

Location of Proposed Project



City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Notice of Public Hearing

Dear Campbell Resident,

June 28th, 2024

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:00 p.m., or shortly thereafter, on Tuesday July 9, 2024, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

Project Address: 1361 Peggy Avenue
Zoning | Area Plan: R-1-10 | STANP
Neighborhood Association(s): STACC
Council District: 5
File No: PLN-2023-89
APN: 406-16-060
Applicant: Sunghwa Kang
Property Owner: Sunghwa Kang
Application Type: Site and Architectural Review Permit
Project Planner: Nishant Seoni, Contract Associate Planner
Email Contact: nishants@campbellca.gov
Phone Contact: (415) 755-1254

Project Description:
To allow the demolition of an existing 1,336 square-foot single-family residence and the construction of a new approximately 2,621 square-foot single-family residence.

You may participate virtually or watch online:

◇ Register online to speak via Zoom:
(<https://campbellca.gov/PCSignup>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

****Asistencia en Español disponible, Simplemente marque (408) 866-2140 y pida traduccion en Español**



SYMBOL LIST

	DETAIL NUMBER CUT OR WINDOW OF DETAIL SHEET DETAIL IS DRAWN ON		BATT OR ACOUSTICAL INSULATION WALL TYPE SCHEDULE & FLOOR ASSEMBLY SCHEDULE TO INDICATE QUALITY OF INSULATION
	SECTION NUMBER SHEET SECTION IS DRAWN ON DIRECTION OF CUT		RIGID INSULATION WALL TYPE SCHEDULE & FLOOR ASSEMBLY SCHEDULE TO INDICATE QUALITY OF INSULATION
	DIRECTION AND LETTER OF ELEVATION SHEET ELEVATIONS ARE DRAWN ON		FINISH WOOD
	ELEVATION NUMBER SHEET ELEVATIONS ARE DRAWN ON		PLYWOOD IN SECTION
	SIDE TO APPLY FINISH, WHEN INDICATED TYPE, SEE PLANS FOR DETAILS		UNDISTURBED EARTH
	DOOR NUMBER SEE DOOR SCHEDULE ON PLANS FOR ADDITIONAL INFORMATION		STEEL IN SECTION
	WINDOW NUMBER SEE EXTERIOR OPENING SCHEDULE FOR ADDITIONAL INFORMATION		CONCRETE
	ROOM NAME 101 SEE ROOM NOTATION SCHEDULE AND FLOOR PLANS		GRASS
	DATUM OR WORKING POINT SEE SECTIONS AND ELEVATIONS FOR ADDITIONAL INFORMATION		GYPSUM BOARD
	INTERMITTENT BLOCKING CONTINUOUS BLOCKING		ACOUSTIC TILE
	REVISION NUMBER INFORMATION WITHIN HAS BEEN REVISED. SEE TITLE BLOCK FOR REVISION NUMBER DATE		BRICK / CMU
	REVISION		GLASS
			CERAMIC TILE
			GRAVEL / POROUS FILL
			MASONRY
			SAND / MORTAR / PLASTER

ABBREVIATIONS

%	AND	GLB	GLULAM BEAM	SPEC.	SPECIFICATION
<	ANGLE	GND.	GROUND	SQ.	SQUARE
@	AT	GSM	GALV. SHEET METAL	S.S.D.	SEE STRUCT. DWGS
⊕	CENTERLINE	GYP.	GYPSUM	S.STL.	STAINLESS STEEL
∅	DIAMETER OR ROUND	HT.	HEIGHT	STD.	STANDARD
(N)	NEW	H.B.	HOSE BIBB	STL.	STEEL
±	PLUS OR MINUS	H.D.	HOT DIP (GALV.) (or HOLDOWN)	STOR.	STORAGE
ADJ.	ADJUSTABLE	HDR.	HEADER BEAM	SURF.	SURFACE
A.F.F.	ABOVE FIN. FLOOR	HORIZ.	HORIZONTAL	TEL.	TELEPHONE
APPROX.	APPROXIMATE	HUR.	HOUR	TEMP.	TEMPERED GLASS
ASPH.	ASPHALT	INSUL.	INSULATION	T.&G.	TONGUE AND GROOVE
BITUM.	BITUMINOUS	IRRI.	IRRIGATION CTRL.	THK.	THICK
BLDG.	BUILDING	LOC.	LOCATION	THSHLD	THRESHOLD
BLK.	BLOCK	L.S.	LANDSCAPING	TOC.	TOP OF CURB
BLKG.	BLOCKING	LT.	LIGHT OR LIGHTING	TOS.	TOP OF PAVEMENT
BM	BEAM	MAX.	MAXIMUM	TOP.	TOP OF SLAB
BTM.	BOTTOM	MECH.	MECHANICAL	STOR.	TOP OF WALL
CAB.	CABINET	MEMB.	MEMBRANE	T.PLT.	TOP PLATE
C.B.	CATCH BASIN	MEP	MECHANICAL, ELECTR.&PLUMB'G	TV.	TELEVISION
C.I.	CAST IRON	MFR.	MANUFACTURER	U.O.N.	UNLESS OTHERWISE NOTED
C.J.	CONTROL JOINT	MIN.	MINIMUM	VERT.	VERTICAL
CLO.	CLOSET	MISC.	MISCELLANEOUS	V.F.	VERIFY IN FIELD
CLG.	CEILING	MTD.	MOUNTED	W.	WIDTH
CLKG.	CAULKING	N.I.C.	NOT IN CONTRACT	W.	WITH
CONC.	CONCRETE	NO. OR #	NUMBER	W.C.	WATER CLOSET
CLR.	CLEAR	NOM.	NOMINAL	WD.	WOOD
C.M.U.	CONC. MASONRY UNIT	N.T.S.	NOT TO SCALE	WIDW	WINDOW
CONT.	CONTINUOUS	O.A.	OVERALL	W/O	WITHOUT
CTR.	CENTER	O.C.	ON CENTER	WT.	WEIGHT
D.B.	DOOR BELL	O.D.	OUTSIDE DIA. DIM.	WTR.	WATER
DBL.	DOUBLE	OPP.	OPPOSITE		
DET.	DETAIL	PLT.	PLATE		
DF.	DOUGLAS FIR	PLAS.	PLASTER		
DIA.	DIAMETER	PLYWD.	PLYWOOD		
DIM.	DIMENSION	PR.	PAIR		
DN.	DOWN	PNTD.	PAINTED		
DR.	DOOR	PTDF.	PRES. TREATED DF		
D.S.	DOWNSPOUT	Q.T.	QUARRY TILE		
D.V.	DRYER VENT	QTR.	QUARTER		
DWG.	DRAWING	R.	RISER		
DWH.	DOMSTC. WATER HTR.	RAD.	RADIUS		
EA.	EACH	R.D.	ROOF DRAIN		
E.F.	EXHAUST FAN	REC.	RECESSED		
E.J.	EXPANSION JOINT	REF.	REFERENCE		
ELEC.	ELECTRICAL	REFN.	REINFORCED		
E.N.	EDGE NAIL	REQ.	REQUIRED		
EQ.	EQUAL	RM.	ROOM		
EXHA.	EXHAUST	RND.	ROUND		
EXT.	EXTERIOR	R.O.	ROUGH OPENING		
F.D.	FLOOR DRAIN	RWD.	REDWOOD		
FDN.	FOUNDATION	RWL.	RAIN WTR LEADER		
FIN.	FINISH	S.C.	SOLID CORE		
FLR.	FLOOR	SCHED.	SCHEDULE		
FLOUR.	FLUORESCENT	SECT.	SECTION		
F.O.C.	FACE OF CONC. (OR CURB)	S.C.	SOLID CORE		
F.O.F.	FACE OF FINISH	SECT.	SECTION		
F.O.S.	FACE OF STUDS	SGDR	SLIDING GLASS DR		
F.S.	FULL SIZE	SHR.	SHOWER		
FT.	FOOT OR FEET	SHT.	SHEET		
FTG.	FOOTING	SIM.	SIMILAR		
FURR.	FURRING	SLP.	SLOPE		
GA.	GAUGE	S.L.T.	SKY LIGHT		
GALV.	GALVANIZED				
GAL.	GLASS				

