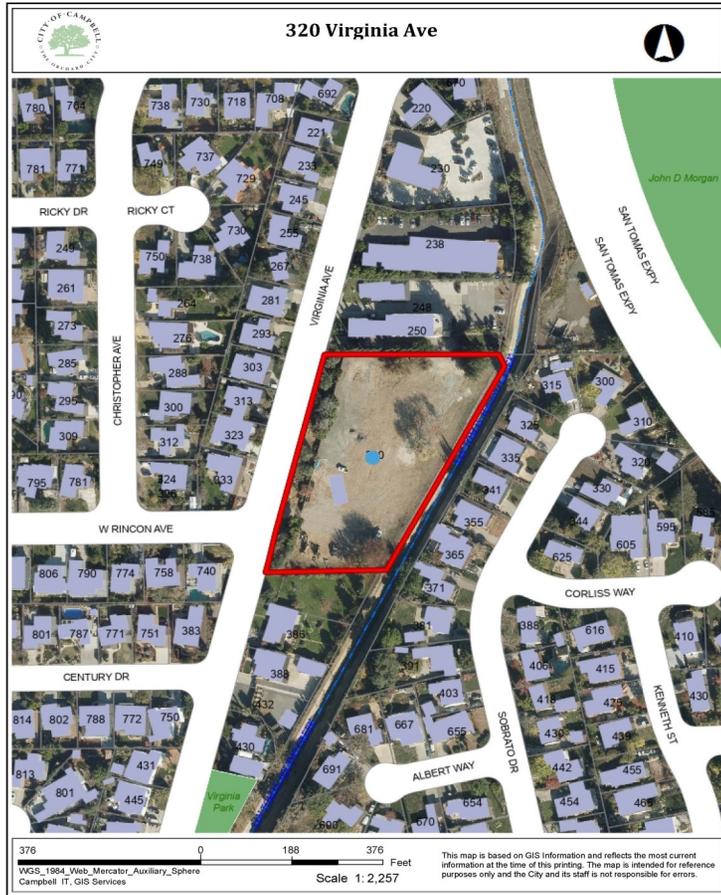


Location of Proposed Project



City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423

Project Image



Notice of Public Hearing

Dear Campbell Resident,

July 10, 2024

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:00 p.m., or shortly thereafter, on Tuesday July 23, 2024, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

Project Address: 320 Virginia Avenue

Zoning | Area Plan: MDR | N/A

Neighborhood Association(s): N/A

Council District: 4

File No: PLN-2023-157

APN: 404-07-033

Applicant: Valley Oak Partners

Property Owner: VOP Ref Virginia, LLC

Application Type: Minor Housing Development Project Permit and Tentative Vesting Subdivision Map

Project Planner: Tracy Tam, Associate Planner

Email Contact: tracyt@campbellca.gov

Phone Contact: (408) 871-5103

Project Description:

To allow the construction of forty (40) unit townhome style condominium units and creation of 6 private lots and 9 common lots, with associated site improvements; and use of Density Bonus Law waivers and a concession from the Zoning Code and Multi-Family Development and Design Standards (MFDDS).

You may participate virtually or watch online:

- ◇ Register online to speak via Zoom:
(<https://campbellca.gov/PCSignup>.)
- ◇ Watch YouTube live-stream:
(<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español



PROJECT TEAM:

APPLICANT:
 Valley Oak Partners, LLC
 734 The Alameda, San Jose, CA 95126
 Tel: 408-640-0383
 Contact: Scott Connelly

ARCHITECT:
 DAHLIN
 5865 Owens Drive,
 Pleasanton, CA 94588
 Tel: 925-251-7200
 Contact: Eric Muzzy

CIVIL ENGINEER:
 CEA (Civil Engineering Associates)
 128 Railway Ave, Campbell, CA 95008
 Tel: 408-453-1066 x.207
 Contact: John Gaylord

LANDSCAPE ARCHITECT:
 vanderToolen Associates
 855 Bordeaux Way, Suite 240
 Napa, CA 94558
 Tel: 707-224-2299
 Contact: Phil vanderToolen

CODE INFORMATION:

APPLICABLE CODES:
 2022 CALIFORNIA BUILDING CODE (CBC)
 2022 CALIFORNIA ELECTRICAL CODE (CEC)
 2022 CALIFORNIA MECHANICAL CODE (CMC)
 2022 CALIFORNIA PLUMBING CODE (CPC)
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA FIRE CODE (CFC)
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen Code)
 CALIFORNIA CODE OF REGULATIONS (CCR)
 CITY OF CAMPBELL, CALIFORNIA MUNICIPAL CODE (CMC)

OCCUPANCY GROUP: R-2 (Dwellings) & U (Private Garages)
CONSTRUCTION TYPE: VB
ALLOWABLE AREA: 21,000 SF
ALLOWABLE HEIGHT: 3 STORIES, 40'
SPRINKLER SYSTEM: NFPA 13

NOTES:
 1. There will be no combustible construction prior to hydrant installation.
 2. Fire alarm required per CFC Sec. 907
 3. Project is not defined as "public housing" and is being designed to 2022 CBC Chapter 11A accessibility standards.



SHEET INDEX:

Cover Sheet
 Project Information

Architectural Sheets

A1.1 Site Photography Sheet

A2.1 Architectural Site Plan

A3.1 Floor Plans: Unit Plan 1
 A3.2 Floor Plans: Unit Plan 2
 A3.3 Floor Plans: Unit Plan 2C
 A3.4 Floor Plans: Unit Plan 2X
 A3.5 Floor Plans: Unit Plan 3

A4.1 Floor Plans: Building 1A - 7 Plex - Style A, Levels 1 & 2
 A4.2 Floor Plans: Building 1A - 7 Plex - Style A, Level 3 & Roof
 A4.3 Floor Plans: Building 1A - 7 Plex - Style B, Levels 1 & 2
 A4.4 Floor Plans: Building 1A - 7 Plex - Style B, Level 3 & Roof
 A4.5 Floor Plans: Building 2A - 6 Plex, Levels 1 & 2
 A4.6 Floor Plans: Building 2A - 6 Plex, Level 3 & Roof
 A4.7 Floor Plans: Building 2 - 6 Plex, Levels 1 & 2
 A4.8 Floor Plans: Building 2 - 6 Plex, Level 3 & Roof

A5.1 Floor Area Diagram

A6.1 Elevations w/ Courtyards & Landscape: Building 1A - 7 Plex - Style A
 A6.2 Elevations w/ Courtyards & Landscape: Building 1A - 7 Plex - Style B
 A6.3 Elevations w/ Courtyards & Landscape: Building 2A - 6 Plex - Style B
 A6.4 Elevations w/ Courtyards & Landscape: Building 2 - 6 Plex - Style A
 A6.5 Building Elevations & Cross Sections: Building 1A - 7 Plex - Style A
 A6.6 Building Elevations & Cross Sections: Building 1A - 7 Plex - Style B
 A6.7 Building Elevations & Cross Sections: Building 1A - 7 Plex - Style B
 A6.8 Building Elevations & Cross Sections: Building 1A - 7 Plex - Style B
 A6.9 Building Elevations & Cross Sections: Building 2A - 6 Plex - Style B
 A6.10 Building Elevations & Cross Sections: Building 2A - 6 Plex - Style B
 A6.11 Building Elevations & Cross Sections: Building 2 - 6 Plex - Style A
 A6.12 Building Elevations & Cross Sections: Building 2 - 6 Plex - Style A

A7.1 Color & Material Sheet: Style A
 A7.2 Color & Material Sheet: Style B

A8.1 Streetscape Drawing
 A8.2 Architectural Detail Sheet

A9.1 Isometric Massing Plans - Buildings 1A-B & 2
 A9.2 Isometric Massing Plans - Buildings 1A-A & 2A
 A9.3 Design Site Sections
 A9.4 Design Site Sections
 A9.5 Fire Access Plans
 A9.6 Fire Access Plans
 A9.7 Fire Access Plans
 A9.8 Fire Access Plans

A10.1 Standards Compliance Diagrams: Building 1A - 7 Plex - Style A
 A10.2 Standards Compliance Diagrams: Building 1A - 7 Plex - Style A
 A10.3 Standards Compliance Diagrams: Building 1A - 7 Plex - Style B
 A10.4 Standards Compliance Diagrams: Building 1A - 7 Plex - Style B
 A10.5 Standards Compliance Diagrams: Building 2A - 6 Plex - Style B
 A10.6 Standards Compliance Diagrams: Building 2A - 6 Plex - Style B
 A10.7 Standards Compliance Diagrams: Building 2 - 6 Plex - Style A
 A10.8 Standards Compliance Diagrams: Building 2 - 6 Plex - Style A
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Civil Sheets

C1 Abbreviations and Legend
 C2 Existing Conditions, Demolition and Tree Removal Plan
 C3 Tree Removal Notes and Details
 C4 Tree Plan
 C5 Site Plan and Parking & Accessibility Plan
 C6 Site Design Requirements Plan - Level 1
 C7 Site Design Requirements Plan - Level 2
 C8 Site Design Requirements Plan - Level 3
 C9 Site Sections

C8 Grading and Drainage Plan
 C9 Utility Plan
 C10 Stormwater Management Plan
 C11 Stormwater Notes and Details
 C12 Emergency Access Plan
 TM1 Vesting Tentative Map
 TM2 Vesting Tentative Map

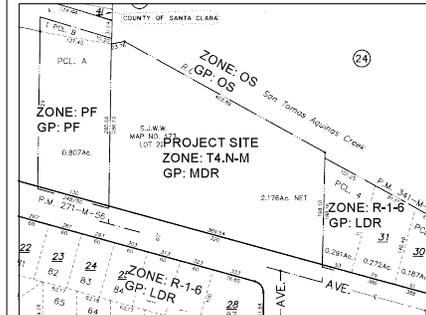
Landscape Sheets

L-1 Overall Landscape Plan
 L-2 Open Space Enlargement
 L-3 Conceptual Irrigation Design
 L-4 Mailbox Routing & Circulation Plan
 L-5 Plant Imagery

Supplemental Sheets

EXH1 Joint Trench Intent Exhibit
 Tree Assessment Plan
 Photometric Plan

PARCEL MAP:



320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

COVER SHEET



WWW.DAHLINGROUP.COM



PROJECT NO. 1005.005 | APRIL 4, 2024



PROJECT DESCRIPTION:

VOP Ref Virginia, LLC requests approval of a Minor Housing Development Project Permit, CEQA Review [categorical exemption], Density Bonus Request, Tentative Subdivision Map and Tree Removal Permit to allow development of a project that includes 40 townhome style residential condominiums. The property has a general plan designation of Medium Density Residential and is designated as T4,N-M in the City of Campbell zoning map. The property would provide critical housing during the state-wide housing crisis, serving a need for "missing middle" housing and affording local Campbell citizens the opportunity to remain local when searching for opportunities beyond rental and high density style homes.

PROJECT DESIGN FEATURES:

The proposed community is designed around a central open space for future residents located along Virginia Ave, providing a strong visual context and attractive street scape. The project would include the construction of new private streets providing access to townhome garages and guest parking, while front entry doors and front facades are located prominently forward towards the open space and public right of way. The proposed townhome buildings are 3-stories (+/- 36') tall with 2-car garages for each home. Townhome unit sizes range from 2-4 bedrooms, with living area (gross) ranging from 1,410 – 2,093 SF / unit. The project's architectural style includes a variety of high-quality materials designed to be compatible with the existing neighborhood.

- BOI-1: Protection of Active Bird Nests (includes pre-construction survey and implementation of avoidance buffer, if found):
 - Removal of trees shall be limited to only those necessary to construct the proposed project as reflected in the relevant project approval documents.
 - If the proposed project requires vegetation to be removed during the nesting season (February 1 to August 31), pre-construction surveys shall be conducted no more than 7 days prior to the start of ground or vegetation disturbance (including tree removal) to determine whether or not active nests are present.
 - If an active nest is located during pre-construction surveys, a qualified Biologist shall determine an appropriately sized avoidance buffer based on the species and anticipated disturbance level. (The California Department of Fish and Wildlife (CDFW) recommends a minimum no-disturbance buffer of 250 feet around active nests of non-listed bird species and a 500-foot no-disturbance buffer around active nests of non-listed raptors.) A qualified Biologist shall delineate the avoidance buffer using Environmentally Sensitive Area fencing, pin flags, and/or yellow caution tape. The buffer zone shall be maintained around the active nest site(s) until the young have fledged and are foraging independently. No construction activities or construction foot traffic is allowed to occur within the avoidance buffer(s).
 - The qualified Biologist shall monitor the active nest during construction activities and modify the protection zone accordingly to prevent project-related nest disturbance, until the young have fledged.

BOI-2: Roosting Bat Pre-construction Survey and Avoidance. A qualified Biologist with relevant roosting bat experience shall conduct a survey for special-status bats during the appropriate time of day to maximize detectability to determine whether bat species are roosting near the work area no less than 7 days and no more than 14 days prior to beginning ground disturbance and/or construction. Survey methodology may include visual surveys of bats (e.g., observation of bats during foraging period), inspection for suitable habitat, bat sign (e.g., guano), or use of ultrasonic detectors (Anabat, etc.). If the Biologist determines or presumes bats are present, the Biologist shall exclude the bats from suitable spaces by installing one-way exclusion devices. After the bats vacate the space, the Biologist shall close off the space to prevent recolonization. Grading shall only commence after the Biologist verifies 7 to 10 days later that the exclusion methods have successfully prevented bats from returning. To avoid impacts on non-volant (i.e., nonflying) bats, the Biologist shall only conduct bat exclusion and eviction from May 1 through October 1. Exclusion efforts may be restricted during periods of sensitive activity (e.g., during hibernation or while females in maternity colonies are nursing young).

BOI-3: Avoidance and Minimization of San Tomas Aquinas Creek. No substances toxic to fish and wildlife shall be discharged or allowed to leach into the creek. Reasonable precautions to protect aquatic habitats of the creek from pollution with harmful materials (e.g., fuels, oils, lubricants, and solvents) shall be implemented. Specifically, all potentially hazardous materials shall be controlled, cleaned up, and properly disposed of in accordance with the proposed project's water quality control permits and plans. Materials deleterious or toxic to fish and wildlife including, but not limited to, asphalt, tires, concrete, construction materials, treated wood, and creosote containing materials shall not be stockpiled within 100 feet of the creek. Refueling and maintenance areas for equipment shall be limited to areas 100 feet from the creek.

At no time shall silt-laden runoff be allowed to enter the creek. Erosion control measures shall be utilized throughout all phases of construction where sediment runoff from the project may enter the creek. Best Management Practices (BMPs) to avoid erosion and uncontrolled stormwater runoff shall be implemented. BMPs typically include silt fencing, coir rolls, and/or straw bale dikes.

- NOI -1: Implementation of the following multi-part environmental protection measure is required to reduce potential construction-period noise impacts: Prior to issuance of construction permits, the following language shall be included, verbatim, in the general notes section of all the civil plan construction documents.
- Construction activities at the project site shall be limited to the hours of 8:00 a.m. and 5:00 p.m., daily, Monday through Friday. Saturday hours of construction shall be 9:00 a.m. and 4:00 p.m. There shall be no construction activity on Sundays or public holidays (as defined by Title 5 United States Code [USC] Section 6103(a)).
 - Establish standards for when a construction staging and phasing plan shall be required for new development projects and significant remodels.
 - The construction contractor shall utilize "quiet" models of air compressors and other stationary noise sources where technology exists.
 - At all times during project grading and construction, stationary noise-generating equipment shall be located as far as practicable from sensitive receptors and placed so that emitted noise is directed away from residences.
 - Unnecessary idling of internal combustion engines shall be prohibited.
 - Construction staging areas shall be established at locations that will create the greatest distance between the construction-related noise sources noise-sensitive receptors nearest the project site during all project construction activities, to the extent feasible.
 - The required construction-related noise mitigation plan shall also specify that haul truck deliveries are to occur within the same range of hours specified for construction equipment.
 - The construction contractor shall designate a "noise disturbance coordinator" who will be responsible for responding to any local complaints about construction noise. The disturbance coordinator shall be responsible for determining the cause of the noise complaint (e.g., starting too early, poor muffler, etc.) and instituting reasonable measures as warranted to correct the problem. A telephone number for the disturbance coordinator shall be conspicuously posted at the construction site.

AIR-1: During construction activities, all off-road equipment with engines greater than 50 horsepower shall meet either the United States Environmental Protection Agency (EPA) or California Air Resources Board (ARB) Tier IV off-road emission standards. The construction contractor shall maintain records documenting compliance with this requirement, including equipment lists. Off-road equipment descriptions and information may include but are not limited to equipment type, equipment manufacturer, equipment identification number, engine model year, engine certification (Tier rating), horsepower, and engine serial number.

- COS-6.2: If found during construction, ensure that human remains are treated with sensitivity and dignity, and ensure compliance with the provisions of California Health and Safety Code Section 7050.5 and California Public Resources Code Section 5097.98.
- COS-6.3: Work with Native American representatives to identify and appropriately address, through avoidance or mitigation, impacts to Native American cultural resources and sacred sites during the development review process.
- COS-6.b: Require all development, infrastructure, and other ground disturbing projects to comply with the following conditions in the event of an inadvertent discovery of cultural resources or human remains:
- If construction or grading activities result in the discovery of significant historic or prehistoric archaeological artifacts or unique paleontological resources, all work within 100 feet of the discovery shall cease, the Planning Division shall be notified, the resources shall be examined by a qualified archaeologist, paleontologist, or historian for appropriate protection and preservation measures; and work may only resume when appropriate protections are in place and have been approved by the Planning Division.
 - If human remains are discovered during any ground disturbing activity, work shall stop until the Planning Division and the County Coroner have been contacted; if the human remains are determined to be of Native American origin, the Native American Heritage Commission (NAHC) and the most likely descendants have been consulted; and work may only resume when appropriate measures have been taken and approved by the Planning Division. Adopt an ordinance codifying these requirements into the Campbell Municipal Code.

PROJECT DATA		
Site APN	404-07-033	
Project Site Area (Gross) ¹	2,44	Acres
Project Site Area (Net) ²	2,08	Acres
DEVELOPMENT STANDARD	STANDARD	PROPOSED
General Plan Land Use	Medium Density Residential	
Density (Units / Net Ac.)	18-25	19,22
Total Number of Units	40	
2 Bedroom	12	
4 Bedroom	28	
Average Unit Size (Gross SF)	1,831	
Zoning District	T4 N-M	T4 N-M
Design Site	6, Townhouse	
Number of Sites, Type	1	
Buildings per Design Site	1	
Size - Width	16' min	16' min
Size - Depth	65' min	56' min
Height		
Stories	3 max	3
To Eave / Parapet	35' max	+/- 32' max
Overall	45' max	+/- 36' max
Ground Floor Finish Level	6' min	6' min
Floor-to-Floor (Ground)	10' min	8' min
Building Placement		
Front Setback	15'-20'	5' min
Interior Side Setback	5' min	2' min
Rear (Alley) Setback	3' min	3' min
Front Facade Zone	65% min	11%
Ground Floor Habitable Depth	25' min	25' min
Encroachments		
Private Frontages (Front)	10' max	14' max
Architectural Features (Front)	3' max	10' max
Parking		
Parking Setback (Front)	40' min	10' min
Parking Setback (Side)	0' min	5' min
Parking Setback (Rear)	0' min	34' min
Driveway separation	50' min	4' min
Total Number of Spaces	120	
Spaces per 2 Bedroom Unit	2,5	2 covered
Spaces per 4 Bedroom Unit	2,5	2,covered + .5 surface
Garage Spaces	80 (2 / unit)	
Surface Spaces	14	
Private Open Space	72 sf / unit min	204 sf / unit min

Notes:
 1) Gross Project Site Area includes street dedication & flood control easement.
 2) Net Project Site Area excludes street dedication & flood control easement.

ARCHITECTURAL SUMMARY										
unit name	unit count	bedroom count	bathroom count	gross living area / unit	total gross living area	garage area	porch area	deck area	courtyard area	private open space / unit
plan 1	12	2	2.5	1,410	16,920	598	20	100	84	204
plan 2	16	4	3.5	1,975	31,600	498	15	110	146	271
plan 2x	6	4	3.5	2,050	12,300	561	25	106	163	294
plan 2c	1	4	3.5	1,963	1,963	498	26	81	150	257
plan 3	5	4	3.5	2,093	10,465	514	51	105	337	493
Total	40				73,248					

BUILDING CALCULATIONS									
bidg name	bidg count	unit count / bidg	building area - level 1	building area - level 2	building area - level 3	building area / bidg	total building area	coverage area / bidg	total coverage area
bidg 1a	4	7	5,684	5,349	5,978	17,011	68,044	6,351	24,764
bidg 2	1	6	4,824	4,494	5,006	14,324	14,324	5,190	5,190
bidg 2a	1	6	4,837	4,555	5,095	14,487	14,487	5,278	5,278
Total	6						96,855		35,232

320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLLIN GROUP ARCHITECTURE | PLANNING

PROJECT INFORMATION



WWW.DAHLINGROUP.COM

PROJECT NO. 1005,005 | APRIL 4, 2024



VIRGINIA AVENUE



* THE COMMON OPEN SPACE WILL BE FOR THE USE OF THE RESIDENTS RESIDING AT THE PROPOSED PROJECT. NOT A PUBLIC USE AREA

SHEET A2.1

320 VIRGINIA AVENUE

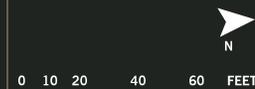
IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

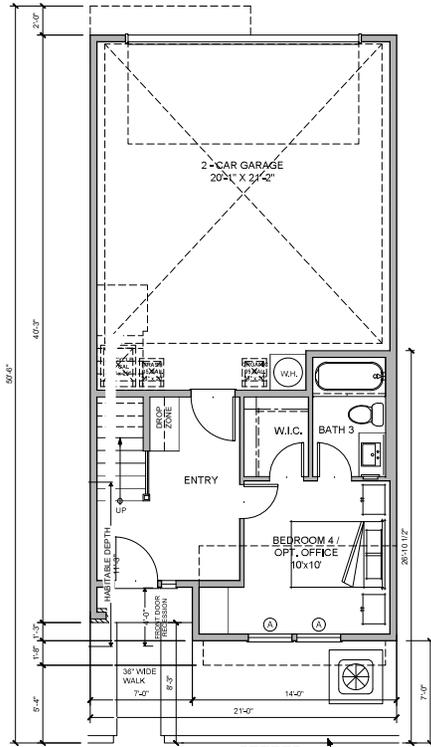
ARCHITECTURAL SITE PLAN

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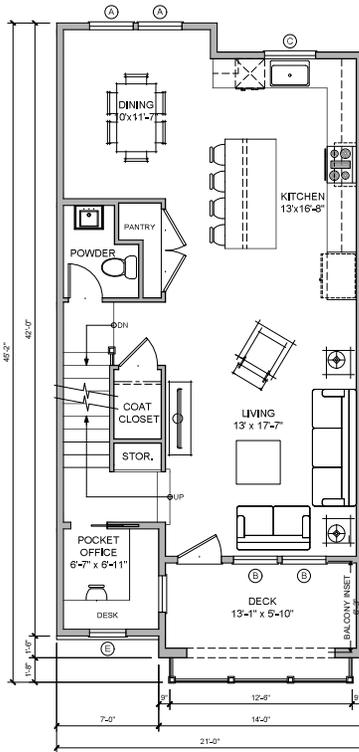


PROJECT NO. 1005.005 | APRIL 4, 2024

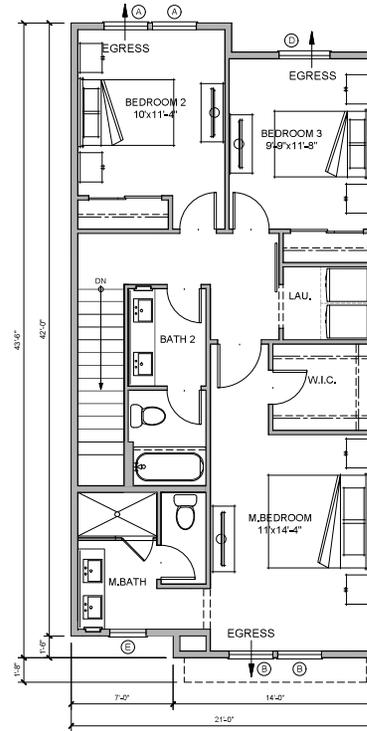




PLAN 2 FIRST FLOOR
SCALE: 1/4" = 1'-0"



PLAN 2 SECOND FLOOR
SCALE: 1/4" = 1'-0"



PLAN 2 THIRD FLOOR
SCALE: 1/4" = 1'-0"

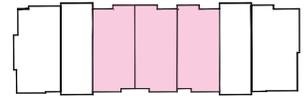
Note: HVAC Units shall be screened by the dooryard wall and shall not be visible.

PLAN 2
4 BEDROOMS / 3.5 BATHS

FIRST FLOOR: 347 SQ. FT.
SECOND FLOOR: 794 SQ. FT.
THIRD FLOOR: 834 SQ. FT.
TOTAL LIVING: 1975 SQ. FT.
GARAGE: 498 SQ. FT.
PORCH: 15 SQ. FT.
2ND FLOOR DECK: 110 SQ. FT.

WINDOW SCHEDULE											
SYMB.	NAME	OPENING SIZE	TYPE	GLASS	LOCATION	SYMB.	NAME	OPENING SIZE	TYPE	GLASS	LOCATION
A	3050 SH *	3'-0" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BR. GARAGE	I	2050 SH	2'-0" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BR.
B	3050 SH *	3'-0" X 6'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	LIVING, BR.	J	3050 SH	3'-0" X 6'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	LIVING
C	3646 SH	3'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	KITCHEN	K	2640 SH *	2'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BATH
D	3650 SH *	3'-6" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BEDROOM	L	9080 SGD	9'-0" X 8'-0"	SLIDING GLASS DOOR	REFLECTIVE INDEX <20	DINING
E	2650 SH	2'-6" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BATH, DESK	M	2040 SH	2'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BATH, GARAGE
F	2650 SH *	2'-6" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BEDROOM	N	2046 SH	2'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	KITCHEN
G	3036 SH	2'-0" X 3'-6"	SINGLE HUNG	REFLECTIVE INDEX <20	DR. BATH	O	3046 SH	3'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	KITCHEN, PANTRY
H	3050 SH	3'-0" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	LIVING	P	2050 SH *	2'-0" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BR.

* EGRESS WINDOW



SHEET **A3.2**

320 VIRGINIA AVENUE
IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

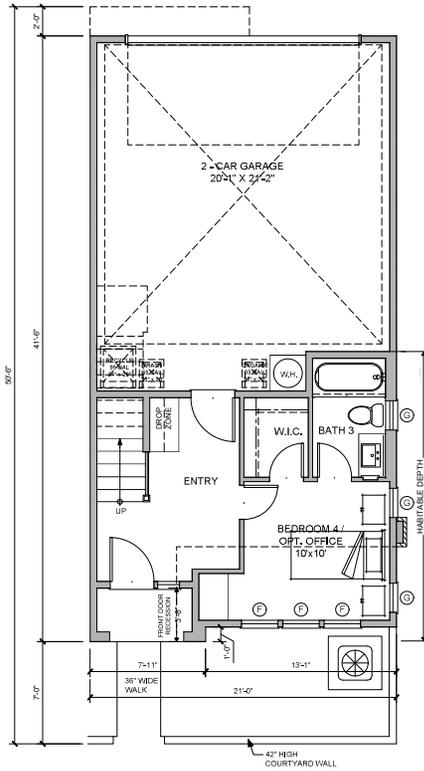
FLOOR PLANS
UNIT PLAN 2

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0 2 4 8 16 FEET

PROJECT NO. 1005.005 | APRIL 4, 2024





PLAN 2C FIRST FLOOR
SCALE: 1/4" = 1'-0"



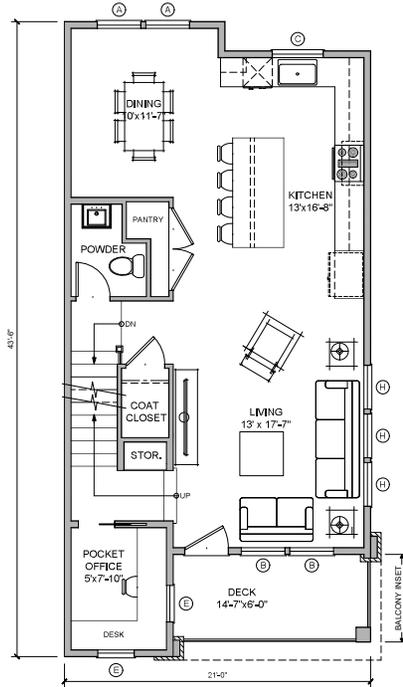
Note: HVAC units shall be screened by the dooryard wall and shall not be visible.

PLAN 2C (Corner)
4 BEDROOMS / 3.5 BATHS

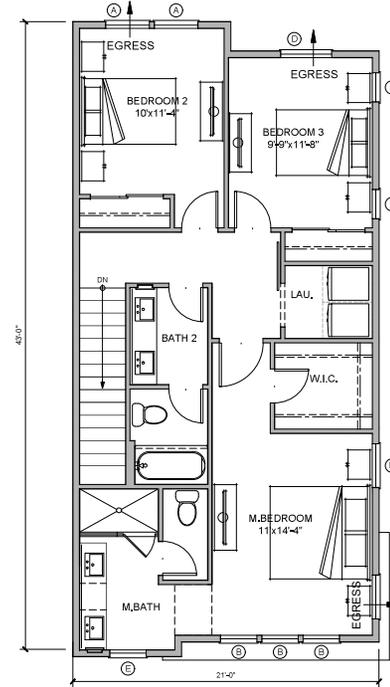
FIRST FLOOR: 333 SQ. FT.
SECOND FLOOR: 799 SQ. FT.
THIRD FLOOR: 831 SQ. FT.

TOTAL LIVING: 1963 SQ. FT.

GARAGE: 498 SQ. FT.
PORCH: 26 SQ. FT.
2ND FLOOR DECK: 81 SQ. FT.



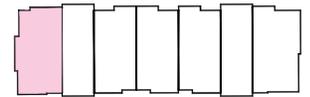
PLAN 2C SECOND FLOOR
SCALE: 1/4" = 1'-0"



PLAN 2C THIRD FLOOR
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE											
SYMB.	NAME	OPENING SIZE	TYPE	GLASS	LOCATION	SYMB.	NAME	OPENING SIZE	TYPE	GLASS	LOCATION
A	3050 SH *	3'-0" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BR. GARAGE	I	2050 SH	2'-0" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BR.
B	3060 SH *	3'-0" X 6'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	LIVING, BR.	J	3050 SH	3'-0" X 6'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	LIVING
C	3646 SH	3'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	KITCHEN	K	2640 SH *	2'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BATH
D	3650 SH *	3'-6" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BEDROOM	L	9080 SGD	9'-0" X 8'-0"	SLIDING GLASS DOOR	REFLECTIVE INDEX <20	DINING
E	2650 SH	2'-6" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BATH, DESK	M	2040 SH	2'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BATH, GARAGE
F	2650 SH *	2'-6" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BEDROOM	N	2046 SH	2'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	KITCHEN
G	3036 SH	2'-0" X 3'-6"	SINGLE HUNG	REFLECTIVE INDEX <20	BR. BATH	O	3046 SH	3'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	KITCHEN, PANTRY
H	3050 SH	3'-0" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	LIVING	P	2050 SH *	2'-0" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BR.

* EGRESS WINDOW



320 VIRGINIA AVENUE
IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

FLOOR PLANS
UNIT PLAN 2C

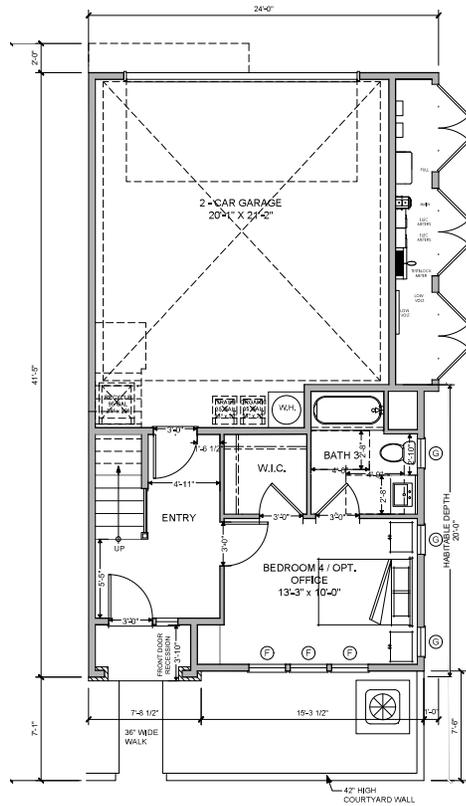
WWW.DAHLINGROUP.COM

0 2 4 8 16 FEET

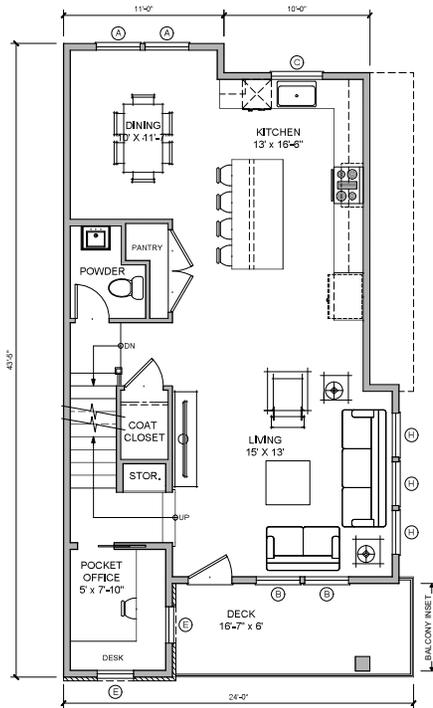
PROJECT NO. 1005.005 | APRIL 4, 2024



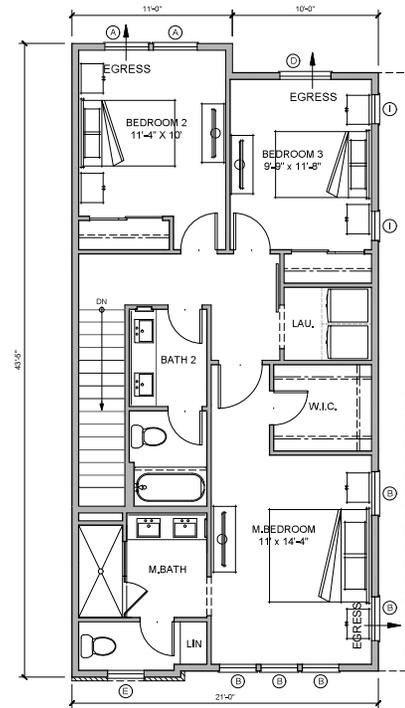
SHEET A3.3



PLAN 2X FIRST FLOOR
SCALE: 1/4" = 1'-0"



PLAN 2X SECOND FLOOR
SCALE: 1/4" = 1'-0"



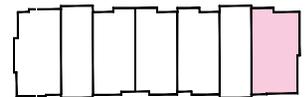
PLAN 2X THIRD FLOOR
SCALE: 1/4" = 1'-0"

PLAN 2X
4 BEDROOMS / 3.5 BATHS

- FIRST FLOOR: 381 SQ. FT.
- SECOND FLOOR: 832 SQ. FT.
- THIRD FLOOR: 837 SQ. FT.
- TOTAL LIVING: 2050 SQ. FT.
- GARAGE: 561 SQ. FT.
- PORCH: 25 SQ. FT.
- 2ND FLOOR DECK: 106 SQ. FT.

