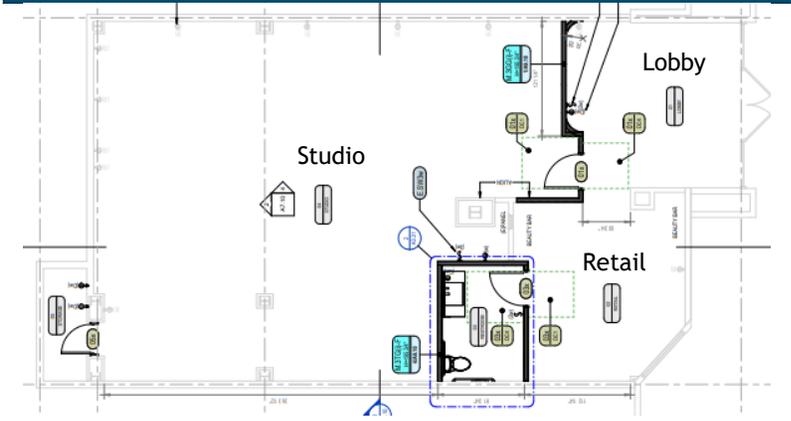






City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

August 9, 2024

The Community Development Director will be rendering a decision on the following project.

Project Address: 1875 S Bascom Ave, Ste 2420
Zoning | Area Plan: CC-MU | Pruneyard Master Use Permit
Neighborhood Association(s): N/A
File No: PLN-2024-95
APN: 288-04-028
Applicant: David Fenster
Property Owner: Regency Centers, L.P
Application Type: Conditional Use Authorization

Project Planner: Ishwarya, Planning Technician
Email Contact: ishwarya@campbellca.gov
Phone Contact: (408) 866-2163

Project Description:

To allow a fitness studio (Pilates Studio) use in the Pruneyard with “late-night” operational hours, beginning at 5AM.

Comment Period:

You have the opportunity to provide comment prior to the Director’s decision.

The ten-day comment period for this application begins on **August 9, 2024**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **August 18, 2024**. The director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español

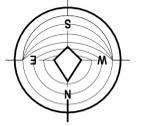


SCHEDULE-WALL TYPES									
MARK	WALL DESCRIPTION	STRUCTURAL MATERIAL	WIDTH	HEIGHT (IN)	INSULATION	LINEAR FEET	RATING	DETAIL	ADD'L DETAILS
M.3GG(i)-F	Interior - 3 5/8" Metal Stud with 5/8" GWB (2 Sides)	Structure, Metal (362S125-33_240C (Insulated)(a))	4 7/8"	<varies>	Acoustic Insulation - 3 1/2"	46.27	-	1/A9.10	2,6/A9.10
M.3TG(i)-F	Interior - 3 5/8" Metal Stud with Tile (1 Side) & 5/8" GWB (1 Side)	Structure, Metal (362S125-33_240C (Insulated)(c))	5 1/4"	195.75	Acoustic Insulation - 3 1/2"	10.37	-	4/A9.10	2,6/A9.10 + 4/A9.11

M= Metal Stud | # = Nominal Stud Width | 'G' = Side 1 Wall finish | 'Y' = Side 2 Wall finish | 'G' = Side 2 Wall finish | 'Y' = Side 2 base | (i) = Insulation
 G= Glazing | B = Butt joint / S = Storefront Frame | # = Bottom frame height | # = Top frame height | # = Frame width | 'X' = glazing (clear/frosted/ filmed) | 'X' = frame finish (clear/black/white)

1. Contractor shall reference wall sections and interior elevations for possible changes in wall finish, color, or specification at specific heights
 2. All new and existing restroom boundary and shaft walls shall be full height to underside of deck, unless noted otherwise

MARK	DESCRIPTION
A.RU1	Undercounter Refrigerator (owner supplied). Coordinate with electrical & plumbing docs
E.DDw	Dedicated Duplex receptacle (white) per schedule. Coordinate with electrical documents
E.DGw	GFCI electrical duplex (white) per schedule. Refer to elevations for height and orientation & coordinate with electrical documents
E.Dw	Electrical duplex receptacle (white) per schedule. Coordinate with electrical documents
E.SW2w	Double Pole light switches (white) per schedule. Coordinate with electrical documents
E.SW3w	Triple Pole light switches (white) per schedule. Coordinate with electrical documents
EQ.IH	Junction box and switch (as required) for Insta-Hot. Coordinate with Plumbing documents
EQ.LK2	18" x 12" X 72" Locker
F.GWB1s	Gypsum wallboard with level 4 and F.P1 paint finish (semi-gloss)
F.M1-48	Mirror (48") with integrated face and backlighting. Refer to schedule and details
F.TW1	Wall Tile per schedule (white)
L.R1	Light fixture (recessed) per schedules. Coordinate with Electrical Documents
P.F1	Faucet per fixture schedule. Coordinate with Plumbing documents
P.GB36p	Accessible grab bar - 36" with peened finish, per accessory schedules
P.GB42p	Accessible grab bar - 42" with peened finish, per accessory schedules
P.S1	Sink per fixture schedule. Coordinate with Plumbing documents
P.SC1	Seat cover dispenser (recessed) per schedule
P.SD1	Soap Dispenser per fixture schedule. Coordinate with Plumbing and Electrical documents
P.T1	Toilet per fixture schedule. Coordinate with Plumbing documents
P.TT2	Toilet tissue dispenser (custom) per schedule and details