GENERAL NOTES

- CONTRACTOR TO V.I.F. EXISTING CONDITIONS AT TIME OF BID AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THESE DRAWINGS.
- CONTRACTOR TO LOCATE AND VERIFY LOCATIONS OF UTILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICITY, GAS, WATER, SEWER, AND TELEPHONE) PRIOR TO START OF CONSTRUCTION. NOTIFY ARCHITECT OF UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL TRASH, WASTE, RUBBISH AND DEBRIS RESULTING FROM THE WORK AND/OR OPERATION EVERY DAY AT CONTRACTOR'S EXPENSE. ALL RUBBISH AND DEBRIS SHALL BE LEGALLY DISPOSED OF.
- THE CONTRACTOR SHALL CONFORM WITH APPLICABLE DEBRIS RECYCLING REQUIREMENTS OF THE PROJECT JURISDICTION. WRITTEN PROOF OF RECYCLED DEBRIS QUANTITIES AND TYPES AND RECYCLING LOCATIONS TO BE PRODUCED ON REQUEST OF OWNER.
- CONTRACTOR SHALL PROTECT EXISTING BUILDING FROM DAMAGE WHICH MAY OCCUR FROM DEMOLITION, DUST, WATER, ETC. WHERE CONSTRUCTION OCCURS. PATCH REMAINING AREAS AND PREPARE FOR FINISH.
- ALL WORK SHALL CONFORM TO ALL PREVAILING CODE REQUIREMENTS REGARDLESS OF WHAT IS SHOWN OR NOT SHOWN ON THESE DRAWINGS. IN THE EVENT OF CONFLICT THE MORE STRINGENT REQUIREMENTS SHALL APPLY. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, THE CURRENTLY APPLICABLE EDITIONS OR PUBLICATIONS OF OR BY THE FOLLOWING:
 - CALIFORNIA ADMINISTRATIVE CODE
 - CALIFORNIA BUILDING, MECHANICAL, PLUMBING AND ELECTRICAL CODES
 - NATIONAL FIRE PROTECTION ASSOCIATION
 - AMERICAN STANDARDS INSTITUTE
- THE CONTRACTORS AND/OR SUBCONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS, AND BY SIGNING A CONTRACT ACCEPTS THE CONDITIONS UNDER WHICH HE/SHE WILL BE REQUIRED TO WORK.
- ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- DO NOT SCALE DRAWINGS. THESE DRAWINGS MAY NOT BE TO SCALE AND ARE FOR ILLUSTRATION PURPOSES ONLY. THE CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO FIELD VERIFY DIMENSIONS AND CONDITIONS, AND MAKE FIELD MEASUREMENTS NECESSARY FOR THEIR WORK.
- DETAILS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. DIMENSIONS TAKE PRECEDENCE OVER SCALES SHOWN ON PLANS, SECTIONS AND DETAILS.
- THE CONTRACTOR SHALL VERIFY "ROUGH-IN" DIMENSIONS FOR DOORS, WINDOW OPENINGS AND PLUMBING FIXTURES, MECHANICAL EQUIPMENT, ELECTRICAL FIXTURES AND APPLIANCES FROM MANUFACTURER'S INFORMATION PRIOR TO STARTING LAYOUT IN AREAS WHERE SUCH ITEMS OCCUR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING BETWEEN ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND OTHER DRAWINGS AS NECESSARY.
- THE OWNER WILL PROVIDE THE GENERAL BUILDING PERMIT. ALL OTHER PERMITS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR INCLUDING ENERGY COMPLIANCE AS REQUIRED.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY SANITARY FACILITIES FOR THE PROJECT.
- SECURITY OF THE SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY OPENINGS LEFT IN FLOORS OR CEILINGS SHALL BE PROTECTED FOR THE SAFETY OF THOSE WORKING ON THE SITE AND OTHERS.
- UNLESS OTHERWISE NOTED, CONTRACTOR SHALL FURNISH ALL NECESSARY SHORING, BRACING, ETC. AS REQUIRED TO SAFELY EXECUTE ALL WORK, AND SHALL BE FULLY RESPONSIBLE FOR THE SAME, INCLUDING ANY REQUIRED PERMITS.
- ALL WORK TO BE INSTALLED PLUMB, LEVEL AND STRAIGHT. ALL FACES OF ADJACENT WALL FINISHES SHALL ALIGN UNLESS OTHERWISE NOTED. CONNECTIONS AND FASTENERS SHALL BE CONCEALED UNLESS OTHERWISE NOTED. SURFACE FASTENERS SHALL BE APPROVED BY THE ARCHITECT.
- ALL EXTERIOR DOORS, DOOR FRAMES, DOOR HARDWARE, JAMB AND HEADER CONSTRUCTION ETC. TO COMPLY WITH CITY SECURITY ORDINANCES.
- SHUT OFF, CAP, AND OTHERWISE PROTECT EXISTING PUBLIC UTILITY LINES IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC AGENCY OR UTILITY HAVING JURISDICTION. CONNECT ALL IMPROVEMENTS TO CITY UTILITIES.
- PROVIDE BLOCKING/BACKING AT ALL WALL MTD. CONSTRUCTION INCLUDING CABINETS, GRAB BARS, BUILT-INS, CEILING FIXTURES.
- SEE DETAILS FOR TYPICAL DEVICE AND DOOR HARDWARE MOUNTING LOCATIONS.
- PUBLIC WORKS APPROVAL OF PLANS FOR UTILITY LINE EXTENSIONS, CONNECTIONS, METER LOCATIONS, DRIVES, SIDEWALKS, ETC. SHALL BE OBTAINED PRIOR TO THE ISSUANCE OF THE PERMIT.
- ALL EXTERIOR WALL COVERINGS SHALL BE APPLIED OVER CONTINUOUS, LAPPED, BITUMINOUS MEMBRANE WATERPROOFING. INSTALL PER MANUFACTURER'S REQ'S.
- INFILTRATION CONTROL, CAULKING AND WEATHER STRIPPING
 - DOORS, WINDOWS AND SKYLIGHTS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SHALL BE FULLY WEATHER STRIPPED.
 - CAULKING, SEALANTS OR WEATHER STRIPPING SHALL BE INSTALLED TO LIMIT INFILTRATION IN THE BUILDING ENVELOPE BETWEEN CONDITIONED AND UNCONDITIONED SPACES AS FOLLOWS:
 - EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES
 - BETWEEN WALL SOLE PLATES AND FLOORS AND FLOORS AND BETWEEN EXTERIOR WALL PANELS.
 - PENETRATIONS IN WALLS, CEILINGS, AND FLOORS FOR PLUMBING AND GAS PIPING, ELECTRICAL WIRES, CABLES AND CONDUIT.
 - OPENINGS BETWEEN VENTED OR UNCONDITIONED ATTICS AND CONDITIONED SPACES
- ALL PIPING SHALL BE INSULATED IN ACCORDANCE WITH THE ENERGY CONSERVATION MANUAL FOR RESIDENTIAL BUILDINGS.
- CONTRACTOR AND SUB-CONTRACTORS TO PROTECT ALL EXISTING CONSTRUCTION TO REMAIN.
- ALL CONDITIONS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE SIMILAR TO THOSE SHOWN OR IMPLIED OR SHALL MATCH EXISTING CONDITIONS.
- ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO ALL REQUIREMENTS OF THE STATE OF CALIFORNIA ENERGY COMMISSION (TITLE 24) ENERGY EFFICIENCY STANDARDS FOR NEW OR EXISTING BUILDINGS.
- THE CONTRACTOR SHALL COMPLETE AND PERFORM ALL WORK IN A GOOD, PROFESSIONAL MANNER AT A LEVEL QUALITY, AND TOLERANCE CONSISTENT WITH THE STANDARDS OF THE CONSTRUCTION INDUSTRY. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL INTENT OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.
- ALL PLAN NOTES IMPLY THE WORDS "THE CONTRACTOR SHALL . . ." OR "THE CONTRACTOR SHALL INSTALL . . ." WHICH EVER IS APPLICABLE. ITEMS LABELED "EXISTING," "EXTG.," OR "EY" ARE EXISTING AND SHALL REMAIN. ALL OTHER ITEMS AND NOTES NOT LABELED OR IDENTIFIED AS EXISTING SHALL BE CONSIDERED NEW AND SHALL BE PROVIDED BY THE CONTRACTOR.
- CONTRACTOR TO MAINTAIN ALL PROPER WORKERS' COMPENSATION AND LIABILITY INSURANCE THROUGHOUT DURATION OF CONSTRUCTION.
- CONTRACTOR TO PROVIDE ALL UTILITY SERVICE APPLICATIONS, CONNECTIONS AND COORDINATION. OWNER TO REIMBURSE UTILITY APPLICATION, CONNECTION & CONSTRUCTION FEES.
- THE H.E.R.S. FEATURE SUMMARY ITEMS REQUIRING VERIFICATION FROM THE CERTIFICATE OF COMPLIANCE FORM CF-1R: KITCHEN RANGE HOOD IS HWI-CERTIFIED, MINIMUM 100 CFM, AND SOUND RATING OF 3 SONES OR LESS. (CENC 150.0(O)).
 - THE "REQUIRED SPECIAL FEATURES" ITEM REQUIRING VERIFICATION FROM THE CERTIFICATE OF COMPLIANCE FORM CF-1R:
 - NEW DUCTWORK ADDED IS LESS THAN 40 FEET IN LENGTH

FIRE DEPARTMENT NOTES

- THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 5/16"
- POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD.
- ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7.
- SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. SMOKE ALARMS SHALL BE INTERCONNECTED, RECEIVED THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP.
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING OR SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN SWELLING UNITS THAT HAVE AN ATTACHED GARAGE. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.