WINDOW SCHEDULE											
SYMB.	NAME	OPENING SIZE	TYPE	GLASS	LOCATION	SYMB.	NAME	OPENING SIZE	TYPE	GLASS	LOCATION
A	3050 SH *	3'-0" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BR. GARAGE	I	2050 SH	2'-0" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BR
B	3060 SH *	3'-0" X 6'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	LIVING, BR	J	3050 SH	3'-0" X 6'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	LIVING
C	3646 SH	3'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	KITCHEN	K	2640 SH *	2'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BATH
D	3650 SH *	3'-6" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BEDROOM	L	9080 SGD	9'-0" X 8'-0"	SLIDING GLASS DOOR	REFLECTIVE INDEX <20	DINING
E	2650 SH	2'-6" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BATH, DESK	M	2040 SH	2'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BATH, GARAGE
F	2650 SH *	2'-6" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BEDROOM	N	2046 SH	2'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	KITCHEN
G	3036 SH	2'-0" X 3'-6"	SINGLE HUNG	REFLECTIVE INDEX <20	DR. BATH	O	3046 SH	3'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	KITCHEN, PANTRY
H	3050 SH	3'-0" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	LIVING	P	2050 SH *	2'-0" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BR

* EGRESS WINDOW



SHEET **A3.4**

320 VIRGINIA AVENUE
IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

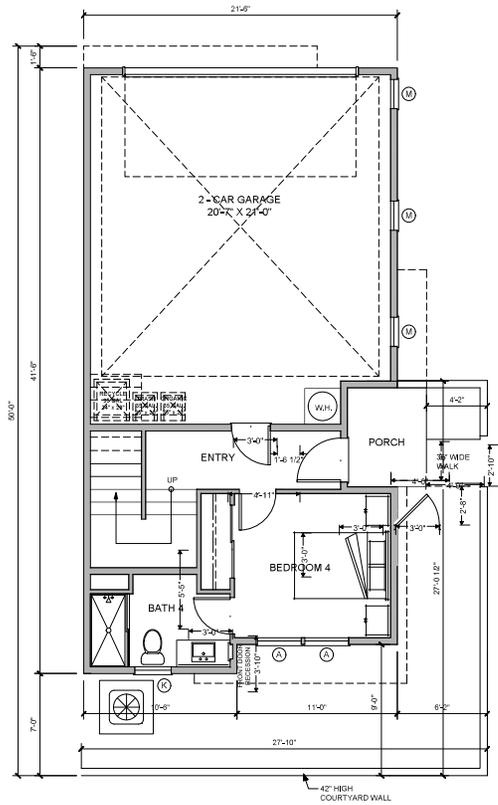
FLOOR PLANS
UNIT PLAN 2X

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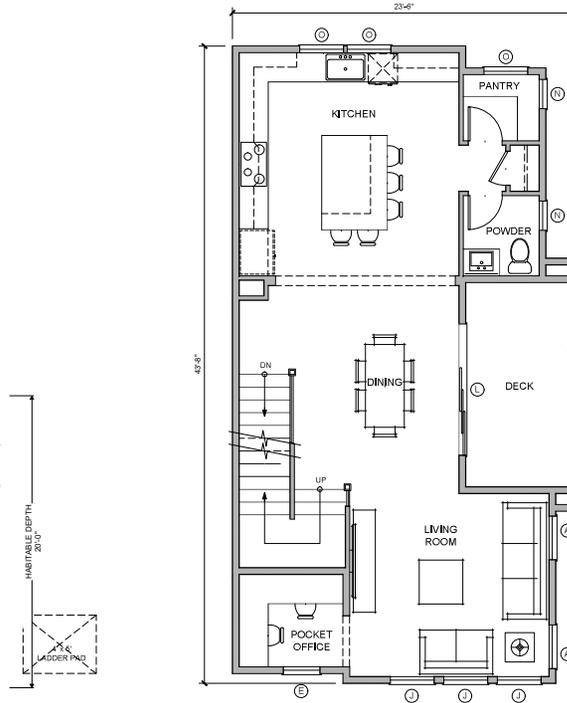
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PROJECT NO. 1005.005 | APRIL 4, 2024

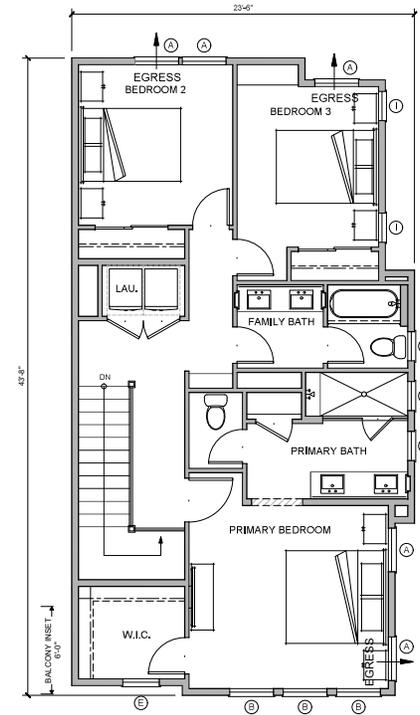




PLAN 3 FIRST FLOOR
SCALE: 1/4" = 1'-0"



PLAN 3 SECOND FLOOR
SCALE: 1/4" = 1'-0"



PLAN 3 THIRD FLOOR
SCALE: 1/4" = 1'-0"

Note: HVAC units shall be screened by the dooryard wall and shall not be visible.

PLAN 3
4 BEDROOMS / 3.5 BATHS

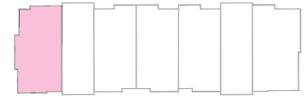
FIRST FLOOR: 333 SQ. FT.
SECOND FLOOR: 857 SQ. FT.
THIRD FLOOR: 903 SQ. FT.

TOTAL LIVING: 2093 SQ. FT.

GARAGE: 514 SQ. FT.
PORCH: 51 SQ. FT.
2ND FLOOR DECK: 105 SQ. FT.

WINDOW SCHEDULE											
SYMB.	NAME	OPENING SIZE	TYPE	GLASS	LOCATION	SYMB.	NAME	OPENING SIZE	TYPE	GLASS	LOCATION
A	3050 SH *	3'-0" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BR. GARAGE	I	2050 SH	2'-0" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BR.
B	3060 SH *	3'-0" X 6'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	LIVING, BR.	J	3050 SH	3'-0" X 6'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	LIVING
C	3646 SH	3'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	KITCHEN	K	2640 SH *	2'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BATH
D	3650 SH *	3'-6" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BEDROOM	L	9080 SGD	9'-0" X 8'-0"	SLIDING GLASS DOOR	REFLECTIVE INDEX <20	DINING
E	2650 SH	2'-6" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BATH, DESK	M	2040 SH	2'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BATH, GARAGE
F	2650 SH *	2'-6" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BEDROOM	N	2046 SH	2'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	KITCHEN
G	3036 SH	2'-0" X 3'-6"	SINGLE HUNG	REFLECTIVE INDEX <20	DR. BATH	O	3046 SH	3'-0" X 4'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	KITCHEN, PANTRY
M	3050 SH	3'-0" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	LIVING	P	2050 SH *	2'-0" X 5'-0"	SINGLE HUNG	REFLECTIVE INDEX <20	BR.

* EGRESS WINDOW



320 VIRGINIA AVENUE
IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLLIN GROUP ARCHITECTURE | PLANNING

FLOOR PLANS
UNIT PLAN 3

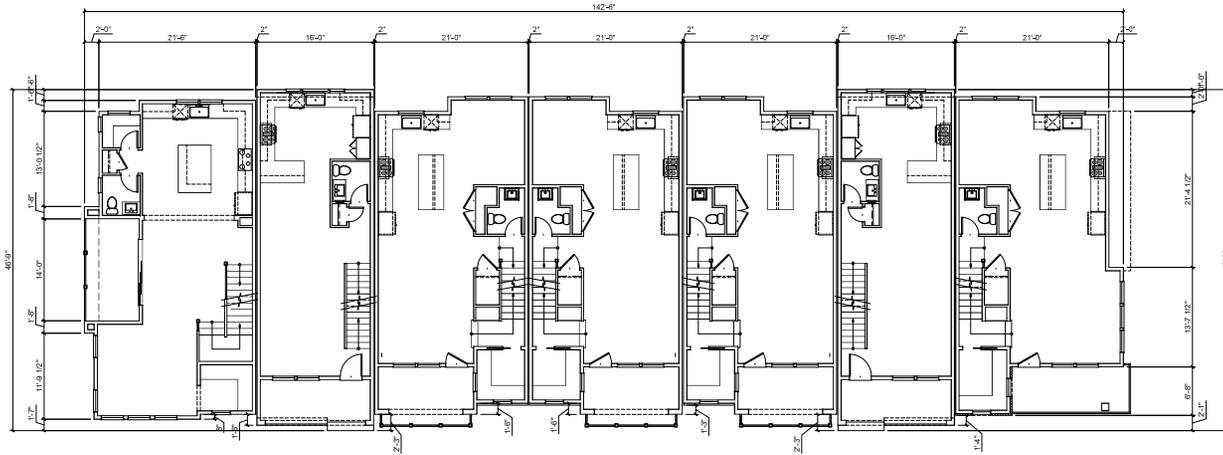
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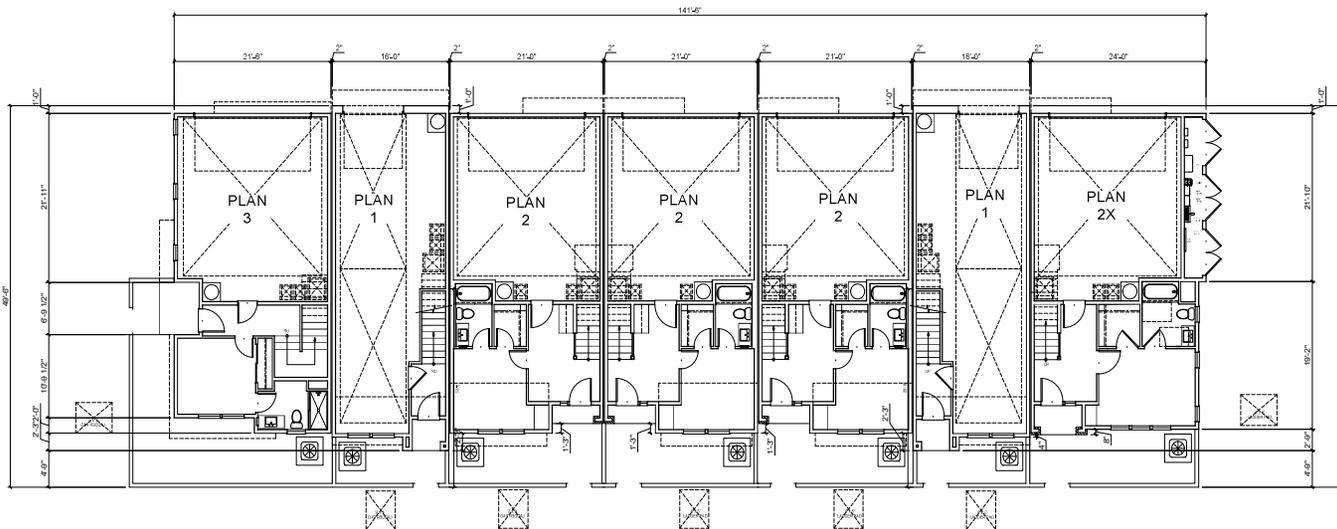
PROJECT NO. 1005.005 | APRIL 4, 2024

SHEET **A3.5**





BUILDING PLAN - LEVEL 2



BUILDING PLAN - LEVEL 1



KEY MAP

320 VIRGINIA AVENUE

IN CAMPBELL, CA

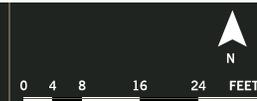
DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

FLOOR PLANS

BUILDINGS 1A - 7 PLEX - STYLE A

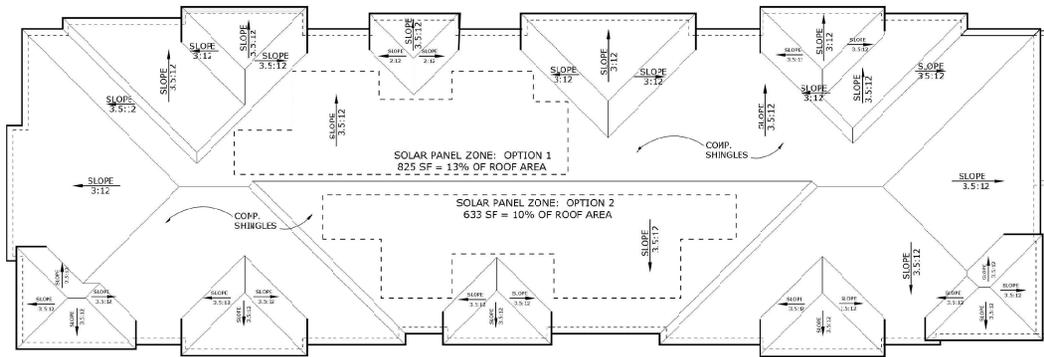
WWW.DAHLINGROUP.COM



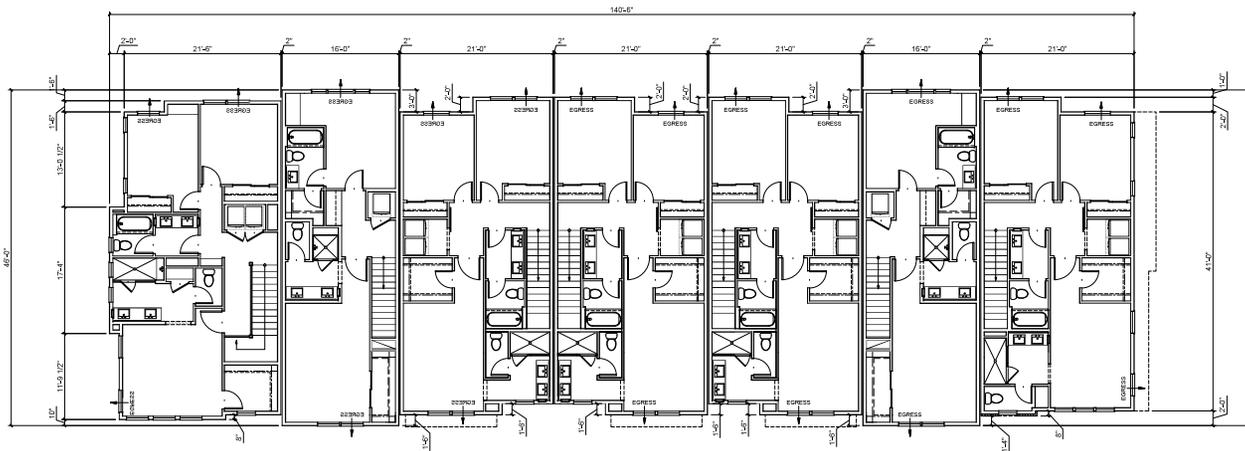
PROJECT NO. 1005.005 | APRIL 4, 2024

SHEET A4.1





BUILDING PLAN - ROOF PLAN



BUILDING PLAN - LEVEL 3



KEY MAP

320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

FLOOR PLANS

BUILDINGS 1A - 7 PLEX - STYLE A

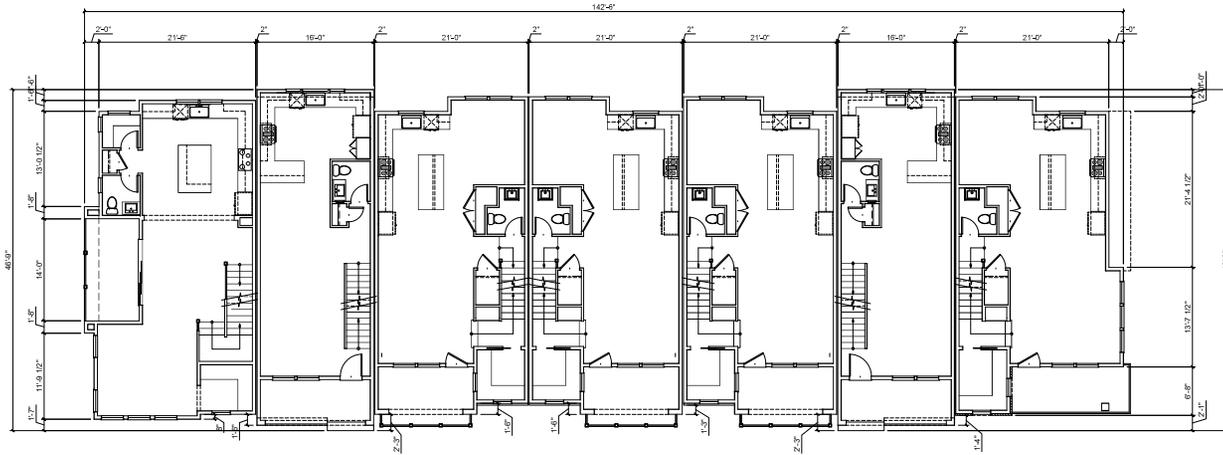
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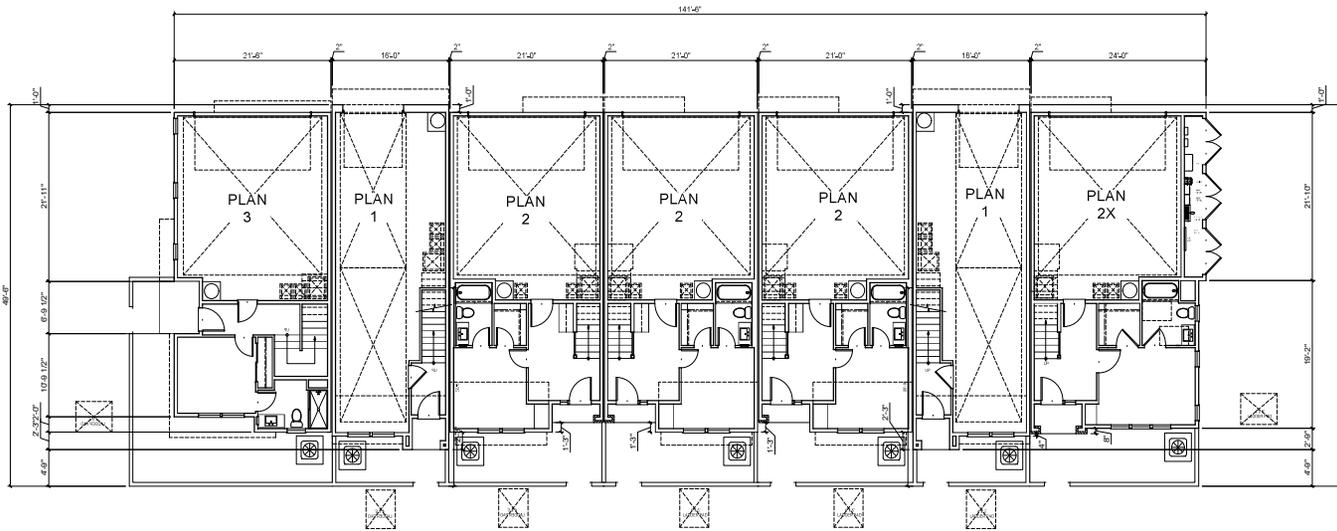
PROJECT NO. 1005.005 | APRIL 4, 2024

SHEET A4.2





BUILDING PLAN - LEVEL 2



BUILDING PLAN - LEVEL 1



KEY MAP

320 VIRGINIA AVENUE

IN CAMPBELL, CA

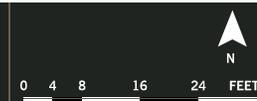
DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLLIN GROUP ARCHITECTURE | PLANNING

FLOOR PLANS

BUILDING 1A - 7 PLEX - STYLE B

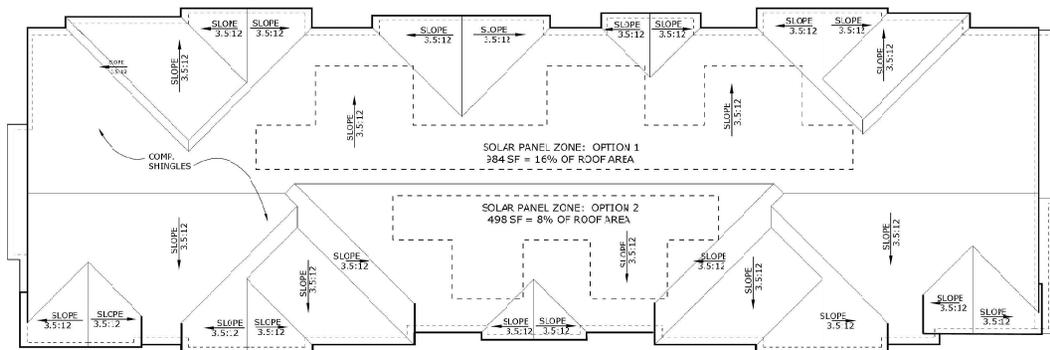
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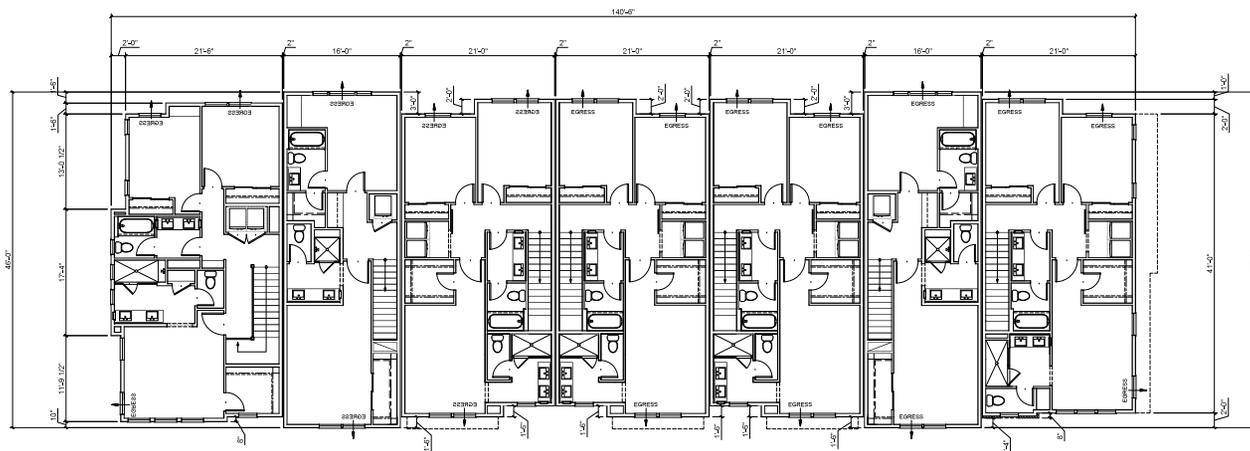
PROJECT NO. 1005.005 | APRIL 4, 2024

SHEET A4.3





BUILDING PLAN - ROOF PLAN



BUILDING PLAN - LEVEL 3



KEY MAP

320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

FLOOR PLANS

BUILDING 1A - 7 PLEX - STYLE B

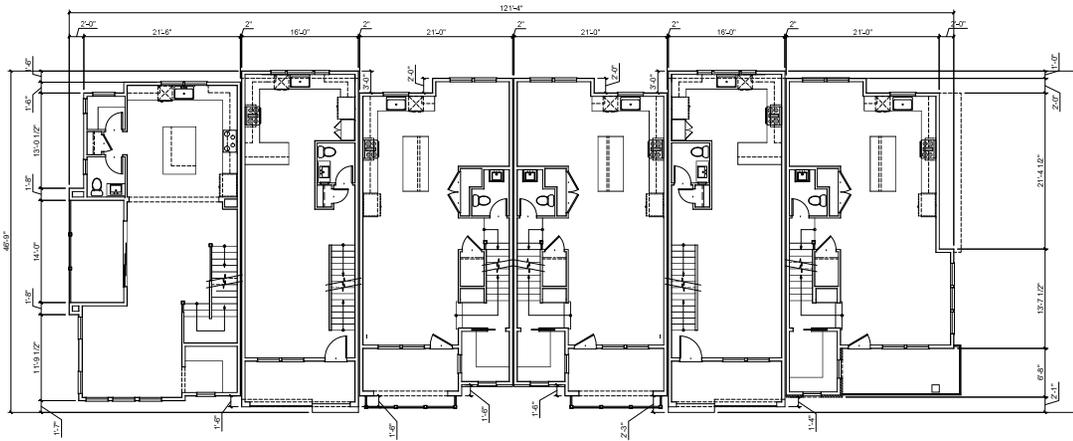
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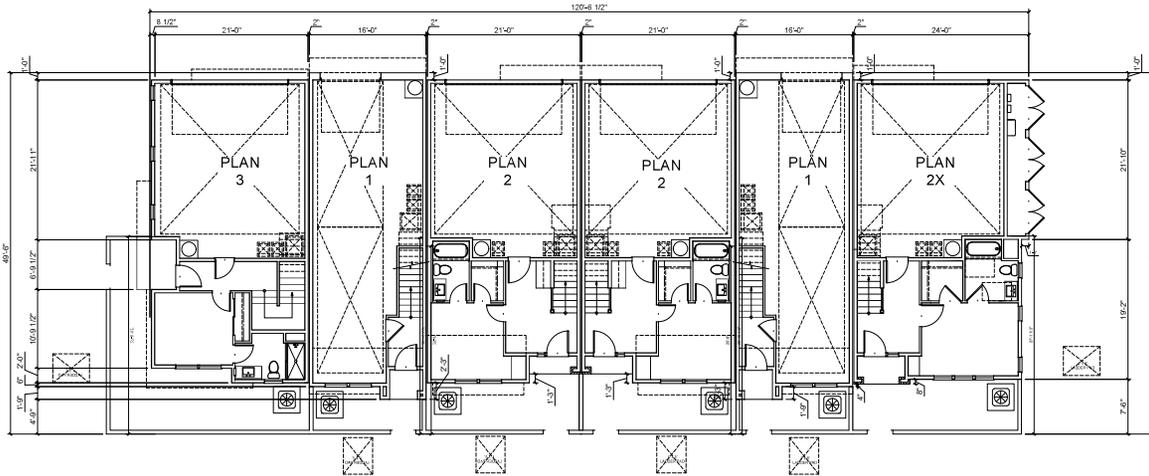
PROJECT NO. 1005.005 | APRIL 4, 2024

SHEET A4.4

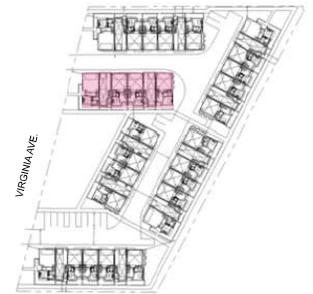




BUILDING PLAN - LEVEL 2



BUILDING PLAN - LEVEL 1



KEY MAP

320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

FLOOR PLANS

BUILDING 2A - 6 PLEX

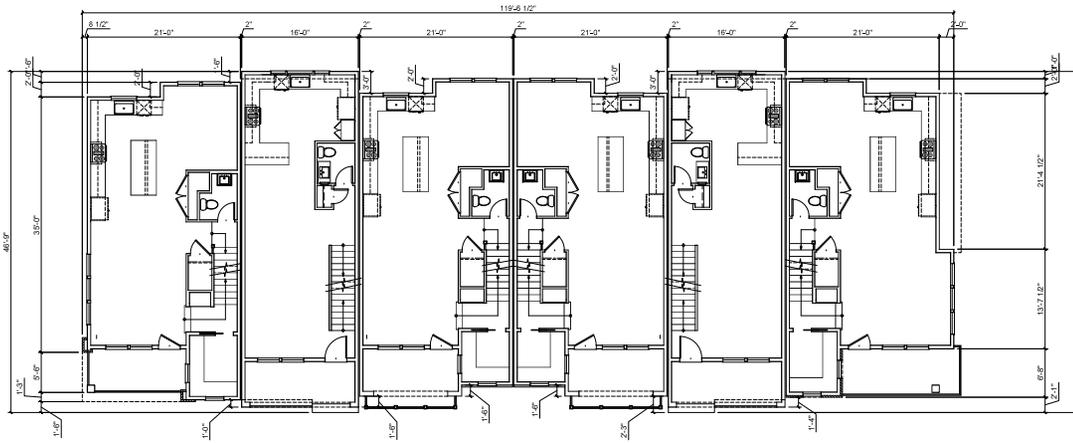
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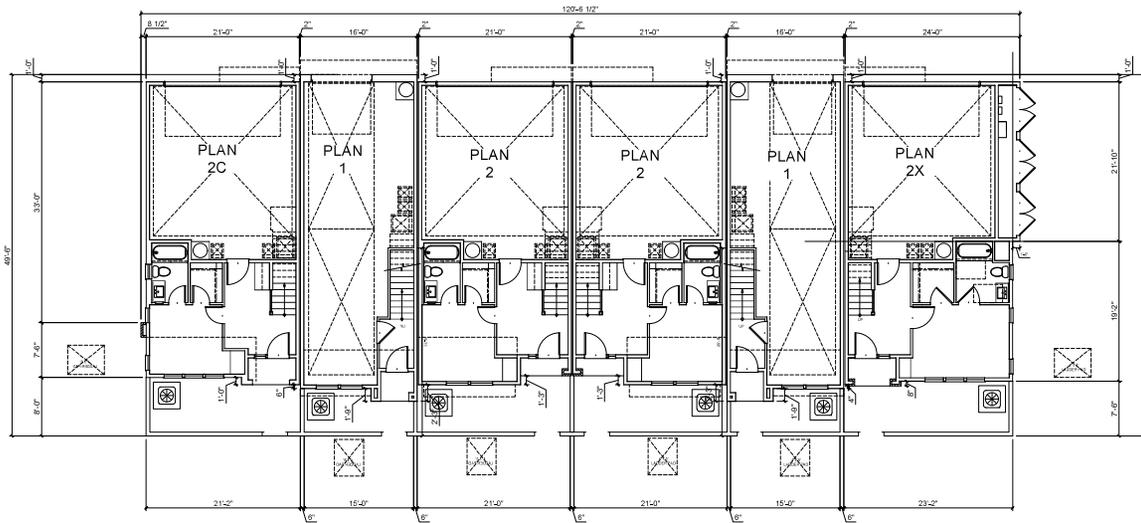
PROJECT NO. 1005.005 | APRIL 4, 2024

SHEET A4.5





BUILDING PLAN - LEVEL 2



BUILDING PLAN - LEVEL 1



KEY MAP

320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

FLOOR PLANS

BUILDING 2 - 6 PLEX

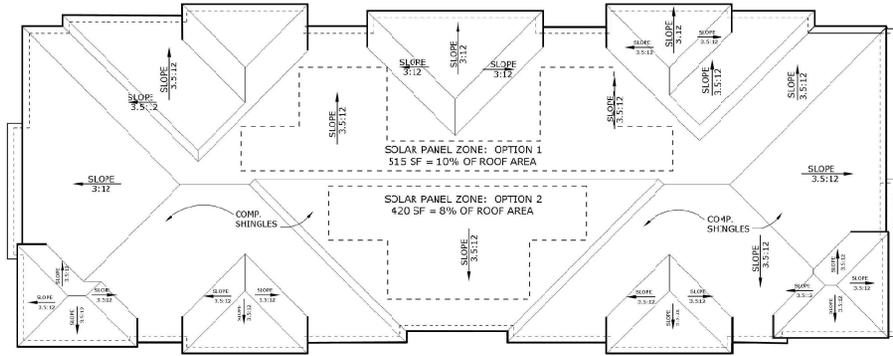
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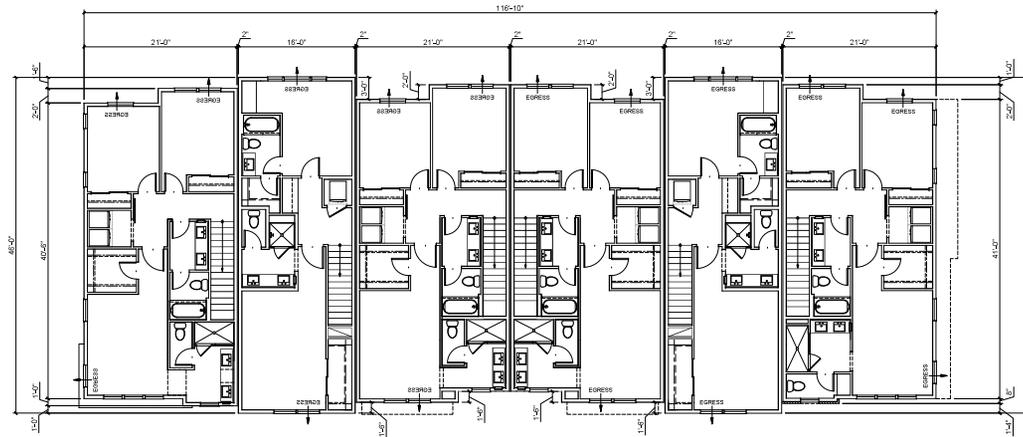
PROJECT NO. 1005.005 | APRIL 4, 2024

