEGETATION SHALL BE RETAINED TO THE MAXIMUM EXTENT PRACTICABLE.
14. NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.
15. ANY ITEMS FOUND OR CONDITIONS DISCOVERED DURING DEMOLITION THAT WILL IMPACT THE DESIGN OF THIS PROJECT ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY.



INTERIOR DESIGNER
GILBERT FERNANDEZ III

DELTA	REVISIONS
A	PLANNING COMMENTS 4/30/2024
B	OWNER REVISIONS 7/4/2024
C	-
D	-
E	-
F	-



NORTH

A

EXISTING SITE PLAN 1/8" = 1'-0"

A

PROPOSED SITE PLAN 1/8" = 1'-0"

EXISTING AND PROPOSED SITE PLAN CONDITIONS

A

315 SOBRATO DRIVE
CAMPBELL CA 95008

7/29/24

A-2



INTERIOR DESIGNER
GILBERT FERNANDEZ III

Gilbert Fernandez III

DELTA	REVISIONS
A	PLANNING COMMENTS 4/30/2024
B	OWNER REVISIONS 7/4/2024
C	-
D	-
E	-
F	-

EXISTING HOME PHOTOS

315 SOBRATO DRIVE
CAMPBELL CA 95008

7/29/24

A-2.1



1. FRONT



2. FRONT RIGHT



3. FRONT LEFT



4. REAR LEFT CORNER



5. REAR



6. REAR RIGHT CORNER



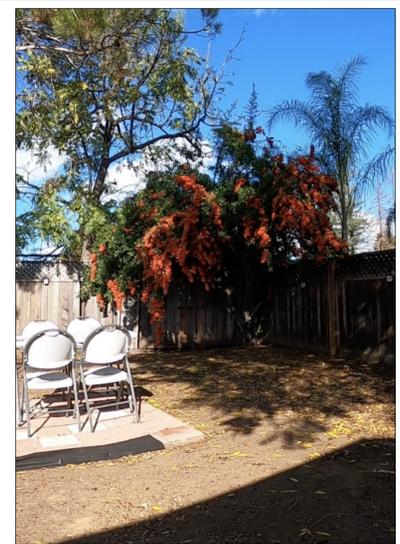
7. REAR RIGHT CORNER



8. REAR LEFT CORNER



9. FRONT LEFT CORNER



-TREE #	1
-DIAMETER:	12"
-TYPE:	AILANTHUS ALTISSIMA (ALSO KNOWN AS CHINESE SUMAC OR TREE OF HEAVEN)
-CONDITION	FAIR
-STATUS	REMOVED.
-COMMENTS:	1.STORM DAMAGE RESULTING IN HAZARD TO THE HOME WITH FALLING BRANCHES AND RESIDUE. 2.THIS TREE IS CONSIDERED HIGHLY INVASIVE AND TOXIC FOR ANY OTHER PLANTS AND TREES IN IT'S VICINITY 3.LEFT AS IS ITS ROOT SYSTEM CAUSES DAMAGE TO BUILDING FOUNDATION.



-TREE #	2
-DIAMETER:	4"
-TYPE:	UNRECOGNIZED (NOT PROTECTED)
-CONDITION	FAIR
-STATUS	TO REMAIN
-COMMENTS:	NONE



-TREE #	3
-DIAMETER:	18"
-TYPE:	PINE (NOT PROTECTED)
-CONDITION	GOOD
-STATUS	TO REMAIN
-COMMENTS:	NONE



-TREE #	4
-DIAMETER:	48"
-TYPE:	EUCALYPTUS, (NOT PROTECTED)
-CONDITION	FAIR
-STATUS	REMOVED
-COMMENTS:	STORM DAMAGE RESULTING IN DANGEROUS HAZARD TO NEIGHBORS

-TREE #	5
-DIAMETER:	6"
-TYPE:	UNRECOGNIZED (NOT PROTECTED)
-CONDITION	GOOD
-STATUS	TO REMAIN
-COMMENTS:	NONE

-TREE #	6
-DIAMETER:	4"
-TYPE:	ARIZONA CYPRESS
-CONDITION	NEW
-STATUS	TO REMAIN
-COMMENTS:	REQUIRED NEW 4TH TREE



INTERIOR DESIGNER
GILBERT FERNANDEZ III



DELTA	REVISIONS
A	PLANNING COMMENTS 4/30/2024
B	OWNER REVISIONS 7/4/2024
C	-
D	-
E	-
F	-

TREE CONDITIONS

A

315 SOBRATO DRIVE
CAMPBELL CA 95008

7/29/24

A-2.2

DEMO LEGEND

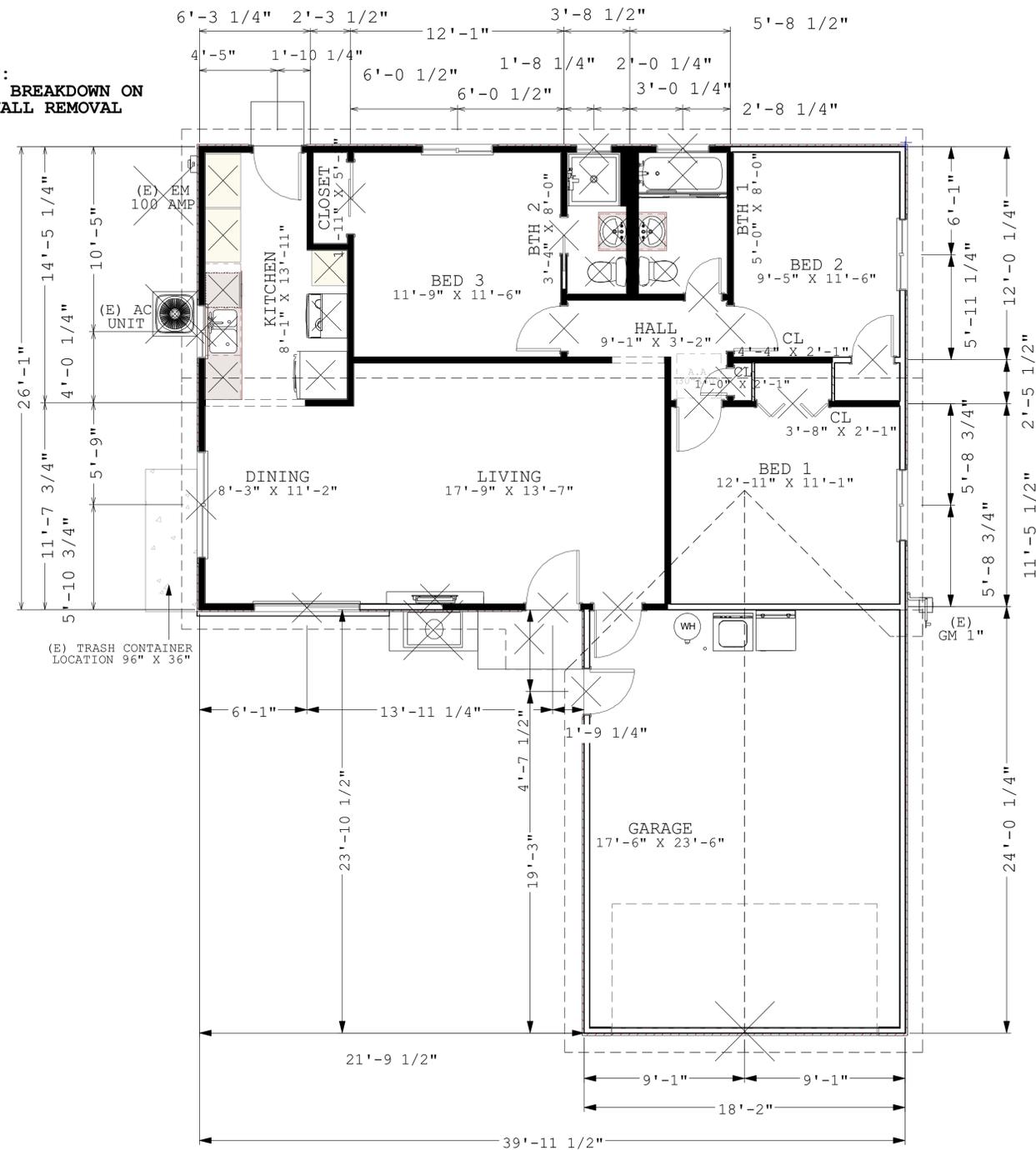
-  WALLS TO BE REMOVED
-  WALLS TO REMAIN
-  ITEMS TO BE REMOVED
-  EXISTING ROOF PLANES

GRAPHIC SCALE : 1/4" INCH = 1 FEET


DUST CONTROL NOTES

1. WATER ALL ACTIVE CONSTRUCTION AREAS ON A "AS NEEDED" BASIS.
2. WATER OR COVER STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE WIND.
3. COVER ALL TRUCKS HAULING SOIL, SAND AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST 2 FEET OF FREEBOARD.
4. APPLY WATER AS NEEDED, OR APPLY NON-TOXIC SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING, AND STAGING AREAS AT CONSTRUCTION SITES. ALSO HYDROSEED OR APPLY NON-TOXIC SOIL STABILIZERS TO INACTIVE CONSTRUCTION AREAS.
5. SWEEP (PREFERABLY WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING, AND STAGING AREAS AT CONSTRUCTION SITES ON AN "AS NEEDED" BASIS.
6. SWEEP ADJACENT PUBLIC STREETS (PREFERABLY WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO THEM.
7. ENCLOSE, COVER, WATER, OR APPLY NON-TOXIC SOIL BINDERS TO EXPOSE STOCK PILES (DIRT, SAND, ETC.) ON AN "AS NEEDED" BASIS.
8. LIMIT TRAFFIC SPEEDS ON UNPAVED ROADS WITHIN THE PROJECT PARCEL TO 15 MPH.
9. INSTALL SANDBAGS OR OTHER EROSION CONTROL MEASURES TO PREVENT STILL RUNOFF TO PUBLIC ROADWAYS AND/OR THE ADJACENT WATERWAY.
10. REPLANT VEGETATION IN DISTURBED AREAS AS QUICKLY AS POSSIBLE.
11. THE APPROVED PLAN SHALL BE IMPLEMENTED FOR THE DURATION OF ANY DEMOLITION OR CONSTRUCTION ACTIVITIES THAT GENERATES DUST AND OTHER AIRBORNE PARTICLES.
12. ALL GRADED SURFACES AND MATERIALS, WHETHER FILLED, EXCAVATED, TRANSPORTED OR STOCKPILED, SHALL BE WETTED, PROTECTED OR CONTAINED IN SUCH A MANNER AS TO PROTECT ANY SIGNIFICANT NUISANCE FROM DUST OR SPILLAGE UPON ADJOINING WATER BODY, PROPERTY, OR STREETS, EQUIPMENT, AND MATERIALS ON THE SITE SHALL BE USED IN SUCH A MANNER AS TO AVOID EXCESSIVE DUST. A DUST CONTROL PLAN MAY BE REQUIRED AT ANYTIME DURING THE COURSE OF THE PROJECT.
13. A DUST PALLIATIVE SHALL BE APPLIED TO THE SITE WHEN REQUIRED BY THE GOVERNING AGENCY. THE TYPE AND RATE OF APPLICATION SHALL BE RECOMMENDED BY THE SOILS ENGINEER AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS, THE PLANNING AND BUILDING DEPARTMENT'S GEOTECHNICAL SECTION, AND THE REGIONAL WATER QUALITY CONTROL BOARD.

WALL REMOVAL NOTE:
 SEE SHEET A-4 FOR BREAKDOWN ON EXISTING LINEAR WALL REMOVAL



EXISTING FLOOR/DEMOLITION PLAN 1/4" = 1'-0"