SPECIAL INSPECTION

- ALL WORK REQUIRING INSPECTIONS MUST BE DONE BY CERTIFIED INSPECTION AGENCY.
- HERS VERIFICATION REQUIRED FOR THE BUILDING ENVELOPE (QUALITY INSULATION INSTALLATION (QI)), HVAC COOLING, HVAC DISTRIBUTION, AND HVAC FAN SYSTEMS. PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION

DEFERRED SUBMITTALS

- DEFERRED APPROVALS ARE SUBJECT TO CITY'S APPROVAL
- FIRE SPRINKLER SYSTEM TO BE SUBMITTED AND APPROVED UNDER A SEPARATE PERMIT. THE STRUCTURE WILL COMPLY WITH CRC SEC. R313 FOR RESIDENTIAL FIRE SPRINKLERS. SUBMIT DESIGN CALCULATION AND PLAN TO COUNTY FIRE (408) 378-4010
 - PV SYSTEM IS A "REQUIRED SPECIAL FEATURE OF THE ENERGY CALCULATION. A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE ENERGY CALCULATIONS COMPLIANCE MODELING. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

APPLICABLE CODES

- 2022 California Building Code - CCR Title 24 Part 2
- 2022 California Residential Code - CCR Title 24 Part 2.5
- 2022 California Electrical Code - CCR Title 24 Part 3
- 2022 California Mechanical Code - CCR Title 24 Part 4
- 2022 California Plumbing Code - CCR Title 24 Part 5
- 2022 California Existing Building Code - CCR Title 24 Part 10
- 2022 California Green Building Standards Code

PLANNING INFO

PARCEL NUMBER	: 406-16-060
STREET	: 1361 PEGGY AVENUE
CITY	: CAMPBELL
STATE	: CALIFORNIA
ZONING	: R-1-10 (SAN THOMAS)
LOT AREA	: 8,216 S.F.
YEAR BUILT	: 1951

AREAS

LOT AREA:	8,216 S.F.	(N)		
GROSS AREAS (SF):		(N) GARAGE	(N) LIVABLE AREA	NON-LIVABLE ATTIC SPACE
		430 S.F.	2,441 S.F.	1,516 S.F.
				2,871 S.F.
MAX. FLOOR AREA RATIO: 45%				
(2,871 S.F. / 8,216 S.F. = 35%)				
MAX. LOT COVERAGE: 35%				
(2,871 S.F. / 8,216 S.F. = 34.94%)				
PROPOSED HEIGHT : 27'-4" (28' MAX)				

BUILDING INFO

CONSTRUCTION TYPE	EXISTING	ALLOWABLE	PROPOSED
OCCUPANCY	R-3	-	NO CHANGE
BUILDING HEIGHT	14'	28'	27' 4"
NO. OF STORIES/BASEMENTS	1	2-12	NO CHANGE (1)
FIRE SPRINKLERS	-	REQ. FOR (N) RESIDENTIAL	PROPOSED
SETBACKS			
FRONT	19' - 9 1/2"	25'	25'
RIGHT SIDE	13' - 8"		8'
LEFT SIDE	30' - 4"		10'
REAR	58' - 4"	25'	28' - 7 1/2"

1361 PEGGY AVE

CAMPBELL, CA 95008-1423 Single-Family, Single-Story Residential



DESIGN TEAM

OWNER	ARCHITECT	STRUCTURAL
SUNGHWA KANG 1361 PEGGY AVE. CAMPBELL, CA 95008 skjean@gmail.com	MONTGUE DESIGN INC. JUNG MOO LEE LICENSE NO. C-34487 1825 SOUTH GRANT ST, FLR. 9 SAN MATEO, CA 94402 TEL: 510-229-7841 jlee@montguedesign.com	SUJIN SUNG STRUCTURE ENGINEER SUJIN SUNG LICENSE NO. C-78186 6880 CUTTING BLVD. EL CERRITO, CA 94530 TEL: 510-295-3702 sujin.sung@sujinsungstructure.com
CONTRACTOR	TITLE 24 CONSULTANT	
TBD	SO CAL TITLE 24 KENNETH PONCE 8659 RED OAK ST., SUITE 1 RANCHO CUCAMONGA, CA 91730 TEL: 909-257-7547 Rob@SoCalTitle24.com	

SHEET INDEX

NO.	DESCRIPTION	DATE
	PLANNING PERMIT	APRIL 25, 2023
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● G002	SITE PLAN AND EXISTING PHOTOS	
● G003	PRELIMINARY BOUNDARY TOPOGRAPHIC SURVEY	
● G004	PRELIMINARY BOUNDARY TOPOGRAPHIC SURVEY	
● G005	TREE PROTECTION & ARBORIST REPORT	
● G006	ADJACENT SITE BUILDING ELEVATIONS	
● L001	LANDSCAPE PLAN	
● L002	IRRIGATION PLAN	
● CO-C5	GRADING & DRAINAGE PLANS	
● A101	PROPOSED FLOOR PLAN	
● A102	PROPOSED ATTIC PLAN	
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● A104	FLOOR AREA DIAGRAM	
● A201	PROPOSED REFLECTED CEILING/LIGHTING & MECHANICAL PLAN	
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● A203	PROPOSED PLUMBING PLAN	
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● A502	PROPOSED INTERIOR ELEVATIONS	
● A503	PROPOSED INTERIOR ELEVATIONS	
● A504	PROPOSED INTERIOR ELEVATIONS	
● A505	PROPOSED INTERIOR ELEVATIONS	
● A506	PROPOSED INTERIOR ELEVATIONS	
● A507	PROPOSED INTERIOR ELEVATIONS	
● A508	PROPOSED INTERIOR ELEVATIONS	
● A509	PROPOSED INTERIOR ELEVATIONS	
● A800	DETAILS	
● A801	DETAILS	
● A900	SCHEDULE OF DOORS	
● A901	SCHEDULE OF WINDOWS	

VICINITY PLAN



LOCATION PLAN



ARCHITECT:
MONTGUE DESIGN INC.
JUNG MOO LEE

1825 SOUTH GRANT STREET
FLOOR 9 SAN MATEO, CA 94402
510-229-7841
jlee@montguedesign.com

PROPOSED SINGLE FAMILY,
SINGLE STORY RESIDENCE

1361 Peggy Ave, Campbell, CA 95008

SUNGHWA KANG
1361 PEGGY AVE, CAMPBELL, CA 95008
skjean@gmail.com

REVISIONS	DATE:

These drawings and specifications and the concepts embodied therein are the original unpublished work of MONTGUE DESIGN and may not be disclosed or duplicated without written consent of MONTGUE DESIGN. The project for which they were created is executed or not, unless otherwise agreed by contract.