SHEET A4.7





BUILDING PLAN - ROOF PLAN



BUILDING PLAN - LEVEL 3



KEY MAP

320 VIRGINIA AVENUE

IN CAMPBELL, CA

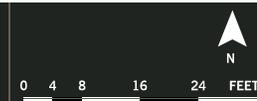
DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLLIN GROUP ARCHITECTURE | PLANNING

FLOOR PLANS

BUILDING 2 - 6 PLEX

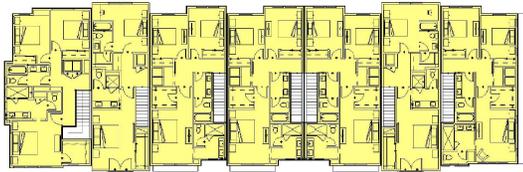
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SHEET A4.8

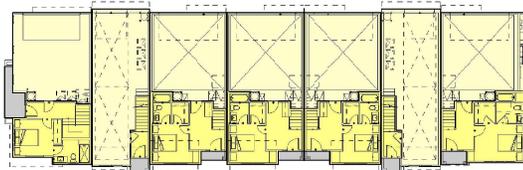




BUILDING PLAN - LEVEL 3

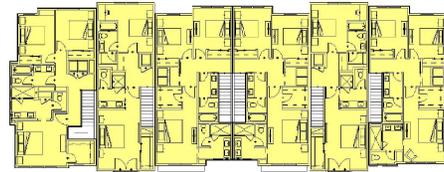


BUILDING PLAN - LEVEL 2



BUILDING PLAN - LEVEL 1

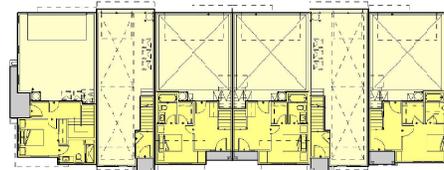
BUILDING 1A - 7 PLEX



BUILDING PLAN - LEVEL 3

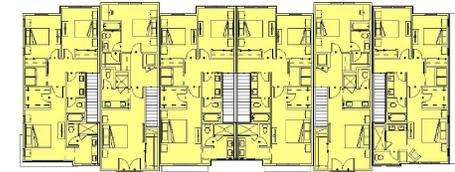


BUILDING PLAN - LEVEL 2



BUILDING PLAN - LEVEL 1

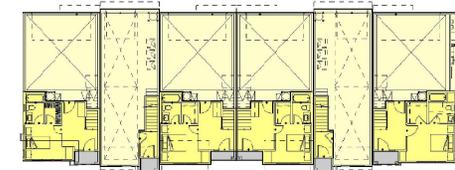
BUILDING 2A - 6 PLEX



BUILDING PLAN - LEVEL 3



BUILDING PLAN - LEVEL 2



BUILDING PLAN - LEVEL 1

BUILDING 2 - 6 PLEX

ARCHITECTURAL SUMMARY										
unit name	unit count	bedroom count	bathroom count	gross living area / unit	total gross living area	garage area	porch area	deck area	courtyard area	private open space / unit
plan 1a	12	2	2.5	1,410	16,920	598	20	100	84	204
plan 2	16	4	3.5	1,975	31,600	498	15	110	146	271
plan 2a	6	4	3.5	2,050	12,300	561	25	106	163	294
plan 2c	1	4	3.5	1,963	1,963	498	26	81	150	257
plan 3	5	4	3.5	2,093	10,465	514	51	105	337	493
Total	40				73,248					

BUILDING CALCULATIONS									
bldg name	bldg count	unit count / bldg	building area - level 1	building area - level 2	building area - level 3	building area / bldg	total building area	coverage area / bldg	total coverage area
bldg 1a	4	7	5,684	5,349	5,978	17,011	68,044	6,191	24,764
bldg 2	1	6	4,824	4,494	5,006	14,324	14,324	5,190	5,190
bldg 2a	1	6	4,837	4,555	5,095	14,487	14,487	5,278	5,278
Total	6						96,855		35,232

LEGEND:

- GROSS LIVING AREA
- GARAGE / UTILITY AREA
- PORCH / DECK AREA (NOT INCLUDED IN BUILDING AREA CALCULATION)

- GROSS LIVING AREA CALCULATION NOTES:
 1. EXCLUDES 2" AIRGAP & UPPER LEVEL STAIR
 2. EXCLUDES PORCH & DECK AREA

- BUILDING AREA CALCULATION NOTES:
 1. INCLUDES 2" AIRGAP & UPPER LEVEL STAIR
 2. EXCLUDES PORCH & DECK AREA

320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

FLOOR AREA DIAGRAM

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0 8 16 32 48 FEET

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SHEET A5.1





1 FRONT ELEVATION



2 LEFT ELEVATION



3 REAR ELEVATION



4 RIGHT SIDE ELEVATION

320 VIRGINIA AVENUE
IN CAMPBELL, CA

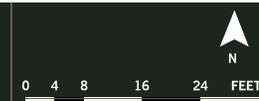
DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLLIN GROUP ARCHITECTURE | PLANNING

ELEVATIONS w/ COURTYARDS & LANDSCAPE

BUILDING 1A - 7 PLEX - STYLE A

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SHEET A6.1





1 FRONT ELEVATION



2 LEFT SIDE ELEVATION



3 REAR ELEVATION



4 RIGHT SIDE ELEVATION

320 VIRGINIA AVENUE
IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

ELEVATIONS w/ COURTYARDS & LANDSCAPE
BUILDING 1A - 7 PLEX - STYLE B

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0 4 8 16 24 FEET

PROJECT NO. 1005,005 | APRIL 4, 2024

SHEET A6.2





1 FRONT ELEVATION



2 LEFT SIDE ELEVATION



3 REAR ELEVATION



4 RIGHT SIDE ELEVATION

320 VIRGINIA AVENUE
IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

ELEVATIONS w/ COURTYARDS & LANDSCAPE

BUILDING 2A - 6 PLEX - STYLE B

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PROJECT NO. 1005,005 | APRIL 4, 2024

SHEET A6.3





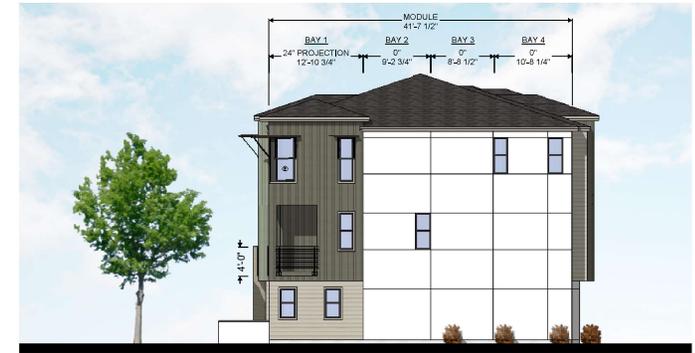
1 FRONT ELEVATION



2 LEFT ELEVATION



3 REAR ELEVATION



4 RIGHT SIDE ELEVATION

320 VIRGINIA AVENUE
IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

ELEVATIONS w/ COURTYARDS & LANDSCAPE

BUILDING 2 - 6 PLEX STYLE A

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SHEET A6.4

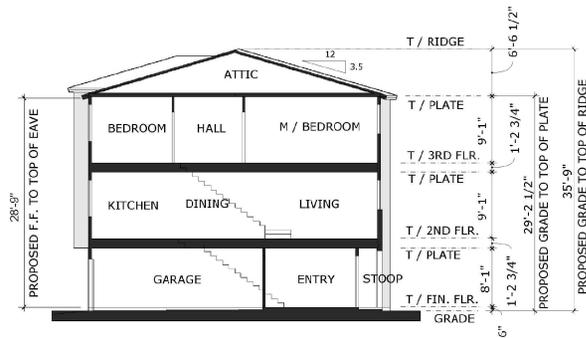




1 FRONT ELEVATION



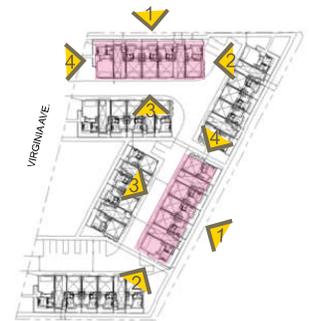
2 LEFT ELEVATION



BUILDING SECTION

MATERIAL LIST

- 1** FIBERGLASS DOOR
- 2** VINYL SINGLE HUNG WINDOWS
- 3** 3 COAT STUCCO W/ METAL REVEALS
- 4** 5" PAINTED HORIZONTAL LAP SIDING
- 5** 8" PAINTED HORIZONTAL LAP SIDING
- 6** PAINTED BOARD & BATTEN SIDING
- 7** COMPOSITION SHINGLE ROOF
- 8** PAINTED METAL GARAGE DOOR W/ LITES
- 9** STONE VENEER
- 10** PAINTED METAL RAILING
- 11** PAINTED ACCENT PANEL
- 12** PAINTED MECHANICAL ROOM DOORS
- 13** PAINTED FASCIA AND TRIM
- 14** METAL WINDOW SHADE / CANOPY
- 15** 8" PREFINISHED HORIZ. LAP SIDING
- (E)** EGRESS WINDOW



KEY MAP

320 VIRGINIA AVENUE
IN CAMPBELL, CA

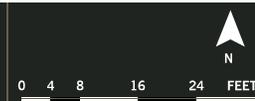
DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

BUILDING ELEVATIONS & CROSS SECTIONS

BUILDING 1A - 7 PLEX - STYLE A

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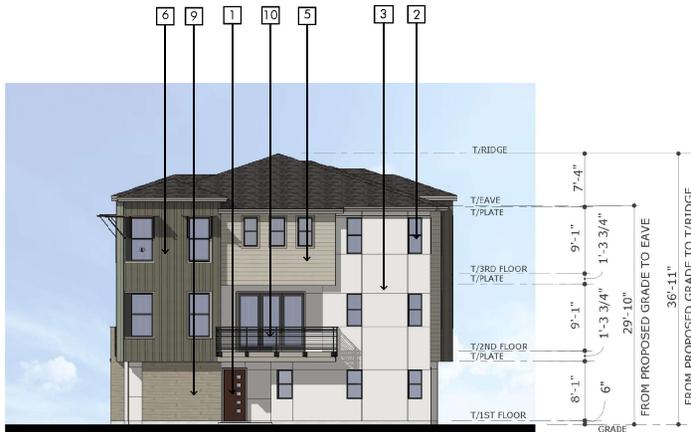
PROJECT NO. 1005.005 | APRIL 4, 2024

SHEET **A6.5**





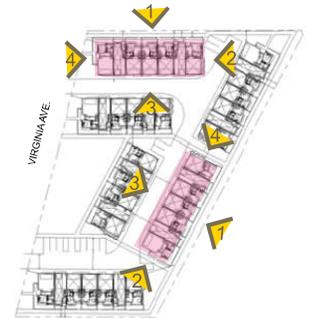
3 REAR ELEVATION



4 RIGHT SIDE ELEVATION

MATERIAL LIST

- 1** FIBERGLASS DOOR
- 2** VINYL SINGLE HUNG WINDOWS
- 3** 3 COAT STUCCO W/ METAL REVEALS
- 4** 5" PAINTED HORIZONTAL LAP SIDING
- 5** 8" PAINTED HORIZONTAL LAP SIDING
- 6** PAINTED BOARD & BATTEN SIDING
- 7** COMPOSITION SHINGLE ROOF
- 8** PAINTED METAL GARAGE DOOR W/ LITES
- 9** STONE VENEER
- 10** PAINTED METAL RAILING
- 11** PAINTED ACCENT PANEL
- 12** PAINTED MECHANICAL ROOM DOORS
- 13** PAINTED FASCIA AND TRIM
- 14** METAL WINDOW SHADE / CANOPY
- 15** 8" PREFINISHED HORIZ. LAP SIDING
- (E)** EGRESS WINDOW



KEY MAP

320 VIRGINIA AVENUE
IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLLIN GROUP ARCHITECTURE | PLANNING

BUILDING ELEVATIONS & CROSS SECTIONS

BUILDING 1A - 7 PLEX - STYLE A

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PROJECT NO. 1005_005 | APRIL 4, 2024

SHEET A6.6

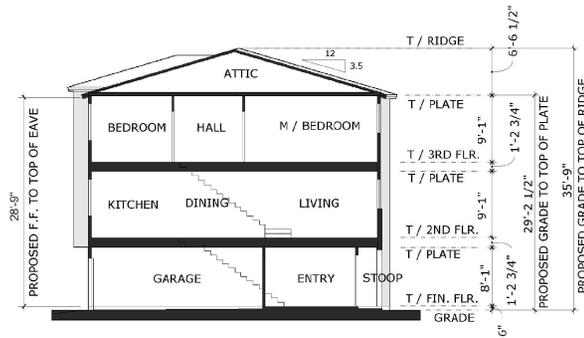




1 FRONT ELEVATION



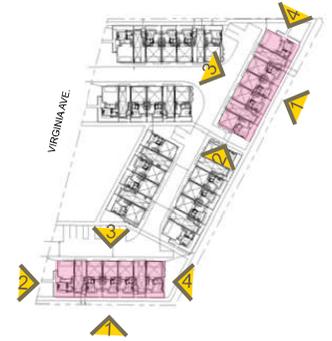
2 LEFT SIDE ELEVATION



BUILDING SECTION

MATERIAL LIST

- 1** FIBERGLASS DOOR
- 2** VINYL SINGLE HUNG WINDOWS
- 3** 3 COAT STUCCO W/ METAL REVEALS
- 4** 5" PAINTED HORIZONTAL LAP SIDING
- 5** 8" PAINTED HORIZONTAL LAP SIDING
- 6** PAINTED BOARD & BATTEN SIDING
- 7** COMPOSITION SHINGLE ROOF
- 8** PAINTED METAL GARAGE DOOR W/ LITES
- 9** STONE VENEER
- 10** PAINTED METAL RAILING
- 11** PAINTED ACCENT PANEL
- 12** PAINTED MECHANICAL ROOM DOORS
- 13** PAINTED FASCIA AND TRIM
- 14** METAL WINDOW SHADE / CANOPY
- 15** 8" PREFINISHED HORIZ. LAP SIDING
- (E)** EGRESS WINDOW



KEY MAP

320 VIRGINIA AVENUE

IN CAMPBELL, CA

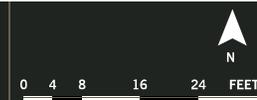
DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

BUILDING ELEVATIONS & CROSS SECTIONS

BUILDING 1A - 7 PLEX - STYLE B

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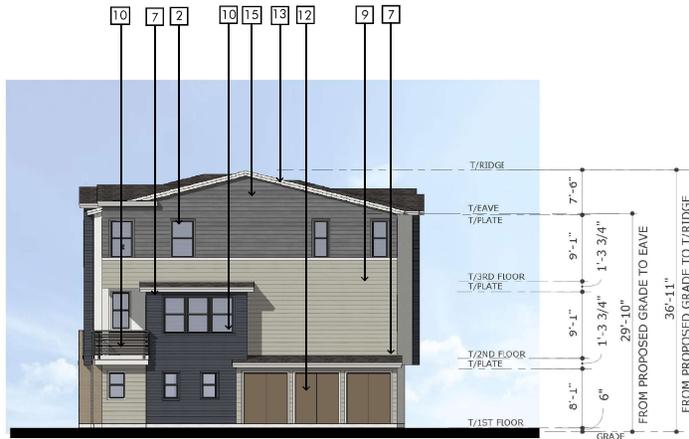
PROJECT NO. 1005.005 | APRIL 4, 2024

SHEET A6.7





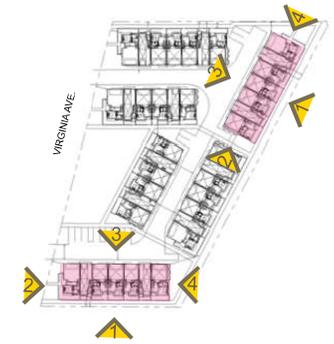
3 REAR ELEVATION



4 RIGHT SIDE ELEVATION

MATERIAL LIST

- 1** FIBERGLASS DOOR
- 2** VINYL SINGLE HUNG WINDOWS
- 3** 3 COAT STUCCO W/ METAL REVEALS
- 4** 5" PAINTED HORIZONTAL LAP SIDING
- 5** 8" PAINTED HORIZONTAL LAP SIDING
- 6** PAINTED BOARD & BATTEN SIDING
- 7** COMPOSITION SHINGLE ROOF
- 8** PAINTED METAL GARAGE DOOR W/ LITES
- 9** STONE VENEER
- 10** PAINTED METAL RAILING
- 11** PAINTED ACCENT PANEL
- 12** PAINTED MECHANICAL ROOM DOORS
- 13** PAINTED FASCIA AND TRIM
- 14** METAL WINDOW SHADE / CANOPY
- 15** 8" PREFINISHED HORIZ. LAP SIDING
- (E)** EGRESS WINDOW



KEY MAP

320 VIRGINIA AVENUE
IN CAMPBELL, CA

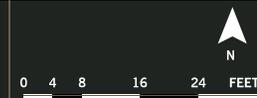
DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

BUILDING ELEVATIONS & CROSS SECTIONS

BUILDING 1A - 7 PLEX - STYLE B

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SHEET **A6.8**

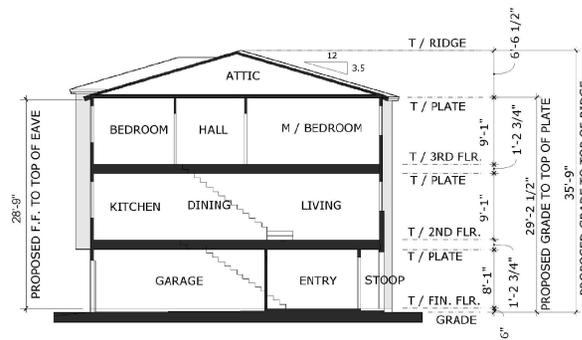




1 FRONT ELEVATION



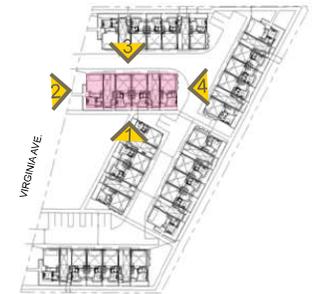
2 LEFT SIDE ELEVATION



BUILDING SECTION

MATERIAL LIST

- 1** FIBERGLASS DOOR
- 2** VINYL SINGLE HUNG WINDOWS
- 3** 3 COAT STUCCO W/ METAL REVEALS
- 4** 5" PAINTED HORIZONTAL LAP SIDING
- 5** 8" PAINTED HORIZONTAL LAP SIDING
- 6** PAINTED BOARD & BATTEN SIDING
- 7** COMPOSITION SHINGLE ROOF
- 8** PAINTED METAL GARAGE DOOR W/ LITES
- 9** STONE VENEER
- 10** PAINTED METAL RAILING
- 11** PAINTED ACCENT PANEL
- 12** PAINTED MECHANICAL ROOM DOORS
- 13** PAINTED FASCIA AND TRIM
- 14** METAL WINDOW SHADE / CANOPY
- 15** 8" PREFINISHED HORIZ. LAP SIDING
- (E)** EGRESS WINDOW



KEY MAP

320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLINE GROUP ARCHITECTURE | PLANNING

BUILDING ELEVATIONS & CROSS SECTIONS

BUILDING 2A - 6 PLEX STYLE B

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SHEET **A6.9**

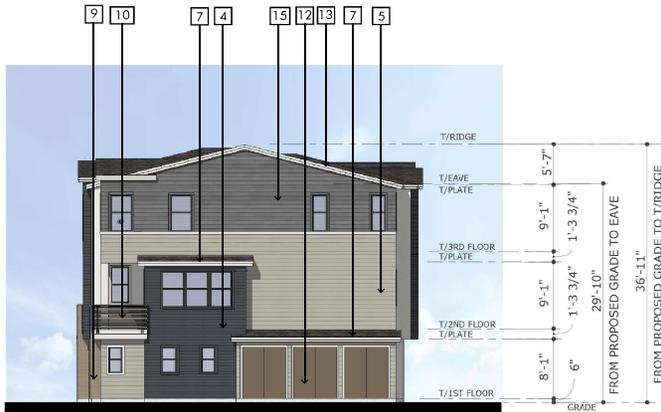




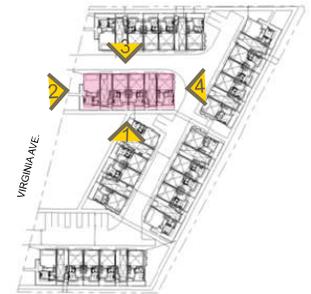
3 REAR ELEVATION

MATERIAL LIST

- 1** FIBERGLASS DOOR
- 2** VINYL SINGLE HUNG WINDOWS
- 3** 3 COAT STUCCO W/ METAL REVEALS
- 4** 5" PAINTED HORIZONTAL LAP SIDING
- 5** 8" PAINTED HORIZONTAL LAP SIDING
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- 9** STONE VENEER
- 10** PAINTED METAL RAILING
- 11** PAINTED ACCENT PANEL
- 12** PAINTED MECHANICAL ROOM DOORS
- 13** PAINTED FASCIA AND TRIM
- 14** METAL WINDOW SHADE / CANOPY
- 15** 8" PREFINISHED HORIZ. LAP SIDING
- (E)** EGRESS WINDOW



4 RIGHT SIDE ELEVATION



KEY MAP

320 VIRGINIA AVENUE
IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

BUILDING ELEVATIONS & CROSS SECTIONS

BUILDING 2A - 6 PLEX - STYLE B

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PROJECT NO. 1005,005 | APRIL 4, 2024

SHEET **A6.10**

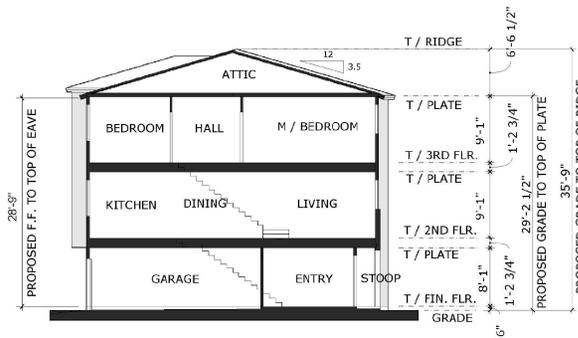




1 FRONT ELEVATION



2 LEFT SIDE ELEVATION



BUILDING SECTION

MATERIAL LIST

- 1** FIBERGLASS DOOR
- 2** VINYL SINGLE HUNG WINDOWS
- 3** 3 COAT STUCCO W/ METAL REVEALS
- 4** 5" PAINTED HORIZONTAL LAP SIDING
- 5** 8" PAINTED HORIZONTAL LAP SIDING
- 6** PAINTED BOARD & BATTEN SIDING
- 7** COMPOSITION SHINGLE ROOF
- 8** PAINTED METAL GARAGE DOOR W/ LITES
- 9** STONE VENEER
- 10** PAINTED METAL RAILING
- 11** PAINTED ACCENT PANEL
- 12** PAINTED MECHANICAL ROOM DOORS
- 13** PAINTED FASCIA AND TRIM
- 14** METAL WINDOW SHADE / CANOPY
- 15** 8" PREFINISHED HORIZ. LAP SIDING
- (E)** EGRESS WINDOW



KEY MAP

320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLLIN GROUP ARCHITECTURE | PLANNING

BUILDING ELEVATIONS & CROSS SECTIONS

BUILDING 2 - 6 PLEX STYLE A

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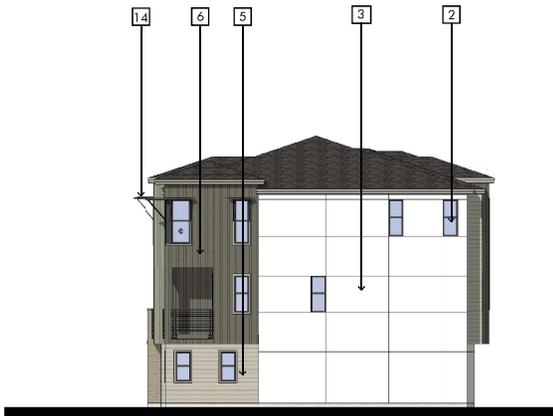
PROJECT NO. 1005.005 | APRIL 4, 2024

SHEET **A6.11**





3 REAR ELEVATION



4 RIGHT SIDE ELEVATION

MATERIAL LIST

- 1** FIBERGLASS DOOR
- 2** VINYL SINGLE HUNG WINDOWS
- 3** 3 COAT STUCCO W/ METAL REVEALS
- 4** 5" PAINTED HORIZONTAL LAP SIDING
- 5** 8" PAINTED HORIZONTAL LAP SIDING
- 6** PAINTED BOARD & BATTEN SIDING
- 7** COMPOSITION SHINGLE ROOF
- 8** PAINTED METAL GARAGE DOOR W/ LITES
- 9** STONE VENEER
- 10** PAINTED METAL RAILING
- 11** PAINTED ACCENT PANEL
- 12** PAINTED MECHANICAL ROOM DOORS
- 13** PAINTED FASCIA AND TRIM
- 14** METAL WINDOW SHADE / CANOPY
- 15** 8" PREFINISHED HORIZ. LAP SIDING
- (E)** EGRESS WINDOW



KEY MAP

320 VIRGINIA AVENUE
IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

BUILDING ELEVATIONS & CROSS SECTIONS

BUILDING 2 - 6 PLEX STYLE A

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SHEET A6.12



PAIN T COLORS

- A** BODY COLOR #1
SHERWIN WILLIAMS
SW 9129
"JADE DRAGON"
- B** BODY COLOR #2
SHERWIN WILLIAMS
SW 6188
"SHADE GROWN"
- C** BODY COLOR #3
SHERWIN WILLIAMS
SW 9165
"GOSSIMER VEIL"
- D** TRIM COLOR #4 &
DOORYARD WALL
SHERWIN WILLIAMS
SW 7636
"ORIGAMI WHITE"
- E** ACCENT COLOR #1
SHERWIN WILLIAMS
SW 7020
"BLACK FOX"
- F** ACCENT COLOR #2
SHERWIN WILLIAMS
SW 6062
"VINTAGE LEATHER"

MATERIALS / PRODUCTS/ MANUFACTURER



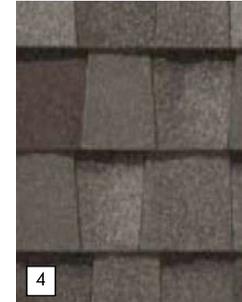
1
ENTRY DOOR
THERMATRU OR EQUAL
ECHO, PULSE SERIES
PAINTED



2
WINDOWS
MILGARD VINYL
"STYL-LINE" SERIES
BRONZE FINISH



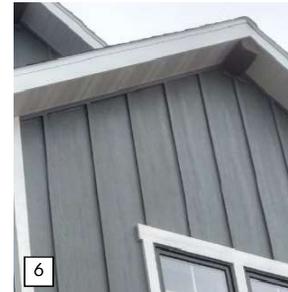
3
STUCCO &
DOORYARD WALL
20/30 FINISH



4
COMP. SHINGLE ROOF
OWENS-CORNING OR
EQUAL
"ESTATE GRAY"



5
HORIZONTAL LAP SIDING
JAMES HARDIE OR EQUAL
HARDIE PLANK LAP SIDING
SMOOTH FINISH



6
BOARD & BATTEN SIDING:
JAMES HARDIE OR EQUAL
HARDIE PANEL VERTICAL SIDING
SMOOTH FINISH



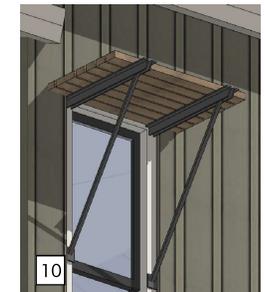
7
BALCONY RAILING &
DOORYARD GATE:
METAL



8
MASONRY VENEER:
CREATIVE MINES
CRAFT BOARD FORM
"SYCAMORE"



9
GARAGE DOOR:
WAYNE DALTON OR EQ.
PAINTED STEEL
GLASS PANELS



10
WINDOW CANOPY
PAINTED STEEL FRAME
PRE-FINISHED ALUM.
B+N INDUSTRIES
FORTINA
"ANTIQUE CEDAR"

PAIN T COLORS

- A**  **BODY COLOR #1**
SHERWIN WILLIAMS
SW 6992
"INKWELL"
- B**  **BODY COLOR #2**
SHERWIN WILLIAMS
SW 7016
"MINDFUL GRAY"
- C**  **BODY COLOR #3**
SHERWIN WILLIAMS
SW 7757
"HIGH REFLECTIVE WHITE"
- D**  **TRIM COLOR #1 & DOORYARD WALL**
SHERWIN WILLIAMS
SW 7636
"ORIGAMI WHITE"
- E**  **ACCENT COLOR #1**
SHERWIN WILLIAMS
SW 6160
"BEST BRONZE"
- F**  **ACCENT COLOR #2**
SHERWIN WILLIAMS
SW9100
"UMBER RUST"
- G**  **ACCENT COLOR #3**
SHERWIN WILLIAMS
SW 6405
"FERVENT BRASS"

MATERIALS / PRODUCTS/ MANUFACTURER



1
ENTRY DOOR
THERMATRU OR EQUAL
LINEA, PULSE SERIES
PAINTED



2
WINDOWS
MILGARD VINYL
"STYL-LINE" SERIES
BRONZE FINISH



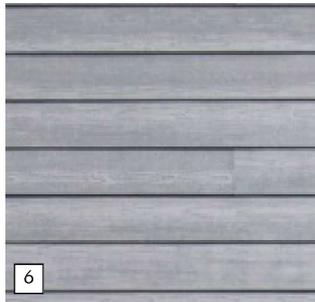
3
STUCCO & DOORYARD WALL
20/30 FINISH



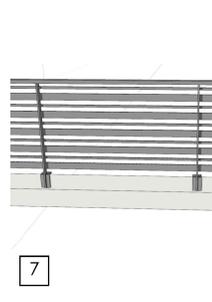
4
COMP. SHINGLE ROOF
OWENS-CORNING OR
EQUAL
"ESTATE GRAY"



5
HORIZONTAL LAP SIDING
JAMES HARDIE OR EQUAL
HARDIE PLANK LAP SIDING
SMOOTH FINISH



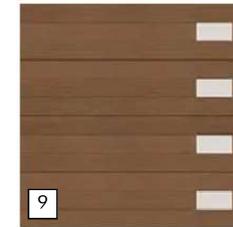
6
PRE-FINISHED SIDING:
WOODTONE OR EQUAL
RUSTIC SERIES / 8" EXPOSURE
"COASTAL GRAY"



7
BALCONY RAILING & DOORYARD GATE:
METAL



8
MASONRY VENEER:
CREATIVE MINES
CRAFT BOARD FORM
"BARNWOOD"



9
GARAGE DOOR:
WAYNE DALTON OR EQ.
PAINTED STEEL
GLASS PANELS



BUILDING 1A

BUILDING 2A

BUILDING 2

BUILDING 1A



BUILDING 1A

BUILDING 2A

BUILDING 2

BUILDING 1A



KEY MAP

SHEET A8.1

320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

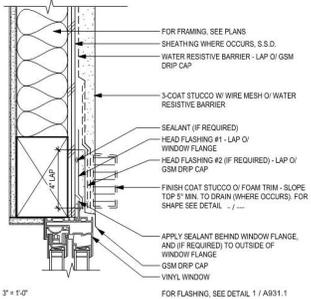
STREETScape DRAWING



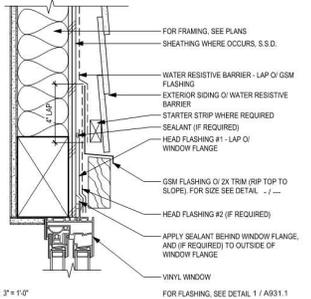
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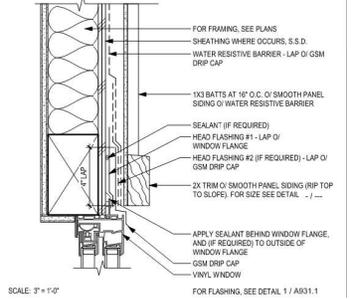




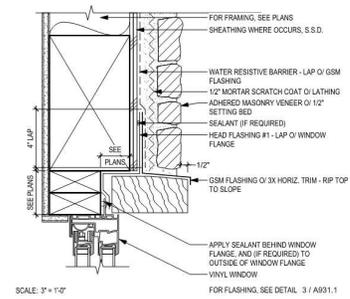
SCALE: 3" = 1'-0"
FOR FLASHING, SEE DETAIL 1 / A931.1
WINDOW HEAD - 3 COAT STUCCO



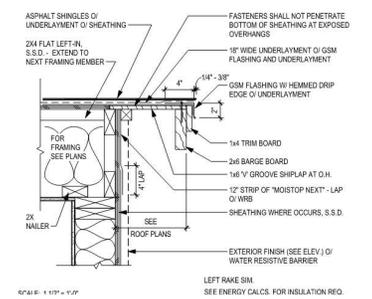
SCALE: 3" = 1'-0"
FOR FLASHING, SEE DETAIL 1 / A931.1
WINDOW HEAD - SIDING



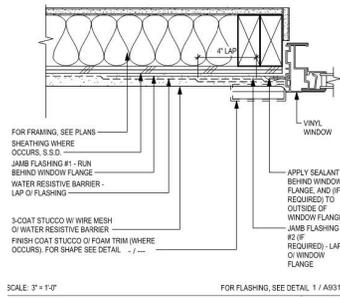
SCALE: 3" = 1'-0"
FOR FLASHING, SEE DETAIL 1 / A931.1
WINDOW HEAD - BOARD & BATTEN