INTERIOR DESIGNER
 GILBERT FERNANDEZ III

Gilbert Fernandez III

DELTA	REVISIONS
A	PLANNING COMMENTS 4/30/2024
B	OWNER REVISIONS 7/4/2024
C	-
D	-
E	-
F	-

EXISTING FLOOR PLAN CONDITIONS & DEMOLITION NOTES

315 SOBRATO DRIVE
 CAMPBELL CA 95008

7/29/24

A-3

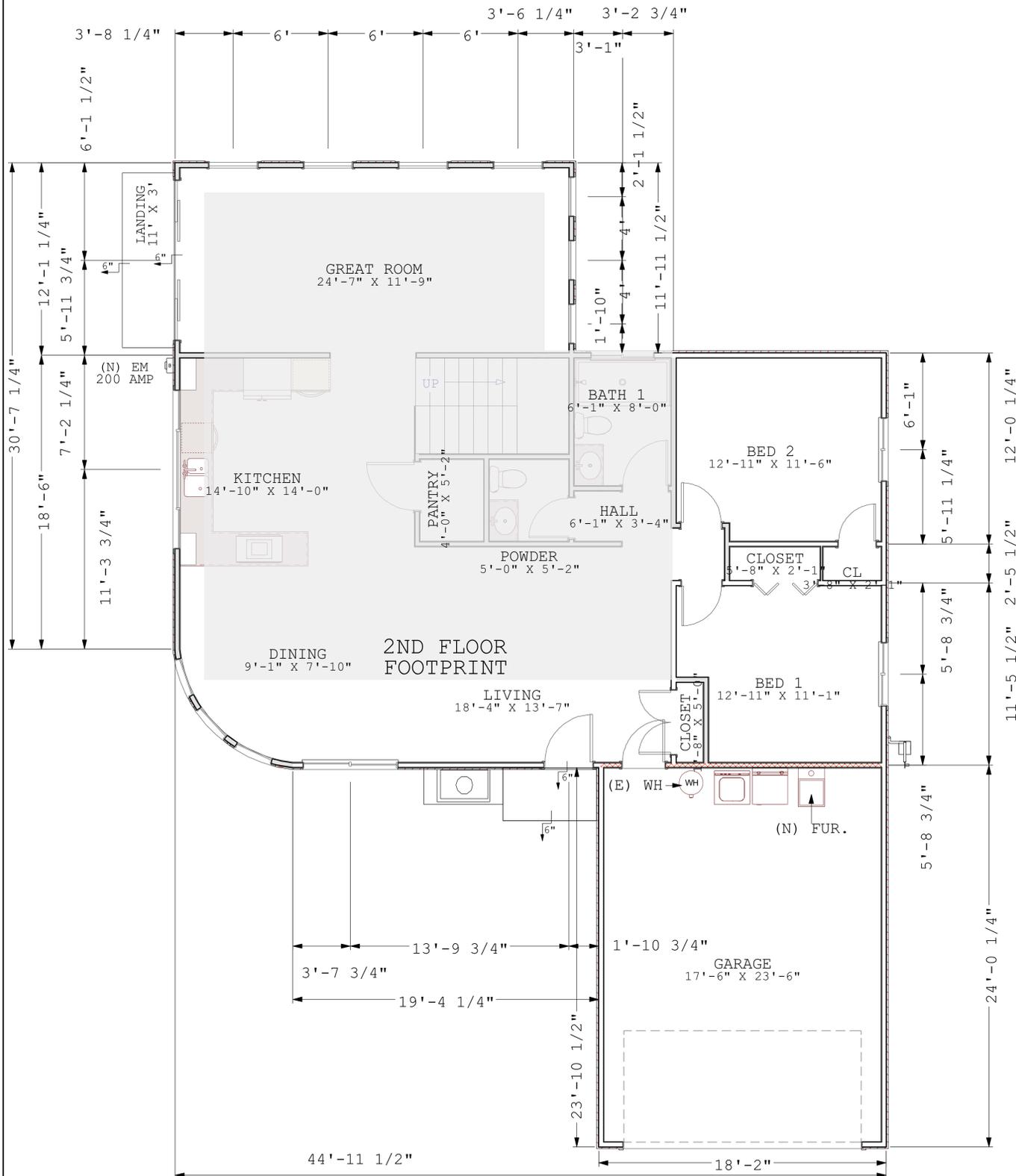


NORTH

PROPOSED LEGEND

- NEW CONSTRUCTION WALL
- EXISTING WALLS
- 1 HR FIRE WALL 1/2" TYPE "X" GYPSUM BOARD - PER NOTE

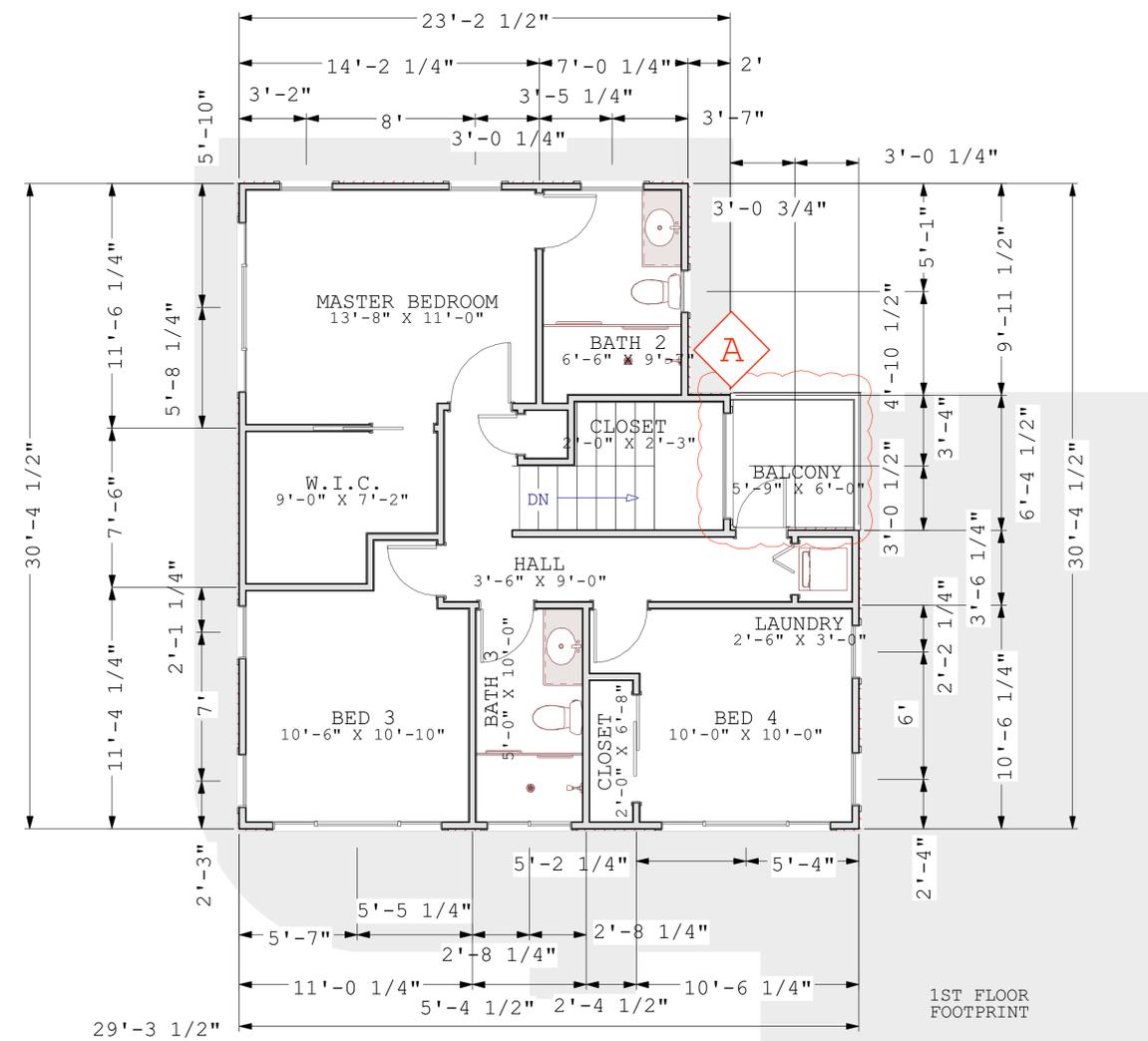
GRAPHIC SCALE : 1/4" INCH = 1 FEET
 0 1 2 3 4 5 10 15



NORTH PROPOSED FLOOR PLAN (1ST FLOOR) 1/4" = 1'-0"

FLOOR PLAN NOTES

1. A FIRE ESCAPE WINDOW SHALL BE PROVIDED IN EVERY BEDROOM WHERE THERE IS NOT A DOOR TO THE EXTERIOR WITH A SILL HIGH OF NOT MORE THAN 44" ABOVE THE FLOOR. SUCH WINDOW SHALL HAVE A CLEAR OPERABLE AREA OF NOT LESS THAN 5.7 SQ. FT. WITH NO DIMENSION LESS THAN 24" IN HEIGHT OR 20" IN WIDTH THAT WILL OPEN TO THE EXTERIOR.
2. PIPING IN UNCONDITIONED SPACE LEADING TO AND FROM WATER HEATERS SHALL BE INSULATED WITH AN INSTALLED THERMAL RESISTANCE OF R-3 OR GREATER FOR FIVE FEET OF PIPE CLOSEST TO THE WATER HEATER, OR WHATEVER SHORTER LENGTH IS IN UNCONDITIONED SPACES.
3. WATER CLOSET Notes
 - WATER CLOSETS (TOILET) COMPARTMENT MUST HAVE NOT LESS THAN 15" CENTERLINE OF BIDET TO RIM AND NOT LESS THAN 24" CLEAR IN FRONT OF THE UNIT AS PER CPC 407.6.
 - PROVIDE CAULKING AT BOTTOM OF ALL WATER CLOSETS. CPC 407.2.
 - BATHROOMS & WATER CLOSET COMPARTMENTS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPERABLE EXTERIOR OPENING W/AN AREA OF NOT LESS THAN 1/20 OF THE FLOOR AREA W/MIN. OF 1-1/2 SQ FT OR 5 AIR CHANGES PER HOUR.
4. SHOWER/TUB NOTES
 - MAINTAIN MINIMUM AREA AND DIMENSIONS 70" ABOVE THE SHOWER DRAIN. CPC 411.7
 - SHOWER STALLS AND TUB ENCLOSURES TO HAVE SAFETY GLAZING SHOWER DOORS, MAY NOT BE LESS THAN 22" MINIMUM WIDTH. SHOWER ENCLOSURE DOORS SHALL OPEN OUTWARD TO MAINTAIN 22" CLEARANCE. CBC 2407 & CPC 411.6
 - WATERPROOF GYPSUM BOARD UNDERLAY AT SHOWERS, TUBS AND OTHER SURFACES ADVERSELY AFFECTED BY WATER IS NOT ALLOWED AS PER GA-216 OR ASTM C840.
 - Shower stall to be 1024 square inches minimum and capable of encompassing a 30" diameter circle. CPC 408.6.
 - Specify height of shower threshold in compliance with CPC 408.5.
 - Specify location of shower drain. Verify minimum 2 inches below proposed shower threshold.



PLUMBING FIXTURE NOTES

1. WATER CLOSET = 1.28 GALLONS/FLUSH
2. SHOWER HEADS = 2.0 GALLONS PER MINUTE @ 80 PSI
3. KITCHEN SINK FAUCET = 1.8 GALLONS PER MINUTE @ 60 PSI, AND MINIMUM FLOW RATE (TEMPORARY INCREASE SHALL NOT EXCEED 2.2 GALLONS PER MINUTE @ 60 PSI)
4. BATHROOM SINK FAUCET = 1.2 GALLONS PER MINUTE 60 PSI AND MINIMUM FLOW RATE NOT LESS THAN 0.8 GALLONS PER MINUTE @ 20 PSI

PROPOSED FLOOR PLAN (2ND FLOOR) 1/4" = 1'-0"



INTERIOR DESIGNER
 GILBERT FERNANDEZ III

DELTA REVISIONS

DELTA	REVISIONS
A	PLANNING COMMENTS 4/30/2024
B	OWNER REVISIONS 7/4/2024
C	-
D	-
E	-
F	-

PROPOSED FLOOR PLANS
AND NOTES

315 SOBRATO DRIVE
CAMPBELL CA 95008

7/29/24

A-3.1

EXISTING FLOOR AREA

SECTION	DIMENSIONS	AREA
A	40.2' X 26.4'	1,061.3 SQ.FT
B	23.8' X 18.4'	437.9 SQ.FT
C	5.0' X 2.2'	11 SQ.FT

TOTAL 1,510.2 SQ. FT.

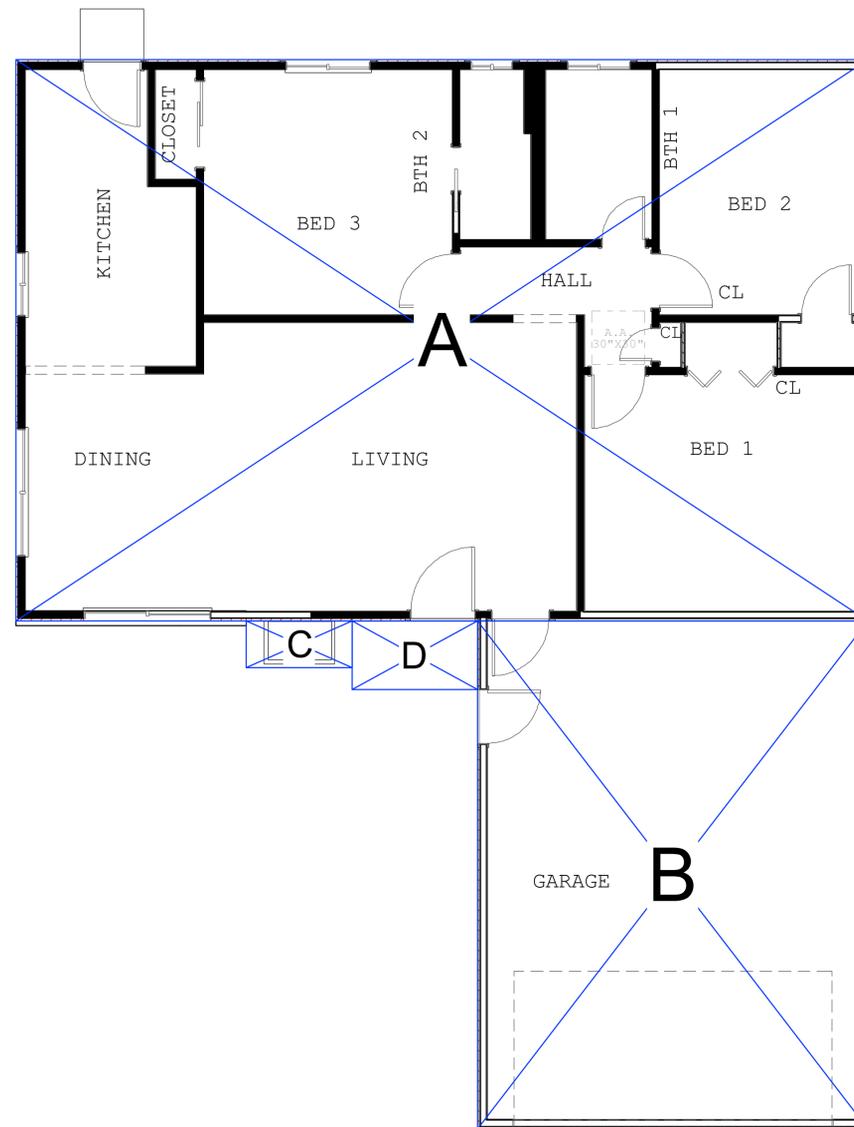
PERCENTAGE: (1,510/9,273) 16%

EXISTING LOT COVERAGE

SECTION	DIMENSIONS	AREA
A	40.2' X 26.4'	1,061.3 SQ.FT
B	23.8' X 18.4'	437.9 SQ.FT
C	5.0' X 2.2'	11 SQ.FT
D	5.9' X 3.2'	18.9 SQ.FT

TOTAL 1,529.1 SQ. FT.