CITY STAMPS

SHEET TITLE:
PROJECT INFORMATION

PROJECT NO: 20231361
DRAWN BY: MAB
DATE: 02-02-2023
SCALE: AS NOTED
DRAWING NO: **G001**



A. VIEW FROM PEGGY AVE. SHOWING THE FRONT OF HOUSE (FRONT)



B. VIEW FROM DRIVEWAY. SHOWING THE LEFT SIDE OF HOUSE



C. VIEW FROM REAR PATIO.



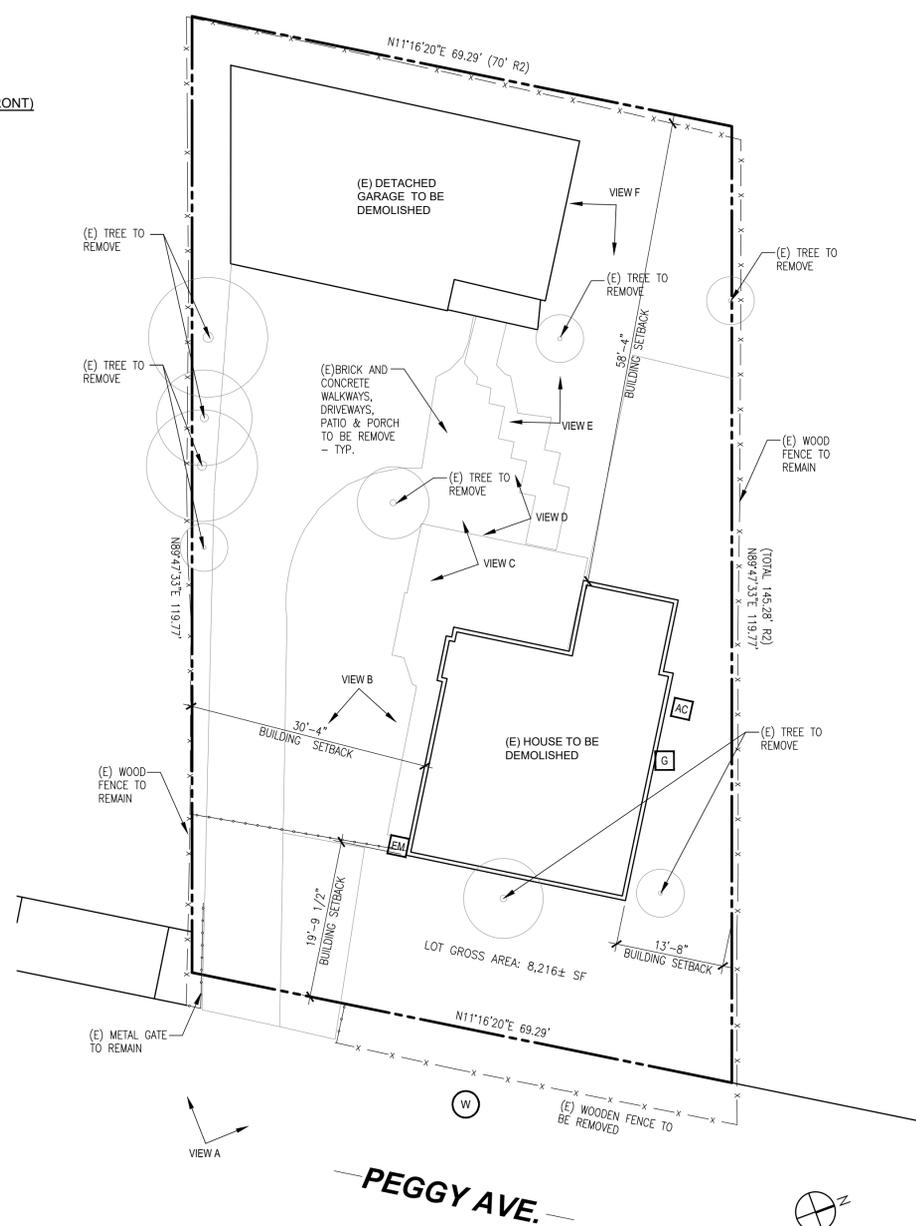
D. VIEW FROM REAR PATIO SHOWING DETACHED GARAGE.



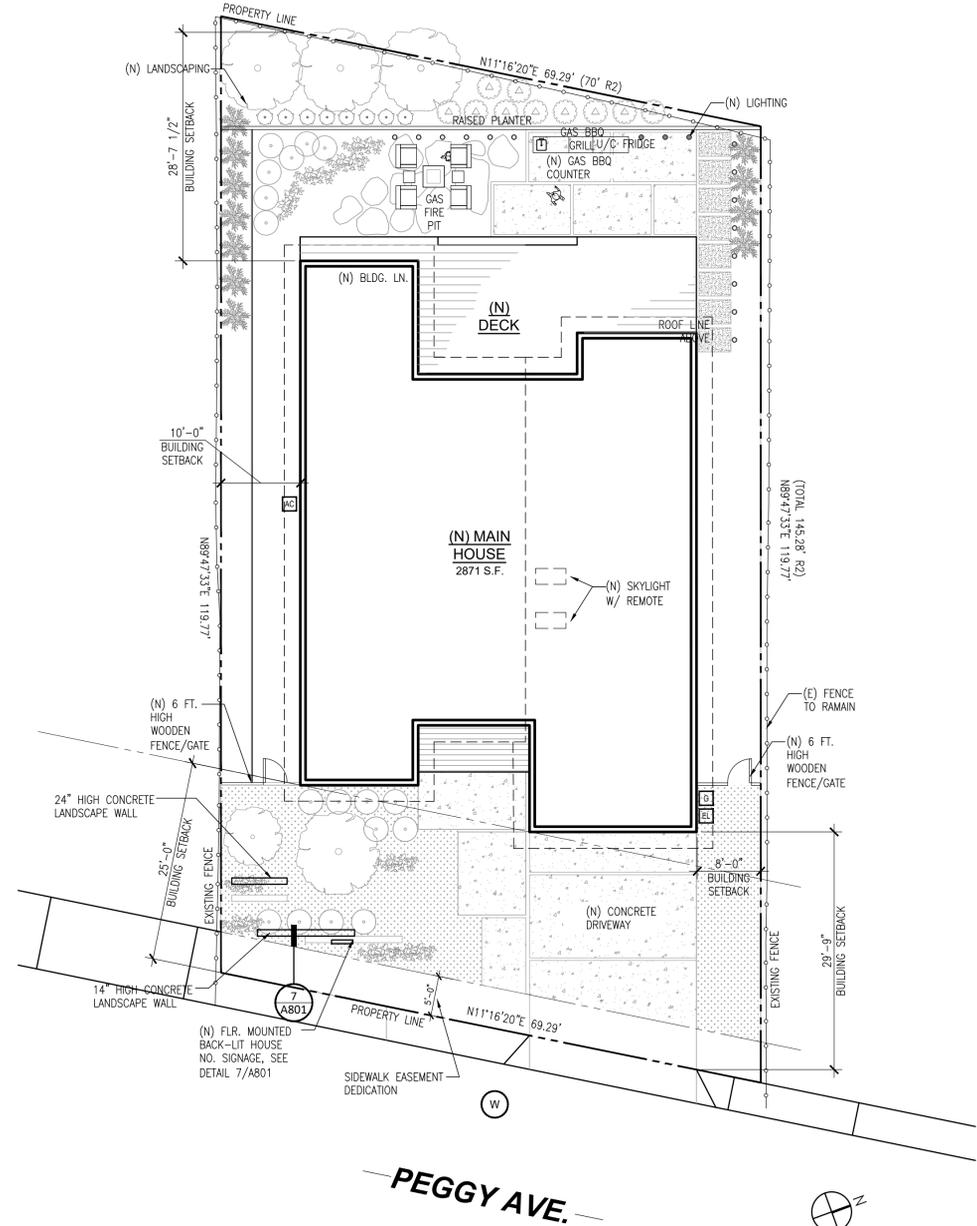
E. VIEW FROM REAR PATIO SHOWING DETACHED GARAGE.