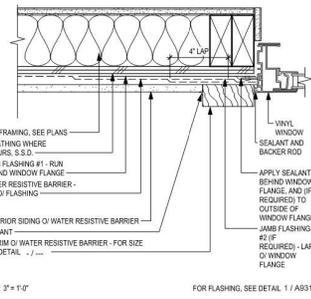
SCALE: 3" = 1'-0"
FOR FLASHING, SEE DETAIL 3 / A931.1
RECESSED WINDOW HEAD - ADHERE MASONRY



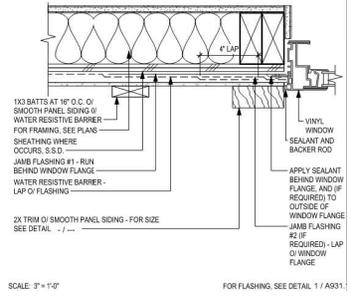
SCALE: 1 1/2" = 1'-0"
FOR FLASHING, SEE DETAIL 3 / A931.1
ASPHALT SHINGLES - TYPICAL RAKE



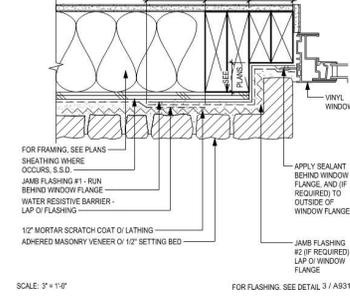
SCALE: 3" = 1'-0"
FOR FLASHING, SEE DETAIL 1 / A931.1
WINDOW JAMB - 3 COAT STUCCO



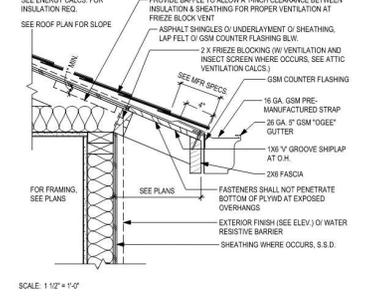
SCALE: 3" = 1'-0"
FOR FLASHING, SEE DETAIL 1 / A931.1
WINDOW JAMB - SIDING



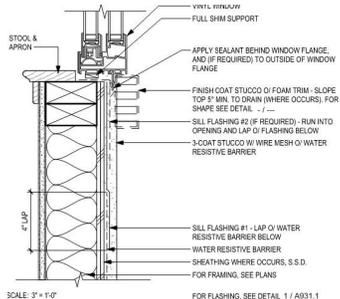
SCALE: 3" = 1'-0"
FOR FLASHING, SEE DETAIL 1 / A931.1
WINDOW JAMB - BOARD & BATTEN



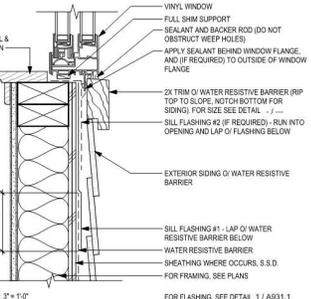
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FOR FLASHING, SEE DETAIL 3 / A931.1
RECESSED WINDOW JAMB - ADHERE MASONRY



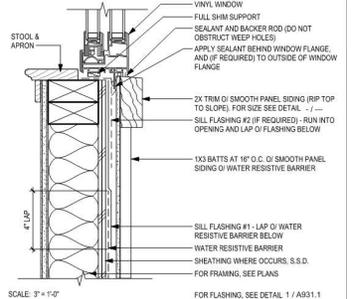
SCALE: 1 1/2" = 1'-0"
FOR FLASHING, SEE DETAIL 3 / A931.1
ASPHALT SHINGLES - TYPICAL EAVE



SCALE: 3" = 1'-0"
FOR FLASHING, SEE DETAIL 1 / A931.1
WINDOW SILL - 3 COAT STUCCO



SCALE: 3" = 1'-0"
FOR FLASHING, SEE DETAIL 1 / A931.1
WINDOW SILL - SIDING



SCALE: 3" = 1'-0"
FOR FLASHING, SEE DETAIL 1 / A931.1
WINDOW SILL - BOARD & BATTEN



BUILDING 1A-B
RIGHT & REAR FACADES



BUILDING 2
RIGHT & REAR FACADES



BUILDING 1A-B
LEFT & FRONT FACADES



BUILDING 2
LEFT & FRONT FACADES

MASSING TYPE: SIDE GABLE

SHEET **A9.1**

320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

ISOMETRIC MASSING DIAGRAMS

BUILDINGS 1A-B & 2

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PROJECT NO. 1005.005 | APRIL 4, 2024





BUILDING 1A-A
RIGHT & REAR FACADES



BUILDING 2A
RIGHT & REAR FACADES



BUILDING 1A-A
LEFT & FRONT FACADES



BUILDING 2A
LEFT & FRONT FACADES

MASSING TYPE: SIDE GABLE

SHEET **A9.2**

320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

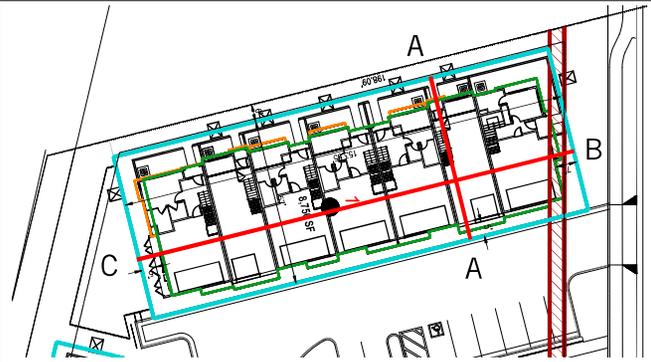
ISOMETRIC MASSING DIAGRAMS

BUILDINGS 1A-A & 2A

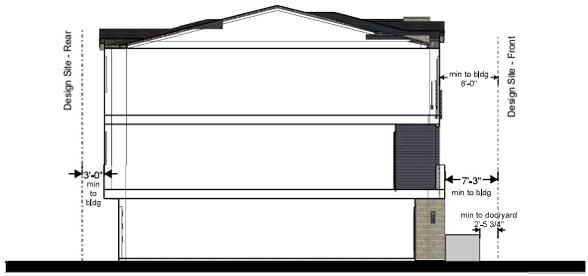
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PROJECT NO. 1005.005 | APRIL 4, 2024





DESIGN SITE 1 SECTION LOCATIONS

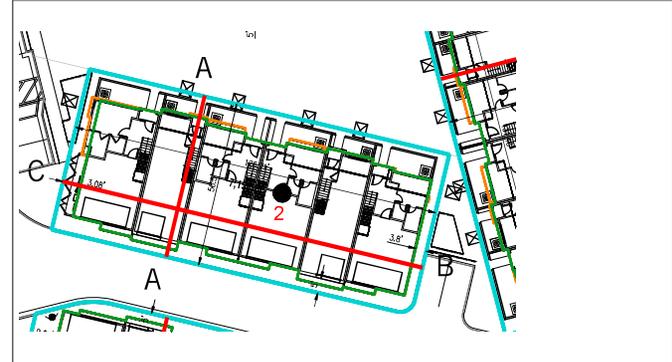


SECTION 'A' - UNIT 1 STYLE B

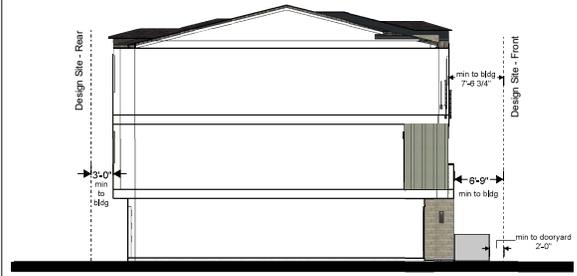


SECTION 'B' - UNIT 3 STYLE B

SECTION 'C' - UNIT 2X STYLE B



DESIGN SITE 2 SECTION LOCATIONS

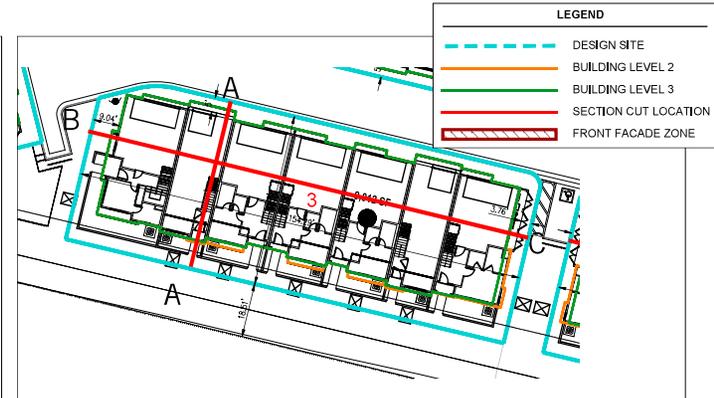


SECTION 'A' - UNIT 1 STYLE A

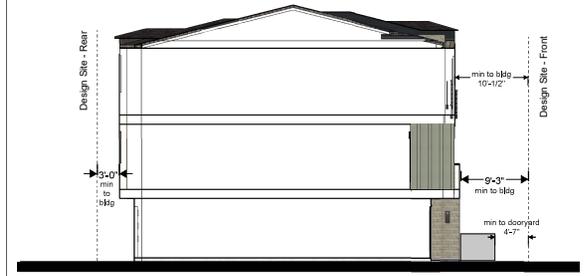


SECTION 'B' - UNIT 2C STYLE A

SECTION 'C' - UNIT 2X STYLE A



DESIGN SITE 3 SECTION LOCATIONS



SECTION 'A' - UNIT 1 STYLE A

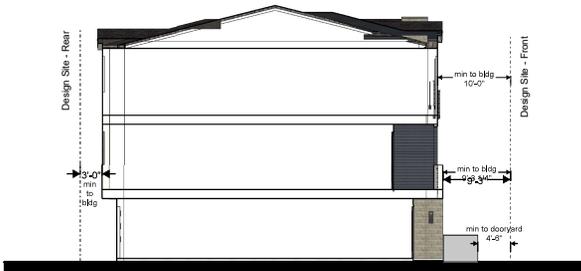


SECTION 'B' - UNIT 3 STYLE A

SECTION 'C' - UNIT 2X STYLE A



DESIGN SITE 4 SECTION LOCATIONS

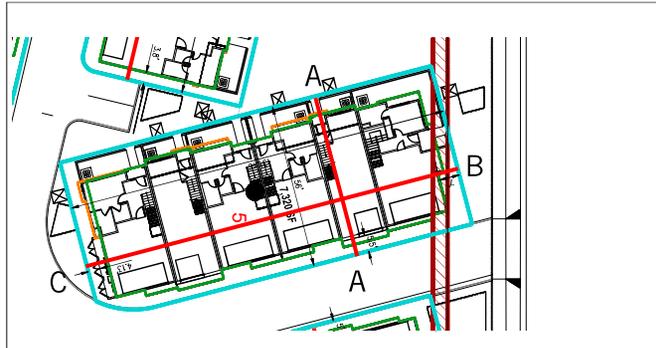


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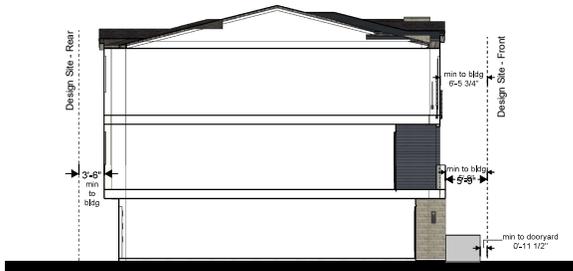


SECTION 'B' - UNIT 3 STYLE B

SECTION 'C' - UNIT 2X STYLE B



DESIGN SITE 5 SECTION LOCATIONS

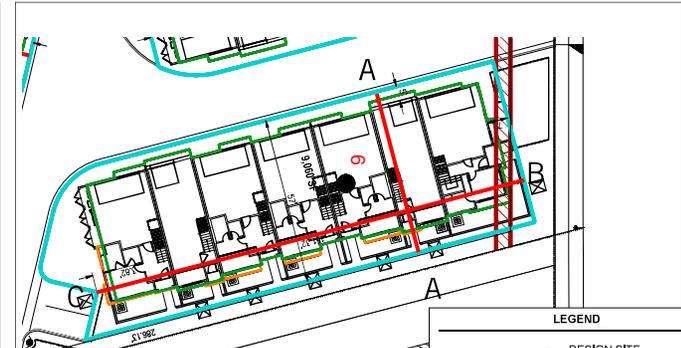


SECTION 'A' - UNIT 1 STYLE B



SECTION 'B' - UNIT 3 STYLE B

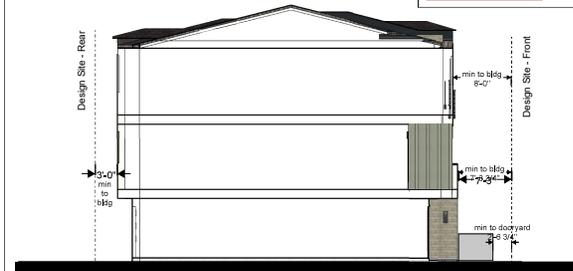
SECTION 'C' - UNIT 2X STYLE B



DESIGN SITE 6 SECTION LOCATIONS

LEGEND

- DESIGN SITE
- BUILDING LEVEL 2
- BUILDING LEVEL 3
- SECTION CUT LOCATION
- FRONT FACADE ZONE

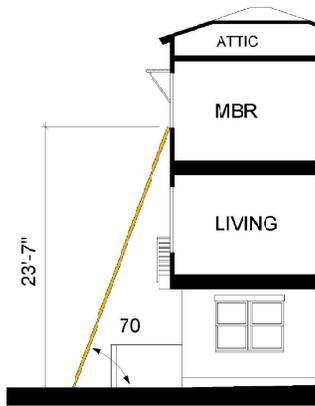
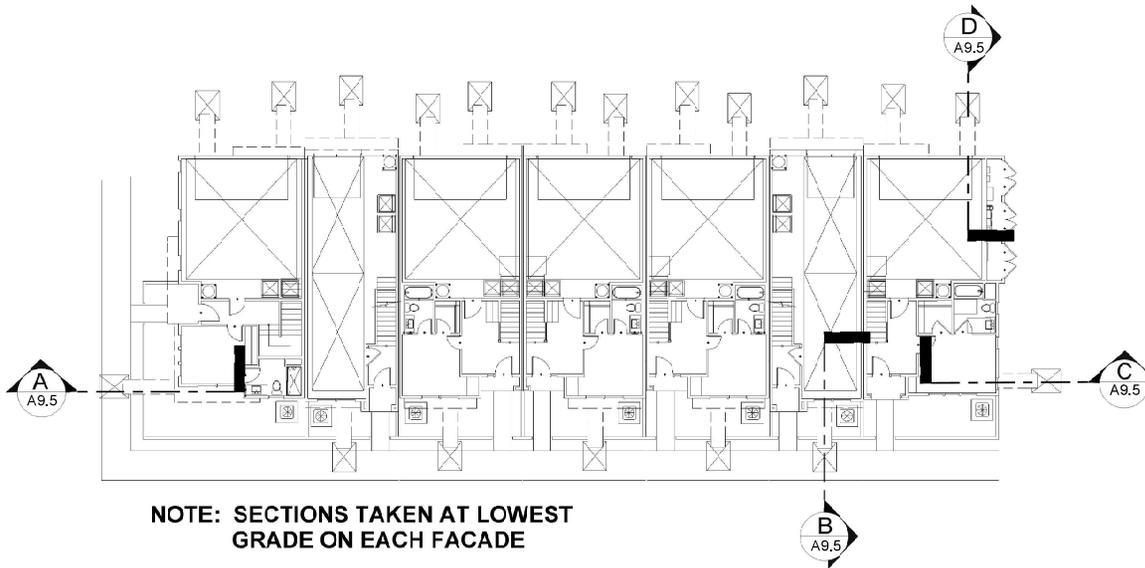


SECTION 'A' - UNIT 1 STYLE A

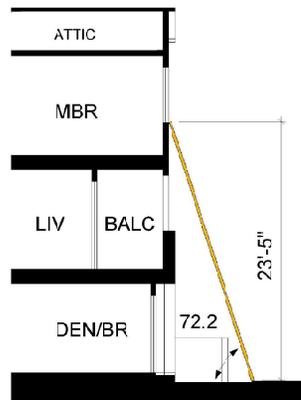


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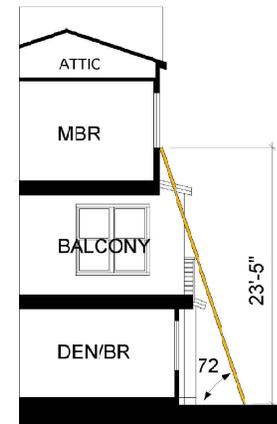
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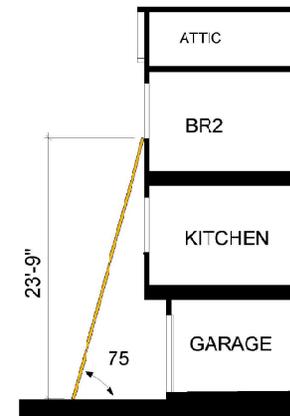
SECTION A



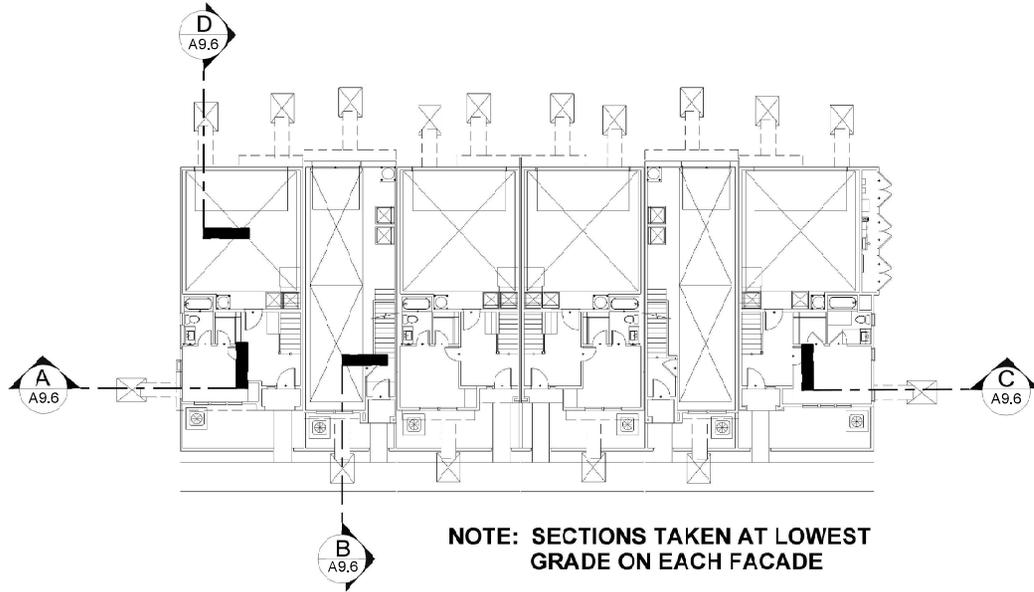
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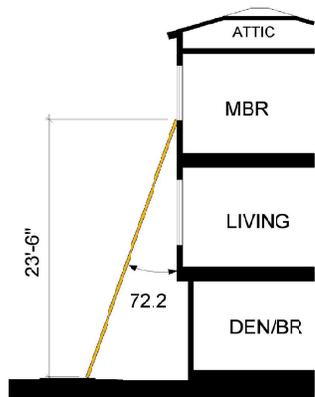
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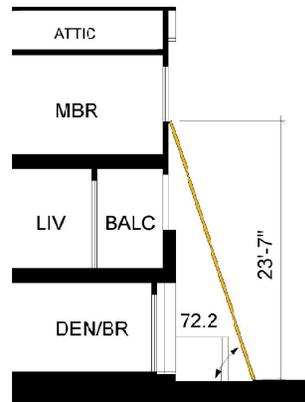
SECTION D



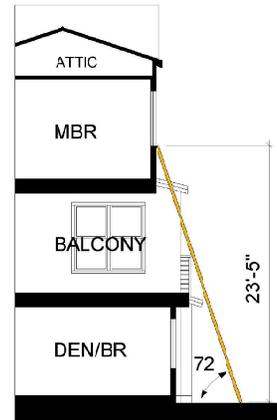
NOTE: SECTIONS TAKEN AT LOWEST GRADE ON EACH FACADE



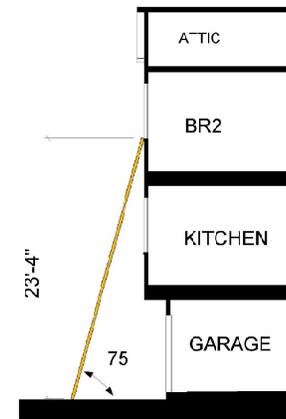
SECTION A



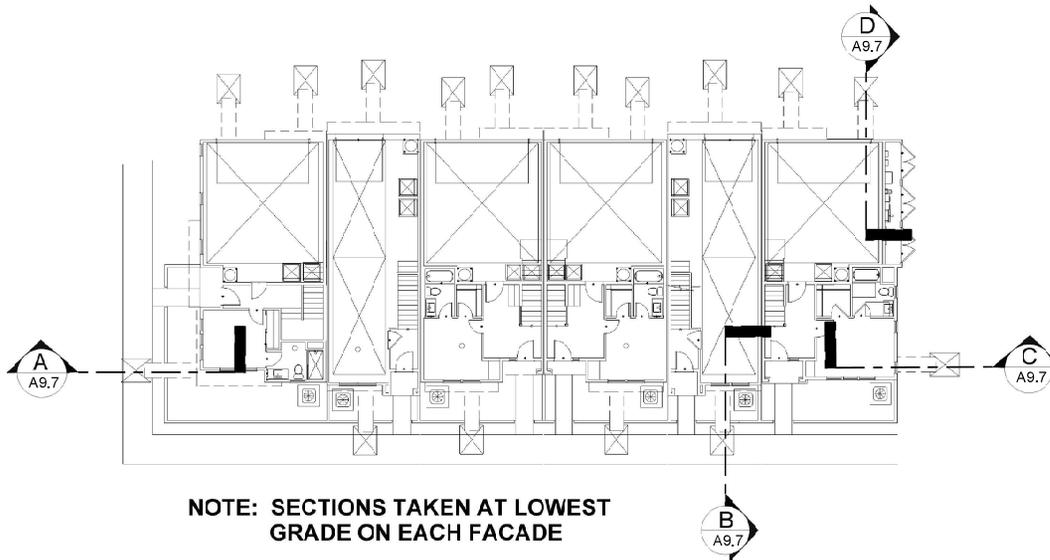
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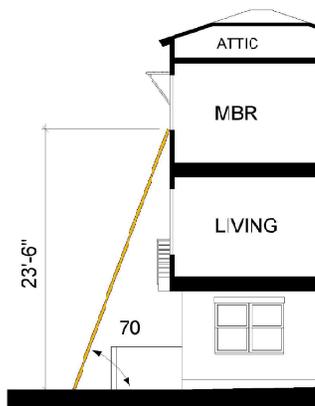
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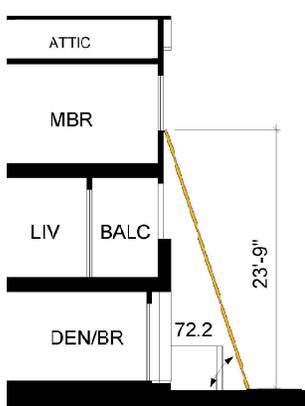
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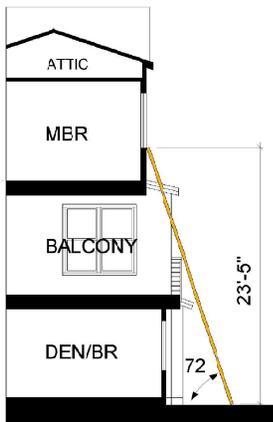
NOTE: SECTIONS TAKEN AT LOWEST GRADE ON EACH FACADE



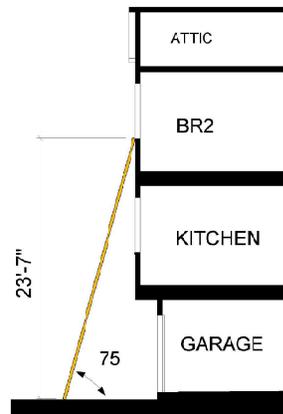
SECTION A



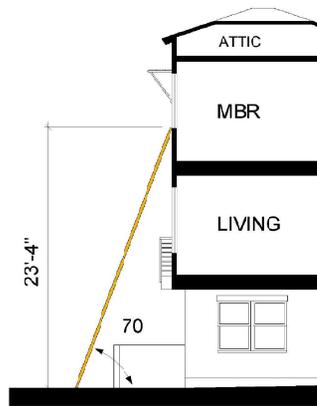
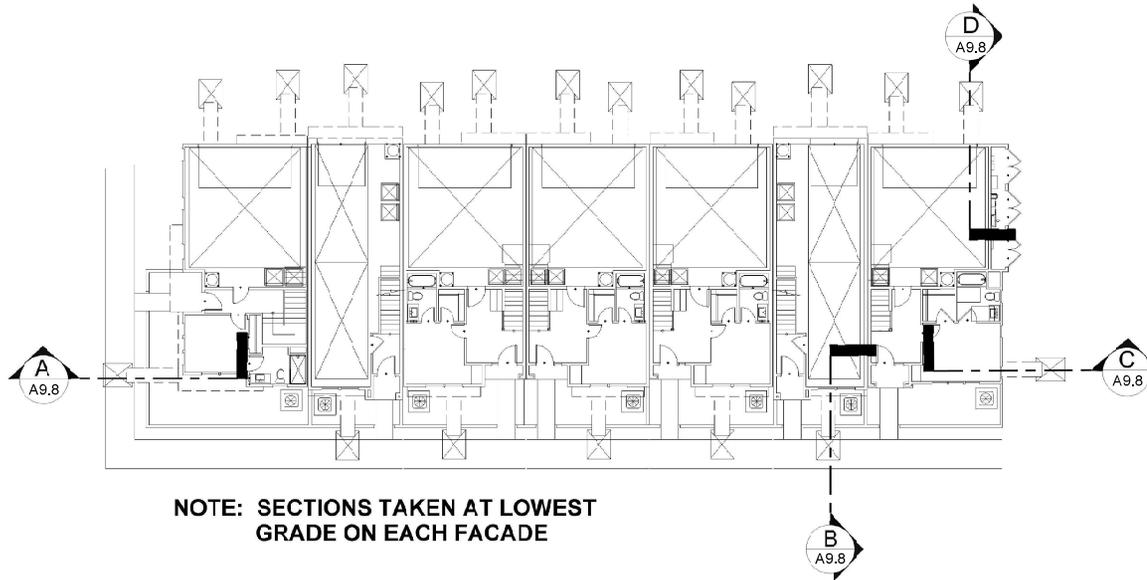
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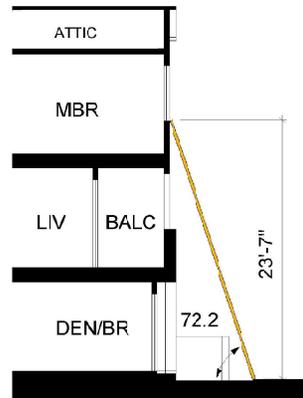
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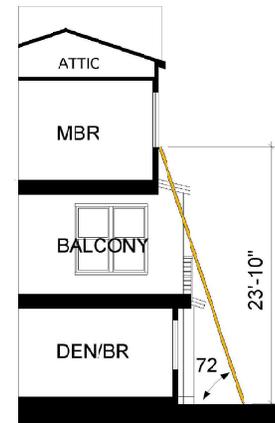
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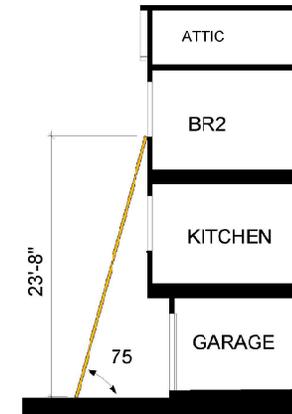
SECTION A



SECTION B



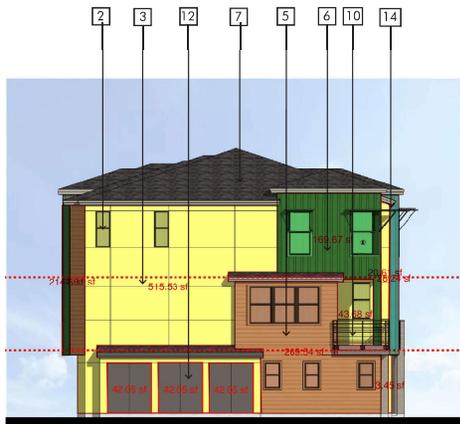
SECTION C



SECTION D



1 FRONT ELEVATION



2 LEFT ELEVATION

MATERIAL LIST

- 1** FIBERGLASS DOOR
- 2** VINYL SINGLE HUNG WINDOWS
- 3** 3 COAT STUCCO W/ METAL REVEALS
- 4** 5" PAINTED HORIZONTAL LAP SIDING
- 5** 8" PAINTED HORIZONTAL LAP SIDING
- 6** PAINTED BOARD & BATTEN SIDING
- 7** COMPOSITION SHINGLE ROOF
- 8** PAINTED METAL GARAGE DOOR W/ LITES
- 9** STONE VENEER
- 10** PAINTED METAL RAILING
- 11** PAINTED ACCENT PANEL
- 12** PAINTED MECHANICAL ROOM DOORS
- 13** PAINTED FASCIA AND TRIM
- 14** METAL WINDOW SHADE / CANOPY
- 15** 8" PREFINISHED HORIZ. LAP SIDING
- (E)** EGRESS WINDOW

COLOR AND GLAZING CALCULATIONS

Bldg Type	Bldg Style	Bldg Elev	Elevation Area Calculations												
			Glazing Area		Primary		Secondary		Tertiary 1		Tertiary 2		Natural	Accent	Total
			SF	%	SF	%	SF	%	SF	%	SF	%	SF	SF	SF
1A	A	Front	966	23.7%	822	20%	1197	29.3%	504	12.4%	1063	26.1%	494	0	4,080
		Left	122	9.9%	578	47%	310	25.2%	190	15.4%	28	2.3%	126	0	1,232
		Rear	623	15.2%	1397	34%	562	13.7%	724	17.7%	720	17.6%	693	0	4,096
		Right	218	16.5%	665	50%	183	13.8%	344	26.0%	0	0.0%	130	0	1,322
1A	B	Front	966	23.5%	575	14%	1339	32.6%	782	19.0%	528	12.8%	774	113	4,111
		Left	161	11.8%	0	0%	419	30.8%	363	26.7%	243	17.8%	277	60	1,362
		Rear	623	15.9%	1317	34%	354	9.0%	1456	37.1%	91	2.3%	604	104	3,926
		Right	122	9.5%	71	6%	415	32.3%	280	21.8%	346	26.9%	173	0	1,285
2A	B	Front	828	23.7%	504	14%	1032	29.6%	797	22.9%	430	12.3%	623	101	3,487
		Left	218	16.0%	0	0%	431	31.6%	360	26.4%	241	17.6%	274	60	1,366
		Rear	529	15.4%	1075	31%	344	10.0%	1241	36.0%	90	2.6%	604	90	3,444
		Right	122	9.2%	127	10%	415	31.4%	279	21.1%	346	26.2%	155	0	1,322
2	A	Front	831	24.4%	707	21%	1150	33.7%	504	14.8%	644	18.9%	404	0	3,409
		Left	135	10.7%	576	46%	307	24.5%	167	13.3%	27	2.2%	178	0	1,255
		Rear	537	15.5%	1121	32%	551	16.0%	725	21.0%	479	13.9%	578	0	3,454
		Right	122	9.3%	662	50%	181	13.8%	322	24.5%	18	1.4%	130	0	1,313

COLOR ANALYSIS LEGEND

- PRIMARY COLOR
- SECONDARY COLOR
- TERTIARY COLOR 1
- TERTIARY COLOR 2

320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

STANDARDS COMPLIANCE DIAGRAM

BUILDING 1A - 7 PLEX - STYLE A

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SHEET A10.1

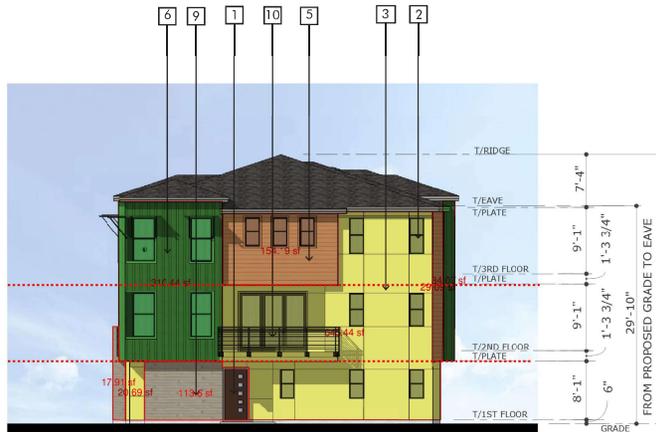
0 4 8 16 24 FEET



PROJECT NO. 1005.005 | APRIL 4, 2024



3 REAR ELEVATION



4 RIGHT SIDE ELEVATION

COLOR AND GLAZING CALCULATIONS

Bldg Type	Bldg Style	Bldg Elev	Elevation Area Calculations												
			Glazing Area		Primary		Secondary		Tertiary 1		Tertiary 2		Natural	Accent	Total
			SF	%	SF	%	SF	%	SF	%	SF	%	SF	SF	SF
1A	A	Front	966	23.7%	822	20%	1197	29.3%	504	12.4%	1063	26.1%	494	0	4,080
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		Rear	537	15.5%	1121	32%	551	16.0%	725	21.0%	479	13.9%	578	0	3,454
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MATERIAL LIST

- 1 FIBERGLASS DOOR
- 2 VINYL SINGLE HUNG WINDOWS
- 3 3 COAT STUCCO W/ METAL REVEALS
- 4 5" PAINTED HORIZONTAL LAP SIDING
- 5 8" PAINTED HORIZONTAL LAP SIDING
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- 15 8" PREFINISHED HORIZ. LAP SIDING
- (E) EGRESS WINDOW