PERCENTAGE: (1,529/9,273) 16%



INTERIOR DESIGNER
GILBERT FERNANDEZ III

(Signature)

DELTA	REVISIONS
A	PLANNING COMMENTS 4/30/2024
B	OWNER REVISIONS 7/4/2024
C	-
D	-
E	-
F	-

**EXISTING FLOOR AREA/WALL
REMOVAL DIAGRAM CALCULATIONS**

**315 SOBRATO DRIVE
CAMPBELL CA 95008**

7/29/24

A-4



NORTH

EXISTING FLOOR AREA DIAGRAM 1/4" = 1'-0"

PROPOSED FLOOR AREA

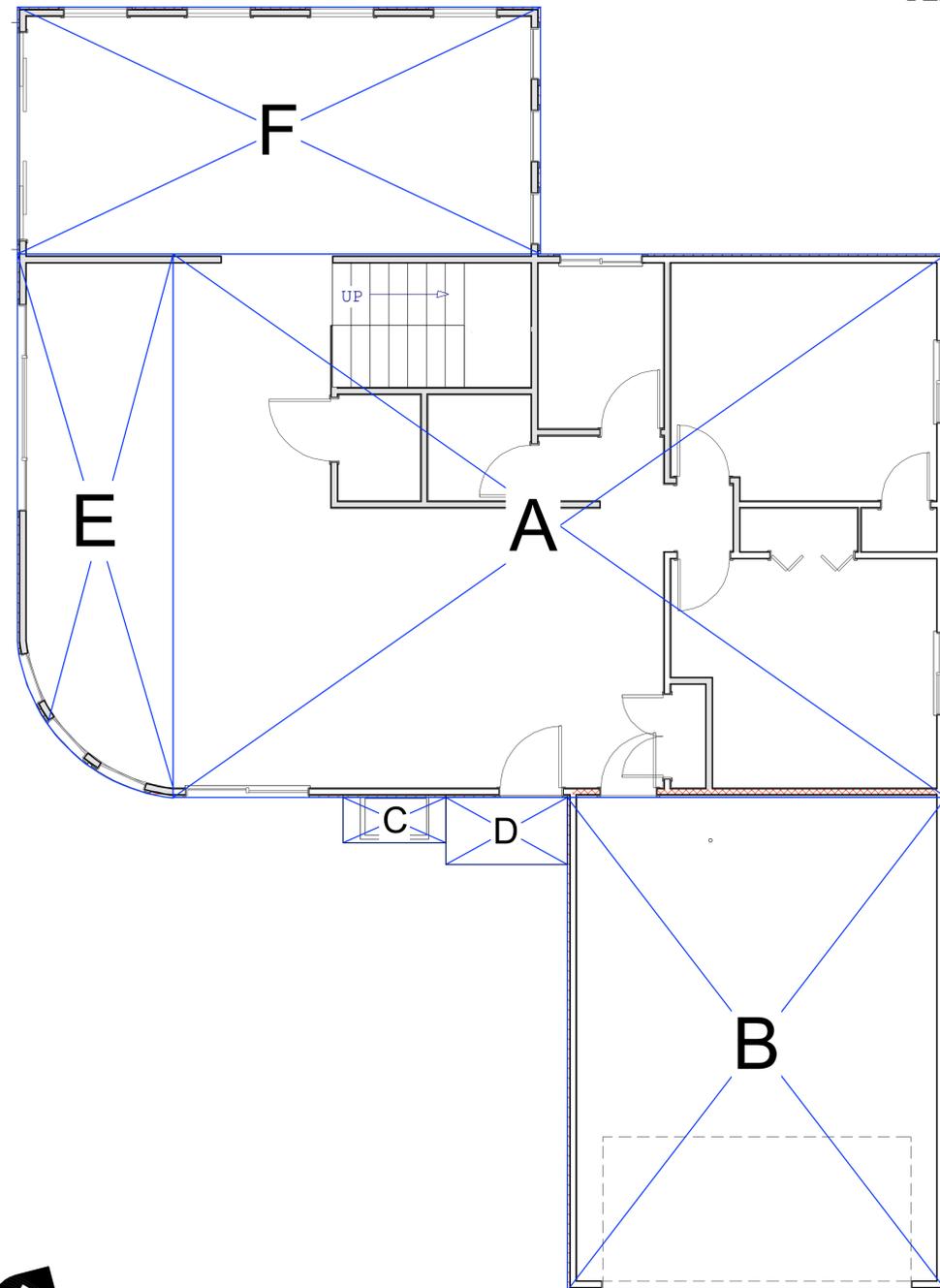
SECTION	DIMENSIONS	AREA
A	40.2' X 26.4'	1,061.3 SQ.FT
B	23.8' X 18.4'	437.9 SQ.FT
C	5.0' X 2.2'	11 SQ.FT
E	- X -	185.5 SQ.FT
F	25.5' X 11.9'	303.5 SQ.FT
G	8.8' X 3.5'	30.8 SQ.FT
H	4.1' X 3.5'	14.4 SQ.FT
I	12.9' X 9.5'	122.6 SQ.FT
J	8.6' X 13.0'	111.8 SQ.FT
K	21.5' X 17.6'	378.4 SQ.FT
L	8.0' X 20.6'	164.8 SQ.FT

TOTAL 2,764.0 SQ. FT.
 PERCENTAGE: (2,764/9,273) 30%

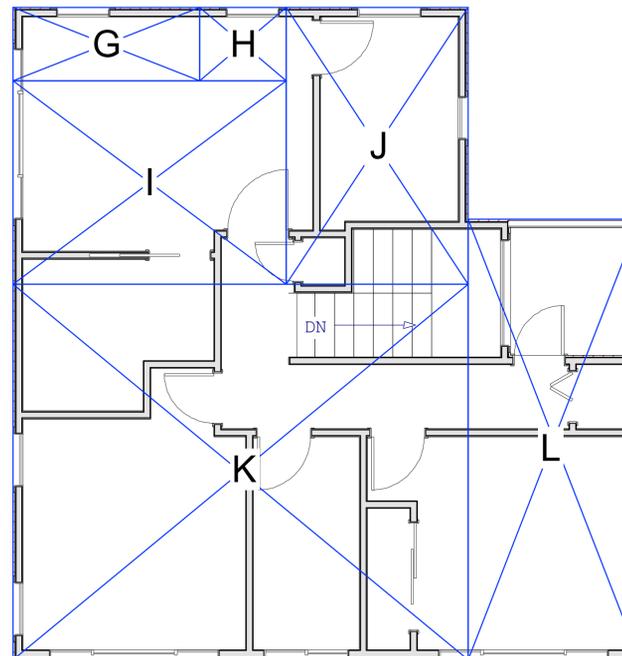
PROPOSED LOT COVERAGE

SECTION	DIMENSIONS	AREA
A	40.2' X 26.4'	1,061.3 SQ.FT
B	23.8' X 18.4'	437.9 SQ.FT
C	5.0' X 2.2'	11 SQ.FT
D	5.9' X 3.2'	18.9 SQ.FT
E	- X -	185.5 SQ.FT
F	5.0' X 10.6'	53 SQ.FT
S	6.7' X 16.3'/1.6	68 SQ.FT
T	16.3' X 8.6'	140.2 SQ.FT
U	5.4' X 8.6'	46.4 SQ.FT

TOTAL 2,073 SQ. FT.
 PERCENTAGE: (2,073/9,273) 25%



PROPOSED FLOOR AREA DIAGRAM
 (1ST FLOOR) 1/4" = 1'-0"



PROPOSED FLOOR AREA DIAGRAM
 (2ND FLOOR) 1/4" = 1'-0"



INTERIOR DESIGNER
 GILBERT FERNANDEZ III

(Signature)

DELTA	REVISIONS
A	PLANNING COMMENTS 4/30/2024
B	OWNER REVISIONS 7/4/2024
C	-
D	-
E	-
F	-

PROPOSED FLOOR AREA
 DIAGRAM CALCULATIONS

315 SOBRATO DRIVE
 CAMPBELL CA 95008

7/29/24

A-4.1





INTERIOR DESIGNER
GILBERT FERNANDEZ III

Gilbert Fernandez III

DELTA REVISIONS

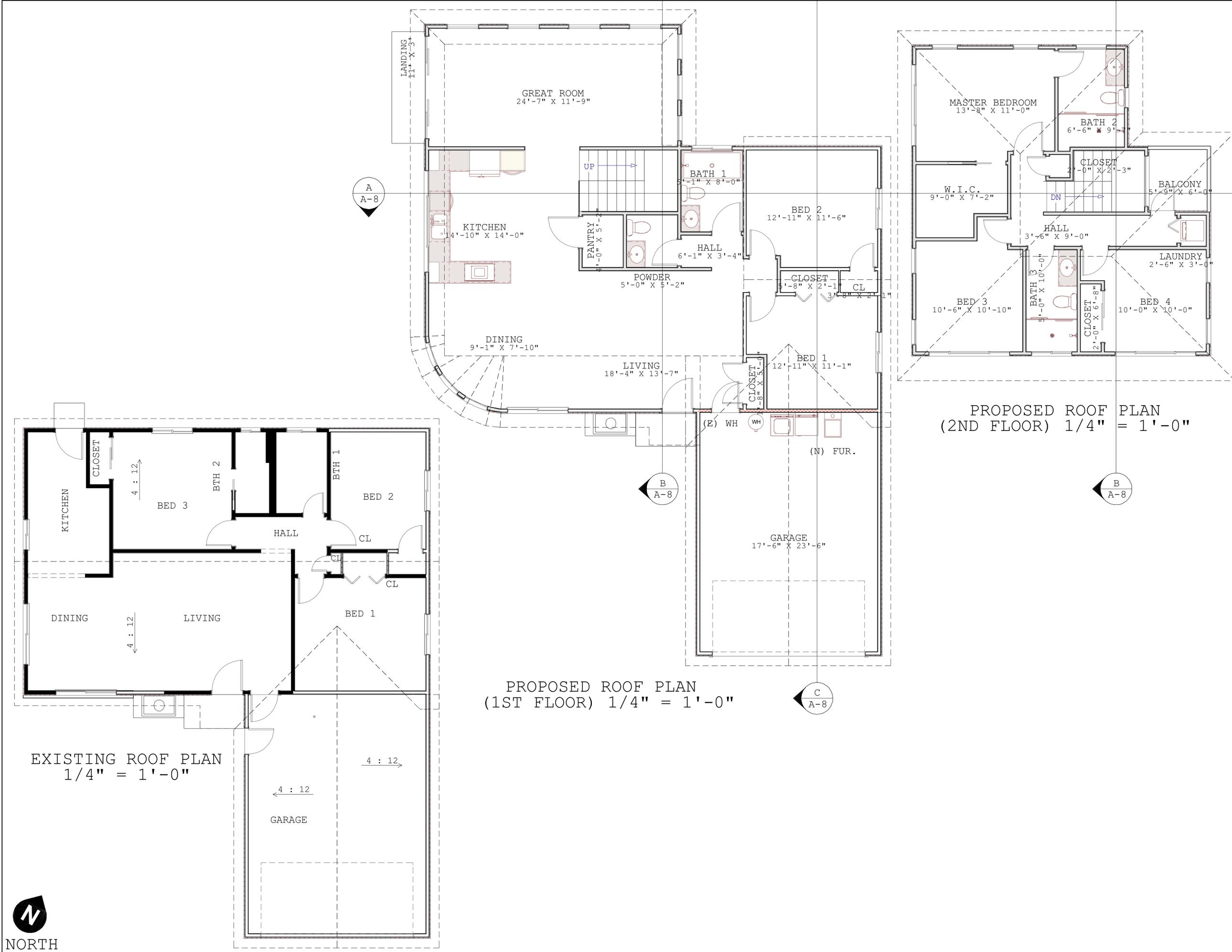
REVISIONS	PLANNING COMMENTS
A	4/30/2024
B	OWNER REVISIONS 7/4/2024
C	-
D	-
E	-
F	-