F. VIEW FROM BACK YARD SHOWING REAR OF HOUSE.



1 EXISTING/DEMO SITE PLAN
SCALE: 3/32" = 1'-0"



2 PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"

LEGEND SITE

- G GAS METER
- EL ELECTRIC PANEL
- AC OUTDOOR AIR CONDITION UNIT
- S MAIN SEWER CLEANOUT
- W WATER METER
- WH WATER HEATER



ARCHITECT:
MONTQUE DESIGN INC.
JUNG MOO LEE
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FLOOR 9 SAN MATEO, CA 94402
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jlee@montquedesign.com

**PROPOSED SINGLE FAMILY,
SINGLE STORY RESIDENCE**

1361 Peggy Ave, Campbell, CA 95008
SUNGHWA KANG
1361 PEGGY AVE, CAMPBELL, CA 95008
sang@montquedesign.com

REVISIONS	DATE:

CITY STAMPS

SHEET TITLE:
**EXISTING SITE PLAN &
PROPOSED SITE PLAN**

PROJECT NO: 20231361
DRAWN BY: MAB
DATE: 02-02-2023
SCALE: 1/4" = 1'-0"
DRAWING NO: **G002**

GENERAL NOTES:
EXISTING DEMOLITION SITE PLAN

1. VERIFY LOCATION OF ALL UTILITIES AT JOB SITE
2. SLOPE ALL FINISH GRADES A MIN. OF 5% FOR 5-0 AWAY FROM STRUCTURE FOR DRAINAGE
3. ALL DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOFS THAT WILL COLLECT AND DISCHARGE ROOF DRAINAGE TO THE GROUND SURFACE AT LEAST 5 FEET FROM FOUNDATION WALLS OR TIE INTO AN APPROVED DRAINAGE SYSTEM
4. THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10-0 (CBC 1804.3).
5. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 PLUS 2 (CRC 1808.74)
6. EAVE PROJECTIONS SHALL HAVE 1 HOUR FIRE RESISTANCE RATING ON ALL EAVE PROJECTIONS THAT ARE LESS THAN 3-0 FROM THE PROPERTY LINE. THIS IS NOT REQUIRED FOR EAVE PROJECTIONS GREATER THAN 3-0 AS PRESCRIBED UNDER CRC SECTION R302 & TABLES R302.1(2)

WASTE MANAGEMENT PLAN

CONSTRUCTION WASH-OUT WATER FROM CONCRETE MORTAR, TILE, TAPING, AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL OR IN A LINED EVAPORATIVE PIT. WASH-OUT SHALL NOT ENTER THE STORM WATER SYSTEM

TRASH PILES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PILES SHALL NOT CONTAIN: PAINTS, SOLVENTS, GLUES, TAPING COMPOUND, FOOD PRODUCTS, OR EASILY RECYCLE-ABLE DISCARDS SUCH AS BOTTLES, CANS, PLASTICS OR PAPER REMAINING TRASH SHALL BE LIMITED TO CONCRETE WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE COVERED WITH A WATERPROOF TARP TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING. ALL TRASH IS TO BE QUICKLY HAULED OFF SITE RETAIN THE RECEIPT AND KEEP WITH THE PERMIT DOCUMENTS. PROOF OF RECYCLE AND DISPOSAL OF THE JOB SITE TRASH WILL BE CHECKED PERIODICALLY AND PRIOR TO FINAL INSPECTION

OR

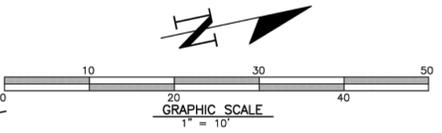
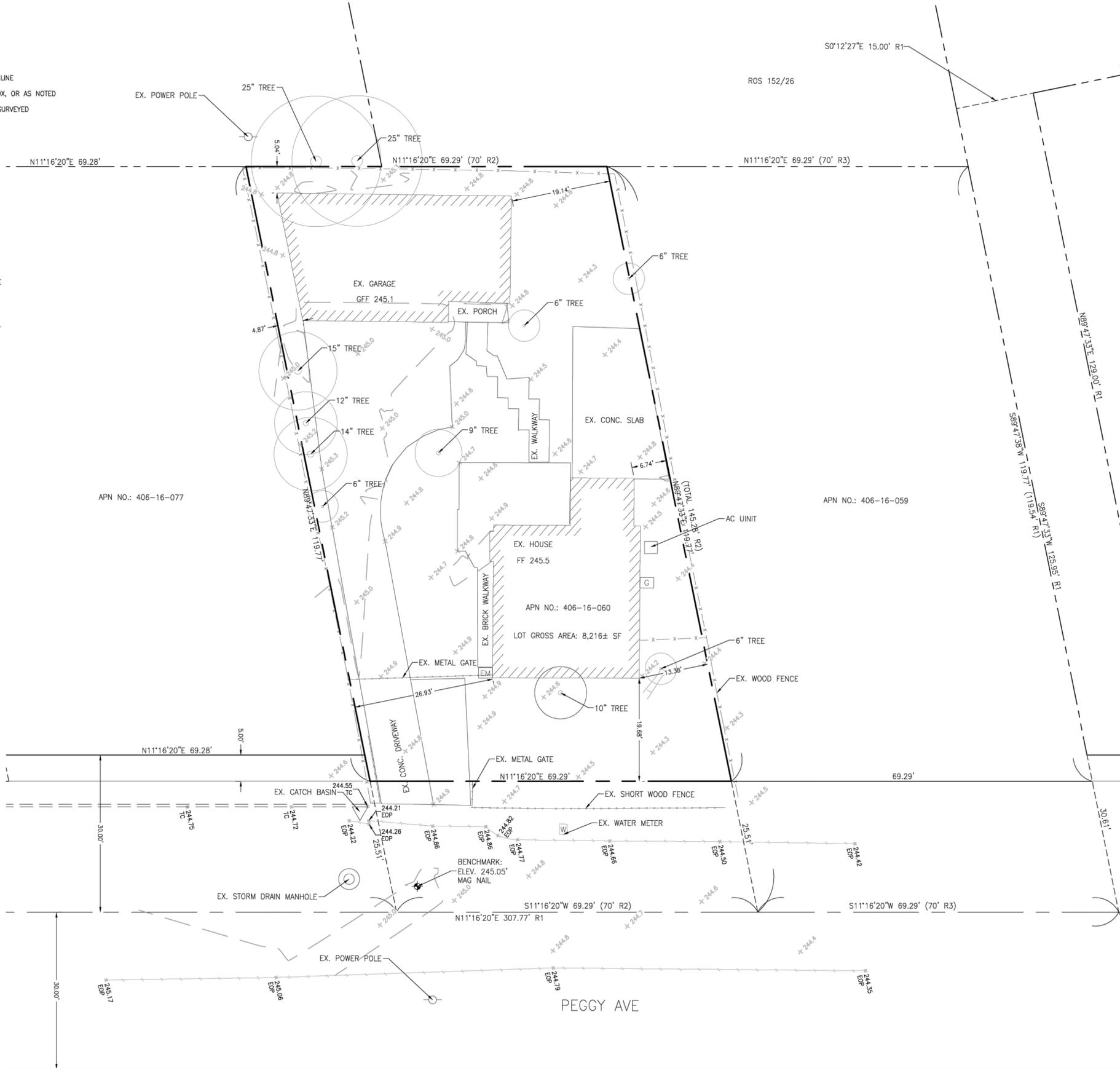
WEST VALLEY COLLECTION AND RECYCLING (408) 283-9250 WILL DELIVER A ROLL-OFF DEBRIS BOX AND SORT THE TRASH OFF SITE

GENERAL NOTES:
SITE PLAN

1. VERIFY LOCATION OF ALL UTILITIES AT JOB SITE
2. FINISHED GROUND SURFACES SHALL BE GRADED 5% SLOPE AWAY BUILDING - HARD SURFACES SHALL BE SLOPED 1% AWAY FROM BUILDING.
3. ALL DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOFS THAT WILL COLLECT AND DISCHARGE ROOF DRAINAGE TO THE GROUND SURFACE AT LEAST 5 FEET FROM FOUNDATION WALLS OR TIE INTO AN APPROVED DRAINAGE SYSTEM
4. THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10-0 (CBC 1804.3).
5. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 PLUS 2 (CRC 1808.74)
6. EAVE PROJECTIONS SHALL HAVE 1 HOUR FIRE RESISTANCE RATING ON ALL EAVE PROJECTIONS THAT ARE LESS THAN 3-0 FROM THE PROPERTY LINE. THIS IS NOT REQUIRED FOR EAVE PROJECTIONS GREATER THAN 3-0 AS PRESCRIBED UNDER CRC SECTION R302 & TABLES R302.1(2)
7. THIS PROJECT WILL REQUIRE THAT A SURVEYOR APPROVE THE FOUNDATION FORMS IN TERMS OF SETBACK ACCURACY AND FLOOR LEVEL HEIGHTS PRIOR TO PLACING CONCRETE. LANGUAGE FOR THE LETTER MUST BE AS WRITTEN AS PER CAMPBELL'S SURVEYOR HANDOUT AVAILABLE THROUGH THE BUILDING DEPARTMENT.