COLOR ANALYSIS LEGEND

- PRIMARY COLOR
- SECONDARY COLOR
- TERTIARY COLOR 1
- TERTIARY COLOR 2

320 VIRGINIA AVENUE
IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

STANDARDS COMPLIANCE DIAGRAMS

BUILDING 1A - 7 PLEX - STYLE A

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SHEET A10.2

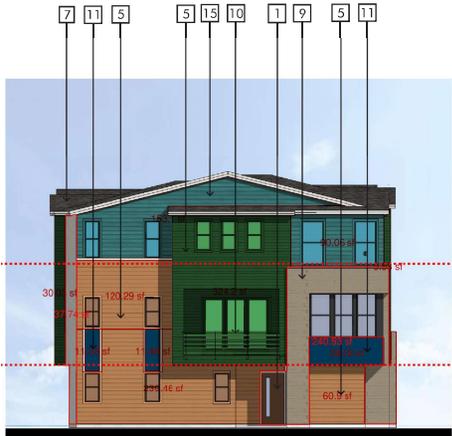
0 4 8 16 24 FEET

PROJECT NO. 1005_005 | APRIL 4, 2024





1 FRONT ELEVATION



2 LEFT SIDE ELEVATION

MATERIAL LIST

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COLOR AND GLAZING CALCULATIONS

Bldg Type	Bldg Style	Bldg Elev	Elevation Area Calculations												
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			SF	%	SF	%	SF	%	SF	%	SF	%	SF	SF	SF
1A	A	Front	966	23.7%	822	20%	1197	29.3%	504	12.4%	1063	26.1%	494	0	4,080
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		Left	828	23.7%	504	14%	1032	29.6%	797	22.9%	430	12.3%	623	101	3,487
		Rear	218	16.0%	0	0%	431	31.6%	360	26.4%	241	17.6%	274	60	1,366
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COLOR ANALYSIS LEGEND

- PRIMARY COLOR
- SECONDARY COLOR
- TERTIARY COLOR 1
- TERTIARY COLOR 2
- ACCENT COLOR

320 VIRGINIA AVENUE
IN CAMPBELL, CA
DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

STANDARDS COMPLIANCE DIAGRAM
BUILDING 1A - 7 PLEX - STYLE B

DAHLIN GROUP ARCHITECTURE | PLANNING

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PROJECT NO. 1005,005 | APRIL 4, 2024





REAR ELEVATION



4 RIGHT SIDE ELEVATION

COLOR AND GLAZING CALCULATIONS

Bldg Type	Bldg Style	Bldg Elev	Elevation Area Calculations												
			Glazing Area		Primary		Secondary		Tertiary 1		Tertiary 2		Natural	Accent	Total
			SF	%	SF	%	SF	%	SF	%	SF	%	SF	SF	SF
1A	A	Front	966	23.7%	822	20%	1197	29.3%	504	12.4%	1063	26.1%	494	0	4,080
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		Left	966	23.5%	575	14%	1339	32.6%	782	19.0%	528	12.8%	774	113	4,111
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		Left	122	9.5%	71	6%	415	32.3%	280	21.8%	346	26.9%	173	0	1,285
		Rear	828	23.7%	504	14%	1032	29.6%	797	22.9%	430	12.3%	623	101	3,487
2	A	Front	218	16.0%	0	0%	431	31.6%	360	26.4%	241	17.6%	274	60	1,366
		Left	529	15.4%	1075	31%	344	10.0%	1241	36.0%	90	2.6%	604	90	3,444
		Rear	122	9.2%	127	10%	415	31.4%	279	21.1%	346	26.2%	155	0	1,322
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MATERIAL LIST

- 1 FIBERGLASS DOOR
- 2 VINYL SINGLE HUNG WINDOWS
- 3 3 COAT STUCCO W/ METAL REVEALS
- 4 5" PAINTED HORIZONTAL LAP SIDING
- 5 8" PAINTED HORIZONTAL LAP SIDING
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- 13 PAINTED FASCIA AND TRIM
- 14 METAL WINDOW SHADE / CANOPY
- 15 8" PREFINISHED HORIZ. LAP SIDING
- (E) EGRESS WINDOW

COLOR ANALYSIS LEGEND

- PRIMARY COLOR
- SECONDARY COLOR
- TERTIARY COLOR 1
- TERTIARY COLOR 2

320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

STANDARDS COMPLIANCE DIAGRAM

BUILDING 1A - 7 PLEX - STYLE B

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SHEET A10.4

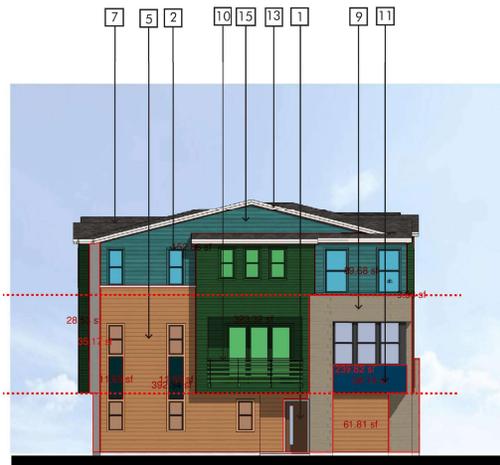
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PROJECT NO. 1005_005 | APRIL 4, 2024





FRONT ELEVATION



2 LEFT SIDE ELEVATION

MATERIAL LIST

- 1 FIBERGLASS DOOR
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COLOR AND GLAZING CALCULATIONS

Bldg Type	Bldg Style	Bldg Elev	Elevation Area Calculations												
			Glazing Area		Primary		Secondary		Tertiary 1		Tertiary 2		Natural	Accent	Total
			SF	%	SF	%	SF	%	SF	%	SF	%	SF	SF	SF
1A	A	Front	966	23.7%	822	20%	1197	29.3%	504	12.4%	1063	26.1%	494	0	4,080
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- PRIMARY COLOR
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- TERTIARY COLOR 1
- TERTIARY COLOR 2
- ACCENT COLOR

320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

STANDARDS COMPLIANCE DIAGRAM

BUILDING 2A - 6 PLEX - STYLE B

WWW.DAHLINGROUP.COM

SHEET A10.5

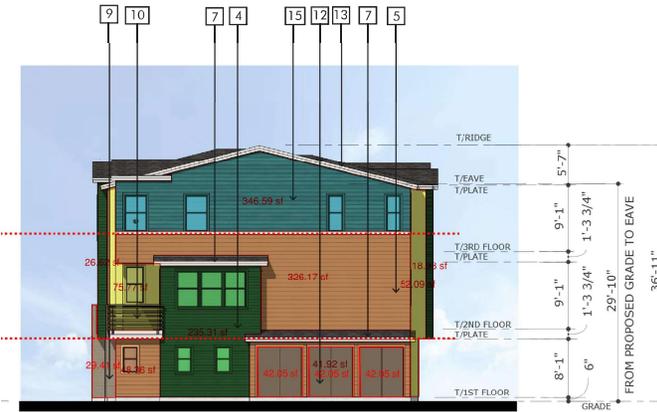
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PROJECT NO. 1005_005 | APRIL 4, 2024





REAR ELEVATION



4 RIGHT SIDE ELEVATION

COLOR AND GLAZING CALCULATIONS

Bldg Type	Bldg Style	Bldg Elev	Elevation Area Calculations												
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- TERTIARY COLOR 1
- TERTIARY COLOR 2
- ACCENT COLOR

320 VIRGINIA AVENUE
IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

STANDARDS COMPLIANCE DIAGRAMS

BUILDING 2A - 6 PLEX - STYLE B

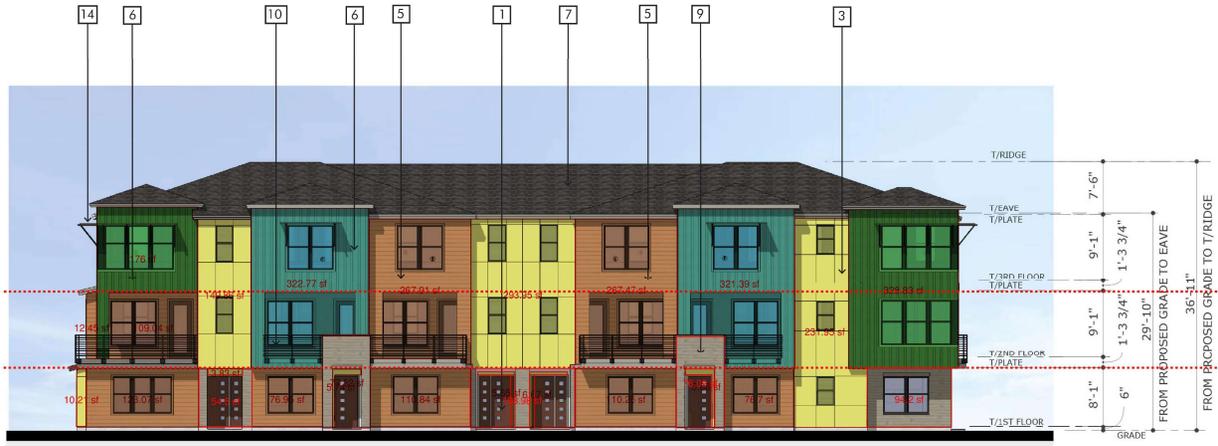
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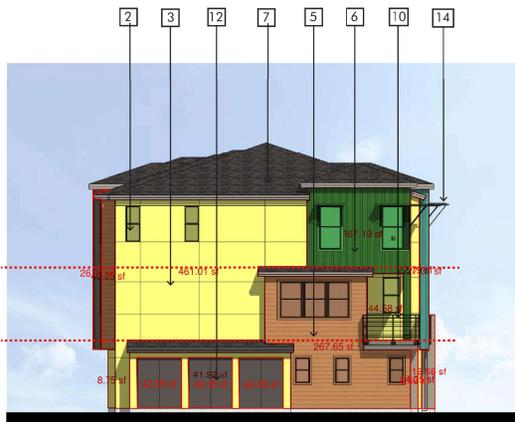


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PROJECT NO. 1005_005 | APRIL 4, 2024



FRONT ELEVATION



2 LEFT SIDE ELEVATION

MATERIAL LIST

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COLOR ANALYSIS LEGEND

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- TERTIARY COLOR 2

320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

STANDARDS COMPLIANCE DIAGRAM

BUILDING 2 - 6 PLEX - STYLE A

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SHEET A10.7



PROJECT NO. 1005_005 | APRIL 4, 2024





REAR ELEVATION



RIGHT SIDE ELEVATION

COLOR AND GLAZING CALCULATIONS

Bldg Type	Bldg Style	Bldg Elev	Elevation Area Calculations												
			Glazing Area		Primary		Secondary		Tertiary 1		Tertiary 2		Natural	Accent	Total
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320 VIRGINIA AVENUE

IN CAMPBELL, CA

DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

STANDARDS COMPLIANCE DIAGRAM

BUILDING 2 - 6 PLEX - STYLE A

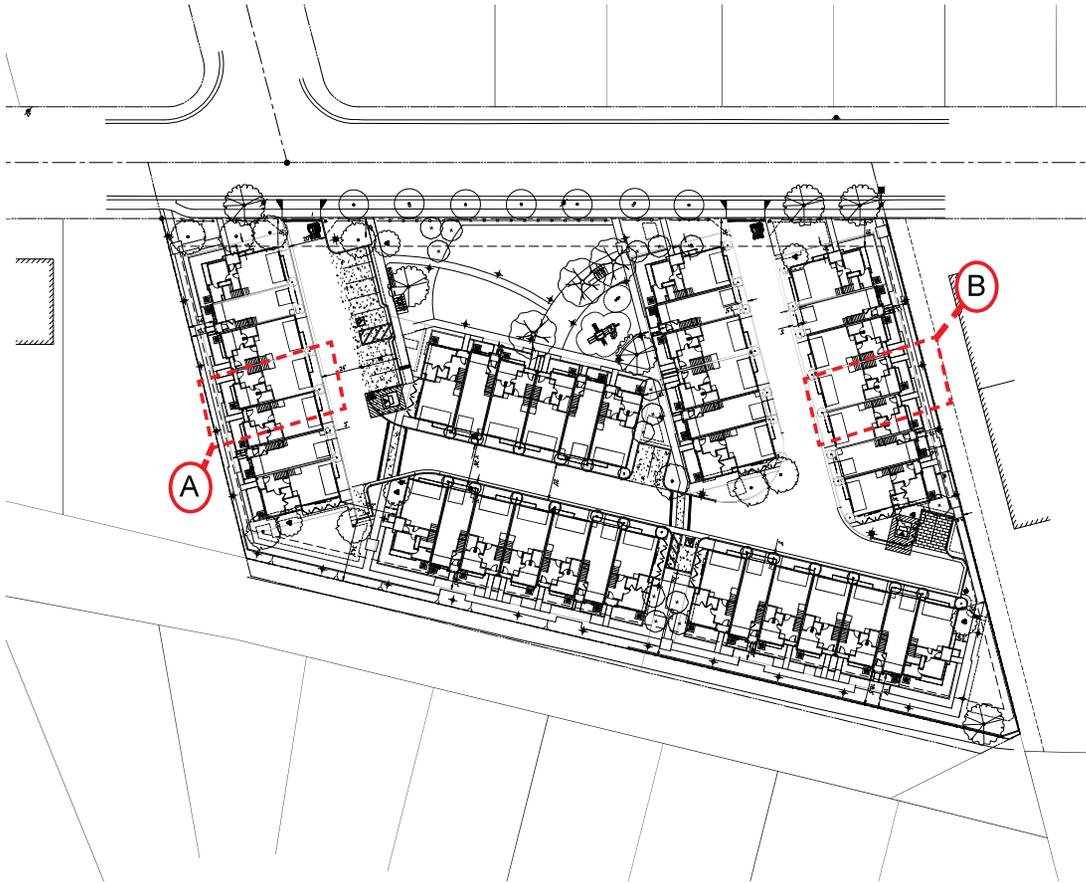
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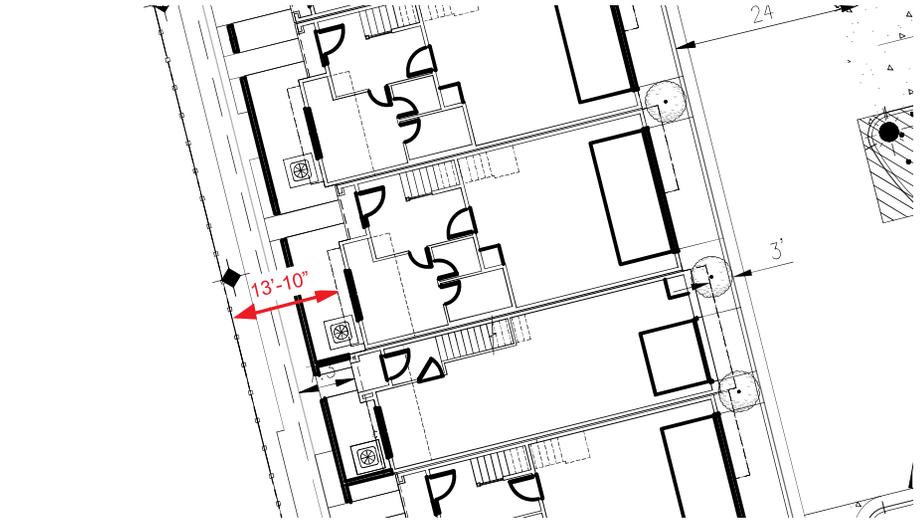
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PROJECT NO. 1005_005 | APRIL 4, 2024

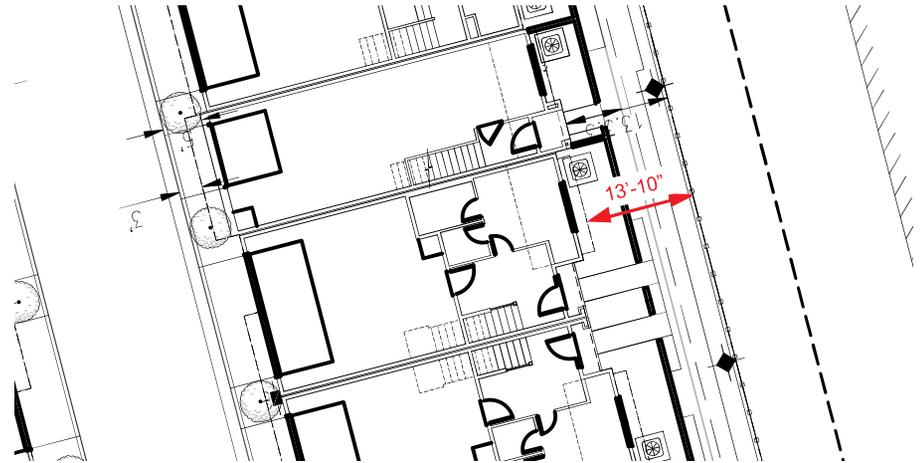




SITE PLAN KEYMAP



A ENLARGE UNIT PLAN 2 (SOUTH P.L.) W/ CLOSEST DISTANCE FROM SIDE PROPERTY LINE TO GLAZING



B ENLARGE UNIT PLAN 2 (NORTH P.L.) W/ CLOSEST DISTANCE FROM SIDE PROPERTY LINE TO GLAZING

320 VIRGINIA AVENUE
IN CAMPBELL, CA
DEVELOPMENT APPLICATION PLANS - SUBMITTAL 4

DAHLIN GROUP ARCHITECTURE | PLANNING

PRIVACY PLAN

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PROJECT NO. 1005.005 | APRIL 4, 2024



SHEET A10.9

LEGEND		DESCRIPTION
TO BE CONSTRUCTED	EXISTING	
		BOUNDARY
		PROPERTY LINE
		RIGHT OF WAY
		CENTER LINE
		EDGE OF PAVEMENT
		CURB, GUTTER, SIDEWALK & DRIVEWAY
		SANITARY SEWER PIPE & MANHOLE
		STORM DRAIN PIPE & MANHOLE
		WATER LINE
		JOINT TRENCH
		JOINT
		OVERHEAD LINE
		GAS LINE
		WOODEN FENCE
		CHAINLINK FENCE
		AREA DRAIN PIPE & AREA DRAIN
		CURB INLET
		FIELD INLET
		DOWNSPOUT
		FIRE HYDRANT
		WATER METER
		POWER POLE
		ELECTROLER
		DECORATIVE ELECTROLER
		SIGN
		GRADE TO DRAIN
		OVERLAND RELEASE
		CURB RAMP
		UTILITY BOXES & VAULTS
		ABOVE GRADE TRANSFORMER

ABBREVIATIONS			
AR	AGGREGATE BASE	GL	GARAGE LIP
ARND	ABANDON	GRT	GRATE
AC	ASPHALT CONCRETE	GV	GAS VALVE
AD	AREA DRAIN	HP	HIGH POINT
ADU	ACCESSORY DWELLING UNIT	IM	IMAGE
AP	ANGLE POINT	INT	INTERSECTION
APN	ASSESSORS PARCEL NUMBER	INV	INVERT
ARV	AIR RELEASE VALVE	IP	IRON PIPE
ASB	AGGREGATE SUBBASE	JP	JOINT POLE
AU	ACCESSIBLE UNIT	JT	JOINT TRENCH
BC	BEGIN CURVE	LAT	LATERAL
BK	BOOK	LP	LOW POINT
BW	BOTTOM OF WALL	LS	LANDSCAPE
F/W	BACK OF WALK	MH	MANHOLE
BFP	BACK FLOW PREVENTOR	M	MAPS
BLL	BOLLARD	MEAS	MEASURED
BLDG	BUILDING	MON	MONUMENT
BRK	BRICK	OR	OFFICIAL RECORDS
BS	BOTTOM OF STEP	P	PAVEMENT
C&G	CURB & GUTTER	PG	PAGE
CB	CATCH BASIN	PUNT	PUNTER
CEN	CENTER	PT	POINT
CL	CENTERLINE	PV	POST INDICATOR VALVE
CLF	CHAIN LINK FENCE	PL	PROPERTY LINE
CO	CLEAN OUT	PP	POWER POLE
CONC	CONCRETE	PS	PROTECTIVE SLOPE
CONST	CONSTRUCT	PVC	POLYVINYL CHLORIDE PIPE
COR	CURB CORNER	RC	ROLLED CURB
CR	CURB RAMP	RCE	REGISTERED CIVIL ENGINEER
DC	DEPRESSED CURB	RCP	REINFORCED CONCRETE PIPE
DI	DRAINAGE INLET	RE	REEL
DAM	DAM	R&R	REMOVE AND REPLACE
DWP	DUCTILE IRON PIPE	RW	RECYCLED WATER
DBL	DOUBLE	R/W	RIGHT OF WAY
DS	DOWNSPOUT	SD	STORM DRAIN
DW	DRIVEWAY	SER	SERVICE
ED	END CURVE	SS	SANITARY SEWER
ESMT	EASEMENT	S/B	STREET LIGHT BOX
ELEC	ELECTRICAL	STD	STANDARD
ELECT	ELECTROLER	SQ	SQUARE
ENCL	ENCLOSURE	S/W	SIDEWALK
ENCR	ENCROACHING	TC	TOP OF CURB
EP	EDGE OF PAVEMENT	TDC	TOP OF DEPRESSED CURB
ER	END OF RETURN	TEL	TELEPHONE
EX	EXISTING	TO	TOP OF GUTTER
FB	FLUSH BAND	TRC	TOP OF ROLLED CURB
FD	FOUND	TS	TOP STEP
FDC	FIRE DEPARTMENT CONNECTION	TSD	TRAFFIC SIGNAL BOX
FC	FACE OF CURB	TW	TOP OF WALL
FEN	FENCE	TYP	TYPICAL
FF	FINISH FLOOR	UB	UTILITY BOX
FFG	FINISH FLOOR GARAGE	UTL	UTILITY
FG	FINISH GRADE	VCP	VITRIFIED CLAY PIPE
FH	FIRE HYDRANT	VLT	VAULT
FI	FIELD INLET	WB	WATER BOX
FL	FLOWLINE	WM	WATER METER
FS	FIRE SERVICE	WT	WATER
F/W	FRONT OF WALK	WW	WATER VALVE
GB	GRADE BREAK	WD	WOOD
GF	GARAGE FINISH FLOOR	WNG	CROSSING

DATE	4/4/2024
SCALE	N/A
DESIGNED	JG
DRAWN	CH
JOB NO.	21-134
SHEET	C1
OF SHEETS	

PREPARED FOR: **V P**
VALLEY OAK PARTNERS
 734 THE ALAMEDA
 SUITE 1026
 T: (409) 282-9700
 F: (409) 282-9797

Civil Engineering Associates
 Civil Engineers • Planners • Surveyors

320 VIRGINIA AVENUE
 ABBREVIATIONS AND LEGEND
 CALIFORNIA
 CAMPBELL



0 20 40 Feet

NOTE:

- SEE SHEET C3 FOR TREE INVENTORY
- SEE SHEET C3 FOR CITY OF CAMPBELL STANDARDS FOR TREE PROTECTION DURING CONSTRUCTION
- ALL ON-SITE TREES TO BE REMOVED UNLESS OTHERWISE NOTED

LEGEND

EXISTING TREE TO BE REMOVED

EXISTING TREE TO BE PROTECTED PER CITY DETAIL S3-9 (BRUNK DRAIN)

TREE CANOPY PER SURVEY

PROJECT\2021\21134 320 Virginia Ave - Campbell\PLANNING\PD\C2 EXISTING CONDITIONS, DEMOLITION AND TREE REMOVAL PLAN.dwg Apr 04, 2024

NO.	DATE	REVISIONS

Prepared For:
 V P
 VALLEY OAK PARTNERS
 734 THE ALAMEDA
 FOLSOM, CA 95632
 T: (916) 262-9700
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Civil Engineering Associates
 Civil Engineers • Planners • Surveyors

320 VIRGINIA AVENUE
 EXISTING CONDITIONS, DEMOLITION AND
 TREE REMOVAL PLAN
 CAMPBELL CALIFORNIA

DATE: 4/4/2024
 SCALE: 1"=20'
 DESIGNED: JG
 DRAWN: JR
 JOB NO: 21-134
 SHEET: **C2**
 OF SHEETS

NOTES

TREE ASSESSMENT TABLES BELOW PER THE PRELIMINARY ARBORIST REPORT PREPARED BY HORTISCIENCE BARTLETT CONSULTING DATED OCTOBER 1, 2021. REFER TO THE REPORT FOR ADDITIONAL INFORMATION.

Tree Assessment

320 Virginia Avenue
Campbell, CA
September 2021



Tree No.	Species	Trunk Diameter (in.)	Protected Tree?	Condition 1=Good 5=Excellent	Suitability for Preservation	Comments
1	Olive	12,10,10	Yes	3	Moderate	Codominant stems at base; vase form; wide crown.
2	Olive	12,10	Yes	3	Moderate	3' from fence; codominant stems at 2'; 1-sided to W.
3	Xylocopa	11,4	No	1	Low	Codominant stems at 5'; girdling root at base; suppressed by #1; branch dieback.
4	Xylocopa	12	Yes	2	Low	3' from fence; leans W.; crowded.
5	Olive	8,7,7,6	No	3	Moderate	Multiple attachments arise from base; crowded by #4; 1-sided to W.
6	Xylocopa	12	Yes	2	Low	Bowed; sinuous trunk; poor form and structure; crowded.
7	Xylocopa	14	Yes	2	Low	Bowed; sinuous trunk; connecting lean W.; wide crown.
8	Sweetgum	16	Yes	0	-	Multiple attachments at 10'; dead.
9	Olive	8,8	No	2	Low	Codominant stems at base; leans S.W.; sparse.
10	Olive	6,6,5,4,3	No	2	Low	Multiple attachments arise from base; leans W.; suppressed by #11.
11	Olive	8,8	No	1	Low	Codominant stems arise from base w/ removed stem and cavity; decayed stem leans W. branch dieback.
12	Xylocopa	8	No	1	Low	Trunk bends sharply S. at base and connects; extremely suppressed by #13.
13	Xylocopa	12	Yes	1	Low	Upper trunk bends S. over #12; suppressed by #14.
14	Sweetgum	14	Yes	0	-	Crowded by #13 and #15; dead.
15	Xylocopa	12	Yes	1	Low	Trunk twisted at base; sinuous form; trunk divides at 10;15'; crowded.
16	Xylocopa	11,3	No	2	Low	Codominant stems at 2' and 8'; sinuous form; suppressed by #17.
17	Xylocopa	10	No	2	Low	1-sided to E.; sinuous form; crowded.
18	Xylocopa	11	No	2	Low	Sinuous trunk; crowded.
19	Xylocopa	13	Yes	2	Low	Leans N.; sinuous form; crowded.
20	Xylocopa	12	Yes	1	Low	Leans sharply N.; sinuous trunk; extremely suppressed by #19.

Tree Assessment

320 Virginia Avenue
Campbell, CA
September 2021



Tree No.	Species	Trunk Diameter (in.)	Protected Tree?	Condition 1=Good 5=Excellent	Suitability for Preservation	Comments
21	Olive	9,7,7	No	3	Moderate	Multiple attachments arise from base; decay on E. stem; vase form.
22	Strawberry tree	10,9,4	No	1	Low	Leans S.; multiple attachments arise from base w/ decayed stems.
23	Strawberry tree	9,7	No	1	Low	Codominant stems arise from base; W. stem decayed and splitting; wide vase form.
24	Olive	11,11,7	Nn	3	Moderate	Trunk divides at 1' and 4'; history of limb removal. 4" cavity in main stem.
25	Olive	7,7,6	No	2	Low	Leans S.W.; multiple attachments at 1'; many suckers at base.
26	Strawberry tree	8	No	1	Low	Enlarged base; decayed trunk; divides at 4,5, and 7'; extensive branch dieback.
27	Sawleaf zelkova	14,10	Yes	3	Moderate	Slight lean N.W.; codominant stems at 4'; multiple attachments at 6'; thinning crown w/ some twig dieback.
28	Sawleaf zelkova	20	Yes	2	Low	Multiple attachments at 4'; crowded; vase form; branch dieback.
29	Sawleaf zelkova	13	Yes	1	Low	Codominant stems at 5'; leans S.; narrow form; extremely suppressed and crowded.
30	Sawleaf zelkova	26	Yes	3	Moderate	Multiple attachments at 5,5,5'; wide spreading crown; dead 10" stem to S. w/ decay; best of the group.
31	Modesto ash	10	No	1	Low	Leans S.W.; extremely suppressed by #32; all but dead.
32	Modesto ash	31	Yes	2	Low	Multiple attachments at 4'; tufted stem; wide spreading crown; branch dieback.
33	Modesto ash	19	Yes	1	Low	Measured at base; trunk splitting open to base; leans N.; extensive branch dieback.
34	Coast redwood	30	Yes	1	Low	Strong lean S.E.; slightly correcting; crowded; sparse; drought-stressed.
35	Coast redwood	38	Yes	3	Moderate	Typical form and structure; codominant stems at ~35'; slightly crowded; drought-stressed.

Tree Assessment

320 Virginia Avenue
Campbell, CA
September 2021



Tree No.	Species	Trunk Diameter (in.)	Protected Tree?	Condition 1=Good 5=Excellent	Suitability for Preservation	Comments
36	Coast redwood	20	Yes	2	Low	Leans E.; crowded.
37	Coast redwood	29	Yes	2	Low	Crowded; thin crown; drought-stressed.
38	Coast redwood	24	Yes	2	Low	Trunk bows E. and corrects; drought-stressed.
39	Blackwood acacia	-14	Yes	3	Low	Off-site; no tag. Slight lean W.; vigorous; overhangs oak.
40	Coast live oak	-20	Yes	3	Moderate	Off-site; no tag. Base at fence; displacing asphalt gutter; multiple attachments at 5,5'; slight lean N.; vigorous; overhangs oak 12'
41	Sawleaf zelkova	31	Yes	1	Low	Leans E.; multiple attachments at 5'; narrow attachment 2'30" crown dead; history of limb removal; history of limb failure.
42	Sawleaf zelkova	25	Yes	2	Low	Multiple attachments at 6'; narrow attachment; dead 8' stem; vase form.
43	Sawleaf zelkova	15	Yes	1	Low	Codominant stems at 6'; leans S.W.; suppressed by #42; extensive branch dieback.
44	Ginkgo	3	OFFSITE	1	Low	Street tree in 5' planting strip. Leans W.; trunk wound E. side; young tree.
45	Ginkgo	17	OFFSITE	3	Moderate	Street tree in 5' planting strip. 6" from sidewalk; multiple attachments at S. old tag #18; vase form; history of limb removal; upper crown topped under utility lines; slightly sparse.
46	Ginkgo	15,14	OFFSITE	3	Moderate	Street tree in 5' planting strip. Codominant stems at 4'; vase form.
47	Ginkgo	19	OFFSITE	3	Moderate	Street tree in 5' planting strip. Codominant stems at 5'; enlarged base W. side; vase form; best of the group.
48	Ginkgo	16	OFFSITE	2	Low	Street tree in 5' planting strip. Codominant stems at 4' w/ large removed stems; crown bows S.; sparse; narrow form; -10' from utility pole.
49	Italian cypress	-24	Yes	3	Moderate	Off-site; no tag. 1' from fence; crowded; typical narrow upright form; some gaps in crown and drooping branches with dieback; crowded.

Tree Assessment

320 Virginia Avenue
Campbell, CA
September 2021

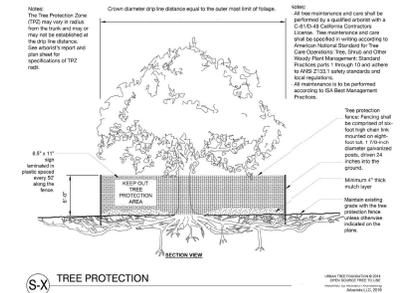


Tree No.	Species	Trunk Diameter (in.)	Protected Tree?	Condition 1=Good 5=Excellent	Suitability for Preservation	Comments
50	Italian cypress	-24	Yes	3	Moderate	Off-site; no tag. 1' from fence; crowded; typical narrow upright form; some gaps in crown and drooping branches with dieback; crowded.
51	Italian cypress	-24	Yes	3	Moderate	Off-site; no tag. 1' from fence; crowded; typical narrow upright form; some gaps in crown and drooping branches with dieback; crowded.
52	Italian cypress	-24	Yes	3	Moderate	Off-site; no tag. 1' from fence; crowded; typical narrow upright form; some gaps in crown and drooping branches with dieback; crowded.
53	Italian cypress	-24	Yes	3	Moderate	Off-site; no tag. 1' from fence; crowded; typical narrow upright form; some gaps in crown and drooping branches with dieback; crowded.
54	Italian cypress	-24	Yes	4	High	Off-site; no tag. 1' from fence; crowded; typical narrow upright form; crowded; vigorous.
55	Italian cypress	-24	Yes	4	High	Off-site; no tag. 1' from fence; crowded; typical narrow upright form; crowded; vigorous.
56	Italian cypress	-24	Yes	4	High	Off-site; no tag. 1' from fence; crowded; typical narrow upright form; crowded; vigorous.
57	Italian cypress	-24	Yes	4	High	Off-site; no tag. 1' from fence; crowded; typical narrow upright form; crowded; vigorous.
58	Italian cypress	-24	Yes	4	High	Off-site; no tag. 1' from fence; crowded; typical narrow upright form; crowded; vigorous.