**PROPOSED ROOF PLANS &
VENTILATION CALCULATIONS**

**315 SOBRATO DRIVE
CAMPBELL CA 95008**

7/29/24

A-5

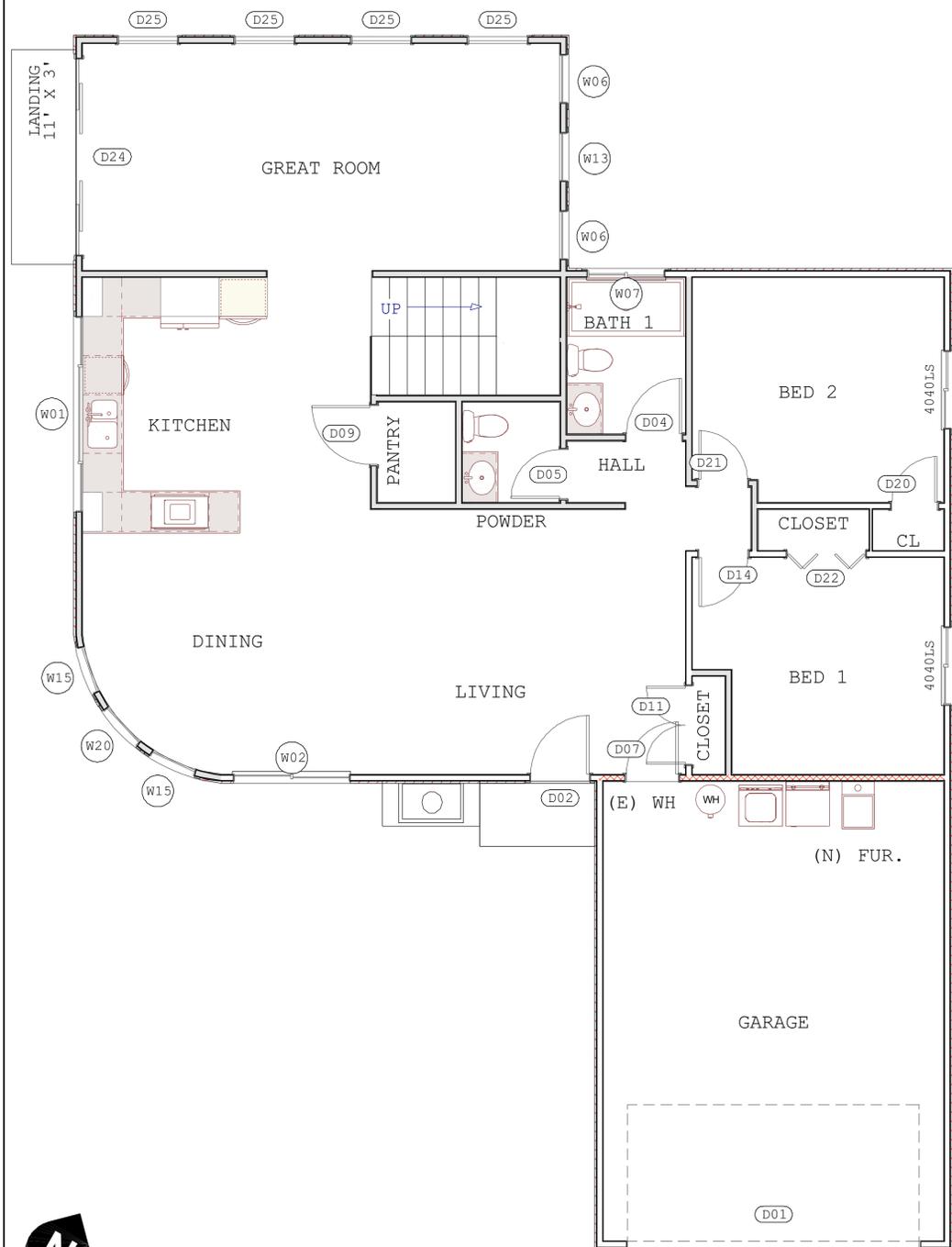


REVISIONS	
A	PLANNING COMMENTS 4/30/2024
B	OWNER REVISIONS 7/4/2024
C	-
D	-
E	-
F	-

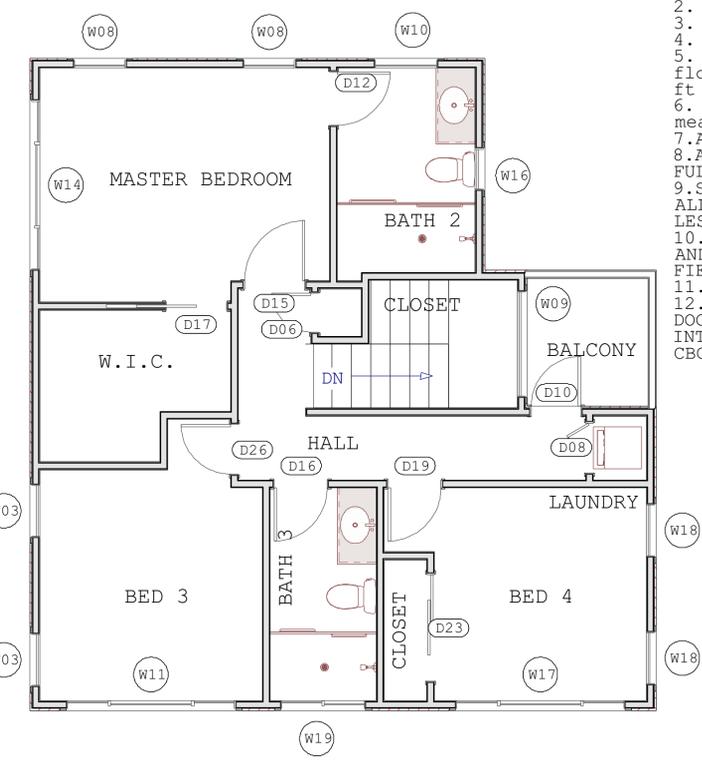
WINDOW SCHEDULE						
NUMBER	TYPE	WIDTH	HEIGHT	BOTTOM	FLOOR	ROOM NAME
W01	TRIPLE SLIDING	120"	42"	38"	1	KITCHEN
W02	LEFT SLIDING	72"	48"	32"	1	DINING
W03	FIXED GLASS	30"	60"	20"	2	BED 3
W06	SINGLE CASEMENT	30"	60"	20"	2	GREAT ROOM
W07	LEFT SLIDING	48"	24"	56"	1	BATH 1
W08	FIXED GLASS	30"	60"	20"	2	MASTER BEDROOM
W09	FIXED GLASS	60"	60"	20"	1	OPEN BELOW/BALCONY
W10	FIXED GLASS	36"	36"	44"	1	BATH 2
W11	TRIPLE SLIDING	96"	42"	38"	1	BED 3
W13	FIXED GLASS	30"	60"	20"	1	GREAT ROOM
W14	TRIPLE SLIDING	96"	42"	38"	1	MASTER BEDROOM
W15	SINGLE CASEMENT	30"	48"	32"	2	DINING
W16	SINGLE HUNG	24"	36"	44"	1	BATH 2
W17	TRIPLE SLIDING	96"	42"	38"	1	BED 4
W18	FIXED GLASS	30"	42"	38"	2	BED 4
W19	LEFT SLIDING	48"	36"	44"	1	BATH 3
W20	FIXED GLASS	30"	48"	32"	1	DINING

DOOR SCHEDULE						
NUMBER	TYPE	WIDTH	HEIGHT	FLOOR	ROOM NAME	TEMPERED
D01	GARAGE	180"	84"	1	GARAGE	YES
D02	HINGED	36"	80"	1	LIVING	YES
D04	HINGED	34"	80"	1	HALL/BATH 1	
D05	HINGED	30"	80"	1	HALL/POWDER	
D06	HINGED	22"	80"	1	CLOSET/HALL	
D07	HINGED	32"	80"	1	GARAGE/LIVING	YES
D08	2 DR. BIFOLD	28"	80"	1	LAUNDRY/HALL	
D09	HINGED	36"	80"	1	PANTRY/KITCHEN	
D10	HINGED	28"	80"	1	HALL/BALCONY	YES
D11	DOUBLE HINGED	48"	80"	1	CLOSET/LIVING	
D12	HINGED	30"	80"	1	BATH 2/MASTER BEDROOM	
D14	HINGED	30"	80"	1	BED 1/HALL	
D15	HINGED	34"	80"	1	MASTER BEDROOM/HALL	
D16	HINGED	30"	80"	1	BATH 3/HALL	
D17	POCKET	34"	80"	1	MASTER BEDROOM/W.I.C.	
D19	HINGED	30"	80"	1	BED 4/HALL	
D20	HINGED	28"	80"	1	BED 2/CL	
D21	HINGED	30"	80"	1	BED 2/HALL	
D22	4 DR. BIFOLD	48"	80"	1	BED 1/CLOSET	
D23	SLIDER	60"	80"	1	CLOSET/BED 4	
D24	QUAD SLIDER	120"	80"	1	GREAT ROOM	YES
D25	FIXED	36"	80"	4	GREAT ROOM	YES
D26	HINGED	28"	80"	1	BED 3/HALL	

NEWLY INSTALLED WINDOWS SHALL HAVE A MAXIMUM U- FACTOR OF 0.30 AND A MAXIMUM SHGC OF 0.23.

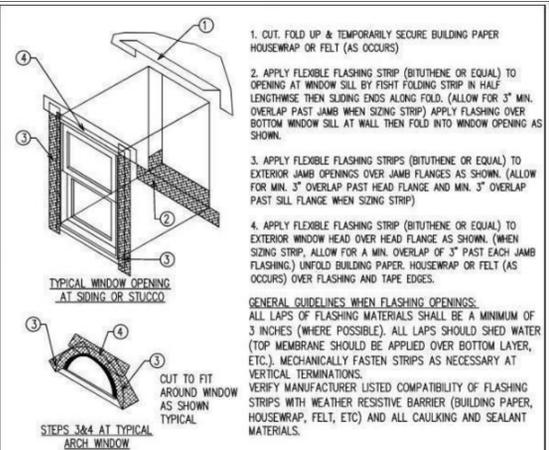


PROPOSED FLOOR PLAN
 (1ST FLOOR) 1/4" = 1'-0"



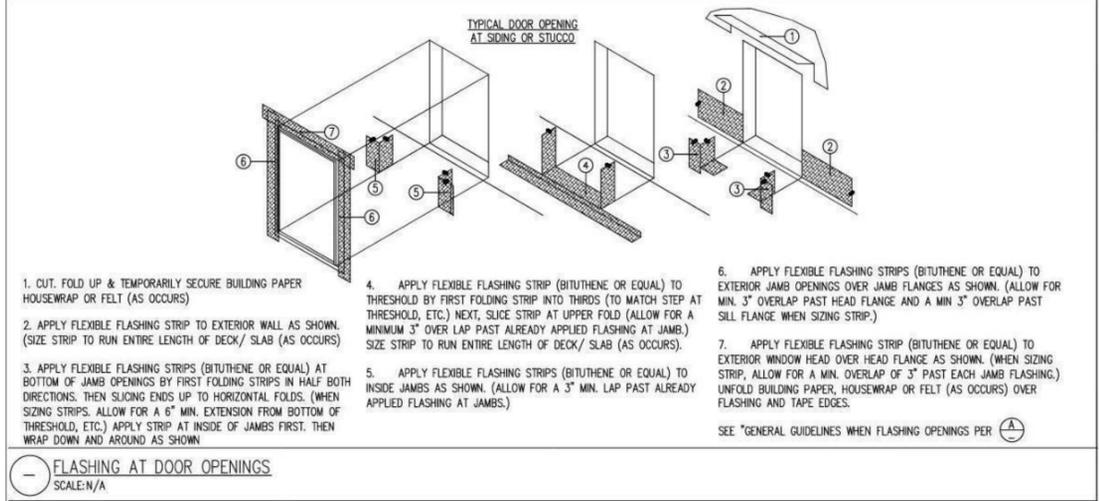
PROPOSED FLOOR PLAN
 (2ND FLOOR) 1/4" = 1'-0"

-FASTEN WINDOW TO WALL PER MANUFACTURE
 -ADHESION TO OSB CAN BE A PROBLEM IF IT IS EVEN SLIGHTLY DAMP OR DUSTY.- PRIME OSB OR PLYWOOD SHEATHING PRIOR TO SASM INSTALLATION WITH #100 VOC PRIMER BY PROTECTO-WRAP. SEE SHEET A6.50 FOR SPECIFICATIONS.
 -SASM (SELF-ADHESING FLASHING STRIP)- PW 100/40 AIR/ VAPOR BARRIER BY PROTECTO-WRAP. SEE SHEET A6.50 FOR SPECIFICATIONS. USE ROLLER AT ALL TIMES TO INSTALL SASM.
 -SILL PAN SHALL BE COPPER OR STAINLESS STEEL AND PROVIDE SLOPE TO DRAIN TO EXTERIOR OF STRUCTURE.
 -SEALANTS: PERMATHANE SM 71108 BY SCHIEFEL- MORRHEAD. CLEAN ALL METAL FLASHING OF OIL, DIRT PRIOR TO INSTALLATION OF SEALANTS.-SHIMS SHALL BE MADE OF HIGH COMPRESSION PLASTIC OR HARDWOOD.
 -ALL MATERIALS SUCH AS, BUT NOT LIMITED TO, COATINGS, FLASHING AND SEALANTS THAT COME INTO CONTACT WITH EACH OTHER SHALL EXHIBIT CHEMICAL COMPATIBILITY AND ADHESION FOR THE INTENDED PURPOSE.
 -ON THE INTERIOR SIDE, APPLY BACKER ROD AND A CONTINUOUS INTERIOR PERIMETER BEAD OF SEALANT, OR AEROSOL FOAM SEALANT WITHOUT BACKER ROD. THIS EFFECTIVELY FORMS A BACK DAM TO PREVENT WATER INTRUSION INTO THE INTERIOR.
 -AFTER INSTALLATION, RECHECK THE SEAL BETWEEN THE SILL OF THE WINDOW AND THE UPTURNED LEG OF THE SILL PAN AND RESEAL AS NEEDED.
 -NAIL THE WINDOW SIDE AND TOP FINNS FROM THE CENTER TO EDGE EVERY OTHER HOLE ON LARGER WINDOWS, ADD A SINGLE NAIL AT THE CENTER OF THE BOTTOM FIN WITH A SEALANT RING AT THE BACK OF THE FIN AT THE NAIL.
 -C.B.C. 1405.3 CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHER PROOF. SINCE C.B.C. DOES NOT OUTLINE PROCEDURES FOR WINDOW FLASHING, TECHNIQUES SHOWN HERE ARE RECOMMENDED. USE "MOISTOP" FLASHING BY FORTIFIBER CORP., OR EQUAL WHENEVER POSSIBLE FOR FLASHING MATERIAL. CAULK BACK OF THE WINDOW FRAMES BEFORE SETTING. USE WINDOWS THAT ARE WATERTIGHT.
 -26.G.A. G.I. FLASHING REQUIRED AS SHOWN IN OTHER WINDOW DETAILS TO BE INSTALLED BY SHEET METAL CONTRACTOR.
 -LINE WIRE, WHEN USED AS BACKING TO SUPPORT WATER-RESISTANT BUILDING PAPER OR FELT - BENEATH LATH FOR STUCCO SHOULD BE INSTALLED ACCORDING TO INDUSTRY STANDARDS ARE PRACTICE.
 -NO ATTACHMENT DEVICE NOR THE WIRE BACKING SHOULD COVER OR PENETRATE FLASHING MATERIAL.
 -PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENING MUST COVER WIRE BACKING.



WINDOWS AND DOORS FLASHING NOTES:
 N/A

FLASHING AT WINDOW OPENINGS
 SCALE: N/A



FLASHING AT DOOR OPENINGS
 SCALE: N/A

WINDOW & DOOR NOTES

- Every sleeping room shall have at least one operable emergency escape and rescue opening. Emergency escape and rescue opening shall open directly into a public way, or to a yard or court that opens to a public way. (R310.2).
- The opening shall comply with the following minimums:
- Minimum net clear operable dimension of 24 inches in height (R310.2.1).
- Minimum net clear operable dimension 20 inches in width (R310.2.1).
- Minimum net clear operable dimension of 5.7 square feet in area. Grade floor or below grade openings shall have a minimum net clear opening of 5 sq ft (R310.2.1).
- The bottom of the clear opening shall not be greater than 44 inches measure from the floor. (R310.2.2).
- ALL WINDOWS SHALL BE DUAL PANE UNLESS OTHERWISE NOTED.
- ALL EXTERIOR DOORS LEADING TO HOUSE SHALL HAVE ALUMINUM THRESHOLD AND FULLY WEATHERSTRIP.
- SAFETY GLASS TO BE PROVIDED FOR DOORS AND WINDOWS ADJACENT TO OPENINGS. ALL WINDOWS IN BATHS, AND IN WINDOWS WHERE EXPOSED BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE FLOOR.
- ALL WEATHER STRIPPING, CAULKING, AND SEALING OF EXTERIOR DOORS, WINDOWS, AND BLDG. ENVELOPE OPENINGS, AS REQUIRED BY THE C.B.C. SHALL BE SUBJECT TO FIELD INSPECTION.
- ALL MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED.
- GLASS WINDOWS AND DOORS THAT ARE SUBJECT TO HUMAN IMPACT, WITH 24" OF DOOR, CLOSER THAN 60" ABOVE AN EXTERIOR WALKING SURFACE OR WITHIN 18" OF AN INTERIOR FLOOR MUST BE TEMPERED GLASS OR REQUIRES A PROTECTIVE GRILL AS PER CBC 2406.