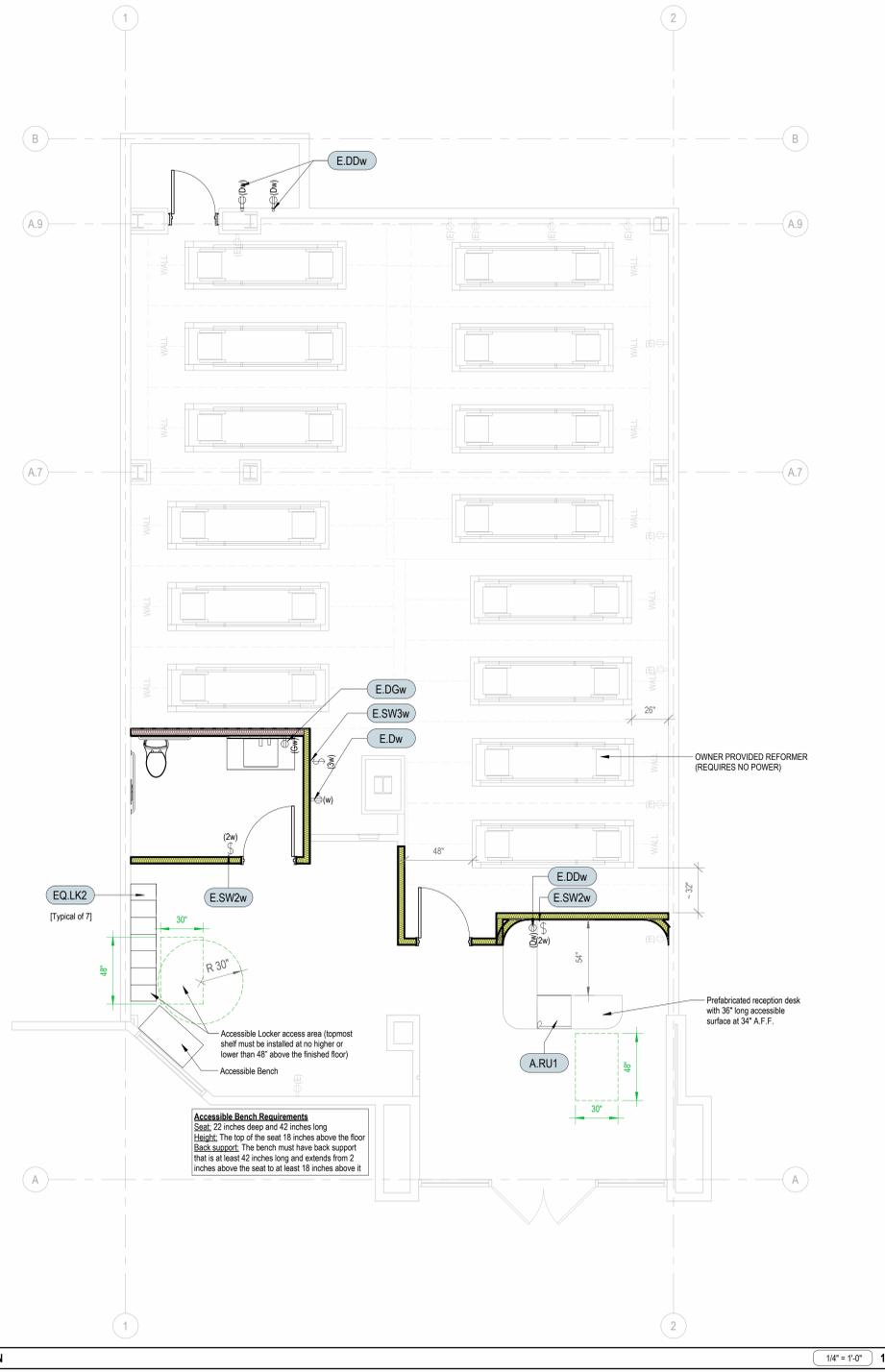
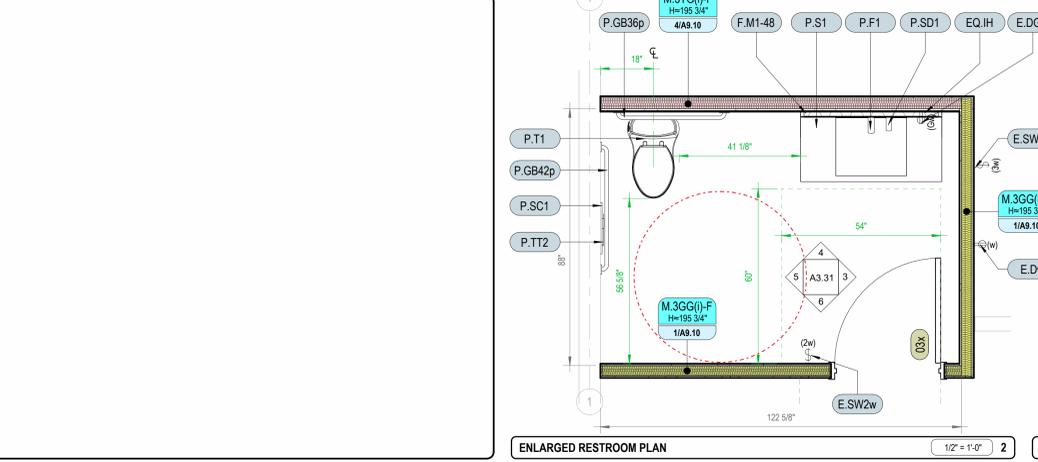
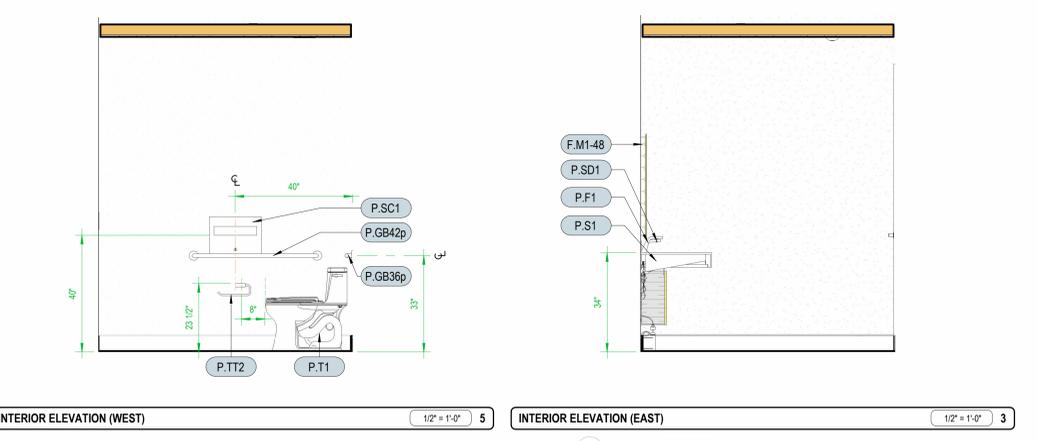
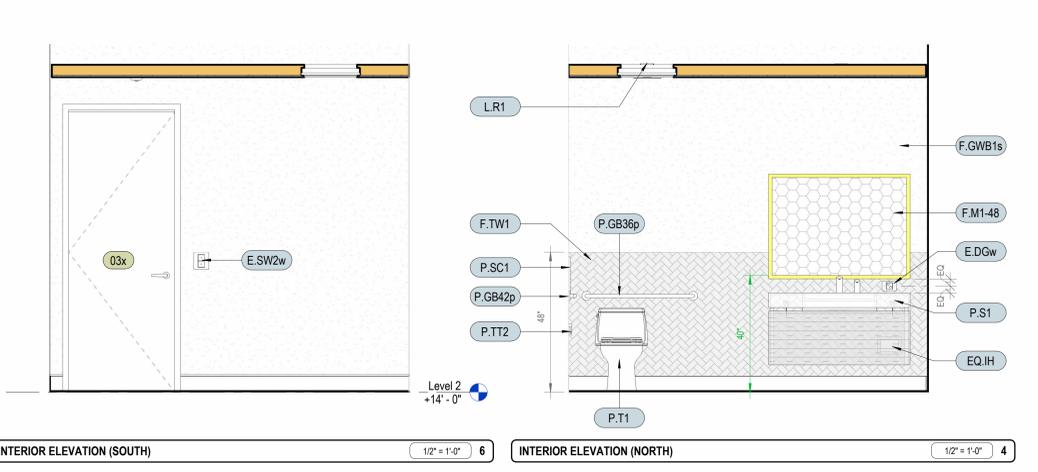


BODYROK

[PROJECT #: 24.051]

REVIEW 24.06.26

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ENLARGED FLOOR & EQUIPMENT PLANS

3.31