CITY OF CAMPBELL STANDARDS FOR TREE PROTECTION DURING CONSTRUCTION

CONSTRUCTION OF PRIVATE PROPERTY WHERE PROTECTED TREES ARE DESIGNATED FOR PRESERVATION SHALL BE PROTECTED DURING DEVELOPMENT OF A PROPERTY BY COMPLIANCE WITH THE FOLLOWING:

- PROTECTIVE FENCING SHALL BE INSTALLED NO CLOSER TO THE TRUNK THAN THE DRIPLINE, AND FAR ENOUGH FROM THE TRUNK TO PROTECT THE INTEGRITY OF THE TREE. PROTECTIVE FENCING SHALL BE INSTALLED AS FOLLOWS:
 - THE FENCE SHALL BE A MINIMUM OF SIX FEET IN HEIGHT AND SHALL BE SET SECURELY IN PLACE.
 - THE FENCE SHALL BE CHAIN LINK WITHOUT SLATS TO ALLOW VISIBILITY TO THE TRUNK FOR INSPECTIONS AND SAFETY.
 - THERE SHALL BE NO STORAGE OF ANY KIND PRIOR TO OR AT SUCH TIME AFTER THE PROTECTIVE FENCING IS INSTALLED.
 - THE FENCE MAY BE ADJUSTED AS NECESSARY TO ACCOMMODATE WORK APPROVED WITHIN THE DRIPLINE PROVIDED ANY EXCAVATION IS DONE IN ACCORDANCE WITH INSTRUCTIONS DIRECTED BY A QUALIFIED ARBORIST.
- THE EXISTING GRADE LEVEL AROUND A TREE SHALL NORMALLY BE MAINTAINED OUT TO THE DRIPLINE OF THE TREE. ALTERNATE GRADE LEVELS MAY BE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR WHEN IT IS REASONABLY DEMONSTRATED THAT THE ALTERNATE GRADE WILL NOT DAMAGE THE HEALTH OF THE TREE.
- DRAIN WELLS SHALL BE INSTALLED WHENEVER IMPERVIOUS SURFACES WILL BE PLACED OVER THE ROOT SYSTEM OF A PROTECTED TREE (THE ROOT SYSTEM GENERALLY EXTENDS TO THE OUTERMOST EDGES OF THE BRANCHES).
- TREES THAT HAVE BEEN DAMAGED BY CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH ACCEPTED ARBORICULTURE METHODS.
- TREES CANNOT BE PRUNED TO ACCOMMODATE GRADING OR CONSTRUCTION WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE CITY, UPON RECEIPT OF WRITTEN APPROVAL, PRUNING OF TREES MUST BE UNDERTAKEN IN ACCORDANCE WITH "PRUNING STANDARDS" OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE AND MUST BE CARRIED OUT BY A LICENSED ARBORIST.
- SOIL COMPACTION OF THE AREA UNDER THE DRIPLINE OF THE TREE SHALL BE AVOIDED DURING ALL PHASES OF SITE CLEARING AND CONSTRUCTION.
- NO SOIL STERILIZANTS OR WEED KILLER THAT WILL INHIBIT OR RESTRICT THE TREE'S GROWTH MAY BE APPLIED IN THE ROOT AREA.
- NO SIGNS, WIRES OR ANY OTHER OBJECT SHALL BE ATTACHED TO THE TREE.
- ANY OTHER MEASURES DEEMED NECESSARY BY A QUALIFIED ARBORIST AND SPECIFIED IN ANY REPORT PREPARED FOR DEVELOPMENT PROJECTS WITH CITY REVIEW AND APPROVAL.
- THE APPLICANT SHALL PROVIDE THE PROJECT PLANNER WITH PHOTOS OF THE INSTALLED PROTECTIVE FENCING PRIOR TO ISSUANCE OF A BUILDING PERMIT.



WARNING
Tree Protection Zone

This Fence Shall not be moved without approval. Only authorized personnel may enter this area!

Project Arborist

CUIDADO
Zona De Arbol Pretejido

Esta cerca no sera removida sin aprobacion. Solo personal autorizado entrara en esta area!

Project Arborist

NO.	DATE	NO.	DATE	NO.
1		2		3
4		5		6
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100		101		102

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320 VIRGINIA AVENUE
TREE REMOVAL NOTES AND DETAILS

CAMPBELL
CALIFORNIA

DATE: 4/4/2024
SCALE: N/A
DESIGNED: JG
DRAWN: CH
JOB NO: 21-134
SHEET: **C3**

OF SHEETS



NOTE:

- ALL NEW AND EXISTING UTILITIES SHALL BE UNDER GROUND WITH NO EXCEPTIONS.
- THERE SHALL BE NO COMBUSTIBLE CONSTRUCTION PRIOR TO HYDRANT INSTALLATION.

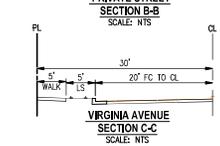
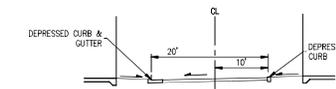
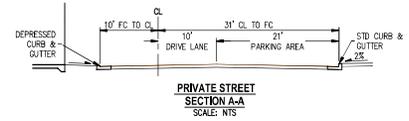


LEGEND
(SEE SHEET C1 FOR COMPLETE LEGEND AND ABBREVIATIONS)

- CONCRETE WALKWAY
- CURB AND GUTTER
- VALLEY GUTTER
- CENTERLINE
- MONUMENT LINE
- BIO-RETENTION BASIN
- CONCRETE
- PERMEABLE PAVERS
- FIRE TRUCK TURN RADIUS
- BUILDING NUMBER
- ACCESSIBLE UNIT
- GUEST PARKING
- EXISTING TREE
- ACCESSIBLE PATH OF TRAVEL
- COVERED PARKING

NOTES

- ALL ON-SITE WALKWAYS AND DRIVEWAYS TO BE CONCRETE.
- ALL ON-SITE ROADS AND ALLEYS TO BE ASPHALT. REFER TO THE LANDSCAPE PLANS FOR BICYCLE PARKING & MAILBOX LOCATIONS, FENCING, AND LANDSCAPING IMPROVEMENTS.
- APPROX TOTAL SURFACE PARKING AREA = 2260 SF AS PERVIOUS. THIS IS APPROX 14% OF THE OVERALL PARKING AREA AND EXCESS TO THE MIN REQUIREMENT.
- STALLS G-13 & G-14 ARE APPROX 320 SF AND ARE SHOWN AS PERVIOUS. THIS IS APPROX 14% OF THE OVERALL PARKING AREA AND EXCESS TO THE MIN REQUIREMENT.
- TRUNCATED DOMES TO BE IMBEDDED FLUSH WITH THE FINISHMENT AND NOT TACKED ONTO THE SURFACE OF THE GROUND.



NO.	DATE	REVISIONS

320 VIRGINIA AVENUE
SITE PLAN AND PARKING & ACCESSIBILITY PLAN
 CAMPBELL, CALIFORNIA

PREPARED FOR: **VALLEY OAK PARTNERS**
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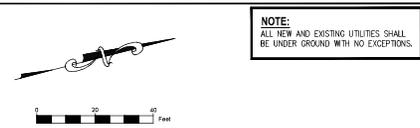
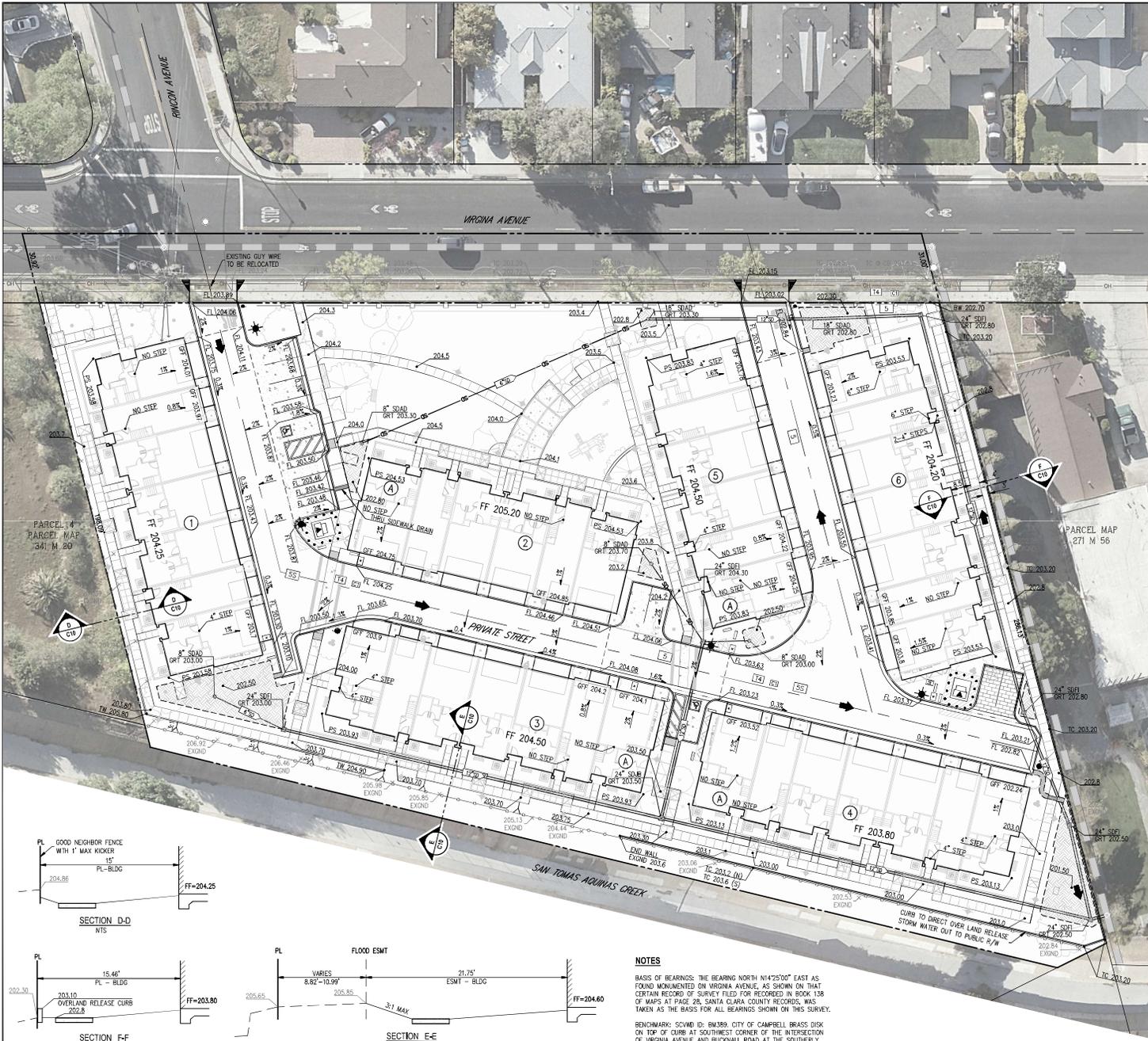
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 SCALE: 1"=20'
 DESIGNED: JG
 DRAWN: JR
 JOB NO: 21-134
 SHEET: **C5** OF SHEETS



NOTE:
ALL NEW AND EXISTING UTILITIES SHALL
BE UNDER GROUND WITH NO EXCEPTIONS.

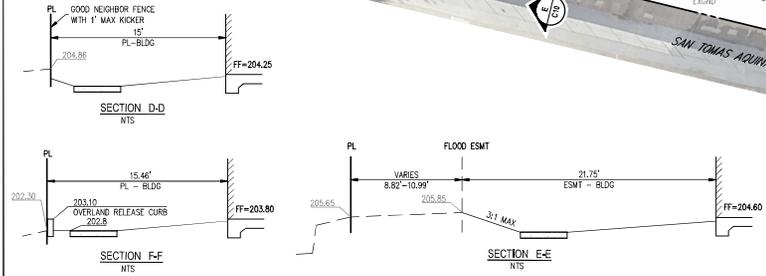
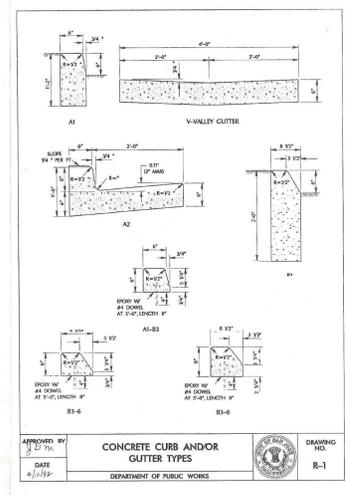
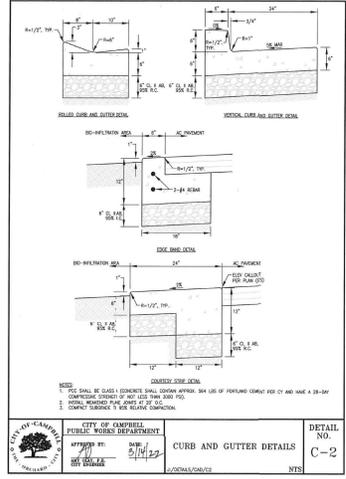
- LEGEND**
- DESIGN SITE
 - BUILDING LEVEL 2
 - FACADE ZONE

DATE	4/4/2024	PREPARED FOR: <div style="display: flex; justify-content: center; align-items: center; gap: 5px;"> <div style="border: 1px solid black; padding: 2px;">V</div> <div style="border: 1px solid black; padding: 2px;">P</div> <div style="border: 1px solid black; padding: 2px;">O</div> </div> VALLEY OAK PARTNERS	Civil Engineering Associates <small>Civil Engineers • Planners • Surveyors</small>	NO.	DATE	REVISIONS	BY	
320 VIRGINIA AVENUE SITE DESIGN REQUIREMENT PLAN - LEVEL 2		CALIFORNIA CAMPBELL		734 THE ALAMEDA ALAMEDA, CA 94601 T: (415) 282-9700 F: (415) 282-9797				
SCALE 1"=20' DESIGNED JG DRAWN JR JOB NO. 21-134 SHEET C7 OF SHEETS								



NOTE:
ALL NEW AND EXISTING UTILITIES SHALL BE UNDER GROUND WITH NO EXCEPTIONS.

	EARTHWORK SUMMARY		
	CUT (CY)	FILL (CY)	NET (CY)
ROUGH GRADING	1,070	940	CUT
UTILITY SPILLS			
BUILDING SPILLS			
STORMWATER BASINS	500		CUT
TOTAL ROUGH GRADING EARTHWORK		630	EXPORT



NOTES

1. BASIS OF BEARINGS: THE BEARING NORTH N14°25'00\"/>

2. BENCHMARK: SCWB ID: EN389, CITY OF CAMPBELL BRASS DISK ON TOP OF CURB AT SOUTHWEST CORNER OF THE INTERSECTION OF VIRGINIA AVENUE AND BLOCKBALL ROAD AT THE SOUTHERLY END RETURN AT BASE OF ELECTRODE.

3. NAVD88 ELEVATION: 198.68

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 Civil Engineers • Planners

6

734 THE ALAMEDA
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P

V

O

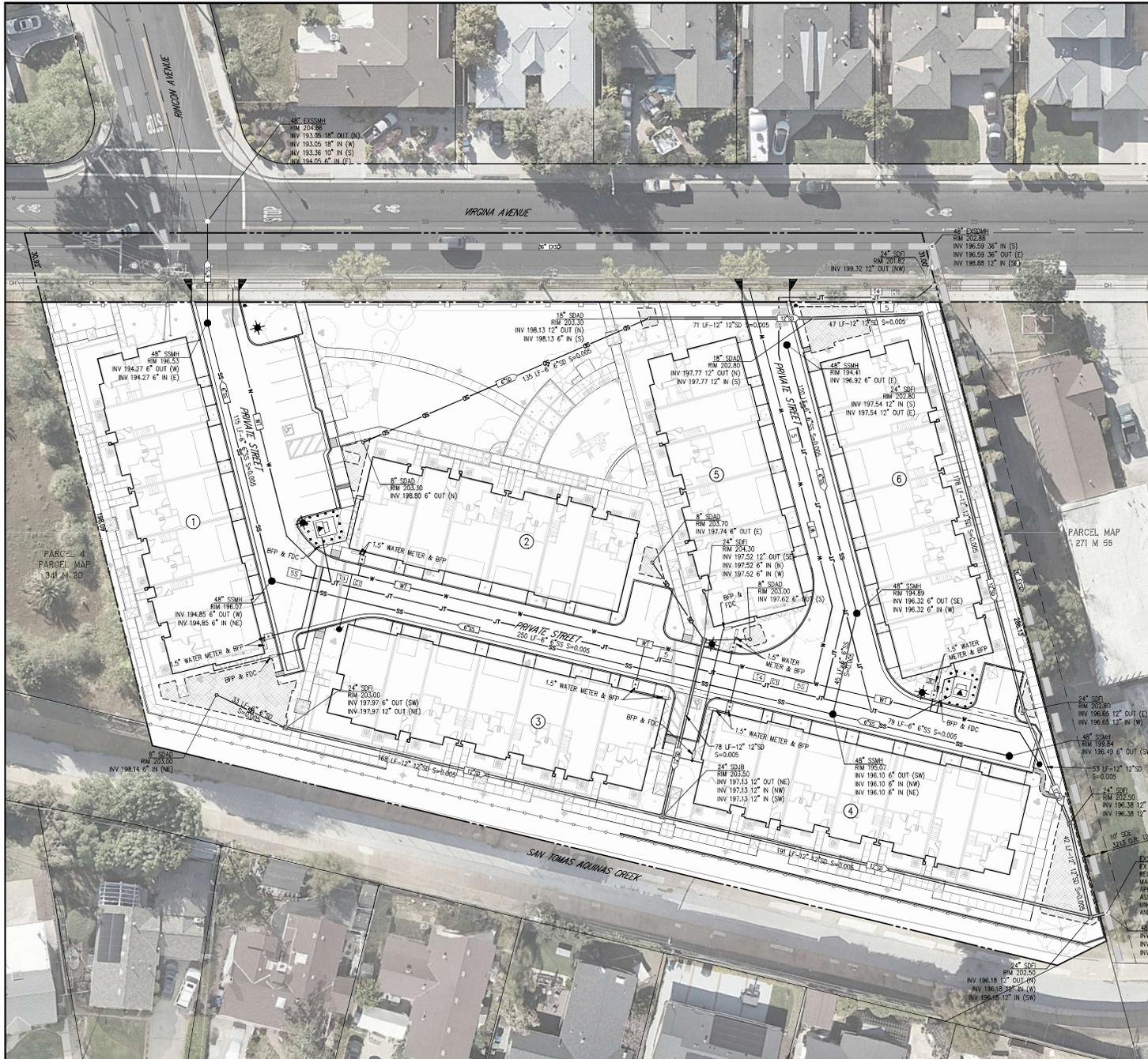
C

C10

SHEETS

PREPARED FOR: **320 VIRGINIA AVENUE GRADING AND DRAINAGE PLAN**
 CALIFORNIA
 CAMPBELL

DATE: 4/4/2024
 SCALE: 1"=20'
 DESIGNED: JG
 DRAWN: CH
 JOB NO: 21-134
 SHEET: R-1
 OF SHEETS



NOTE:
ALL NEW AND EXISTING UTILITIES SHALL BE UNDER GROUND WITH NO EXCEPTIONS.

NO.	DATE	REVISIONS

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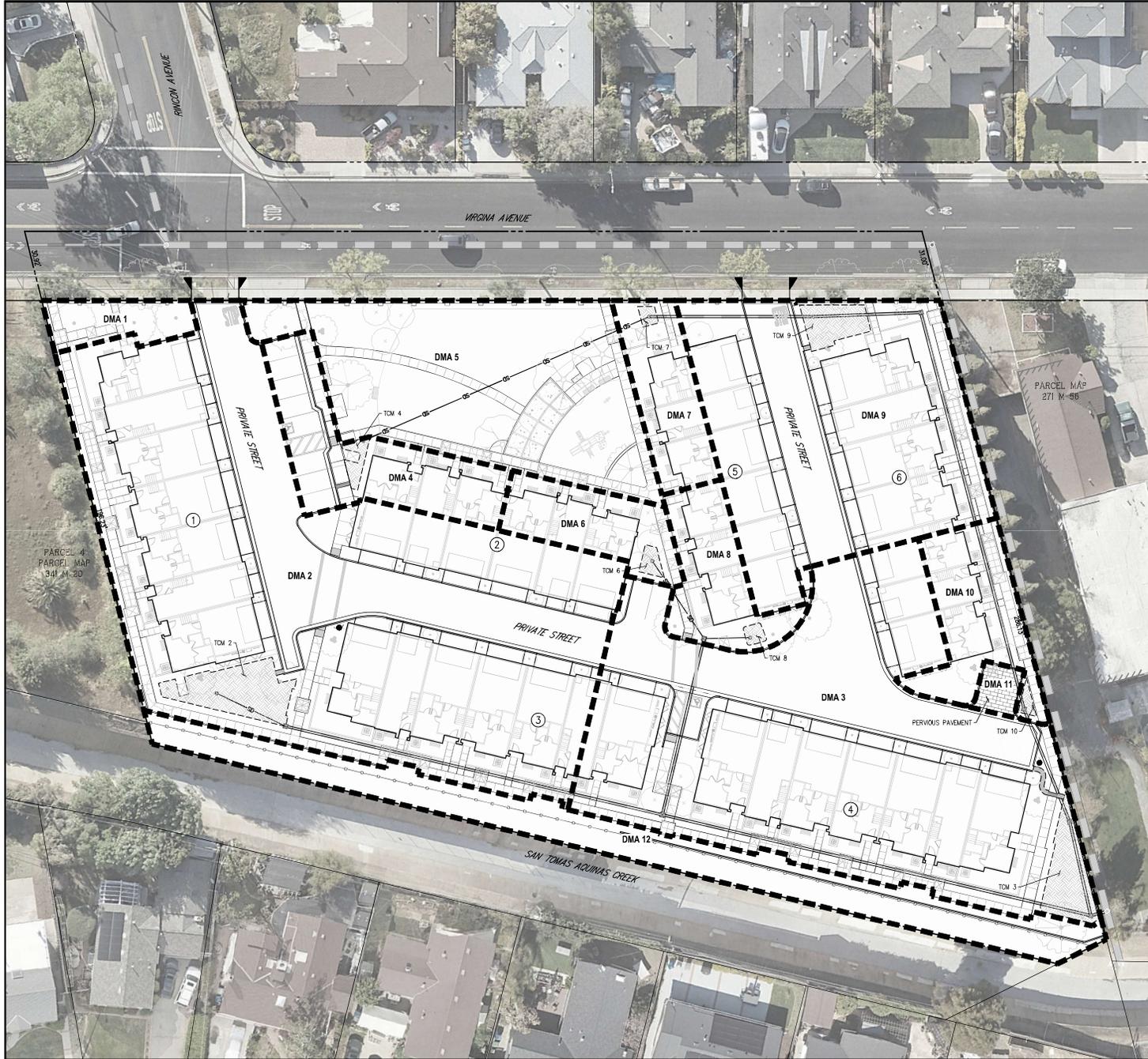
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**320 VIRGINIA AVENUE
UTILITY PLAN**

CAMPBELL
CALIFORNIA

DATE: 4/4/2024
SCALE: 1"=20'
DESIGNED: JG
DRAWN: JR
JOB NO: 21-134
SHEET: **C11**
OF SHEETS



LEGEND

- BIO-RETENTION BASINS
- WATERSHED BOUNDARY

NOTES

1. PROPERTY INFORMATION
320 VIRGINIA AVENUE, CAMPBELL, CALIFORNIA
APN NO. 404-07-033
GROSS SITE AREA = 106,460 (2,444 AC)
NET SITE AREA = 94,760 (2,175 AC)
2. EXISTING ONSITE IMPERVIOUS AREA = 1,110 SF (0.03 AC)
3. EXISTING ONSITE PERVIOUS AREA = 93,650 SF (2.15 AC)
4. PROPOSED ONSITE IMPERVIOUS AREA = 61,844 SF (1.42 AC)
5. PROPOSED ONSITE PERVIOUS AREA = 32,836 SF (0.75 AC)
6. OFF-SITE STREET DEDICATION = 11,700 SF (0.27 AC)
7. THERE IS A 60,834 SF, INCREASE IN IMPERVIOUS SURFACE FOR THIS PROJECT.
8. RECEIVING SYSTEM FOR THE STORM WATER, CITY OF CAMPBELL PUBLIC STORM COLLECTION SYSTEM AND ULTIMATELY TO SAN TOMAS AQUINAS CREEK.
9. 76,756 SF (81%) OF THE SITE'S STORM WATER RUNOFF WILL BE DIRECTED TO BIO-TREATMENT BASINS.
10. 11,142 SF (12%) OF THE SITE WILL BE SELF-RETAINING.
11. 6,842 SF (7%) OF THE SITE WILL BE SELF-TREATING.
12. 11,700 SF OF THE SITE WILL BE DEDICATED TO THE CITY AND IS EXEMPT FROM REQUIRED TREATMENT.
13. POLLUTANTS THAT MAY PRESENT AT THIS SITE AS A RESULT OF THIS DEVELOPMENT INCLUDE: SEDIMENTS, METALS, NUTRIENTS, BACTERIA, OIL, GREASE, AND ORGANIC COMPOUNDS. THE MAJORITY OF THE POLLUTANT SOURCES WILL BE STREETS, DRIVEWAYS AND LANDSCAPE AREAS. RUNOFF FROM THESE AREAS WILL BE DIRECTED TO EITHER VEGETATED BIO-TREATMENT BASINS, UNDERGROUND SILVA CELLS, OR A MEDIA FILTER MECHANICAL DEVICE.
14. THE FOLLOWING SOURCE CONTROL MEASURES WILL BE IMPLEMENTED WITHIN THE PROJECT SITE, TO LIMIT THE GENERATION, DISCHARGE AND RUNOFF OF POLLUTANTS INTO THE STORM COLLECTION SYSTEM.
 - ALL STORM INLETS WILL BE MARKED WITH THE WORDS "NO DUMPING - FLOW TO THE BAY"
 - ALL ROOF DRAINS WILL BE DIRECTED TO DISCHARGE ONTO SPLASHBLOCKS AND AWAY FROM THE BUILDING FOUNDATION TO AN UNPAVED AREA WHEREVER PRACTICAL.
 - SIDEWALKS, DRIVEWAYS AND STREETS AREAS SHALL BE SWEEP REGULARLY TO MINIMIZE THE ACCUMULATION OF LITTER AND DEBRIS.
15. A SWPPP PERMIT WILL BE REQUIRED FOR THIS PROJECT AS THE AREA OF DISTURBANCE > 1 ACRE.
16. CITY OF CAMPBELL STAFF WILL BE GRANTED ACCESS TO ALL OF THE ONSITE STORMWATER TREATMENT BASINS FOR INSPECTION PURPOSES PER THE TERM DESCRIBED IN THE PROJECT'S CC&R'S.
17. THIS PROJECT HAS SUBMITTED AN SB330 APPLICATION PRIOR TO JUNE 30, 2023. THEREFORE THE PROJECT IS SUBJECT TO WSP 2.0 REQUIREMENTS PROVIDED THE PROJECT REMAINS IN COMPLIANCE WITH THE REQUIREMENTS OF SB330.

PARCEL 4
PARCEL MAP
341 M-2D

PARCEL MAP
271 M-9B

NO.	DATE	REVISIONS

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PREPARED FOR:
320 VIRGINIA AVENUE
STORMWATER MANAGEMENT PLAN
CAMPBELL, CALIFORNIA

DATE: 4/4/2024
SCALE: 1"=20'
DESIGNED: JG
DRAWN: CH
JOB NO.: 21-134
SHEET: C12 OF SHEETS

BASIS OF BEARINGS
 THE BEARING NORTH $N14^{\circ}25'00''$ EAST AS FOUND MONUMENTED ON VIRGINIA AVENUE, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD IN BOOK 138 OF MAPS AT PAGE 28, SANTA CLARA COUNTY RECORDS, WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN ON THIS SURVEY.

BENCHMARK
 SIGNED ID: B0384. CITY OF CAMPBELL BRASS DISK ON TOP OF CURB AT SOUTHWEST CORNER OF THE INTERSECTION OF VIRGINIA AVENUE AND BUCKNALL ROAD AT THE SOUTHERLY END RETURN AT BASE OF ELECTROLIER. NAVD88 ELEVATION: 138.68

- NOTES**
- THIS TENTATIVE MAP AUTHORIZES THE FILING OF MULTIPLE FINAL MAPS.
 - THERE ARE NO EXISTING WELLS ON SITE.
 - ALL EXISTING BUILDINGS WILL BE REMOVED PRIOR TO THE RECORDATION OF THE FINAL MAP.
 - ASSESSORS PARCEL NUMBER: 404-07-033
 - EXISTING USE: VACANT LOT
 - PROPOSED USE: 40 RESIDENTIAL CONDOMINIUM UNITS
 - EXISTING ZONING: MDR (MEDIUM DENSITY RESIDENTIAL)
 - PROPOSED ZONING: NO CHANGE
 - GENERAL PLAN DESIGNATION: MEDIUM DENSITY RESIDENTIAL (18-25 UNITS/GR. ACRE)
 - SANITARY SEWER: WEST VALLEY SANITATION DISTRICT
 - STORM CONDUIT: CITY OF CAMPBELL
 - WATER SYSTEM: SAN JOSE WATER COMPANY
 - NUMBER OF LOTS: 10
 - TOTAL AREA: 2,444 ACRES GROSS, 2.08 ACRES NET OF STREET AND FLOOD CONTROL EASEMENTS
 - STREET NAMES TO BE DETERMINED PRIOR TO FINAL MAP.
 - LOTS 1 THROUGH 6 ARE TOWNHOME RESIDENTIAL LOTS.
 - LOT 7 IS PRIVATE STREET (0.37 ACRES).
 - LOTS 8 THROUGH 1 ARE COMMON OPEN SPACE (0.73 ACRES).
 - THIS SUBDIVISION WILL CONFORM TO THE STREET TREE PLAN OF THE CITY OF CAMPBELL.