PROPOSED WINDOW & DOOR SCHEDULES

**315 SOBRATO DRIVE
 CAMPBELL CA 95008**

7/29/24

A-6



INTERIOR DESIGNER
GILBERT FERNANDEZ III

Gilbert Fernandez III

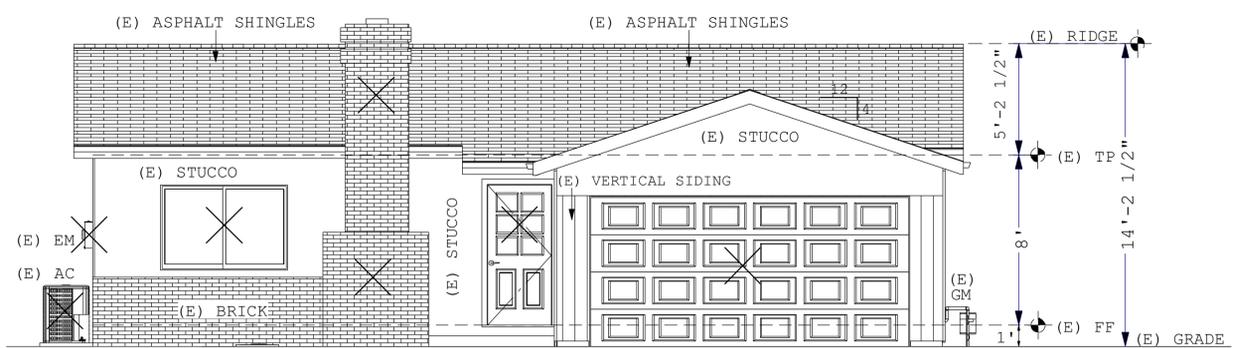
DELTA	REVISIONS
A	PLANNING COMMENTS 4/30/2024
B	OWNER REVISIONS 7/4/2024
C	-
D	-
E	-
F	-

EXISTING ELEVATIONS
& FRONT STREET VIEW

315 SOBRATO DRIVE
CAMPBELL CA 95008

7/29/24

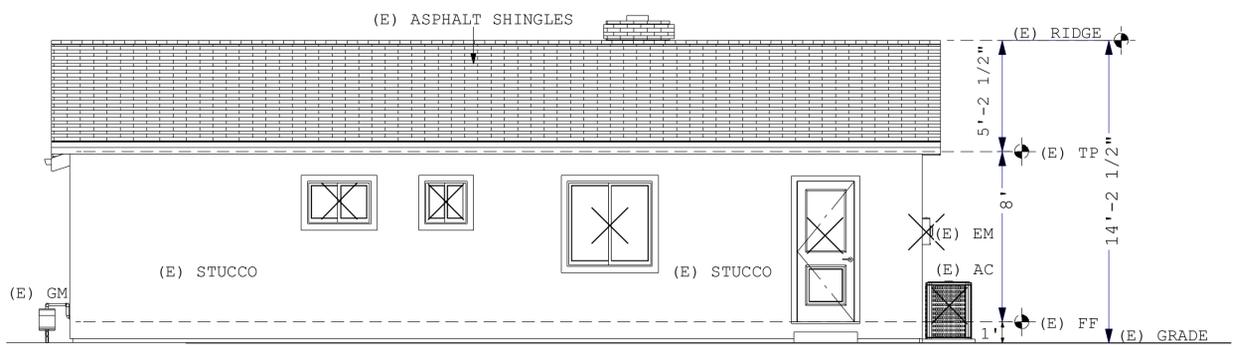
A-7



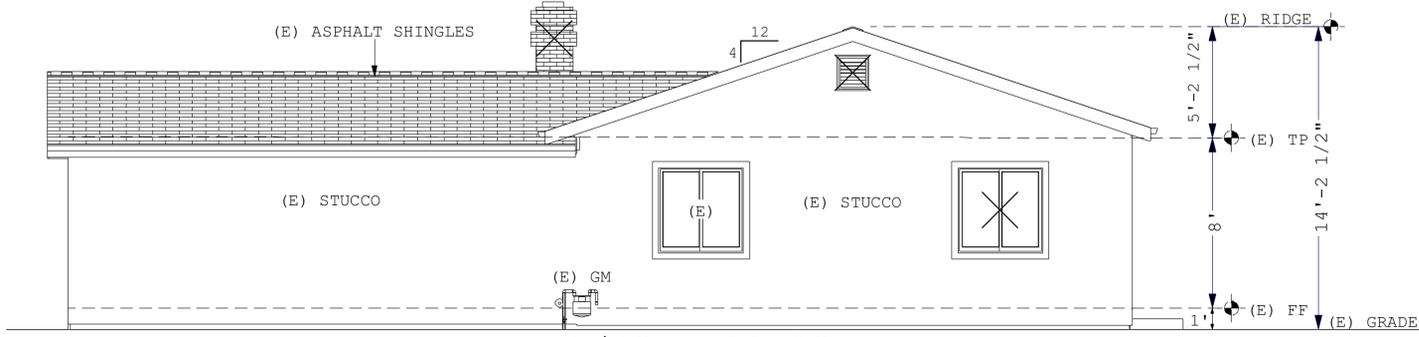
EXISTING FRONT ELEVATION 1/4" = 1'-0"



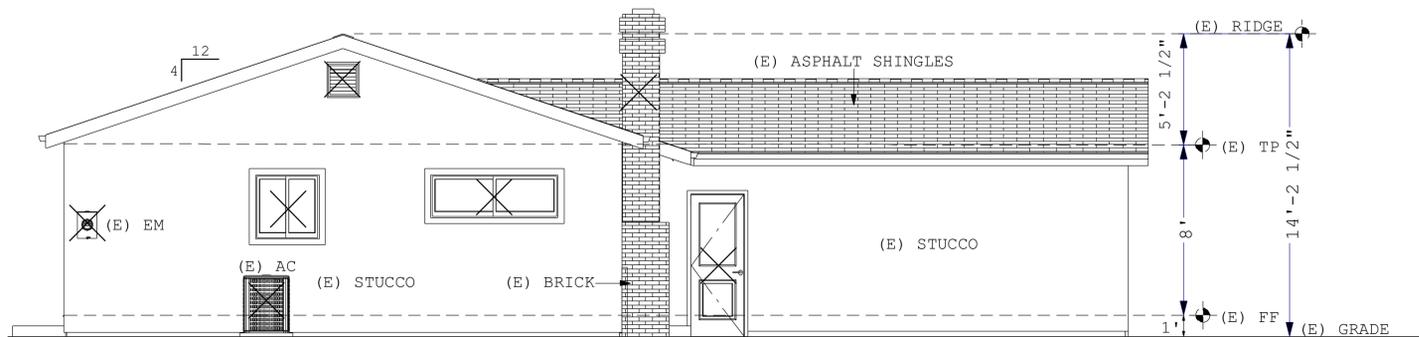
EXISTING FRONT STREET VIEW N.T.S.



EXISTING REAR ELEVATION 1/4" = 1'-0"



EXISTING RIGHT ELEVATION 1/4" = 1'-0"



EXISTING LEFT ELEVATION 1/4" = 1'-0"



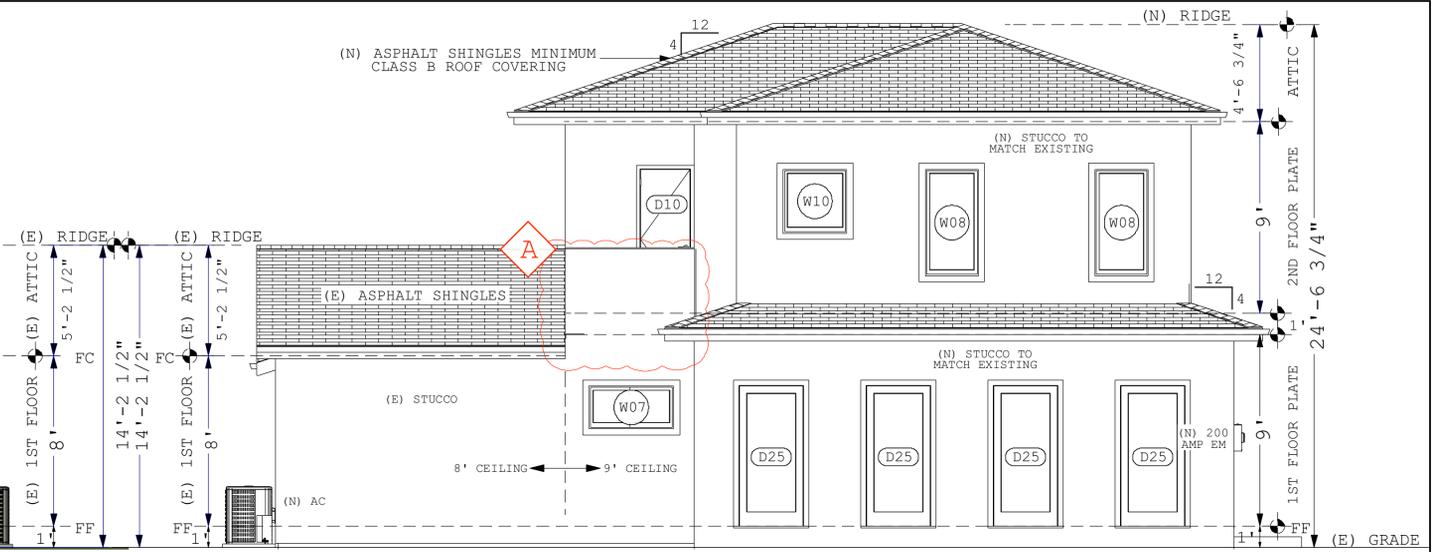
INTERIOR DESIGNER
GILBERT FERNANDEZ III

DELTA REVISIONS

REVISIONS	PLANNING COMMENTS
A	4/30/2024
B	OWNER REVISIONS 7/4/2024
C	-
D	-
E	-
F	-



PROPOSED FRONT ELEVATION 1/4" = 1'-0"



PROPOSED REAR ELEVATION 1/4" = 1'-0"

ADDRESS NUMBER

NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 6 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.

EXTERIOR LATH MATERIAL

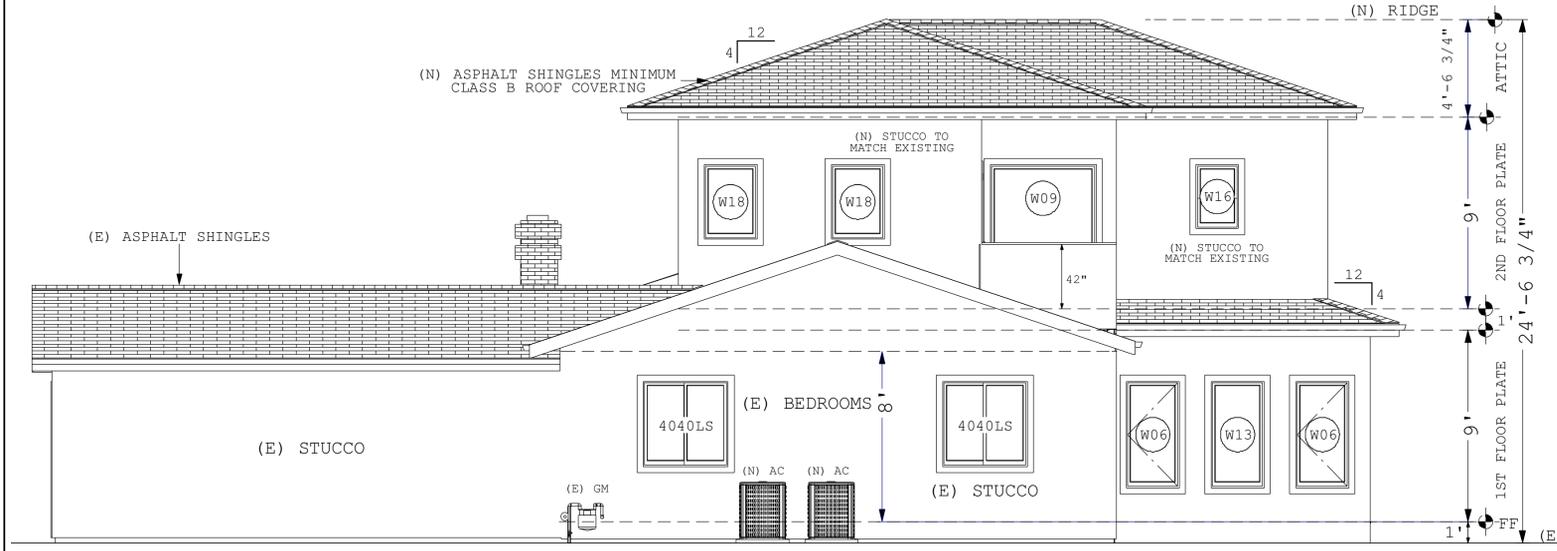
- 3-COAT STUCCO 7/8" THICK PORTLAND CEMENT PLASTER OVER PAPER AND WIRE LATH.
- APPLY LATH PAPER DIRECTLY OVER WOOD STRUCTURAL PANEL AS PER "S" SHEET.
- APPLY TWO LAYERS OF TYPE "D" UNDERLAYMENT AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER PLYWOOD SHEATHING.
- NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT FRIEZE BLOCK.
- PROVIDE GALVANIZED STEEL METAL FLASHING & COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2 ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
- PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.

ELEVATION NOTES

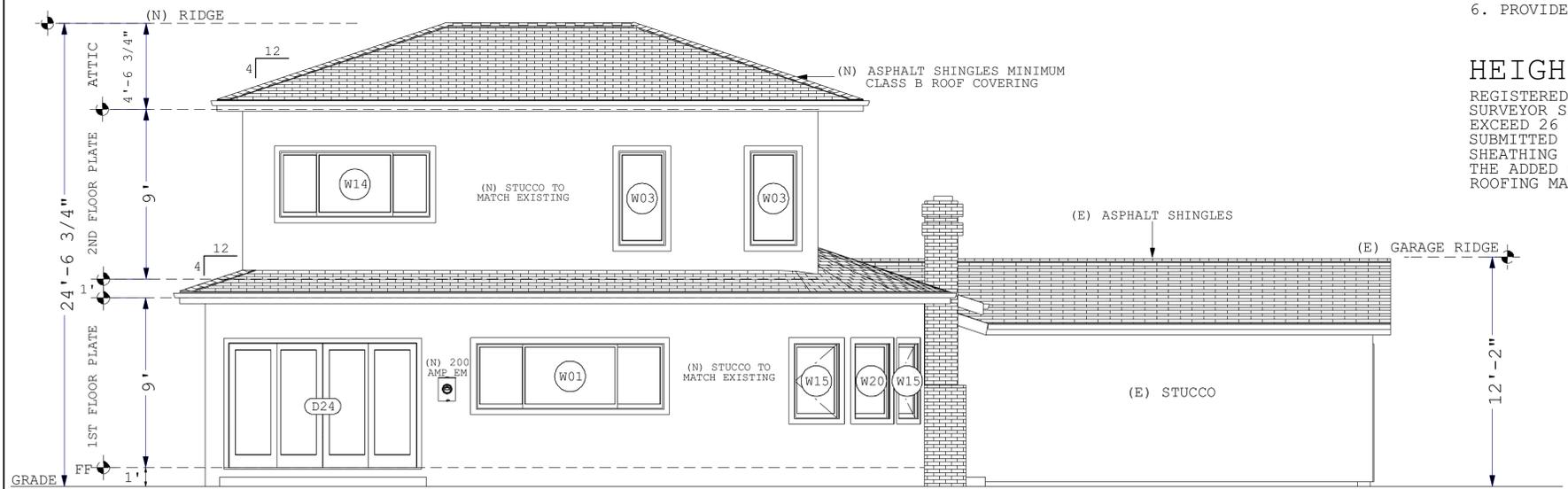
- PROVIDE BITHUTHENE OR SIMILAR RUBBERIZED ASPHALT FLASHING WITHIN THE LATH ASSEMBLY OF ALL HORIZONTAL UPSIDE STUCCO SURFACES AND PROJECTIONS.
- PROVIDE AN ANTI-PONDING DEVICE AT BOTTOM COURSE OF THE ROOF IF A RAISED FASCIA BOARD IS USED.
- PROVIDE TWO LAYERS OF TYPE "D" UNDERLAYMENT AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER PLYWOOD SHEATHING.
- NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT FRIEZE BLOCK.
- PROVIDE GALVANIZED STEEL METAL FLASHING & COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2 ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
- PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.

HEIGHT NOTE

REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR SHALL CERTIFY HEIGHT OF BUILDING DOES NOT EXCEED 26 FEET. THE WRITTEN CERTIFICATION SHALL BE SUBMITTED TO THE BUILDING OFFICIAL PRIOR TO ROOF SHEATHING INSPECTION AND SHALL TAKE INTO ACCOUNT THE ADDED HEIGHT WITH THE INSTALLATION OF THE ROOFING MATERIALS AND UNDERLAYMENT.