LEGEND

- 200--- EXISTING CONTOUR LINE
- 200--- NATURAL GRADE CONTOUR LINE
- FOUND CITY MONUMENT BOX, OR AS NOTED
- BOUNDARY OF PROPERTY SURVEYED
- () RECORD INFORMATION
- CENTERLINE
- △ CURB INLET
- CURB LINE
- DRIVEWAY APRON
- ELECTROLIER
- x-x-x- FENCE
- ⊕ FIRE HYDRANT
- FLAT GRATE INLET
- O.H. PWR OVERHEAD POWER LINE
- O.H. TEL OVERHEAD TELEPHONE LINE
- SS SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- ⊥ SIGN
- SD STORM DRAIN LINE
- ⊙ STORM DRAIN MANHOLE
- UTILITY BOX
- UTILITY POLE
- W WATER LINE
- WATER METER
- ⊥ WATER VALVE
- ELECTRIC METER
- WATER HEATER
- GAS



BASIS OF BEARINGS
 THE BEARING SOUTH 78°43'40" EAST OF THE CENTER LINE OF PEGGY COURT AS SHOWN ON THAT MAP OF PARCEL MAP FILED FOR RECORD IN BOOK 521 OF MAPS PAGES 33 THROUGH 34, SANTA CLARA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

REFERENCES:
 R1 PARCEL MAP 521-M-33&34
 R2 GRANT DEED DOC#25310100
 R3 GRANT DEED DIC#25138863

BENCH MARK
 DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE SOUTH-EASTERLY CORNER OF LOT AS SHOWN:
 PROJECT BENCHMARK 245.05' (NAVD88 DATUM)

- ABBREVIATIONS**
- APN ASSESSOR'S PARCEL NUMBER
 - BM BENCH MARK
 - CATV CABLE TELEVISION OVERHEAD
 - D CURVE DELTA
 - DRWY DRIVEWAY
 - DS DOWNSPOUT
 - FF FINISH FLOOR
 - FL FLOW LINE ELEVATION
 - GFF GARAGE FINISH FLOOR
 - IP IRON PIPE
 - L CURVE LENGTH
 - R# REFERENCE DOCUMENT
 - M-M MONUMENT TO MONUMENT
 - O.H. PWR OVERHEAD POWER LINE
 - O.H. TEL OVERHEAD TELEPHONE LINE
 - PCL PARCEL
 - P.M. PARCEL MAP
 - PTN PORTION
 - R RADIUS
 - SD STORM DRAIN
 - SS SANITARY SEWER
 - TC TOP OF CURB ELEVATION
 - TEMP. TEMPORARY
 - PUE PUBLIC UTILITY EASEMENT
 - WLE WATER LINE EASEMENT

- NOTES:**
1. DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
 2. THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
 3. TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
 4. TOPOGRAPHY SHOWN ON THIS MAP REPRESENTS THE SURFACE FEATURES ONLY.
 5. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
 6. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
 7. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 8. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY OSUNA ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

NO.	DATE	CITY	BY

Porfirio Oscar Osuna
 PORFIRIO OSCAR OSUNA
 PLS 8921 EXP. 9-30-22

OSUNA ENGINEERING INC.
 Planning | Surveying | Civil Engineering

CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
 TEL. (408) 772-4381
 info@osunaeengineering.com
 6920 SANTA TERESA BLVD. 206
 SAN JOSE, CA 95119

PRELIMINARY BOUNDARY & TOPOGRAPHIC SURVEY
 1361 PEGGY AVE
 APN: 406-16-060
 CALIFORNIA
 Project No.: 2562 Drawn By: SO-TM Checked: JO Date: 6-27-22

SHEET
G004
 OF 2 SHEETS

Tree Management Experts
Consulting Arborists
 3109 Sacramento Street
 San Francisco, CA 94115
 Member, American Society of Consulting Arborists
 Certified Arborists, Tree Risk Assessment Qualified
 tel: 415.698.3615 email: info@treemanagementexperts.com

Arborist Report

• Provide a site visit to inspect and inventory trees on site and evaluate site conditions.
 • Evaluate tree structure and health.
 • Develop an arborist report to evaluate potential construction impacts to trees and make design recommendations.
 • Provide recommendations for tree care and maintenance.

Background

We were contacted to inspect the trees on site at 1361 Peggy Avenue. There is currently a single-family residence on site. The owners plan to replace the house on site with a new residence. I visited the site on June 10, 2022.

Observations

The property consists of a house with a front and back yard on a level lot with an ADU at the rear of the property. The property backs onto a long driveway that serves 1161 Stainway Ave. The trees on site are a mix of small Japanese maples (*Acer palmatum*) and larger species.

I located and labeled each tree on the provided site survey. I also included trees on neighboring properties that were in range of being possibly affected by construction work. Basic identifying information and notes on the condition of each inventoried tree were recorded and are included in the attached data table.

Photographs of each tree inventoried are attached to this report.

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Discussion

Campbell only explicitly regulates trees on developed R-1 zoned properties which are oaks, redwoods, cedars, and ash. Trees over 12 inches in diameter at 48 inches above grade of these species are Protected Trees. None of the trees on site or adjacent to 1 on neighboring properties are any of these species. Trees that are designated for retention as a condition of approval on a development plan are treated as Protected trees as well. Protected trees require a permit to remove.

The Japanese maples are placed near existing structures, which means that they will likely be within the footprint of planned new construction. However, they could likely be removed and stored for transplanting in the finished landscape. They are not regulated, so they can simply be removed, but if they fit with the new design aesthetic, they would be useful additions.

The London Plane (*Platanus x acerifolia*) tree has been compromised by the installation of the rock climbing holds in its trunk. It is likely that decay fungi will enter through these wounds and compromise the tree. It is a poor candidate for retention.

The Lombardy poplars (*Populus nigra*) likewise are compromised by the various hardware that has been installed in them. Lombardy poplars are quick growing, short-lived trees and although these are relatively young, they are reaching a point where they will begin to develop hazardous conditions due to weak attachments and decay issues. It is better to remove these trees now and replace them with better species after construction.

The trees on the neighboring properties are in poor to fair condition, except for the American Sweetgum at 1371 Peggy Ave. which is in good condition. Although the owners cannot neighbors to remove trees, I would recommend that they ask if the ecologists at the neighboring property to the rear be removed. These trees have been mutilated by topping and will be a continual management issue as they regrow. If requests are not properly managed, they can be a hazard to improvements in striking range.

Recommendations

For trees that are planned for retention during the planned construction, Campbell requires that tree protection be implemented for trees to be retained. On this site, that means that Tree Protection Fencing, mulch, trunk protectors and root buffers will be necessary in rear of the site. Some hand excavation within sensitive areas should be expected, under either the supervision of the Project Arborist or the City Arborist.

The majority of tree roots occur within the top 2-3 feet of soils, within a radius about 10 times the diameter of tree, what is commonly called the Tree Protection Zone (TPZ). Tree roots require both air and water to survive. The most damaging activities to tree health are compaction, excavation, and grading. To mitigate this a variety of strategies are implemented. Root Buffers and Tree Protection Fencing are used to prevent compaction.

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Assumptions and Limiting Conditions

1. Any legal description provided to the consultant is assumed to be correct. Title and ownership of all property considered are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

2. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes or other governmental regulations.

3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible. The consultant can neither guarantee nor be responsible for the accuracy of information provided by others.

4. Various diagrams, sketches and photographs in this report are intended as visual aids and are not to scale, unless specifically stated as such in the drawing. These communication tools do not constitute a warranty for nor should be construed as survey, architectural or engineering drawings.

5. Loss or alteration of any part of this report invalidates the entire report.

6. Possession of the report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior written or verbal consent of the consultant.

7. This report is confidential and to be distributed only to the individual or entity to whom it is addressed. Any or all of the contents of this report may be conveyed to another party only with the express prior written or verbal consent of the consultant. Such limitations apply to the original report, a copy, facsimile, scanned image or digital version thereof.

8. This report represents the opinion of the consultant. In no way is the consultant's fee contingent upon a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

9. The consultant shall not be required to give testimony or to attend court by reason of this report unless a separate contractual arrangement is made, including payment of an additional fee for such services as described in the schedule. An agreement or a contract.

10. Information contained in this report reflects observations made only to those items described and only reflects the condition of those items at the time of the site visit. Furthermore, the inspection is limited to visual examination of items and elements at the site, unless expressly stated otherwise. There is no expressed or implied warranty or guarantee that problems or deficiencies of the plants or property inspected may not arise in the future.