VESTING TENTATIVE MAP

VIRGINIA AVENUE

FOR CONDOMINIUM PURPOSES

CAMPBELL CALIFORNIA

OWNER
 YOP REF VIRGINIA, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
 734 THE ALAMEDA
 SAN JOSE, CA 95126

DEVELOPER
 VALLEY OAK PARTNERS LLC
 734 THE ALAMEDA
 SAN JOSE, CA 95126
 (408) 282-9700

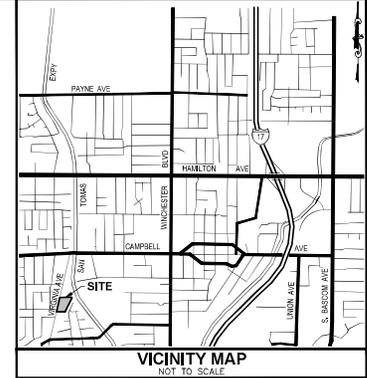
ENGINEER
 CIVIL ENGINEERING ASSOCIATES, INC.
 28 RAILWAY AVENUE
 CAMPBELL, CA 95008
 (408) 453-1066

ABBREVIATIONS

- APN ASSESSORS PARCEL NUMBER
- ESMT EASEMENT
- E EAST
- FD FOUND
- IP IRON PIPE
- MON MONUMENT
- N NORTH
- O.R. OFFICIAL RECORDS
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PUE PUBLIC UTILITY EASEMENT
- SSE SANITARY SEWER EASEMENT
- SNF SEARCHED FOR NOT FOUND
- S SOUTH
- SDS STORM DRAIN EASEMENT
- W WEST

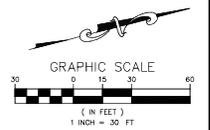
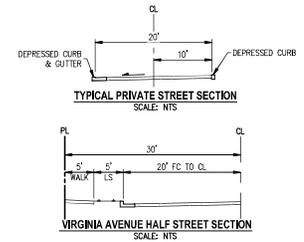
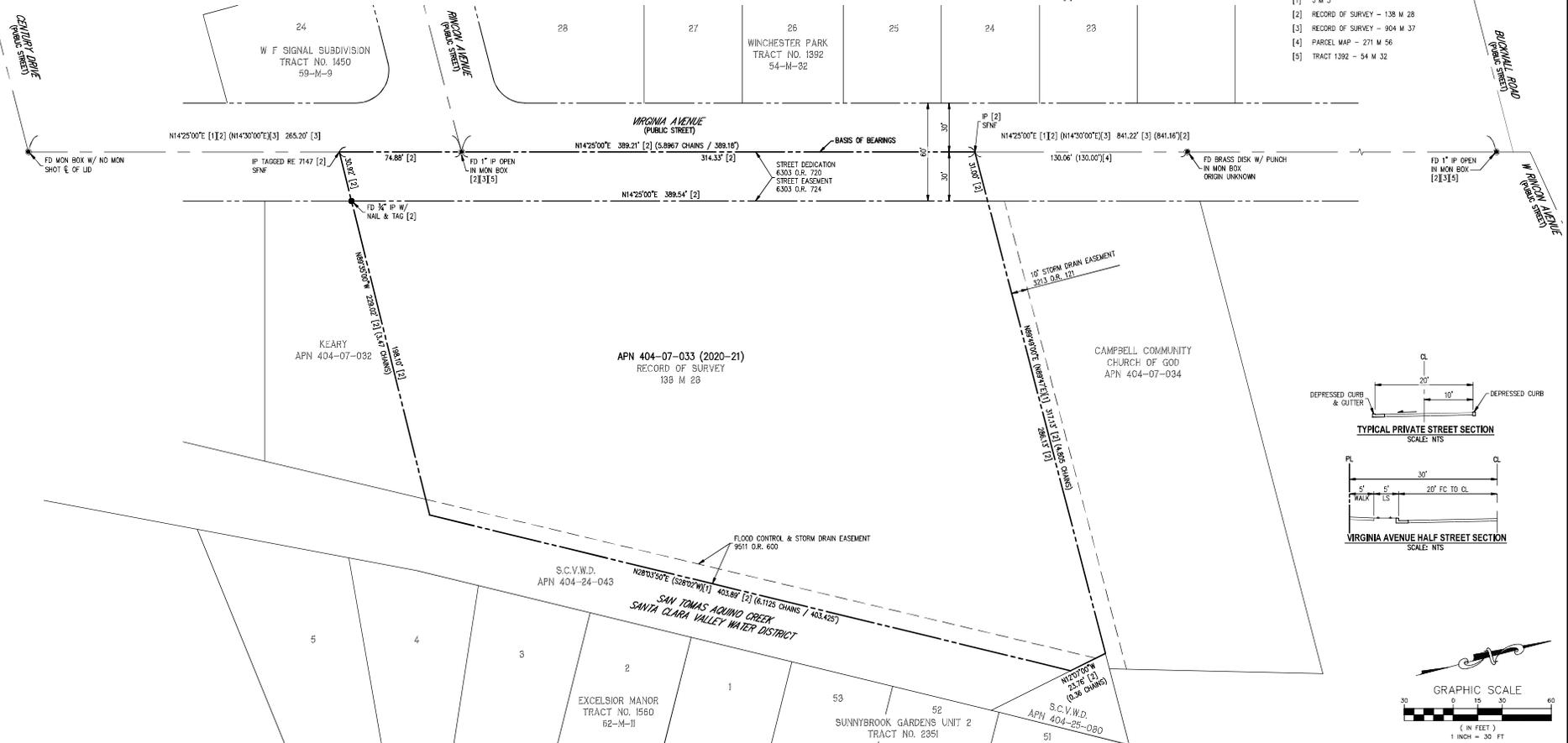
LEGEND

- BOUNDARY LINE
- RIGHT-OF-WAY
- LOT LINE
- CENTER LINE
- EASEMENT LINE
- BOUNDARY TIE
- FOUND MONUMENT (AS NOTED)
- FOUND IRON PIPE (AS NOTED)
- (23237) RECORD DATA
- [1] REFERENCE NUMBER



MAP REFERENCES

- [1] J M 3
- [2] RECORD OF SURVEY - 138 M 28
- [3] RECORD OF SURVEY - 804 M 37
- [4] PARCEL MAP - 271 M 56
- [5] TRACT 1392 - 54 M 32



NO. DATE REVISIONS

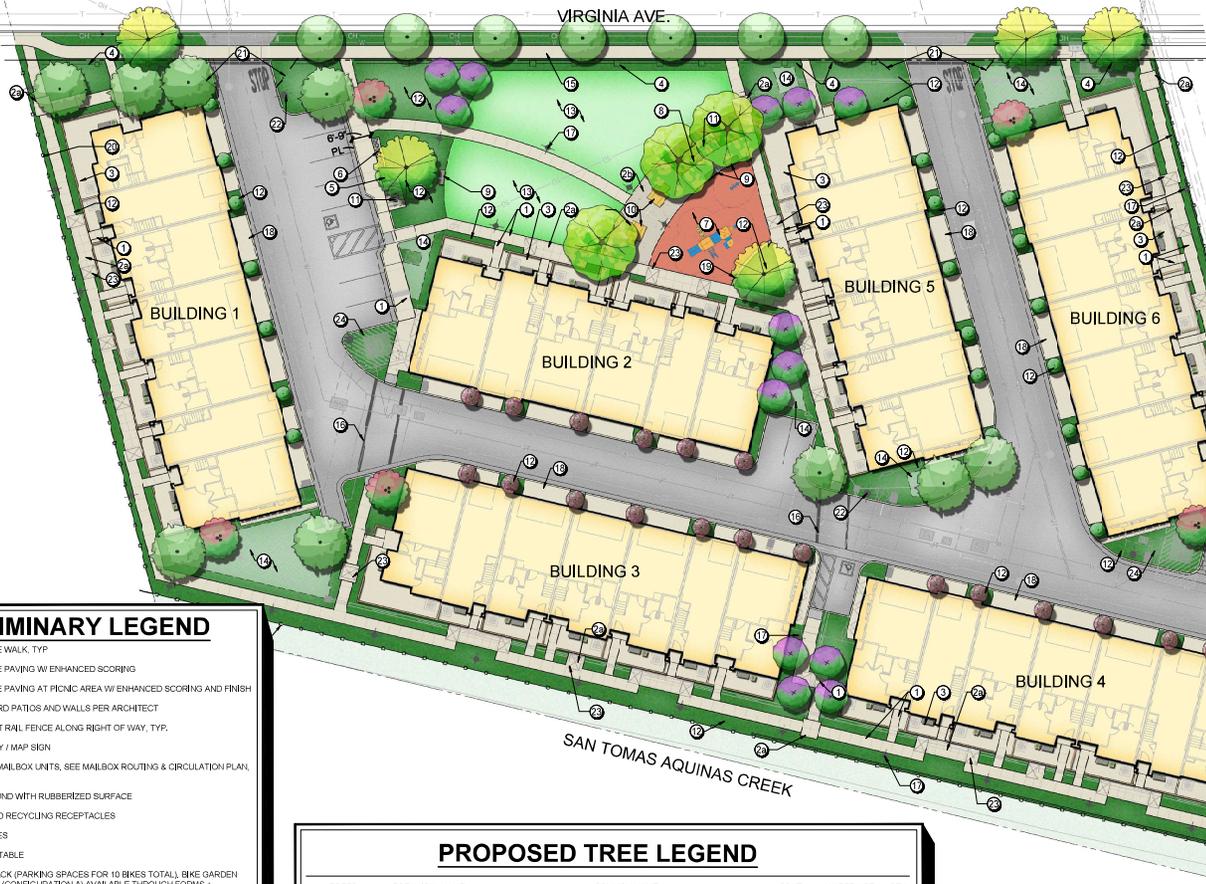
28 Railway Avenue
Campbell, CA 95008
T: (408) 453-1066
F: (408) 453-1066

Civil Engineering Associates
 Civil Engineers • Planners • Surveyors

PREPARED FOR:
V O P
 VALLEY OAK PARTNERS

320 VIRGINIA AVENUE
 VESTING TENTATIVE MAP
 CAMPBELL CALIFORNIA

DATE: 4/4/2024
 SCALE: 1"=30'
 DESIGNED: JG
 DRAWN: CH
 JOB NO. 21-134
 SHEET: **TM1**
 OF SHEETS



PLANTING NOTES

- THE PLANTING DESIGN FOR THE SITE IS DROUGHT TOLERANT AND CONSISTS OF A BALANCE OF EVERGREEN AND DECIDUOUS PLANTING AS WELL AS NATIVE AND ORNAMENTAL PLANTING.
- PROPOSED TREE LOCATIONS ARE BASED ON STANDARD JOINT TRENCH LOCATIONS. FINAL TREE LOCATIONS TO BE DETERMINED WHEN FINAL UTILITY LOCATIONS ARE PROVIDED. TREE PLACEMENT MAY BE ADJUSTED AND FINAL TREE COUNT MAY CHANGE.
- ALL SHRUBS AND GROUND COVER MATERIALS SELECTED HAVE A WUCOLS WATER USE RATING OF VERY LOW TO MODERATE.
- PROPOSED TREE CANOPIES ARE SHOWN AT 85% MATURE GROWTH DIAMETER IN ORDER TO ENSURE THERE IS SUFFICIENT ROOM FOR TREE GROWTH AND HEALTH.
- ALL PLANTINGS DESIGNED FOR STORMWATER TREATMENT ARE CONSISTENT WITH APPENDIX K OF THE C-3 STORMWATER HANDBOOK PUBLISHED BY THE SANTA CLARA VALLEY URBAN POLLUTION PREVENTION PROGRAM.

OPEN SPACE CALCULATIONS

PARK	9,425 SF
OTHER LANDSCAPE AREAS	21,911 SF
TOTAL LANDSCAPE AREA:	31,336 SF TOTAL (35% OF NET SITE)

IRRIGATION NOTES

- THE IRRIGATION DESIGN FOR THE SITE SHALL COMPLY WITH THE STATE MANDATED MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO).
- THE IRRIGATION SYSTEMS WILL BE AUTOMATICALLY CONTROLLED BY AN ET/SMART IRRIGATION CONTROLLER CAPABLE OF MULTIPLE PROGRAMMING AND SCHEDULING OF INDIVIDUAL IRRIGATION SYSTEMS. THE CONTROLLER WILL HAVE A 24-HOUR CLOCK TO ALLOW MULTIPLE START TIMES AND REPEAT CYCLES TO ADJUST FOR SOIL PERCOLATION RATES.
- THE IRRIGATION SYSTEMS WILL CONSIST PRIMARILY OF LOW VOLUME, LOW FLOW RUBBLERS FOR TREES AND Drip IRRIGATION FOR SHRUBS AND GROUND COVERS.
- PLANTS WILL BE GROUPED ONTO SEPARATE VALVES ACCORDING TO SUN EXPOSURE AND WATER USE. TO ALLOW FOR IRRIGATION APPLICATION BY HYDROZONE, THE IRRIGATION SCHEDULING WILL REFLECT THE REGIONAL EVAPOTRANSPIRATION RATES. THE ENTIRE SITE WILL BE DESIGNED TO RUN DURING NIGHTTIME HOURS WHEN IRRIGATION IS MOST EFFICIENT.
- ALL MWELO DOCUMENTATION INCLUDING IRRIGATION PLANS, WATER USE CALCULATIONS AND CERTIFICATES SHALL BE SUBMITTED WITH THE LANDSCAPE IMPROVEMENT PLANS FOR REVIEW AND APPROVAL.

- ### PRELIMINARY LEGEND
- 1 CONCRETE WALK, TYP
 - 2 CONCRETE PAVING W/ ENHANCED SCORING
 - 3 CONCRETE PAVING AT PICNIC AREA W/ ENHANCED SCORING AND FINISH
 - 4 FRONT YARD PATIOS AND WALLS PER ARCHITECT
 - 5 3' HT. SPLIT RAIL FENCE ALONG RIGHT OF WAY, TYP.
 - 6 DIRECTORY / MAP SIGN
 - 7 CLUSTER MAIL BOX UNITS, SEE MAIL BOX ROUTING & CIRCULATION PLAN SHEET L-4.
 - 8 PLAYGROUND WITH RUBBERIZED SURFACE
 - 9 TRASH AND RECYCLING RECEPTACLES
 - 10 BENCHES
 - 11 PICNIC TABLE
 - 12 (5) BIKE RACK (PARKING SPACES FOR 10 BIKES TOTAL), BIKE GARDEN BIKE RACK (CONFIGURATION A) AVAILABLE THROUGH FORMS + SURFACES, SEE IMAGE AND DETAIL ON SHEET L-2.
 - 13 PLANTING AREA, TYP.
 - 14 TURF AREA, TYP. (DELTA BLUEGRASS 3010 TALL FESCUE BLEND - MODERATE WATER USE)
 - 15 BIOTRETENTION AREA, TYP.
 - 16 EXISTING RIGHT OF WAY WALKWAY TO REMAIN
 - 17 CROSSWALK PER CIVIL ENGINEER
 - 18 BOLLARD LIGHTS PER LIGHTING CONSULTANT
 - 19 CONCRETE DRIVEWAY PER CIVIL ENGINEER
 - 20 CONCRETE SEAT WALL
 - 21 6' HT. WOOD BOUNDARY FENCE
 - 22 VISION TRIANGLE
 - 23 POST TOP LIGHTS PER LIGHTING CONSULTANT
 - 24 LADDER PAD PER ARCHITECT
 - 25 PLANT MATERIAL SCREENING AT ABOVE-GROUND UTILITIES

PROPOSED TREE LEGEND

TREES	BOTANICAL NAME	COMMON NAME	CONT.	WATER USE	QTY.
	ACER BUERGERIANUM	TRIDENT MAPLE	24" BOX	MOD	6
	COONONEA VIBICOSA 'PURPUREA' STANDARD	PURPLE LEAFED HOPSEED BUSH	15 GAL	LOW	20
	ERICIBOTRYA DEFLEXA	BRONZE LOQUAT	24" BOX	MOD	7
	LAURUS NOBILIS 'SARATOGA'	SWEET BAY	36" BOX	LOW	9
	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM DWARF SOUTHERN MAGNOLIA	24" BOX	MOD	6
	PLATANUS X ACERIFOLIA 'COLUMBIA'	LONDON PLANE TREE	24" BOX	LOW	3
	FRUNJUS CERASIFERA 'KRAUTER VESUVIUS'	KRAUTER VESUVIUS PURPLE-LEAF PLUM	24" BOX	LOW	14
	RHAPHIOLEPS INDICA 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY INDIAN HAWTHORNE	15 GAL	LOW	22
TOTALS					
15 GAL = 44 TREES					
24" BOX = 36 TREES					
36" BOX = 9 TREES					

NOTE: ALL TREES TO BE IN STANDARD FORM.

PROPOSED PLANT PALETTE

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
	ACICIA COSTATA COUBERTT	RED FLECKED YUCCA	5 GAL	LOW	30" x 6"
	ARCTOSTAPHYLOS D. HOWARD MCINN	HOWARD MCINN MANZANITA	5 GAL	LOW	60" x 6"
	CALYPTROGYNUS LITTLE GEM	LITTLE GEM BUSH	5 GAL	LOW	30" x 6"
	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	LOW	48" x 6"
	CEANOTHUS VALENTINUS 'VALLEY JOULET'	VALLEY JOULET	5 GAL	LOW	24" x 6"
	CEANOTHUS REDDUS SNOWBALL	SNOWBALL	5 GAL	LOW	72" x 6"
	COONONEA VIBICOSA 'PURPUREA' STANDARD	PURPLE LEAFED HOPSEED BUSH	15 GAL	LOW	22" x 6"
	EUONYMUS JAPONICUS 'GREENSPRE'	GREENSPRE UPRIGHT EUONYMUS	5 GAL	LOW	24" x 6"
	GALVEA SPECIOSA BOCA ROSA	BLANK SHIPPONIA	5 GAL	LOW	30" x 6"
	HELIANTHEMUM N. HEIFELD BRILLIANT	HEIFELD BRILLIANT ROCK ROSE	5 GAL	LOW	24" x 6"
	HELIANTHEMUM N. HEIFELD BRILLIANT	SEA GREEN ANEMONE	5 GAL	LOW	48" x 6"
	LAVALERA MARITIMA	TREE MALLOW	5 GAL	LOW	48" x 6"
	LEUCOPHYLLUM FRUTESCENS COMPACTA	COMPACT TEAS RANGER	5 GAL	LOW	48" x 6"
	LORETALUM C. PURPLE DRAGON	FRINGE FLOWER	5 GAL	LOW	48" x 6"
	PHORBIUM TEXAS 'FRESHBEE'	FRESHBEE FLAX	5 GAL	LOW	48" x 6"
	PHORBIUM X BLACK ACOR	NEW ZEALAND FLAX	5 GAL	LOW	30" x 6"
	RETTIGERHOLM TOBIAS 'VINEGATA'	VINEGATED ROCK ORANGE	5 GAL	LOW	48" x 6"
	RHAMNUS CALIFORNICA EVE CASE	CALIFORNIA COFFEEBERRY	5 GAL	LOW	72" x 6"
	ROSA CALIFORNICA	CALIFORNIA MULTIFLORA	5 GAL	LOW	60" x 6"
	SALVA CLEVELANDI 'WINFIELD GILLMAN'	CLEVELAND SAGE	5 GAL	LOW	30" x 6"
	SALVA GREGGII 'FRANK'	FRANK AUTUMN SAGE	5 GAL	LOW	48" x 6"
	SALVA LEUCANTHA	MECHAN BUSH SAGE	15 GAL	LOW	48" x 6"
	SALVA MICROPHYLLA 'HOT LIPS'	SHRUB GERANIUM	5 GAL	LOW	30" x 6"
	TEUCORIUM FRUTICOSUM COMPACTA	DAVEY VERBURNUM	5 GAL	MED	30" x 6"
	YUCCA SP. 'DARWIN'		5 GAL	MED	30" x 6"
GRASSES					
	CAULOPOGON A. KARL FOERSTER	FEATHER REED GRASS	5 GAL	LOW	24" x 6"
	CAREX TESTACEA 'PRAIRIE FIRE'	PRAIRIE REED SEDGE	1 GAL	MED	24" x 6"
	HELICTES SPERMOPHYLLUS	BLUE GRASS	1 GAL	LOW	30" x 6"
	LETYMIUS CONDENSATUS CALYX PRINCE	NATIVE BLUE FESCUE	1 GAL	LOW	48" x 6"
	LOMANDRA HYSTRIX 'TROPIC BELLE'	TROPIC BELLE MAT RUSH	1 GAL	LOW	30" x 6"
	LOMANDRA LONGICOLA 'LIME TUFF'	LIME TUFF DWARF MAT RUSH	1 GAL	LOW	24" x 6"
PERENNIALS					
	BECKMANNIA ERIOCHLOA TERRA COTTA	TERRA COTTA PEARROW	5 GAL	LOW	30" x 6"
	DIETES VEGETA	AFRICAN LILY	5 GAL	LOW	30" x 6"
	ERIGERON ANNUNCIATUS	FLORIBUND	1 GAL	LOW	30" x 6"
	ERIGERON GRANDE RUBESCENS	RED BUCKWHEAT	1 GAL	LOW	24" x 6"
	LIMNODON PERZIN	STATION	1 GAL	LOW	24" x 6"
	MIMULUS 'JILLY BEAN ORANGE'	ORANGE MONKEYFLOWER	1 GAL	LOW	30" x 6"
	MANDRA DOMESTICA 'LIMON LIME'	LIMON LIME MANDARIN	1 GAL	LOW	30" x 6"
	HELIANTHEMUM N. HEIFELD BRILLIANT	CATMINT	1 GAL	LOW	24" x 6"
	HELIANTHEMUM N. HEIFELD BRILLIANT	BEARD TONGUE	1 GAL	LOW	18" x 6"
	SALVA MICROPHYLLA 'BERNARDIE'	BERNARDIE'S SAGE	1 GAL	LOW	30" x 6"
	SCAPOLOA ARALIACEA 'MAUTE CLUSTERS'	FAN FLOWER	1 GAL	LOW	30" x 6"
	VERBENA LACINIA DE LA MINA	BLU VERBENA	1 GAL	LOW	30" x 6"
	ZAUSCHNERIA C. SCHEFFLIN'S CHOICE	CALIFORNIA FUCHSIA	1 GAL	LOW	30" x 6"
BIOTRETENTION BASIN PLANTING					
	CHOROPHYLLUM TECTORIUM	BERNIESE SEDGE	1 GAL	LOW	24" x 6"
	CHOROPHYLLUM TECTORIUM	ORE RUSH	5 GAL	LOW	30" x 6"
	CYRUS PATERNS	CALIFORNIA GRAY RUSH	5 GAL	LOW	18" x 6"
	LIPPIA NOCTIFLORA	KURAMA	PLUGS	LOW	24" x 6"
BIOTRETENTION BANK/UPLAND PLANTING					
	ACICIA COSTATA COUBERTT	RED FLECKED YUCCA	5 GAL	LOW	30" x 6"
	ARCTOSTAPHYLOS D. HOWARD MCINN	HOWARD MCINN MANZANITA	5 GAL	LOW	60" x 6"
	BOULFOUGIA GRACILIS 'BLONDE AMBITION'	BLU GRAMA	1 GAL	LOW	18" x 6"
	DESCHAMPSIA CECIDIOSA	TUFFED HARE GRASS	1 GAL	LOW	24" x 6"
	ERIDOPHORIUM LATIFOLIUM	COAST BUCKWHEAT	1 GAL	LOW	18" x 6"
	FESTUCA BANONIS	STONY CREEK	1 GAL	V. LOW	24" x 6"
	MIMULUS ALBAVARICUS	STONY MONKEY FLOWER	5 GAL	V. LOW	30" x 6"
	MIMULUS BAKERI	DEER GRASS	5 GAL	LOW	30" x 6"
	SALVA SCROBICENSIS	CREATING SAGE	1 GAL	LOW	30" x 6"
	SALVA SCROBICENSIS	AUTUMN JOY SEDUM	1 GAL	LOW	18" x 6"

V P
VALLEY OAK PARTNERS
734 THE ALAMEDA, SAN JOSE, CA 95126

320 VIRGINIA AVENUE
Campbell, California

OVERALL LANDSCAPE PLAN
CONCEPTUAL LANDSCAPE PLAN
APRIL 4, 2024

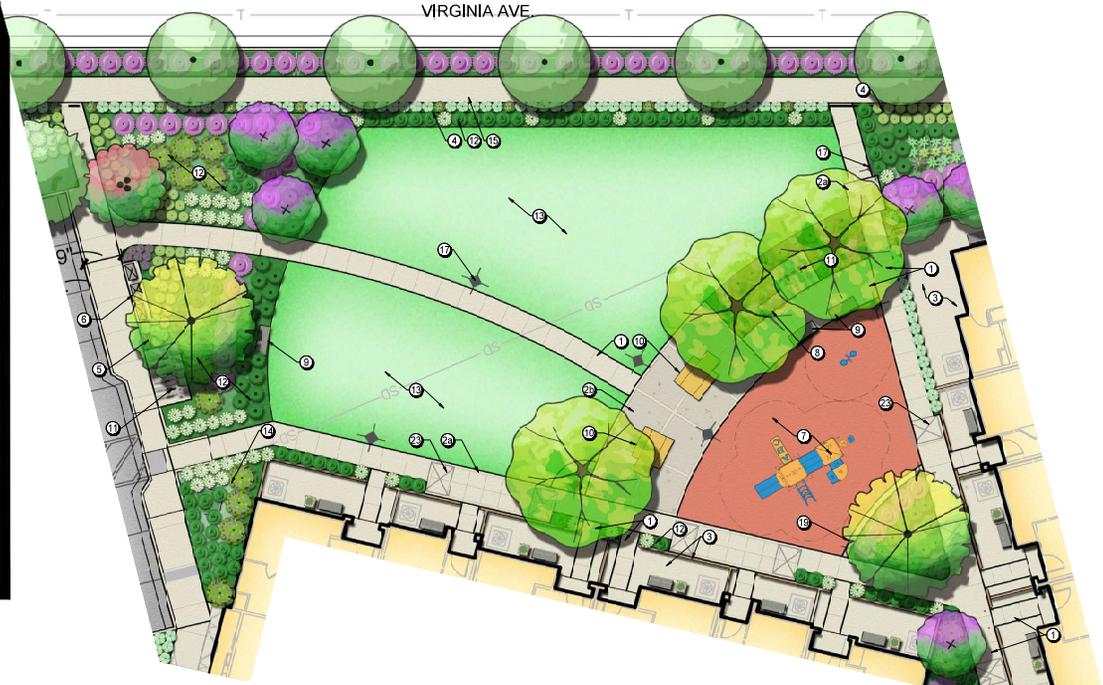
vanderToelen Associates
855 Bordeaux Way
Suite 240
Napa, CA 94558
Tel: 707.224.2299
www.vandertoelen.com

V A
0' 10' 20' 40'
SCALE: 1" = 20'-0"
NORTH
L-1
Project No. 02322

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PRELIMINARY LEGEND

- 1 CONCRETE WALK, TYP
- 2 CONCRETE PAVING W/ ENHANCED SCORING
- 3 CONCRETE PAVING AT PICNIC AREA W/ ENHANCED SCORING AND FINISH
- 4 FRONT YARD PATIOS AND WALLS PER ARCHITECT
- 5 7 FT. SPLIT RAIL FENCE ALONG RIGHT OF WAY, TYP.
- 6 DIRECTORY / MAP SIGN
- 7 CLUSTER MAILBOX UNITS. SEE MAIL BOX ROUTING & CIRCULATION PLAN SHEET L-4.
- 8 PLAYGROUND WITH RUBBERIZED SURFACE
- 9 TRASH AND RECYCLING RECEPTACLES
- 10 BENCHES
- 11 PICNIC TABLE
- 12 BIKE RACK (PARKING SPACES FOR 10 BIKES TOTAL), BIKE GARDEN BIKE RACK (CONFIGURATION A) AVAILABLE THROUGH FORMS + SURFACES. SEE IMAGE AND DETAIL ON SHEET L-2.
- 13 PLANTING AREA, TYP.
- 14 TURF AREA, TYP. (DELTA BLUEGRASS 9010 TALL FESCUE BLEND - MODERATE WATER USE)
- 15 BIORETENTION AREA, TYP.
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- 17 CROSSWALK PER CIVIL ENGINEER
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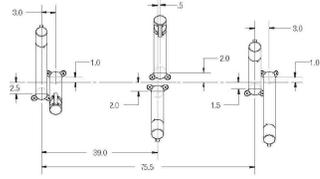


PROPOSED SHRUB PALETTE

SHRUBS		COMMON NAME	SIZE	WATER USE	SPACING
1	ACACIA COCAONITA COHENETT	RIVER WATTLE	5 GAL	LOW	36" o.c.
2	ARCTOSTAPHYLOS HOWARD MCMINN	HOWARD MCMINN MANCANTA	5 GAL	LOW	60" o.c.
3	CALLISTEMON CITRINUS LITTLE JOHN	DWARF BOTTLE BRUSH	5 GAL	LOW	36" o.c.
4	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	LOW	48" o.c.
5	CEANOTHUS MARITIMUS VALLEY VIOLET	MARITIME CEANOTHUS	5 GAL	LOW	36" o.c.
6	CEANOTHUS REDENS GREENBELT	CEANOTHUS SNOWBALL	5 GAL	LOW	72" o.c.
7	DODONAEA VIRESCENS PURPURAE	PURPLE LEAFED HORSEBEEBUSH	15 GAL	LOW	72" o.c.
8	DYONIDAEA ARBOREUS GREENBELT	GREENBELT SPURGEIT EUCRYDUM	5 GAL	LOW	24" o.c.
9	GALVEZIA SPECIOSA BOCA ROSA	ISLAND GUARDRAGON	5 GAL	LOW	36" o.c.
10	GREVILLEA X MOELLII	GREVILLEA	15 GAL	LOW	48" o.c.
11	HELBENTHUM M. HENFIELD BRILLIANT	HENFIELD BRILLIANT ROCK ROSE	5 GAL	LOW	24" o.c.
12	JUNIPERUS CALIFORNICA SEA GREEN	SEA GREEN JUNIPER	5 GAL	LOW	48" o.c.
13	LEUCOPHYLLUM PROTENSUM COMPACTA	COMPACT TEAS RANGIER	5 GAL	LOW	48" o.c.
14	LOROPETALUM C. PURPLE DIAMOND	FRINGE FLOWER	5 GAL	LOW	48" o.c.
15	PHORUM X BLACK ADDER	TRIE BRID FLAX	5 GAL	LOW	36" o.c.
16	PHORUM X BLACK ADDER	NEW ZEALAND FLAX	5 GAL	LOW	36" o.c.
17	PITTOCORUM TOBIANA VARIEGATA	VARIEGATED MOCK ORANGE	5 GAL	LOW	48" o.c.
18	RHAMNUS CALIFORNICA EYE CASE	CALIFORNIA COFFEEBERRY	5 GAL	LOW	72" o.c.
19	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	5 GAL	LOW	60" o.c.
20	SALVA CLEVELANDI WILFRED GELMAN	CLEVELAND SAGE	5 GAL	LOW	36" o.c.
21	SALVA GREGGII PINK	PINK AUTUMN SAGE	5 GAL	LOW	36" o.c.
22	SALVA LEUCANTHA	MEXICAN BUSH SAGE	15 GAL	LOW	48" o.c.
23	SALVA MICROPHYLLA HOT LIPS	BABY SAGE	5 GAL	LOW	48" o.c.
24	TEUCRIUM FRUTICOSUM COMPACTA	BUSH GERMANDER	5 GAL	LOW	36" o.c.
25	VEURNIUM DAVIDI	DAVID VEURNIUM	5 GAL	MOD	36" o.c.
GRASSES		COMMON NAME	SIZE	WATER USE	SPACING
1	GALAMAGROSTIS A. KARL FOERSTER	FEATHER REED GRASS	5 GAL	LOW	24" o.c.
2	GRASS TESTICIA PRIME LINE	PRIME LINE SEDGE	1 GAL	MOD	24" o.c.
3	HELICTOTRICHUM TEMPERARIENS	BLUE SAT GRASS	1 GAL	LOW	36" o.c.
4	LYRIS CONDENSATUS CANYON PRINCE	NATIVE BLUE RYE	1 GAL	LOW	48" o.c.
5	LOMANDRA HYSTRIX TROPIC BELLE	TROPIC BELLE MAT RUSH	1 GAL	LOW	36" o.c.
6	LOMANDRA LONGIFOLIA LIME TUFF	LIME TUFF DWARF MAT RUSH	1 GAL	LOW	24" o.c.
PERENNIALS		COMMON NAME	SIZE	WATER USE	SPACING
1	ACHILLEA MILLEFOLIUM TERRA COTTA	TERRA COTTA YARROW	1 GAL	LOW	24" o.c.
2	DIETES VESTITA	AFRICAN BIRD	5 GAL	LOW	36" o.c.
3	ERIGERON HARVINGENSIS	FLORANGE	1 GAL	LOW	36" o.c.
4	ERIGERON GRANGEI RUBESCENS	RED BUSHWEAT	1 GAL	LOW	24" o.c.
5	LIUMULUM PERZIS	STAY-GREEN	1 GAL	LOW	24" o.c.
6	NISSILLUS X JELLY BEAN ORANGE	ORANGE MONEY FLOWER	1 GAL	LOW	12" o.c.
7	NANDINA DOMESTICA LEMON LIME	LEMON LIME NANDINA	1 GAL	LOW	36" o.c.
8	NEPETA X ASSENSIS SELECT BLUE	CATMINT	1 GAL	LOW	24" o.c.
9	PENSTEMON H. MARGARITA BOP	BEARD TONGUE	1 GAL	LOW	18" o.c.
10	SALVA MICROPHYLLA BERZENELEY	BERZENELEY SAGE	1 GAL	LOW	36" o.c.
11	SCAEVOLA REBULA MAJAE CLUSTERS	FAN FLOWER	5 GAL	LOW	36" o.c.
12	VERBENA ULICINA DE LA MINA	ULAC VERBENA	1 GAL	LOW	30" o.c.
13	ZAUCONDRICA C. SCHEFFERS CHOICE	CALIFORNIA TUCKERIA	5 GAL	LOW	36" o.c.
BIORETENTION BASIN PLANTING		COMMON NAME	SIZE	WATER USE	SPACING
1	CAREX FURCATA	BROWNLEAF SEDGE	5 GAL	LOW	36" o.c.
2	CHONDROPETALUM TECTORIUM	CAPE RUSH	5 GAL	LOW	36" o.c.
3	LYPHIA NUCIFLORA	CALIFORNIA GRAY RUSH	15 GAL	LOW	24" o.c.
4	FLUGOS	FLUGOS	5 GAL	LOW	24" o.c.
BIORETENTION BANK/UPLAND PLANTING		COMMON NAME	SIZE	WATER USE	SPACING
1	ACACIA COCAONITA HOWARD MCMINN	HOWARD MCMINN MANCANTA	5 GAL	LOW	60" o.c.
2	BOUTELOUA GRACILIS BIUNDE AMBITON	BLUE GRAMA	1 GAL	LOW	18" o.c.
3	BOULDERIA SPERMATOPHYTES	TUFFED HARB GRASS	1 GAL	LOW	24" o.c.
4	ERIBOGONUM LATIBULUM	COAST BUCKWHEAT	1 GAL	LOW	18" o.c.
5	FESTUCA BACCHARIS STONY CREEK	DWARF FESCUE	1 GAL	LOW	18" o.c.
6	NISSILLUS ALBANTACTUS	STICKY MONKEY FLOWER	5 GAL	V. LOW	36" o.c.
7	NUIN DIBENEDIA NEGENS	DEBN GRASS	5 GAL	LOW	36" o.c.
8	SALVA SONGWERENSIS	GREENING SAGE	1 GAL	LOW	36" o.c.
9	SEDUM X AUTUMN JOY	AUTUMN JOY SEDUM	1 GAL	LOW	18" o.c.



BIKE RACKS



RECREATIONAL TURF



PLAYGROUND WITH RUBBER SURFACING



METAL SITE FURNISHINGS



SPLIT RAIL FENCE



ACCENT PAVING AT PICNIC TABLES



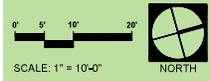
CONCRETE SEAT WALL

V **P** **O**
VALLEY OAK PARTNERS
 734 THE ALAMEDA
 SAN JOSE, CA 95126

320 VIRGINIA AVENUE
 Campbell, California

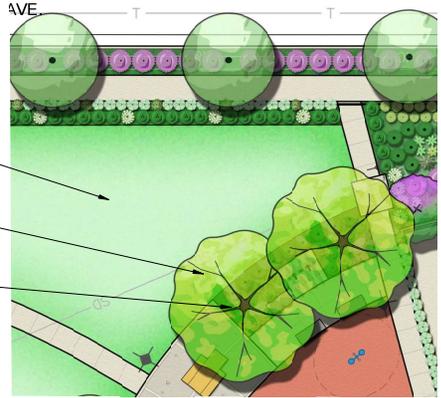
OPEN SPACE ENLARGEMENT
 CONCEPTUAL LANDSCAPE PLAN
 APRIL 4, 2024

vanderToelen Associates
 855 Bordeaux Way
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 www.vandertoelen.com



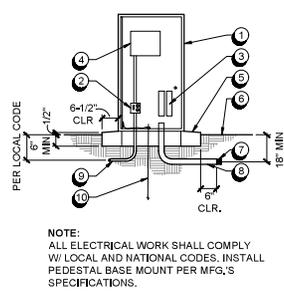
L-2
 Project No. 02322

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IRRIGATION NOTES

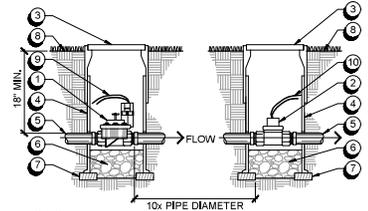
- THE IRRIGATION DESIGN FOR THE SITE SHALL COMPLY WITH THE STATE MANDATED MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO).
- THE IRRIGATION SYSTEMS WILL BE AUTOMATICALLY CONTROLLED BY AN ET/SMART IRRIGATION CONTROLLER CAPABLE OF MULTIPLE PROGRAMMING AND INDEPENDENT TIMING OF INDIVIDUAL IRRIGATION SYSTEMS, THE CONTROLLER WILL HAVE A 24-HOUR CLOCK TO ALLOW MULTIPLE START TIMES AND REPEAT CYCLES TO ADJUST FOR SOIL PERCOLATION RATES.
- THE IRRIGATION SYSTEMS WILL CONSIST PRIMARILY OF LOW VOLUME, LOW FLOW BUBBLERS FOR TREES, AND DRIP IRRIGATION FOR SHRUBS AND GROUNDCOVERS.
- PLANTS WILL BE GROUPED ONTO SEPARATE VALVES ACCORDING TO SUN EXPOSURE AND WATER USE TO ALLOW FOR IRRIGATION APPLICATION BY HYDROZONE. THE IRRIGATION SCHEDULING WILL REFLECT THE REGIONAL EVAPO-TRANSPIRATION RATES. THE ENTIRE SITE WILL BE DESIGNED TO RUN DURING NIGHT-TIME HOURS WHEN IRRIGATION IS MOST EFFICIENT.
- ALL MWELO DOCUMENTATION INCLUDING IRRIGATION PLANS, WATER USE CALCULATIONS AND CERTIFICATES SHALL BE SUBMITTED WITH THE LANDSCAPE IMPROVEMENT PLANS FOR REVIEW AND APPROVAL.