PROPOSED RIGHT ELEVATION 1/4" = 1'-0"



PROPOSED LEFT ELEVATION 1/4" = 1'-0"

PROPOSED ELEVATIONS AND NOTES

315 SOBRATO DRIVE
CAMPBELL CA 95008

7/29/24

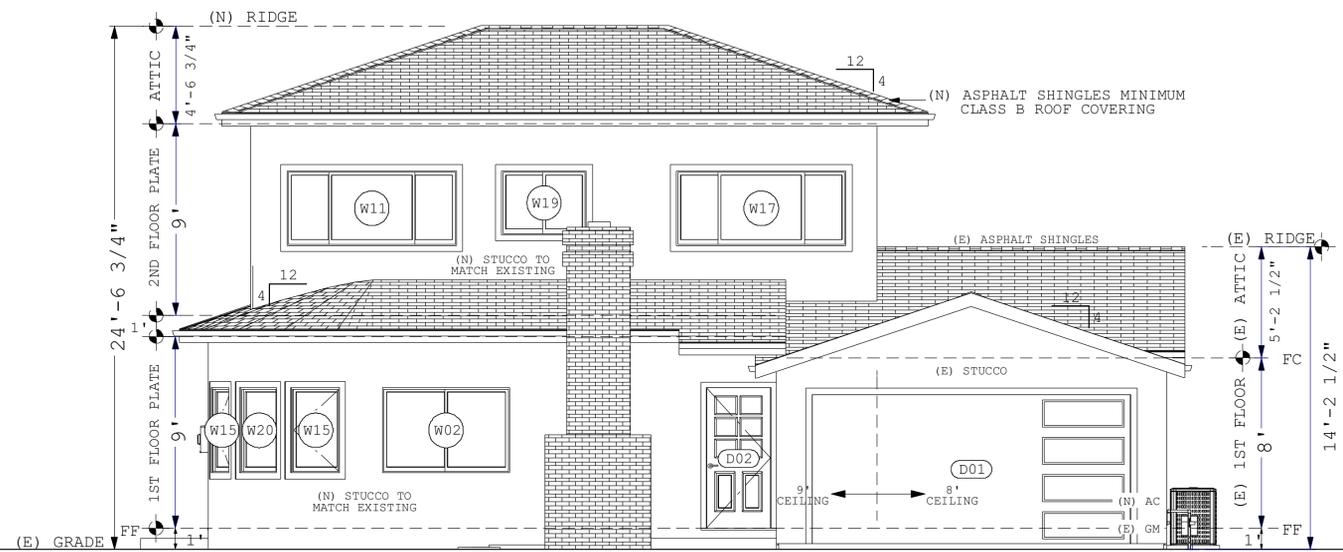
A-7.1



INTERIOR DESIGNER
GILBERT FERNANDEZ III

Gilbert Fernandez III

DELTA	REVISIONS
A	PLANNING COMMENTS 4/30/2024
B	OWNER REVISIONS 7/4/2024
C	-
D	-
E	-
F	-



PROPOSED FRONT ELEVATION 1/4" = 1'-0"



EXISTING FRONT STREET VIEW (315 SOBRATO) N.T.S.



325 SOBRATO DRIVE STREET VIEW N.T.S.



300 SOBRATO DRIVE STREET VIEW N.T.S.



320 SOBRATO DRIVE STREET VIEW N.T.S.



310 SOBRATO DRIVE STREET VIEW N.T.S.

PROPOSED FRONT ELEVATION,
EXISTING STREET VIEW &
ADJACENT PROPERTIES

315 SOBRATO DRIVE
CAMPBELL CA 95008

7/29/24

A-7.2

INSULATION NOTE

EXTERIOR WALL: R-15

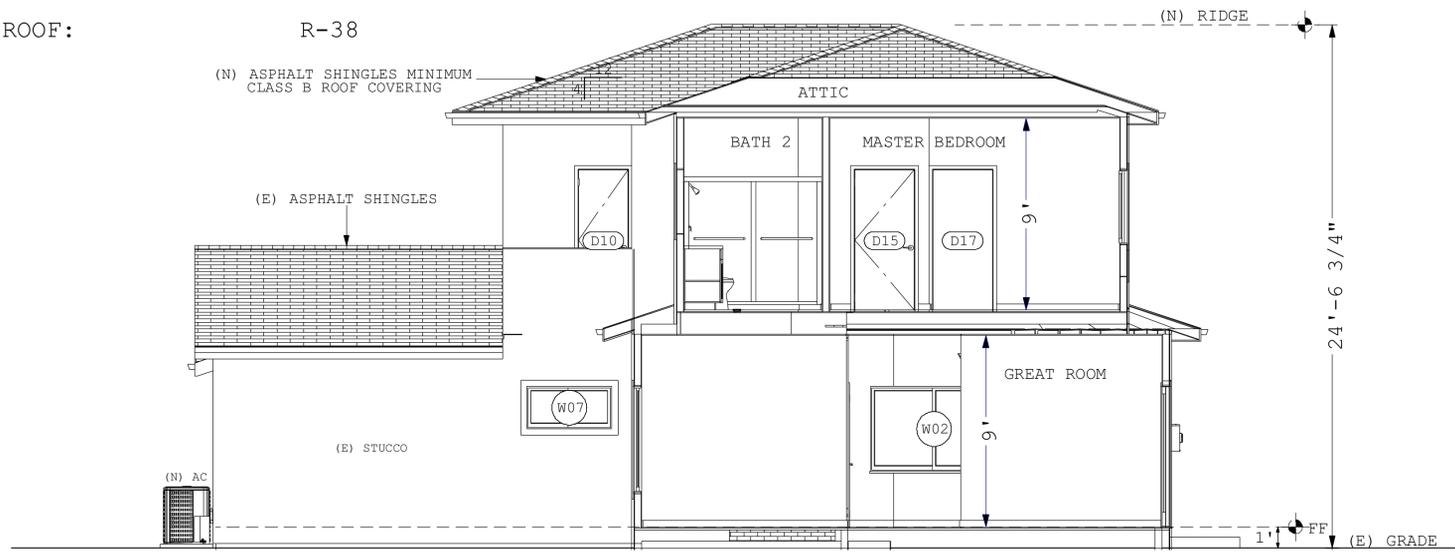
CRAWL SPACE: R-19

ROOF: R-38

INTERIOR DESIGNER
GILBERT FERNANDEZ III

[Signature]

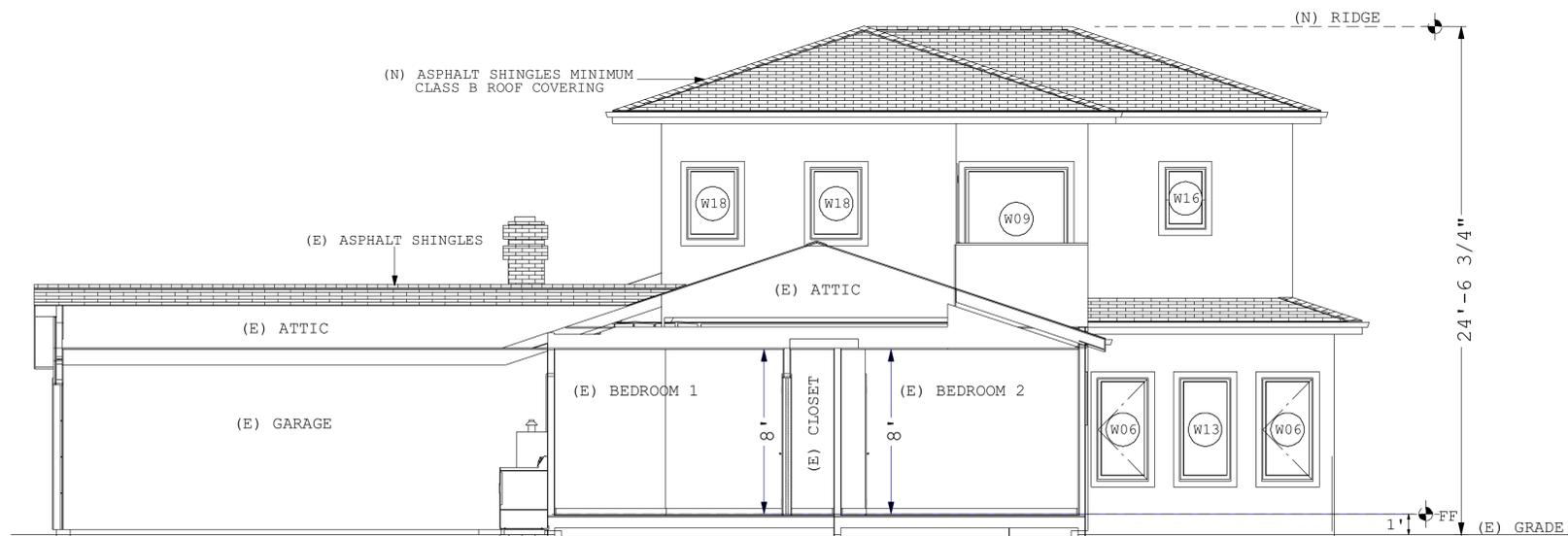
DELTA	REVISIONS
A	PLANNING COMMENTS 4/30/2024
B	OWNER REVISIONS 7/4/2024
C	-
D	-
E	-
F	-



CROSS SECTION A 1/4" = 1'-0"



CROSS SECTION B 1/4" = 1'-0"



CROSS SECTION C 1/4" = 1'-0"

PROPOSED CROSS SECTIONS

315 SOBRATO DRIVE
CAMPBELL CA 95008

7/29/24

A-8

GENERAL ELECTRICAL NOTES

- FOR EXISTING BUILDINGS TO BE DEMOLISHED, GAS & ELECTRIC METERS ARE TO BE REMOVED BY PG&E PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY.
- CONTRACTOR IS TO VERIFY & CONFIRM W/OWNER WHETHER ANY LOW VOLTAGE NETWORK, SECURITY, SURVEILLANCE & INTERCOM SYSTEM IS TO BE PROVIDED/INSTALLED.
- ALL ELECTRICAL WORK TO COMPLY W/APPLICABLE CURRENT CODES & LOCAL JURISDICTION REGULATIONS.
- NOTE FOR LANDSCAPE, PROVIDE NECESSARY PROVISIONS FOR LOW VOLTAGE LANDSCAPE LIGHTING ACCORDING TO OWNERS PREFERENCES. COORDINATE WITH OWNER FOR REQUIRED WORK.
- GROUNDING:
A-PROVIDE UFER GROUND PER ELECTRICAL CODE.
B-HOT, COLD & GAS LINES SHALL BE ELECTRICALLY BONDED AT EACH WATER HEATER.
C-PROVIDE INTERSYSTEM BONDING DEVICE LOCATED NEAR MAIN ELECTRIC SERVICE PANEL & ALL SUB PANELS AT POOL HOUSE & ACCESSORY STRUCTURE.
- ARC-FAULT CIRCUIT INTERRUPTER IS REQUIRED FOR ALL FAMILY ROOMS, DINNING ROOMS, BEDROOMS, LIVING ROOMS, PARLORS & SIMILAR AREAS PER CEC 210.12(B). PROVIDE DESIGNATED 20 AMP CIRCUITS FOR LAUNDRY ROOMS, BATHROOMS & KITCHENS PER CEC 2016.
- ALL RECEPTACLES SHALL BE TAMPER-RESISTANT TYPICAL PER CEC 406.12,13,14 CEC 210.8(B).
- ALL RECEPTACLES, OUTLETS, SMOKE DETECTORS PER N.E.C. 210-8 SHALL BE GROUND FAULT CIRCUIT INTERRUPTERS FOR DWELLINGS UNITS WHEN INSTALLED IN INSIDE AND OUTDOORS.
- PROVIDE DEDICATED 20 AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM & LAUNDRY OUTLETS, THIS CIRCUIT CAN NOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. PER NEC SECTION 210-52.
- BOTTOM OUTLET OF ALL ELECTRICAL OUTLET BY THE HEADBOARD LOCATIONS OF BEDS IN BEDROOMS & GUEST ROOMS TO BE SWITCH OPERATED. SWITCH LOCATED BY THE ENTRY DOOR OF THE ROOM. COORDINATE W/OWNER FOR ANY OTHER OUTLET TO BE SWITCHED.
- IN KITCHENS & DINNING UNITS OF DWELLING UNITS, A RECEPTACLE SHALL BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12". RECEPTACLE SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24", MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE. ISLAND AND PENINSULA COUNTERTOPS, 12" OR WIDER SHALL HAVE AT LEAST ONE RECEPTACLE FOR EACH FOUR FEET OF COUNTERTOP. COUNTERTOP SEPARATED BY RANGE TOPS, REFRIGERATORS OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER SPACES, RECEPTACLE RENDERED INACCESSIBLE BY APPLIANCES FASTENED IN PLACES OR APPLIANCES OCCUPYING DEPICTED SPACE SHALL NOT BE CONSIDERED AS THESE REQUIRED OUTLETS. N.E.C. ARTICLE 210-52(C).
- TWO SMALL APPLIANCES BRANCH CIRCUITS FOR THE KITCHEN TO BE LIMITED TO SUPPLY WALL & COUNTER SPACE OUTLET. THEY SHALL NOT SUPPLY DINNING ROOM, OUTSIDE PLUGS, RANGES, RANGE HOODS, DISPOSALS, DISHWASHERS OR MICROWAVES. ONLY REQUIRED COUNTERTOP/WALL OUTLETS INCLUDING REFRIGERATORS PER NEC SECTION 210-52(B).
- ALL RECEPTACLES AT WET AREAS TO BE GFCI PROTECTED THRU-OUT TYPICAL. PROVIDE DEDICATED CIRCUIT FOR SPA, RANGE, BUILT-IN MICROWAVES & SIMILAR EQUIPMENT PER CURRENT APPLICABLE CODES.
- INSTALL ALL RECEPTACLES IN GARAGE TO BE 18" ABOVE FINISH FLOOR & GFCI PROTECTED.
- ALL RECEPTACLES AT THE FRONT & REAR OF THE HOME SHALL BE WITHIN 6 FEET 6 INCHES OF GRADE & THEY ARE TO BE WEATHERPROOFED GFCI PER NEC SECTION 210-52.
- IF APPLICABLE, PROVIDE NAT. GAS POWERED EMERGENCY GENERATOR SUPPLYING POWER FOR AT LEAST SUMP PUMPS AS AN ALTERNATE EMERGENCY POWER SUPPLY. SHOULD OWNER PREFER PORTABLE EMERGENCY GENERATORS, PROVIDE CONNECTION POINT & WIRING IN ONE OF THE LIGHT WELLS FOR PORTABLE GENERATOR.