Disclosure Statement

Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

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Certification of Performance

I, Aaron Wang, Certify:

- That I have inspected the trees and/or property evaluated in this report. We have stated findings accurately, insofar as the limitations of the Assignment and within the extent and context identified by this report.
- That I have no current or prospective interest in the vegetation or any real estate that is the subject of this report, and have no personal interest or bias with respect to the parties involved;
- That the analysis, opinions and conclusions stated herein are original and are based on current scientific procedures and facts and according to commonly accepted arboricultural practices;
- That no significant professional assistance was provided, except as indicated by the inclusion of another professional report within this report.

I have rendered professional services in a full-time capacity in the field of horticulture and arboriculture for more than 8 years.

I am a member and Certified Arborist with the International Society of Arboriculture.

I have attained professional training in all areas of knowledge associated through this report by completion of a Bachelor of Science degree in Forestry and Natural Resources, by routinely attending pertinent professional conferences and by reading current research from professional journals, books and other media.

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1361 Peggy Avenue
Tree Data

Tree #	Botanic Name	Common Name	Japanese Name	Diameter at Breast Height (DBH)	Condition	Good	Fair	Poor	Notes
1	<i>Acer palmatum</i>			8.6	Fair	No	Poor	3.6	7.2
2	<i>Platanus x acerifolia</i>	London plane		4.1	Fair	No	Poor	1.7	3.4
3	<i>Acer palmatum</i>	Japanese maple		18.1	Fair	No	Poor	7.0	15.1
4	<i>Populus nigra</i>	Lombardy poplar		14.1	Fair	No	Poor	5.9	11.8
5	<i>Populus nigra</i>	Lombardy poplar		14.3	Fair	No	Poor	6.0	11.9
6	<i>Populus nigra</i>	Lombardy poplar		14.2	Fair	No	Poor	5.9	11.8
7	<i>Acer palmatum</i>	Japanese maple		3.0	Good	No	Fair	2.1	4.2
8	<i>Acer palmatum</i>	Japanese maple		3.7	Fair	No	Fair	1.5	3.1
9	<i>Liquidambar styraciflua</i>	American sweetgum		12.0	Good	No	N/A	5.0	10.0
10	<i>Eucalyptus polyanthus</i>	silver-dollar gum		32.0	Poor	No	N/A	13.3	26.7
11	<i>Eucalyptus polyanthus</i>	silver-dollar gum		28.0	Poor	No	N/A	11.7	23.3
12	<i>Banksia laevis</i>	Acacia		7.0	Poor	No	N/A	2.9	5.8
13	<i>Banksia laevis</i>	Acacia		16.0	Poor	No	N/A	6.7	13.3
14	<i>Ligustrum lucidum</i>	glossy privet		14.0	Fair	No	N/A	5.8	11.7

Notes:
 1 rock climbing holds in trunk of tree.
 2 one-sided, suppressed by Lombardy poplars.
 3 old anchoring hardware in stem.
 4 old anchoring hardware in stem.
 5 old anchoring hardware in stem.
 6 old anchoring hardware in stem.
 7 one-sided.
 8 one-sided.
 9 on neighboring property, 2 stems, topped @ 15' above grade, recommend removal.
 10 on neighboring property, topped @ 15' above grade, recommend removal.
 11 on neighboring property, topped @ 10' above grade, recommend removal.
 12 on neighboring property, topped @ 15' above grade, recommend removal.
 13 on neighboring property, topped @ 15' above grade, recommend removal.
 14 on neighboring property, one-sided.

Tree Management Experts
June 2022

Page 1 of 1



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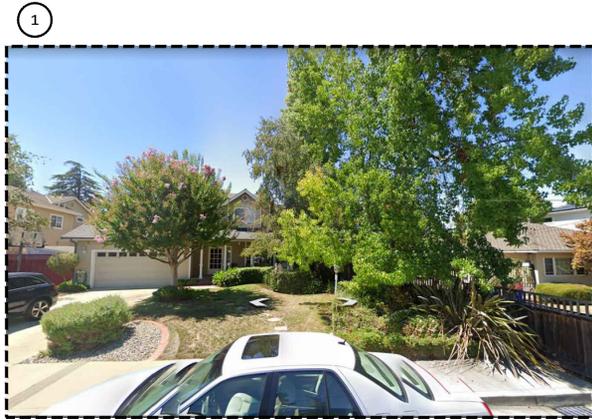
REVISIONS	DATE:

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CITY STAMPS

SHEET TITLE:
**TREE PROTECTION &
 ARBORIST REPORT**

PROJECT NO: 20231361
 DRAWN BY: MAB
 DATE: 02-02-2023
 SCALE: NTS
 DRAWING NO: **G005**



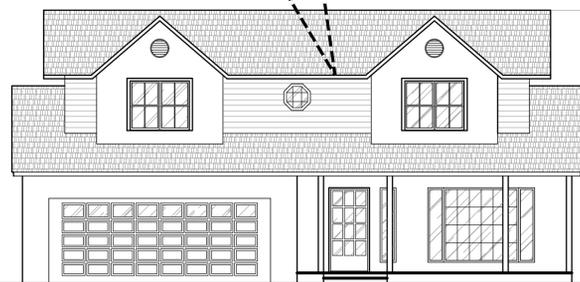
1371 PEGGY AVENUE FRONT VIEW



1361 Peggy Ave
SUBJECT
BUILDING



1351 PEGGY AVENUE FRONT VIEW



1371 PEGGY AVENUE

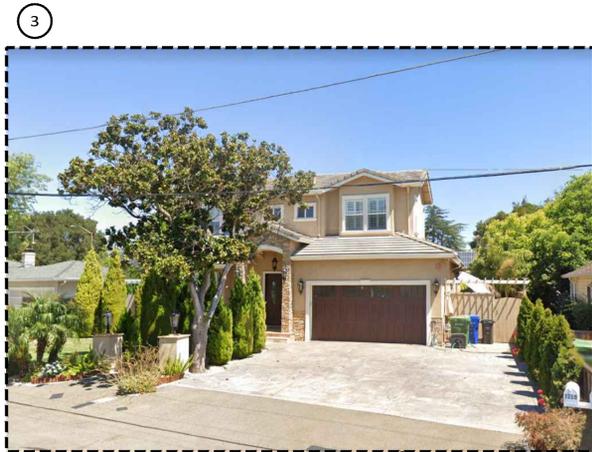


1361 PEGGY AVENUE

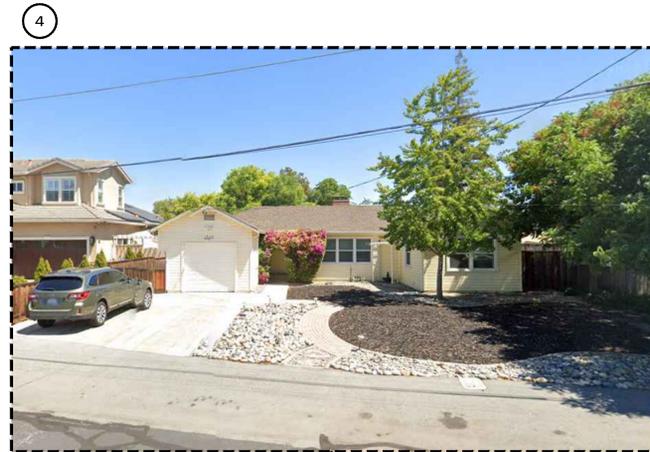


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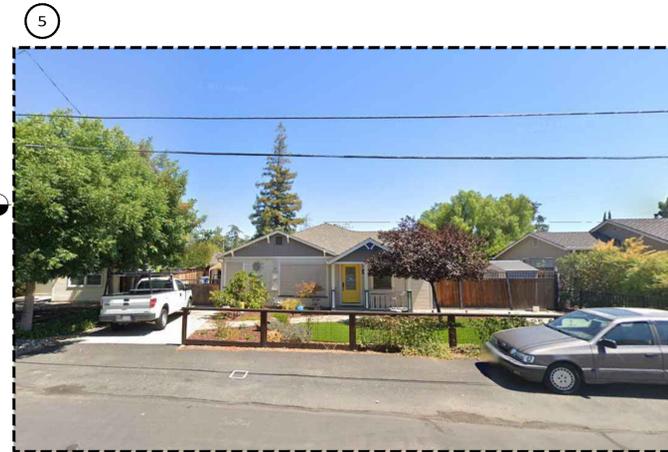
1 ADJACENT BUILDING ELEVATIONS (SIDE)
SCALE: NTS