- IRRIGATION CONTROLLER ENCLOSURE PER PLAN.
- 115 VOLT SWITCH W/ GROUNDED OUTLETS.
- TERMINAL STRIP TO ACCOMMODATE STATIONS ON CONTROLLER AND 1 COMMON.
- IRRIGATION CONTROLLER LOCATION.
- POURED CONCRETE FOOTING - 6" MIN. THICK AND AS REQUIRED BY MFG.'S INSTALLATION GUIDE.
- FINISH GRADE.
- U.F. DIRECT BURIAL WIRES (TO REMOTE CONTROL VALVES).
- PVC LONG SWEEP ELL.
- 125 VOLT SERVICE IN CONDUIT.
- 3/4" BY 8' COPPER COATED GROUND ROD.

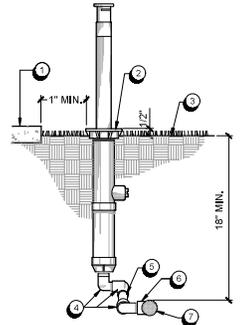
A CONTROLLER ENCLOSURE

N.T.S.



- NOTES:
- ALL WIRES SHALL BE INSTALLED PER LOCAL CODE.
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS.
 - PROVIDE EXPANSION COILS AT EACH WIRE CONNECTION IN VALVE BOX (10 WRAPS AROUND AT 1/2" DIA. PIPE).
 - SET BOXES 1" ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREAS AND SET FLUSH WITH FINISH GRADE IN TURF AREAS.
 - UTILIZE PURPLE IDENTIFICATION FOR RECLAIMED LINES.

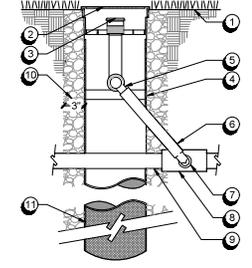
- MASTER VALVE, SEE LEGEND FOR TYPE.
- FLOW SENSOR, SEE LEGEND FOR TYPE.
- ROUND VALVE BOX W/ M.V. OR F.S. BURNED INTO LID (MIN. 2" HIGH)
- VALVE BOX EXTENSION, LENGTH AS REQUIRED
- PVC MAINLINE
- PEA GRAVEL
- BRICK SUPPORTS
- FINISH GRADE
- WIRE W/ SHIELDED CABLE TO CONTROLLER ASSEMBLY W/ 12" MIN. SERVICE COIL AND WATERPROOF WIRE SPLICE CONNECTORS, WIRE COLORS PER SPECIFICATIONS.
- FLOW SENSOR WIRES W/ SHIELDED CABLE TO CONTROLLER ASSEMBLY.



- SIDEWALK, CURB, ETC.
- POP-UP SHRUB SPRAY HEAD WITH PURPLE COVER, INSTALL 1/2" ABOVE FINISH GRADE.
- FINISH GRADE.
- MARLEX STREET ELL.
- PVC SCH. 80 NIPPLE LENGTH AS REQUIRED.
- PVC SCH. 40 SST TEE.
- PVC LATERAL LINE.

B 6" POP-UP SHRUB SPRAY HEAD

N.T.S.



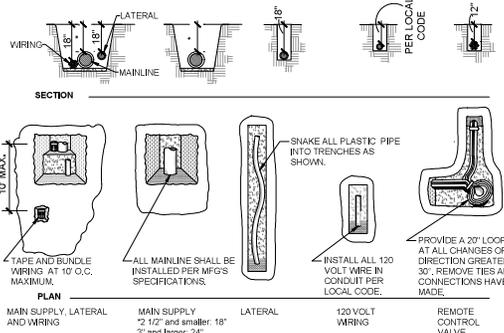
- FINISH GRADE.
- 4" LOCKING GRATE, INSTALL FLUSH WITH FINISH GRADE OR TOP OF MULCH. (SEE NOTE #3)
- PRESSURE COMPENSATING BUBBLER PER LEGEND
- ROOT WATERING SYSTEM (RWS) UNIT (QUANTITY PER LEGEND, SEE NOTES BELOW).
- PRE-ASSEMBLED FITTINGS.
- 1/2" FLEXIBLE SWING PIPE, MAXIMUM LENGTH OF 18".
- 1/2" NPT X BARB SWING PIPE ELBOW.
- PVC SCH 40 TEE OR ELL. (ST.)
- LATERAL PVC PIPE.
- PEA GRAVEL FOR CLAY SOILS, WHERE APPLICABLE.
- SAND SOCK FOR SANDY SOILS, WHERE APPLICABLE.

NOTES:

- ONCE RWS HAS BEEN INSTALLED, FILL THE BASKET WITH PEA GRAVEL.
- RWS INCLUDES FACTORY ASSEMBLED RISER, BUBBLER, GRATE, SWING ASSEMBLY, CANISTER & FITTINGS.
- FOR RECLAIMED WATER APPLICATION, INSTALL PURPLE GRATE.

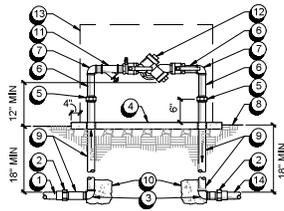
C TREE BUBBLER - ROOT WATERING SYSTEM (RWS)

N.T.S.



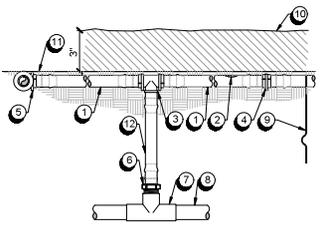
D MASTER VALVE W/ FLOW SENSOR

SCALE: N.T.S.



- IRRIGATION MAINLINE FROM WATER METER.
- PVC FEMALE ADAPTER.
- GALVANIZED 90 ELBOW.
- 4" CONCRETE PAD ON 4" COMPACTED AGGREGATE BASE. INSTALL PVC PIPE SLEEVE PRIOR TO INSTALLATION OF CONCRETE PAD.
- DIELECTRIC UNION.
- BRASS NIPPLE, TYPICAL.

- BRASS 90 ELBOW, TYPICAL.
 - FINISH GRADE.
 - GALVANIZED NIPPLES, WRAP UNDERGROUND PIPE WITH (2) WRAPS PIPE TAPE.
 - CONCRETE THRUST BLOCK ON 2 1/2" PIPE SIZE OR LARGER, SIZE OF THRUST BLOCK AS SPECIFIED BY PIPE MFR.
 - BRONZE WYE STRAINER, LINE SIZE.
 - REDUCED PRESSURE BACKFLOW PREVENTER WITH IN LINE VALVES TO INSTALL PER LOCAL CODE & PREFER APPROVED LIST OF DEVICES.
 - BACKFLOW PREVENTER ENCLOSURE BY LEMEUR MANUFACTURING OR APPROVED EQ.
 - PVC MAINLINE SUPPLY TO VALVES.
- NOTES:
- LEMEUR ENCLOSURE UNIT SHALL BE HINGED; PROVIDE ADEQUATE SIZE AS REQUIRED TO HINGE OVER BACKFLOW UNIT, CAST SUPPORT HARDWARE INTO CONCRETE SLAB.
 - PROVIDE INSULATED BLANKET, POLAR BLANKET OR EQ.
 - INSTALLATION SHALL BE APPROVED & DEVICE SHALL BE TESTED BY AN AWWA CERTIFIED BACKFLOW TESTER.



- ON-SURFACE DRIPLINE, SEE IRRIGATION FOR TYPE.
- INLINE DRIP EMITTER OUTLET, SEE PLANS FOR DRIPLINE OUTLET SPACING.
- BARB TEE
- BARB COUPLING
- BARB ELBOW
- BARB MALE ADAPTER
- PVC TEE (SST)
- DRIPLINE LATERAL SUPPLY HEADER
- GALVANIZED TIE DOWN STAKE
- DECORATIVE BARK MULCH
- FINISH GRADE
- BLANK DRIP TUBING

E ON-SURFACE DRIPLINE RISER ASSEMBLY

N.T.S.

F PIPE & WIRE TRENCHING DETAIL

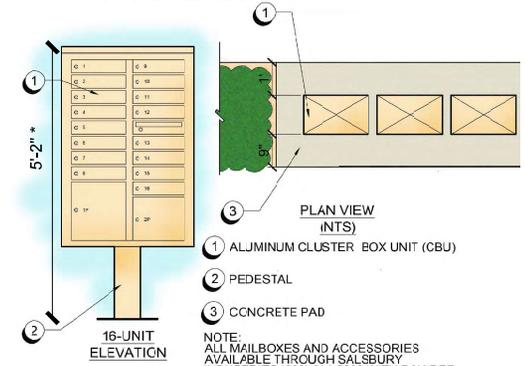
SCALE: N.T.S.

G REDUCED PRESSURE BACKFLOW PREVENTER

N.T.S.



*NOTE: MAILBOX UNIT TO BE DEPRESSED BY 2" FOR OVERALL HEIGHT OF 5'-0"



CLUSTER MAILBOX UNITS



DIRECTORY/ MAP SIGN

PROPOSED TREE LEGEND

TREES	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	QTY
	ACER BUERGERIANUM	TRIDENT MAPLE	24"BOX	MOD	6
	DODONAEA VISCOSA 'PURPUREA' STANDARD	PURPLE LEAFED HOPSEED BUSH	15 GAL	LOW	20
	ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	24"BOX	MOD	7
	LAURUS NOBILIS 'SARATOGA'	SWEET BAY	36"BOX	LOW	9
	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM DWARF SOUTHERN MAGNOLIA	24"BOX	MOD	6
	PLATANUS X ACERIFOLIA 'COLUMBIA'	LONDON PLANE TREE	24"BOX	LOW	3
	PRUNUS CERASIFERA 'KRAUTER VESUVIUS'	KRAUTER VESUVIUS PURPLE-LEAF PLUM	24"BOX	LOW	14
	RHAPHIOLEPS INDICA 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY INDIAN Hawthorne	15 GAL	LOW	22
NOTE: ALL TREES TO BE IN STANDARD FORM.					
TOTALS			15 GAL = 44 TREES		
			24" BOX = 36 TREES		
			36" BOX = 9 TREES		



ACER BUERGERIANUM



ERIOBOTRYA DEFLEXA



DODONAEA V. 'PURPUREA'



LAURUS NOBILIS 'SARATOGA'



MAGNOLIA G. 'LITTLE GEM'



PRUNUS C. 'KRAUTER VESUVIUS'



RHAPHIOLEPIS L. 'MAJESTIC BEAUTY'

PROPOSED SHRUB PALETTE

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
	ACACIA COCAONIT	PIPER WATTLE	5 GAL	LOW	36" oc.
	ARCTOSTAPHYLOS D. HOWARD MCMINN	HOWARD MCMINN MANZANITA	5 GAL	LOW	60" oc.
	CALLISTEMON CITRINUS 'LITTLE JOHN'	DWARF BOTTLE BRUSH	5 GAL	LOW	36" oc.
	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	LOW	48" oc.
	CEANOTHUS M. 'VALLEY VIOLET'	MARITIME CEANOTHUS	5 GAL	LOW	36" oc.
	CEANOTHUS M. 'VALLEY VIOLET'	CEANOTHUS M. 'VALLEY VIOLET'	5 GAL	LOW	72" oc.
	DODONAEA VISCOSA 'PURPUREA'	PURPLE LEAFED HOPSEED BUSH	15 GAL	LOW	72" oc.
	EUKALYPTUS LANCEOLATA 'GREEN SPIRE'	GREEN SPIRE EUCALYPTUS	5 GAL	LOW	50" oc.
	GALVEZIA SPECIOSA 'BOCA ROSA'	ISLAND SNAPDRAGON	5 GAL	LOW	36" oc.
	GRILLELLA X NOELII	GRILLELLA	15 GAL	LOW	48" oc.
	HELIANTHEMUM N. 'HENFIELD BRILLIANT'	HENFIELD BRILLIANT ROCK ROSE	5 GAL	LOW	24" oc.
	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL	LOW	48" oc.
	LAVATERA MARITIMA	TREE MALLOW	5 GAL	LOW	48" oc.
	LEUCOPHYLLUM FRUTICOSUM 'COMPACTA'	COMPACT TOMMYRANGER	5 GAL	LOW	48" oc.
	LOBLOETIUM C. 'PURPLE ISLAND'	FRINGE FLOWER	5 GAL	LOW	48" oc.
	PHORUM TEXAS 'FIREBIRD'	FIRE BIRD FLAX	5 GAL	LOW	48" oc.
	PHORUM X. BLACK ADDER	NEW ZEALAND FLAX	5 GAL	LOW	36" oc.
	PITTOSPORUM TORBIA 'VANESATA'	VANESATED MOCK ORANGE	5 GAL	LOW	48" oc.
	RHAMNUS CALIFORNICA 'DYE SAGE'	CALIFORNIA COFFEEBERRY	5 GAL	LOW	72" oc.
	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	5 GAL	LOW	60" oc.
	SALVIA CLEVELANDII 'MINIFRED GILLMAN'	CLEVELAND SAGE	5 GAL	LOW	36" oc.
	SALVIA GRECOI 'PINK'	PINK AUTUMN SAGE	5 GAL	LOW	36" oc.
	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	15 GAL	LOW	60" oc.
	SALVIA MICROPHYLLA 'HOT LIPS'	BABY SAGE	5 GAL	LOW	48" oc.
	TEUCRIUM FRUTICOSUM 'COMPACTA'	BUSH GERMANDER	5 GAL	LOW	36" oc.
	VIORNUM DAVIDII	DAVID VIORNUM	5 GAL	MOD	36" oc.
	ACACIA C. 'COCAONIT'	PIPER WATTLE	5 GAL	LOW	36" oc.
	ACHILLEA M. 'TERRA COTTA'	TERRA COTTA YARROW	5 GAL	LOW	36" oc.
	ARCTOSTAPHYLOS 'HOWARD MCMINN'	HOWARD MCMINN MANZANITA	5 GAL	LOW	60" oc.
	BOUTELOUA G. 'BLONDE AMBITON'	BLONDE AMBITON	5 GAL	LOW	36" oc.
	CALLISTEMON C. 'LITTLE JOHN'	DWARF BOTTLE BRUSH	5 GAL	LOW	36" oc.
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	ACHILLEA M. 'TERRA COTTA'	TERRA COTTA YARROW	5 GAL	LOW	36" oc.
	ARCTOSTAPHYLOS 'HOWARD MCMINN'	HOWARD MCMINN MANZANITA	5 GAL	LOW	60" oc.
	BOUTELOUA G. 'BLONDE AMBITON'	BLONDE AMBITON	5 GAL	LOW	36" oc.
	CALLISTEMON C. 'LITTLE JOHN'	DWARF BOTTLE BRUSH	5 GAL	LOW	36" oc.
	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	LOW	48" oc.
	CEANOTHUS M. 'VALLEY VIOLET'	MARITIME CEANOTHUS	5 GAL	LOW	36" oc.
	CHONDROPETALUM TECTORIUM	CAPE RUSH	5 GAL	LOW	36" oc.
	ACACIA C. 'COCAONIT'	PIPER WATTLE	5 GAL	LOW	36" oc.
	ACHILLEA M. 'TERRA COTTA'	TERRA COTTA YARROW	5 GAL	LOW	36" oc.
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	CALLISTEMON C. 'LITTLE JOHN'	DWARF BOTTLE BRUSH	5 GAL	LOW	36" oc.
	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	LOW	

CONCEPTUAL JOINT TRENCH LAYOUT
 PLEASE NOTE THAT THE UTILITY BOX LOCATIONS SHOWN ARE FOR STUDY ONLY AND SUBJECT TO CHANGE BASED ON ACTUAL UTILITY DESIGNS.

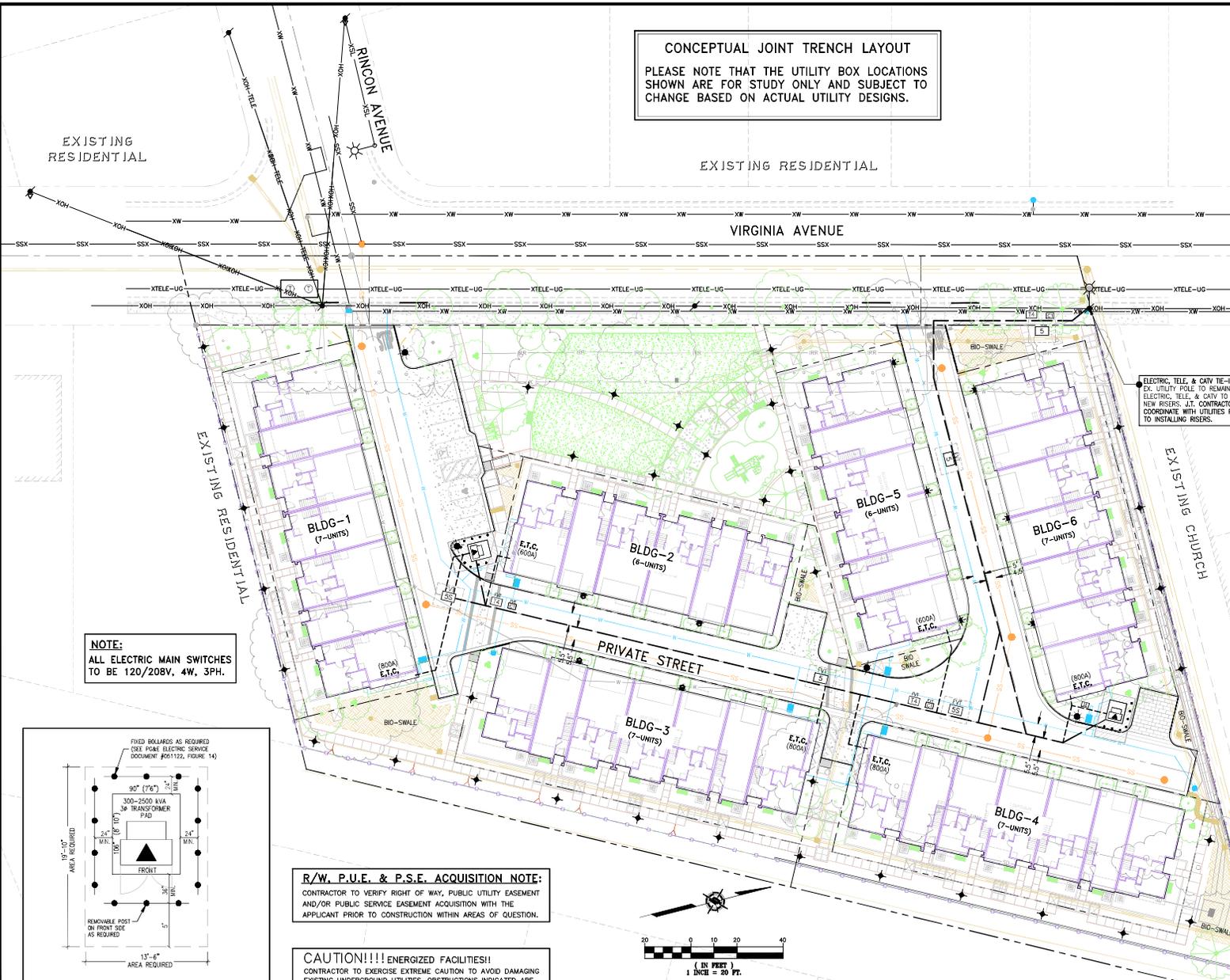
LEGEND	
---	EXISTING TRENCH OR UTILITIES
---	PROPOSED TRENCH (DISTRIBUTION)
---	PROPOSED TRENCH (SERVICE)
---	PROPOSED STREET LIGHT TRENCH
□	EXISTING UTILITY SPUR BOX
□	24"x36"x26" PG&E SPUR BOX
□	36"x60"x30" PG&E SECONDARY BOX WITH 12" EXTENSION
□	3'x5'x3'9" PG&E SPUR BOX
□	90"x106" PG&E PAD MOUNT TRANSFORMER
□	30"x36"x34" TELEPHONE SPUR BOX
□	24"x36"x14" CATV BOX (B40)
●	PROPOSED POST TOP STREET LIGHT (28-LED)
●	PROPOSED BOLLARD LIGHT (15-LED)
●	PROPOSED WALLPACK LIGHT (TYPE-WP1)
●	PROPOSED WALLPACK LIGHT (TYPE-WP2)
●	PG&E SKETCH LOCATION NUMBER
(F.V.T.)	FULL VEHICULAR TRAFFIC LID
(N.T.S.)	NOT TO SCALE
(U.O.N.)	UNLESS OTHERWISE NOTED

APPROVED	REVISIONS
	SYMBOL
	DATE
	DESCRIPTION

GIACALONE
 DESIGN SERVICES, INC.
 1000 N. GARDEN AVENUE, SUITE 100
 ANAHEIM, CA 92810
 (714) 771-1100
 WWW.GIACALONEDESIGN.COM

JOINT TRENCH INTENT EXHIBIT
 VALLEY OAK PARTNERS
 320 VIRGINIA AVENUE
 CALIFORNIA
 CAMPBELL

PROJECT MANAGER: FRED YARBA, JR.
 DRAWN BY: D. SHAY
 CHECKED BY: DAVID CROWFOOT, P.E.
 SCALE: 1"=20'
 JOB NUMBER: 23-108
 DATE LAST MODIFIED: 04-11-24
 SHEET: EXH1
 OF 1 SHEETS



ELECTRIC, TEL, & CATV TIE-IN LOCATION:
 EX-UTILITY POLE TO REMAIN.
 ELECTRIC, TEL, & CATV TO CONSTRUCT NEW RISERS. IT CONTRACTOR TO COORDINATE WITH UTILITIES PRIOR TO INSTALLING RISERS.

NOTE:
 ALL ELECTRIC MAIN SWITCHES TO BE 120/208V, 4W, 3PH.

NOTE
 PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

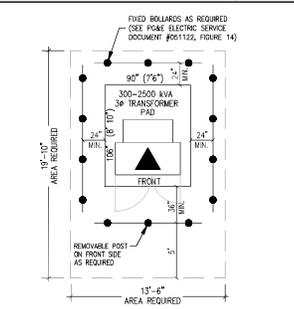
NOTE TO UTILITIES:
 PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

PRELIMINARY PLANS NOT FOR CONSTRUCTION

TWO DAYS BEFORE YOU DIG
 CALL USA TOLL FREE
 811
 CALL BEFORE YOU DIG

R/W, P.U.E. & P.S.E. ACQUISITION NOTE:
 CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

CAUTION!!!! ENERGIZED FACILITIES!
 CONTRACTOR TO EXERCISE EXTREME CAUTION TO AVOID DAMAGING EXISTING UNDERGROUND UTILITIES. OBSTRUCTIONS INDICATED ARE FOR INFORMATION ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. NEITHER THE OWNER NOR THE DESIGNER ASSUME ANY RESPONSIBILITY THAT THE OBSTRUCTIONS INDICATED WILL ACTUALLY BE THE OBSTRUCTIONS ENCOUNTERED. POTHOLES IS REQUIRED. HAND EXCAVATE ONLY IN PRESENCE OF UTILITY INSPECTOR.



PG&E STYLE IIE 30 TRANSFORMER DETAIL
 90" x 106"
 (PHYSICAL PROTECTION REQUIREMENTS IN PARKING LOT, TRAVELED WAY, ETC. ...)
 NOT TO SCALE

Tree Assessment Plan

**320 Virginia Avenue
Campbell, CA**

Prepared for:
**Valley Oak Partners, LLC
San Jose, CA**

September 2021

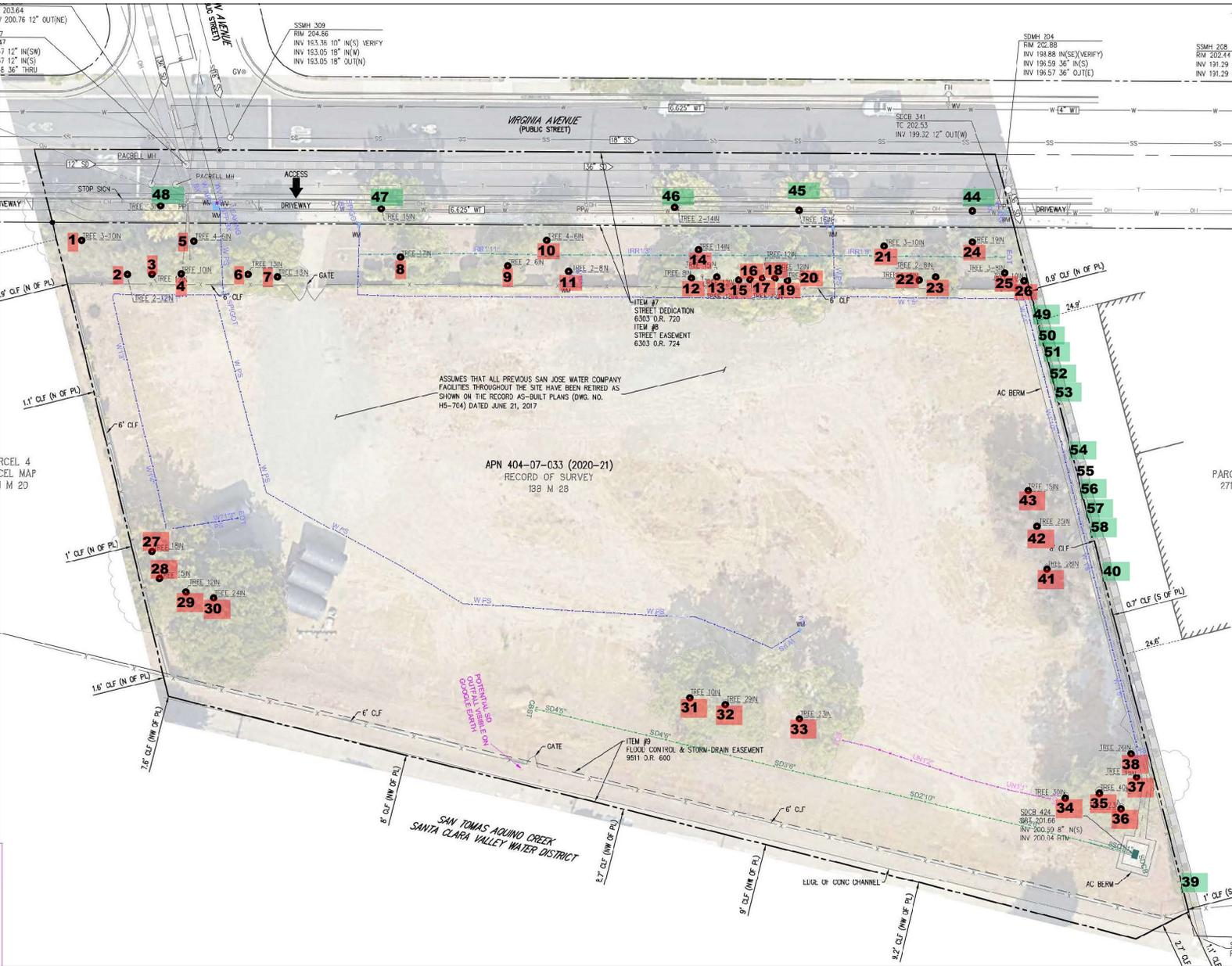


No Scale

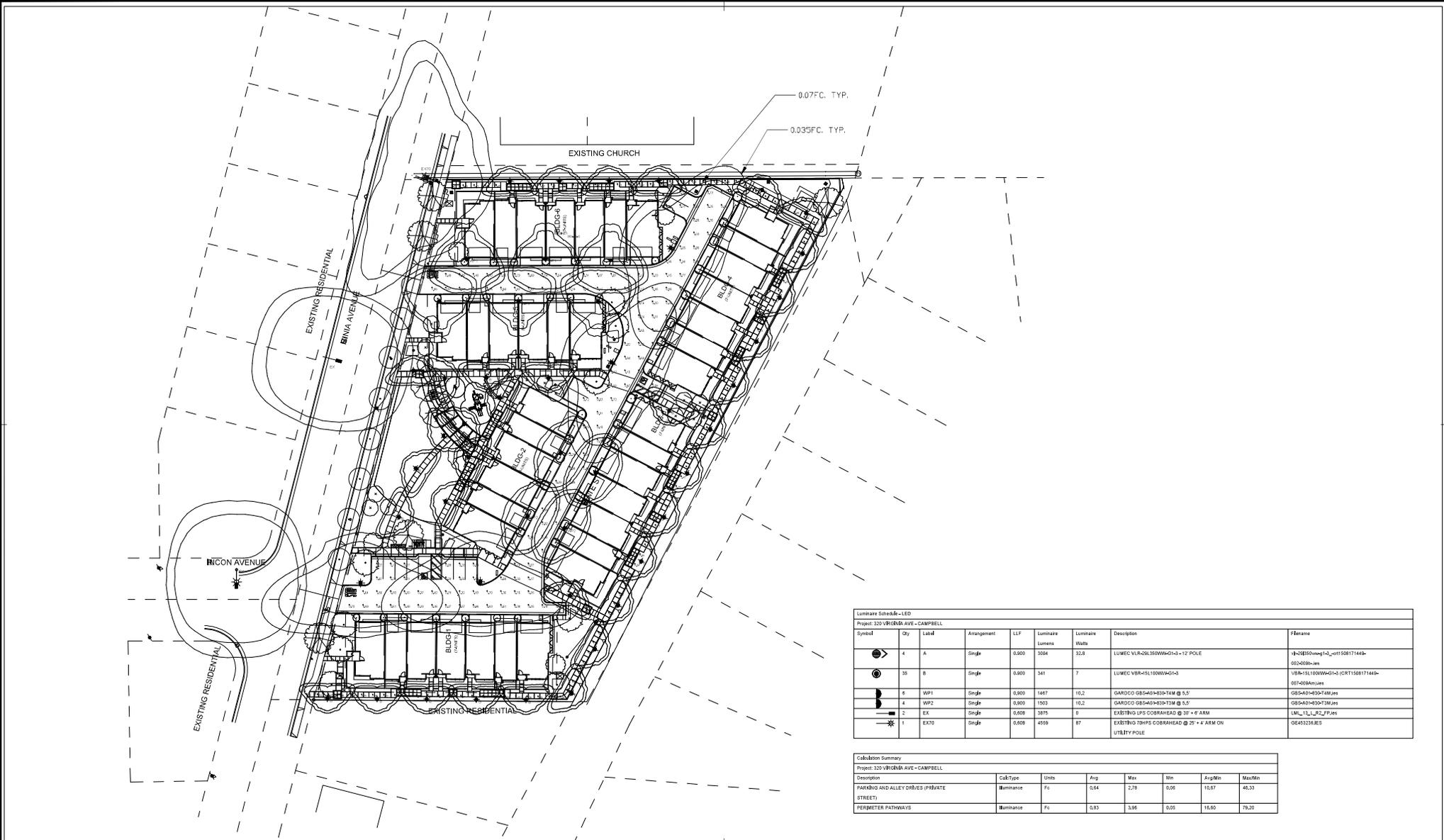
Notes:

- Base map provided by:
Civil Engineering Associates
San Jose, CA
- Numbered tree locations are approximate.

= Tree to be Removed
 = Tree to be Preserved



HORT SCIENCE
HARTLETT CONSULTING
 A Division of the I.A. Bartlett Tree Expert Company
 325 Ray Street
 Pleasanton, California 94566
 Phone 925.484.0211
 Fax 925.484.0596



Luminaire Schedule - LED

Project: 320 VIRGINIA AVE - CAMPBELL

Symbol	Qty	Label	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	Description	Filename
	4	A	Single	0.800	3004	33.0	LUMEC VLR-061800W-G1-3-12' POLE	V:\2016\wwj\3_21\15817144-002-009-ies
	35	B	Single	0.800	341	7	LUMEC VBR-151100W-G1-3	V:\B-151100W-G1-3 (CRT)15817144-007-009A.ies
	8	WP1	Single	0.800	1487	10.2	QARCO Q8540-839-TM @ 5.0'	Q8540-839_TM.ies
	4	WP2	Single	0.800	1503	10.2	QARCO Q8540-839-TM @ 5.0'	Q8540-839_TM.ies
	2	EX	Single	0.800	3875	8	EXISTING UPS COBRAHEAD @ 30' + 6' ARM	LM_LTL_R2_P1.ies
	1	EX70	Single	0.800	4559	87	EXISTING UPS COBRAHEAD @ 20' + 4' ARM ON UTILITY POLE	QE45230.IES

Calculation Summary

Project: 320 VIRGINIA AVE - CAMPBELL

Description	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AND ALLEY DRIVES (PRIVATE STREET)	Illuminance	Fc	0.64	2.78	0.06	10.07	46.33
PERIMETER PATHWAYS	Illuminance	Fc	0.63	3.66	0.05	16.00	79.20

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP BALLAST, ELECTRICAL AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calibration methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, luminaire and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

Associated Lighting Representatives, Inc.

ASSOCIATED LIGHTING REPRESENTATIVES, INC.
 7777 PARDEE LANE
 P.O. BOX 2295
 OAKLAND, CA 94621
 PHONE: (510) 638-0158 - FAX: (510) 638-2808

REPORT FOR: BICALONE DESIGN SERVICES
 BY: APPLICATIONS ENGINEERING, RAMON ZAPATA
 SALES REPRESENTATIVE: ALR, KRISTIAN REYES

Lighting Analysts
 illumination engineering software
 www.agi32.com

AGI32 VERSION 20.1
 AGI (C) 2021 LIGHTING ANALYSTS, INC.
 10288 W. CENTENNIAL ROAD, SUITE 202
 LITTLETON, CO 80127

PROJECT DESCRIPTION

**VIRGINIA AVE
 CITY OF CAMPBELL**

PROGRAM NO. / INPUT FILE
 22086REY-R2.DWG / 22086REY-R2.AGI

SCALE 1" = 30'	SHEET 1 OF 1	DATE 04.16.2024	REV 2
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