FIRE NOTES

- A FIRE ESCAPE WINDOW SHALL BE PROVIDED IN EVERY BEDROOM WHERE THERE IS NOT A DOOR TO THE EXTERIOR WITH A SILL NO HIGHER THAN 44" ABOVE THE FINISHED FLOOR. THE OPENING MUST BE AT MINIMUM 24" HIGH & 20" WIDE. SUCH WINDOW SHALL HAVE A CLEAR OPENABLE AREA OF NOT LESS THAN 5.7 SQUARE FEET WITH STREET, ALLEY, YARD OR EXTERIOR COURT ACCESS.
- PROVIDE SMOKE DETECTORS AT ALL BEDROOMS & HALLWAYS AS REQUIRED (MIN. 3' FROM AC RETURN/VENTS).
- CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL2034.
- CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL2075.
- CARBON MONOXIDE ALARMS AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE 2016 C.R.C. CARBON MONOXIDE ALARMS AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED PER THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
- POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2022 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7.

LIGHTING NOTES

- GENERAL PURPOSE LIGHTING FIXTURES IN KITCHENS & BATHROOMS SHALL BE HIGH EFFICACY FIXTURES CONTROLLED BY THE MOST ACCESSIBLE SWITCHES THOSE NEAREST TO THE DOOR PER SECTION 150(K).
- RECESSED LIGHT FIXTURES IN INSULATED CEILINGS SHALL BE APPROVED, LISTED, ZERO-CLEARANCE INSULATION COVER (IC) TYPE, CERTIFIED AIR TIGHT (ASTME 283) & SEALED W/A GASKET OR CAULKED BETWEEN HOUSING & CEILING, & SHALL BE CERTIFIED TO COMPLY W/SECTION 119(N), & ALLOW BALLAST MAINTENANCE & REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW. CENC 50(K)12.
- LIGHTING IN CLOSETS SHALL HAVE THE FOLLOWING CLEARANCES TO THE COMBUSTIBLE SHELVES.
A-SURFACE MOUNTED HIGH EFFICACY FIXTURES SHALL HAVE 12" MINIMUM CLEARANCE.
B-HIGH EFFICACY FIXTURES & RECESSED TO HAVE A MINIMUM OF 6" CLEARANCE.
- AT LEAST HALF OF THE INSTALLED WATTAGE OF LIGHT FIXTURES IN KITCHENS SHALL BE HIGH EFFICACY & THOSE THAT ARE NOT, BE SWITCHED SEPARATELY. HIGH EFFICIENCY LIGHT FIXTURES MUST PROVIDE AT LEAST 40 LUMEN PER WATT.
- LIGHTING IN BATHROOMS:
A- AT LEAST ONE LIGHT IN ALL BATHROOMS SHALL BE HIGH EFFICACY.
B- ALL OTHER BATHROOM LIGHTS BE HIGH EFFICACY LUMINARIES OR CONTROLLED BY A VACANCY SENSOR (MANUAL ON OCCUPANCY SENSOR & MOTION SENSOR THAT COMPLIES W/CEC SECTION 110-9(B) & SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINARIES TO BE ALWAYS ON).
- LIGHTING IN GARAGE, LAUNDRY ROOM & UTILITY ROOMS:
ALL LIGHTS IN THESE ROOMS SHALL BE HIGH EFFICACY LUMINARIES OR CONTROLLED BY A VACANCY SENSOR (MANUAL ON OCCUPANCY SENSOR & MOTION SENSOR THAT COMPLIES W/CEC SECTION 110-9(B) & SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINARIES TO BE ALWAYS ON).
- OTHER ROOMS SHALL HAVE LIGHT FIXTURES HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS THAT AREA LESS THAN 70 SQ. FT. ARE EXEMPT FROM THIS REGULATION.
- ALL EXTERIOR LIGHT FIXTURES SHALL BE WATERPROOFED & LISTED FOR SUCH EXTERIOR/OUTDOOR USAGE.
- LIGHT FIXTURES INSTALLED ABOVE & WITHIN 5 FEET FROM INSIDE WALLS OF THE SAME LOT SHALL BE HIGH EFFICACY LIGHT FIXTURES OR SHALL BE CONTROLLED BY A PHOTO CONTROLLED/MOTION SENSOR COMBINATION. SPA/WHIRLPOOL UNITS SHALL BE AT LEAST 7 FEET 6 INCHES ABOVE THE MAXIMUM WATER LEVEL & GFCI PROTECTED. FIXTURES MAY BE INSTALLED LESS THAN 7 FEET 6 INCHES PROVIDED THAT THEY ARE LISTED FOR USE IN DAMPED LOCATIONS & THEY ARE GFCI PROTECTED.
- CONTRACTORS ARE TO VERIFY & CONFIRM THE LOCATION OF ALL LIGHTS SWITCHES & PROVIDE ADDITIONAL OUTLETS OTHER THAN ONES SHOWN ON DRAWINGS. DO NOT OMIT/ELIMINATE ANY OUTLETS SHOWN ON DRAWINGS.

MECHANICAL NOTES

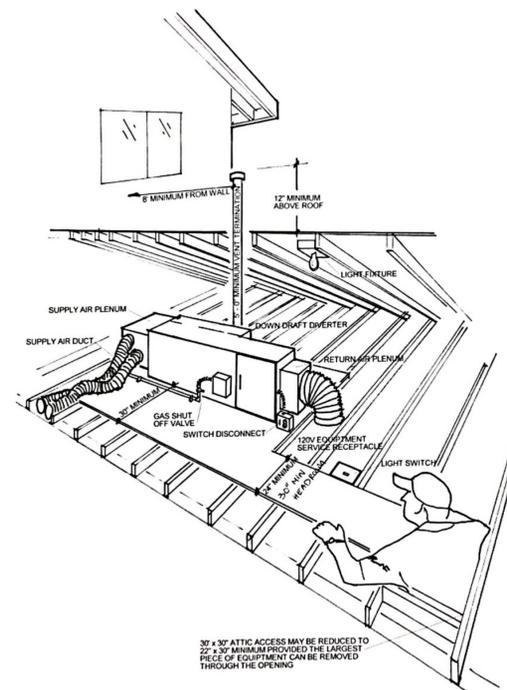
- ALL NEW CONSTRUCTION & ADDITIONS EXCEEDING 1,000 SQ. FT. SHALL MEET THE REQUIREMENTS OF ANSI/ASHRAE 62.2 VENTILATION & ACCEPTABLE INDOOR AIR QUALITY IN LOW-RISE RESIDENTIAL BUILDINGS. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING THE WHOLE BUILDING VENTILATION REQUIRED. COORDINATE W/ENERGY REPORT & ENGINEERING DOCUMENTS FOR THE NOTES, SCHEDULES FAN & DUCT SIZING & LOCATIONS FOR WHOLE BUILDING VENTILATION.
- WHOLE BUILDING VENTILATION SHALL BE BY CONTINUOUS OPERATING EXHAUST FANS IN A BATHROOMS AS REQUIRED PER CEC SECTION 150(O). VENTILATION AIR MUST COME DIRECTLY FROM OUTDOORS (I.E. NOT FROM ATTIC OR CRAWLSPACE.)
- VENTILATION HEATING & AIR CONDITIONING SYSTEMS SHALL HAVE MERV 6 FILTERS OR BETTER, CEC 150.0(M)12B.
- ALL ENVIRONMENTAL DUCT TERMINATIONS SHALL BE MINIMUM 3 FEET FROM ANY OPENING INTO BUILDING (I.E. DRYERS, BATH & UTILITY FANS, ETC. MUST BE AWAY FROM DOORS WINDOW OPENING SKYLIGHTS OR ATTIC VENTS. TYPICAL PER CMC 504.5.
- DUCT TERMINATION FOR DRYER SHALL BE MINIMUM 3 FEET AWAY FROM OPENING INTO BUILDING LIKE UTILITY FANS, BATH EXHAUST FANS & DOOR/WINDOW OPENING, PER CMC 504.5 PROVIDE BACK DRAFT DAMPER (NO SCREEN).
- PROVIDE A MINIMUM OF 50 CFM INTERMITTENT AIRFLOW FOR THE BATHROOM EXHAUST FANS.
- KITCHEN HOOD PROVIDE DAMPER & DUCT W/SMOOTH SHEET METAL EXHAUST DIRECTLY TO OUTSIDE W/ 100 CFM MINIMUM
- PROVIDE AT LEAST ONE CONTINUOUSLY OPERATING FAN IN BATHROOM (OR TOTAL AMOUNT EQUAL TO) BY MORE THAN ONE BATHROOM FANS PROVIDING AIR EXCHANGE AT LEAST 128 CFM PER TITLE 24 REPORT, CFR-PRE-01 FOR THE MAIN HOUSE WHOLE HOUSE VENTILATION. AIR SHALL BE EXHAUSTED DIRECTLY TO OUTDOOR & ALSO AIR SHALL BE COMING DIRECTLY FROM OUTSIDE.

Table 12-8
Size of Gas Piping
Maximum Delivery Capacity of Cubic Feet of Gas Per Hour of IPS Pipe Carrying Natural Gas of 0.60 Specific Gravity Based on Pressure Drop of 0.5 Inch Water Column

Pipe Size Inches	Length in Feet											
	10	20	30	40	50	60	70	80	90	100	125	
1/2"	172	118	95	81	72	65	60	56	52	50	44	
3/4"	360	247	199	170	151	137	126	117	110	104	92	
1"	678	466	374	320	284	257	237	220	207	195	173	
1-1/4"	1390	957	768	657	583	528	486	452	424	400	355	
1-1/2"	2090	1430	1150	985	873	791	728	677	635	600	532	
2"	4020	2760	2220	1900	1680	1520	1400	1300	1234	1160	1020	
2-1/2"	6400	4400	3530	3020	2680	2430	2230	2080	1950	1840	1630	
3"	11300	7780	6250	5350	4740	4290	3950	3670	3450	3260	2890	
4"	23100	15900	12700	10900	9660	8760	8050	7490	7030	6640	5890	

Pipe Size Inches	Length in Feet										
	150	175	200	250	300	350	400	450	500	600	
1/2"	40	37	34	30	27	25	23	22	21	20	19
3/4"	83	77	71	63	57	53	49	46	43	41	39
1"	157	144	133	119	108	99	92	86	82	78	74
1-1/4"	322	296	275	244	221	203	189	177	168	159	152
1-1/2"	482	443	416	366	331	305	283	266	251	239	228
2"	928	854	794	704	638	587	546	512	484	459	438
2-1/2"	1480	1360	1270	1120	1020	935	870	816	771	732	699
3"	2610	2410	2240	1980	1800	1650	1540	1440	1360	1290	1240
4"	5330	4910	4560	4050	3670	3370	3140	2940	2780	2640	2520

TYPICAL INSTALLATION OF FAU IN ATTIC



INSTALLATION CHECKLIST



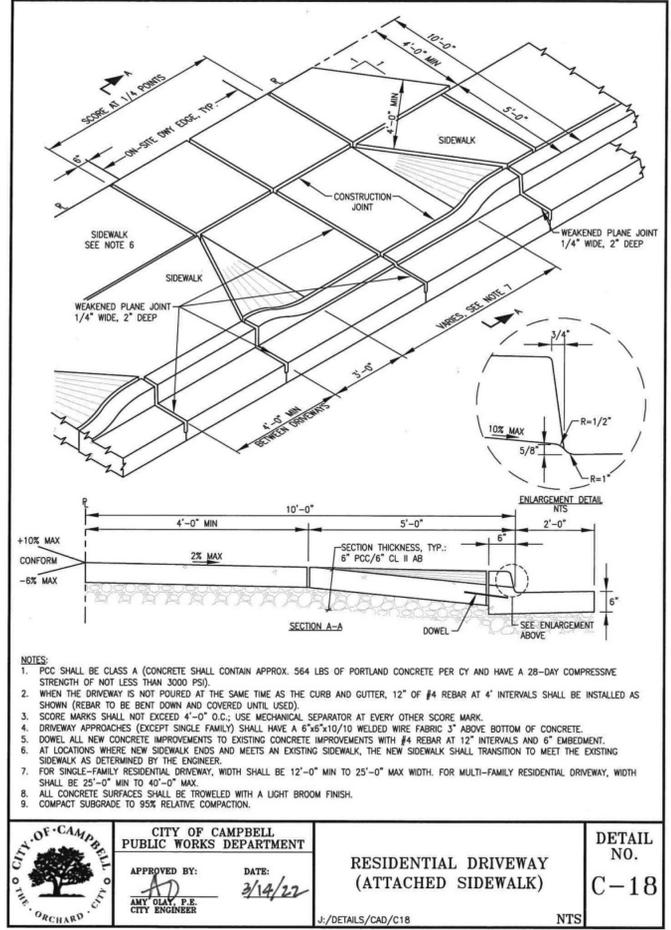
INTERIOR DESIGNER
GILBERT FERNANDEZ III

DELTA REVISIONS

REVISIONS	REVISIONS
A	PLANNING COMMENTS 4/30/2024
B	OWNER REVISIONS 7/4/2024
C	-
D	-
E	-
F	-

ELECTRICAL NOTES AND DETAILS

315 SOBRATO DRIVE
CAMPBELL CA 95008



	CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT	RESIDENTIAL DRIVEWAY (ATTACHED SIDEWALK)	DETAIL NO. C-18
	APPROVED BY: [Signature] CITY ENGINEER		

NTS

7/29/24

A-9.1



**FIRE DEPARTMENT
SANTA CLARA COUNTY**

14700 Winchester Blvd., Los Gatos, CA. 95032-1818
(408) 378-4010 • (408) 378-9342 (fax) • www.sccfd.org



STANDARD DETAILS & SPECIFICATIONS

Spec No SI-7
Rev. Date 04/30/09
Eff. Date 12/17/02
Approved By _____
Page 1 of 9

SUBJECT: Construction Site Fire Safety

SCOPE

This Standard is intended to prescribe minimum safeguards for new building construction, demolition or significant building alteration projects in order to provide a reasonable degree of safety to life and property from fire. This Standard is based on the provisions for fire safety during building construction or demolitions as set forth in the 2007 California Fire Code Chapter 14 and National Fire Protection Association Standard 241. This Standard shall not be construed to be in lieu of other applicable State or Federal laws and regulations related to construction site safety. The general contractor (or other designee of the building owner) shall be responsible for compliance with the provisions of this Standard. When the term "shall" is used in this Standard, it means a mandatory requirement.

REQUIREMENTS

I. Fire Protection Plan

A written Fire Protection Plan shall be developed for significant or complex construction projects at the discretion of the fire department. The plan shall be approved by the fire department prior to proceeding past foundation work for new buildings or commencement of demolition work in alteration projects. The written plan shall be consistent with the fire safety precautions as specified in this Standard. The general contractor is responsible for carrying out the provisions of the Fire Protection Plan and communicating it to all subcontractors. Additionally, the Fire Marshal shall be notified of any change affecting the utilization of information contained in the Fire Protection plan. The Fire Protection Plan shall include the following:

- A. Procedures for reporting emergencies to the Fire department.
- B. Procedures for emergency notification, evacuation and/or relocation of all persons in the building under construction and on the site.
- C. Procedures for hot work operations, management of hazardous materials and removal of combustible debris and maintenance of emergency access roads.
- D. Floor plans identifying the locations of exits, exit stairs, exit routes and portable fire extinguishers.
- E. Site plans identifying the designated exterior assembly areas for each evacuation route.
- F. Site plans identifying required fire apparatus access roadways and on-site fire hydrants.

Organized as the Santa Clara County Central Fire Protection District 1
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga

IV. Means of Egress Requirements

- A. **Minimum number of Exits:** All new buildings under construction shall have a least one unobstructed exit. All exits shall be identified on the Fire Protection Plan.
- B. **Multi-Story Buildings:** Each level above the first story in new multi-story buildings shall be provided with at least two usable exit stairs after the floor decking is installed. The stairways shall be continuous and discharge to grade level. Stairways serving more than two floor levels shall be enclosed (with openings adequately protected) after exterior walls/windows are in place. Exit stairs in new and in existing, occupied buildings shall be lighted and maintained clear of debris and construction materials at all times.
Exception: For new multi-story buildings, one of the required exit stairs may be obstructed on not more than two contiguous floor levels for the purposes of stairway construction (i.e., installation of gypsum board, painting, flooring, etc.).
- C. **Assembly Points:** Designated exterior assembly points shall be established for all construction personnel to relocate to upon evacuation. The assembly points shall also be identified in the Fire Protection Plan.

V. Area Separation Walls

When area separation walls are required, the wall construction shall be completed (with all openings protected) immediately after the building is sufficiently weather-protected at the location of the wall(s).

VI. Special Operation Requirements

- A. **Hot Work:** Hot work includes any work involving operations capable of initiating fires or explosions, including cutting, welding, brazing, soldering, grinding, thermal spraying, thawing pipe, torch applied roofing, or any other similar activity. The use of hot work equipment shall be in accordance with the following guidelines, including a pre-site inspection, fire watch and post inspection procedures.
 1. **Pre-site Inspection:** An inspection of the hot work site shall be conducted by the General Contractor or his/her designee prior to hot work operations to ensure:

Organized as the Santa Clara County Central Fire Protection District 5
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga

- G. The name and contact phone number of the person(s) responsible for compliance with the Fire Protection Plan.

II. General Safety Requirements

- A. **Fire Department Access Roadways:** All construction sites shall be accessible by fire department apparatus by means of roadways having an all-weather driving service of not less than 20ft. of unobstructed width. The roads shall have the ability to withstand the live loads of fire apparatus, and have a minimum 13ft. 6 in. of vertical clearance. Dead end fire access roads in excess of 150 ft. in length shall be provided with approved turnarounds.

When approved by the Chief, temporary access roadways may be utilized until such time that the permanent roadways are installed. As a minimum, the roadway shall consist of a compacted sub base and six (6) inches of road base material (Class 2 aggregate base rock) both compacted to a minimum 95%. The perimeter edges of the roadway shall be contained and delineated by curb and gutter or other approved method. The use of geotextile reinforcing fabric underlayment or soils lime-treatment may be required if so determined by the project civil engineer. Provisions for surface drainage shall also be provided where necessary. The integrity of the roadway shall be maintained at all times.

Key boxes: Key boxes and/or approved padlocks shall be required when necessary for access through locked gates or structures.

- B. **Fire hydrants:** Where underground water mains and hydrants are required for the building(s) under construction, they shall be installed, completed, and in service prior to combustible construction materials accumulating on site.
- C. **Telephone service:** Provisions shall be provided at the construction site for emergency notification of the fire department via telephone. The street address of the construction site shall be posted adjacent to the telephone, along with the number for the public safety answering point.
- D. **Premises identification:** The address numbers of the property or project location shall be plainly visible and legible from the street or road fronting the property at the fire apparatus access point or as otherwise approved.
- E. **Combustible debris:** Wood, cardboard, packing material, form lumber and similar combustible debris shall not be accumulated within buildings. Such debris, rubbish and waste material shall be removed from buildings on a daily basis.

Organized as the Santa Clara County Central Fire Protection District 2
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga

- (a) the hot work site is clear of combustibles or that combustibles are protected;
- (b) exposed construction is of noncombustible materials or that combustible materials are protected;
- (c) openings are protected;
- (d) there are no exposed combustibles on the opposite side of partitions, walls, ceilings, floors, etc.;
- (e) fire extinguishers are available, fully charged and operable; and
- (f) fire watch personnel are assigned, equipped and trained.

- 2. **Fire Watch:** The sole duty of fire watch personnel shall be to watch for the occurrence of fire during and after hot work operations. Individuals designated to fire watch duty shall have fire extinguishing equipment readily available and shall be trained in the use of such equipment. Personnel assigned to fire watch shall be responsible for extinguishing spot fires and communicating an alarm. Fire watch personnel shall be provided with at least one means for notification of the fire department. Hot work conducted in areas with vertical and horizontal fire exposures that cannot be observed by a single individual shall have additional personnel assigned to fire watches to ensure that all exposed areas are monitored.

- 3. **Post-inspection:** The fire watch shall be maintained a minimum of 30 minutes after the conclusion of the work to look out for leftover sparks, slag or smoldering combustibles.

- B. **Asphalt and tar kettles:** Asphalt kettles shall not be located within 20 feet of any combustible material, combustible building surface or building opening. With the exception of thermostatically controlled kettles, an attendant shall be within 100 feet of a kettle when the heat source is operating. Ladders or similar obstacles shall not form a part of the route between the attendant and the kettle. Kettles shall be equipped with tight-fitting covers. A minimum 3A 40-B:C rated portable fire extinguisher shall be located within 30 feet of each asphalt kettle when the heat source is operating. Minimum 3A 40-B:C rated portable fire extinguishers also shall be located on roofs during asphalt coating operations.

- C. **Motor Equipment:** Motorized equipment including internal-combustion-powered construction equipment shall be used in accordance with the following:

- 1) Equipment shall be located so that exhausts do not discharge against combustible materials.
- 2) When possible, exhausts should be piped to the outside of the building.

Organized as the Santa Clara County Central Fire Protection District 6
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga

- F. **Oily rags:** Oily rags and similar material shall be stored in metal or other approved containers equipped with tight-fitting covers.

- G. **Temporary heating equipment:** Temporary heaters, such as those that are LPG fueled, shall be listed and shall be installed, used, and maintained in accordance with the manufacturer's instructions (See LPG storage and use requirements below). Heating devices shall be secured properly and kept clear from combustible materials. Refueling operations shall be conducted in an approved manner.

- H. **Smoking:** Smoking is prohibited anywhere inside or on the roof of new buildings under construction or in the project work area of buildings undergoing alteration. A suitable number of 'No Smoking' signs shall be posted to ensure that smoking is controlled.

- I. **Vehicle parking:** All vehicles shall be parked a minimum of 20 feet from new buildings under construction.

- Exceptions:**
 1. Vehicles that are temporarily parked for loading/unloading or other construction related operations. Such vehicles shall not be left unattended.
 2. Private vehicles may be parked in parking garages of Type I construction if the automatic fire sprinkler system is in service and vertical openings are protected.

- J. **Combustible material storage:** Combustible construction materials shall be stored a minimum of 20 feet from buildings under construction or undergoing remodel.

- Exceptions:**
 1. Materials that are staged for installation on a floor level.
 2. When approved by the Fire Department, materials may be stored in parking garages of Type I construction if the automatic fire sprinkler system is in service and vertical openings are protected.

III. Fire Protection Systems

- A. **Fire Sprinkler Systems:** Where automatic fire sprinkler systems are required to be installed in new buildings, the system shall be placed in service as soon possible. Immediately upon the completion of sprinkler pipe installation on each floor level, the piping shall be hydrostatically tested and inspected. After inspection approval from the Fire department, each floor level of sprinkler piping shall be connected to the system supply riser and placed into service with all sprinkler heads uncovered. Protective caps may be

Organized as the Santa Clara County Central Fire Protection District 3
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga

- 3) Equipment shall not be refueled while in operation.
- 4) Fuel for equipment shall be stored in an approved area outside of the building.

(Ref: CFC Articles 87 & 13 – also 49, 79 and 11)

VII. Hazardous Materials

- A. **Liquefied Petroleum Gas (LP-Gas)** - Storage and use shall comply with the following:

- 1. Propane containers may be used in buildings under construction or undergoing major renovation as a fuel source for temporary heating for curing concrete, drying plaster and similar applications in accordance with the following:

- (a) Heating elements (other than integral heater-container units) shall be located at least 6 feet from any LP-Gas container.
- (b) Integral heater-container units specifically designed for the attachment of the heater to the container, or to a supporting standard attached to the container, may be used provided they are designed and installed so as to prevent direct or radiant heat application to the LP-Gas container.
- (c) Blower and radiant type units shall not be directed toward any LP-Gas container within 20 feet.
- (d) Heat producing equipment shall be installed with clearance to the combustibles in accordance with the manufacturer's installation instructions.
- (e) Cylinders shall comply with DOT cylinder specifications and shall be secured in an upright position.
- (f) Regulators shall be approved for use with LP-Gas. Fittings shall be designed for at least 250 psig service pressure.
- (g) Hose shall be designed for a working pressure of at least 350 psig (unless limited to 5 psig) and shall be a maximum of 6 feet in length.
- (h) Portable heaters shall be equipped with an approved automatic device to shut off the flow of gas to the main burner and to the pilot in the event of flame extinguishment or combustion failure. Portable heaters with an input of more than 50,000 Btu/hr shall be equipped with either a pilot that must be proved before the main burner can be turned on or an approved electronic ignition system.

Organized as the Santa Clara County Central Fire Protection District 7
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga

installed on the active sprinklers during the installation of drywall, texturing and painting, but shall be removed immediately after this work is completed. For system activation notification, an exterior alarm bell can be installed and connected to the sprinkler waterflow device prior to installation of the monitoring system.

For buildings equipped with fire sprinkler systems that are undergoing alterations, the sprinkler system(s) shall remain in service at all times except when system modifications are necessary. Fire sprinkler systems undergoing modifications shall be returned to service at the end of each workday unless otherwise approved by the fire department. The General contractor or his/her designee shall check the sprinkler control valve(s) at the end of each workday to confirm that the system has been restored to service.

- B. **Standpipes:** Where standpipes are required, the standpipes shall be installed when the progress of construction is not more than 35 ft. in height above the lowest level of the fire department access. Standpipes shall be provided with fire department hose connections and outlets at accessible locations adjacent to usable stairs. The standpipe system shall be extended as construction progresses to within one floor of the highest point of construction having secured decking or flooring. Each floor shall be provided a 2 1/2-inch valve outlet for fire department use. Where construction height requires installation of a Class III standpipe, fire pumps and water main connections shall be provided to serve the standpipe.

- C. **Fire Extinguishers:** Portable fire extinguishers shall be provided and shall be mounted on a wall or post at each usable stairway and such that the travel distance to any extinguisher does not exceed 75 ft. Mounting height to the top of the extinguisher shall not exceed 5 feet. Extinguishers shall not have less than a 2A10BC rating or as otherwise directed by the fire department. The general contractor shall ensure that an adequate number of individuals are trained in the proper use of portable fire extinguishers. Fire extinguishers shall also be located in storage sheds and contractor trailers.

- D. **Fire Alarm Systems:** Fire alarm systems shall be maintained operational at all times during building alterations. When an alteration requires modification to a portion of the fire alarm system, the portion of the system requiring work shall be isolated and the remainder of the system shall be kept in service whenever practical. When it is necessary to shut down an entire fire alarm system a fire watch or other mitigation approved by the fire department shall be implemented by the general contractor until the system is returned to full service.

Organized as the Santa Clara County Central Fire Protection District 4
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga

- 2. In addition to the above, for LPG storage/use in buildings undergoing alteration and that are fully or partially occupied, the following shall also apply:

- (a) Specific approval must be obtained from the fire department prior to bringing LP-Gas containers on-site.
- (b) The maximum water capacity of individual containers shall be 5-gallon water capacity and the number of containers in the building shall not exceed the number of workers assigned to using the LP-Gas.
- (c) Containers having a water capacity greater than 2 1/2 lb. [1 quart] shall not be left unattended.

B. Storage, Use and Dispensing of Flammable and Combustible Liquids

- 1. Storage areas for flammable and combustible liquids shall be kept free of weeds and extraneous combustible material. Open flames and smoking are prohibited in flammable or combustible liquid storage areas.
- 2. Tanks and containers shall be marked with the name of the product and FLAMMABLE-KEEP FIRE AND FLAME AWAY. Tanks (containers in excess of 60 gallons) shall also be labeled KEEP 50 FEET FROM BUILDINGS.
- 3. Metal containers for Class I or II liquids shall be in accordance with DOT requirements or shall be of an approved design. Discharge devices shall not cause an internal pressure on the container. Individual containers shall not be interconnected and shall be kept closed when not in use.
- 4. Secondary containment or a means of spill control, drainage control, and diking is required for large containers (such as 55 gallon drums) and tanks as approved by the fire department.
- 5. Plans for the installation/use of any aboveground storage tank (containers greater than 60 gallons) shall be submitted to the fire department for review and permit prior to the proposed tank arriving at the site.

C. Compressed Gases

- 1. Gas cylinders shall be marked with the name of the contents.
- 2. Gas cylinders shall be stored upright and secured to prevent falling.
- 3. When not in use, valve protective caps shall be in place.
- 4. Gas cylinders shall be protected against physical damage.
- 5. When stored, gas cylinders shall be separated from each other based on their hazard classes.
- 6. Combustible materials shall be kept a minimum of 10 feet from gas containers.
- 7. Gas cylinders shall not be placed near elevators, unprotected platform edges or other areas where they would drop more than 2 feet.

Organized as the Santa Clara County Central Fire Protection District 8
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga

- 8. Gas cylinders shall not be placed in areas where they may be damaged by falling objects.
- 9. Ropes, chains or slings shall not be used to suspend gas cylinders, unless the cylinder was manufactured with appropriate lifting attachments.

SD&S SI-7/DM/dh/12.10.09

Organized as the Santa Clara County Central Fire Protection District 9
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga



**INTERIOR DESIGNER
GILBERT FERNANDEZ III**



DELTA REVISIONS

REVISION	REVISIONS
A	PLANNING COMMENTS 4/30/2024
B	OWNER REVISIONS 7/4/2024
C	-
D	-
E	-
F	-

**CONSTRUCTION SITE FIRE
SAFETY SPECIFICATION SI-7**

**315 SOBRATO DRIVE
CAMPBELL CA 95008**

7/29/24

A-9.2