1350 PEGGY AVENUE FRONT VIEW



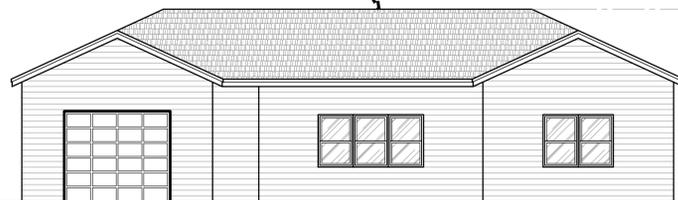
1360 PEGGY AVENUE FRONT VIEW



1370 PEGGY AVENUE FRONT VIEW



1350 PEGGY AVENUE



1360 PEGGY AVENUE



1370 PEGGY AVENUE



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PROPOSED SINGLE FAMILY,
SINGLE STORY RESIDENCE

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skang@gmail.com

REVISIONS	DATE:

CITY STAMPS

SHEET TITLE:
ADJACENT SITE
BUILDING
ELEVATIONS

PROJECT NO: 20231361
DRAWN BY: MAB
DATE: 02-02-2023
SCALE: NTS
DRAWING NO: **G006**

PLANT SCHEDULE

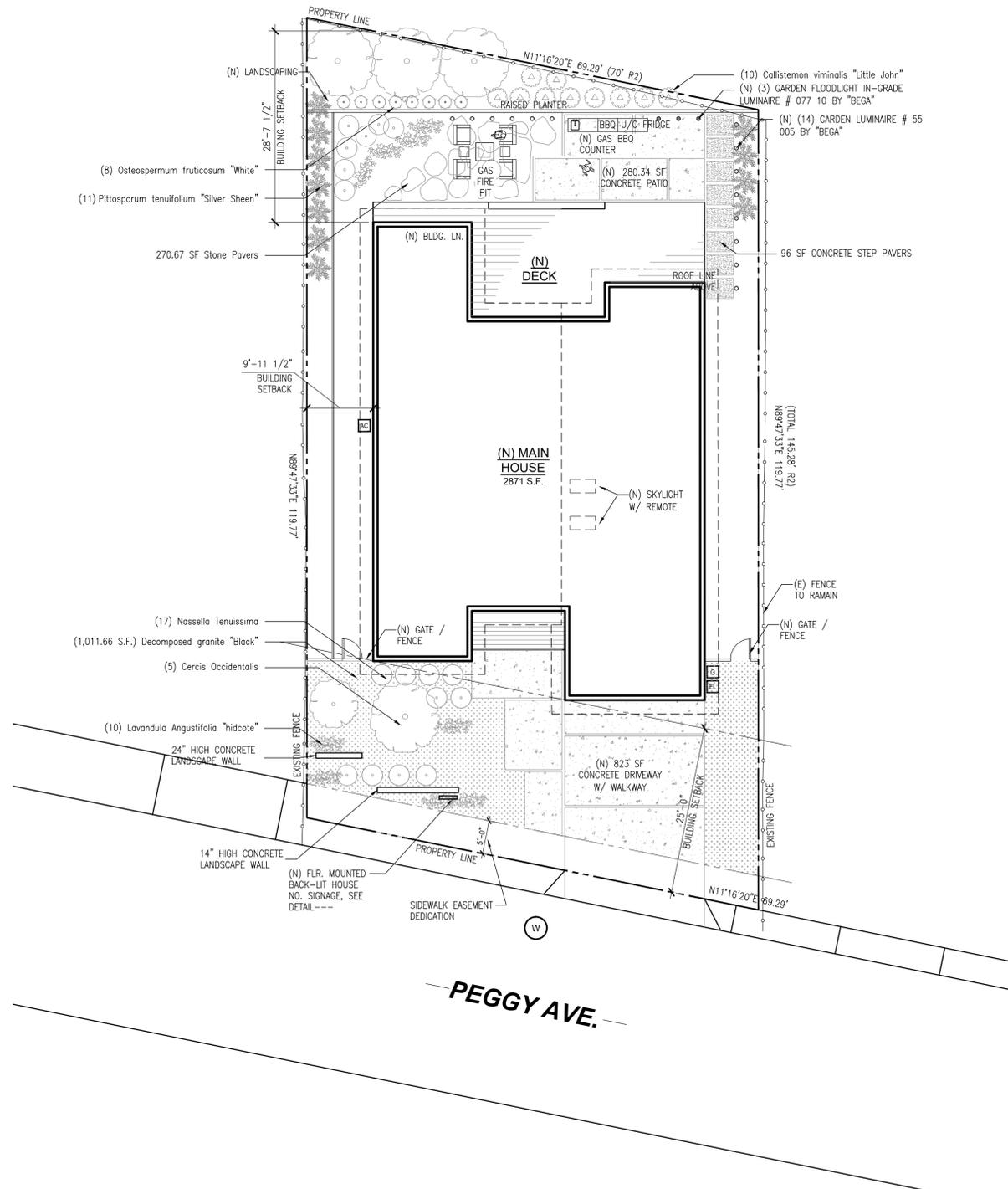
TREE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	Cercis Occidentalis	Western Redbud	Multi 24" box H 4-5' W 3-4'	5
UNDERSTORY	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	Pittosporum tenuifolium	Silver Sheen	H 12-16' W 6-8'	11
	Nassella tenuissima	Mexican feather grass	1 gal 24" O.C.	17
	Lavandula Angustifolia "hidcote"	English Lavender	1 gal 24" O.C.	10
	Osteospermum fruticosum "White"	African Daisy	1 gal	8
	Callistemon viminalis "Little John"	Dwarf Bottle brush	5 gal	10

FRONTYARD LANDSCAPE WITH-IN 25' SETBACK

TOTAL SURFACE AREA = 1,697 S.F. NOTE: THIS CALCULATION DOES NOT INCLUDE THE FRONT SIDEWALK EASEMENT = 346 S.F.

PERVIOUS AREA = TOTAL 874 S.F. (52%)

IMPERVIOUS AREA = TOTAL 823 S.F. (48%)
CONCRETE DRIVEWAY W/ PATHWALK = 808 S.F.
CONCRETE LANDSCAPE WALL = 15 S.F.



1 PROPOSED LANDSCAPE PLAN
SCALE: 3/32" = 1'-0"

Plant Material shall comply with the following:

For residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water.

Mulch & Soil Preparation

- 1 Incorporate compost at a rate of at least four cubic yards per 1,000 square feet to a depth of 6" into landscape area (unless contra-indicated by a soil test.).
- 2 A minimum of 3" layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting ground covers, direct seeding applications where mulch is contra-indicated.
- 3 no turf present on this installation.
- 2 Prior to planting, compacted materials shall be transformed to a friable condition.
- 3 For soils less than 6% organic matter in the top 6" of soil, add organic compost to planting areas equal to a rate of minimum 4 cubic yards per 1,000sf of permeable area to a minimum depth of 6" into the soil.
4. A soils report is required.

Tree Protection

The following general tree preservation measures apply to all trees to be retained: No storage of material, top soil, vehicles, or equipment shall be permitted within the tree enclosure area. The ground under and around the tree canopy area shall not be altered. Trees to retained shall be irrigated, aerated and maintained a necessary to ensure survival.

Landscape & Irrigation Maintenance

1. Maintenance may include but not limited to the following: routine inspection, auditing, pressure testing, adjustment, and repair of the irrigation system; top dressing with compost, replenishing mulch, fertilizing, pruning, replanting of failed plants, weeding, pest control.
2. Failed plants shall be replaced with the same functionally equivalent plants that may be size-adjusted as appropriate for adjustments to water, nutrients, pest control or other factors recommended by landscape professional.

IRRIGATION

- 1 Irrigation Controller with rain sensing shut off device either integral or auxiliary required. Controller to be outside of building. Exact location of the controller and weather sensor to be determined by the contractor.
2. Valve Boxes: Exact location of valves to be determined by the contractor based on site conditions and underground utilities. Valves shall have Pressure reducer and filter appropriate for Drip. A manual shut off Valve shall be installed with valve nest.
3. Irrigation for each hydro-zone shall have a separate valve as indicated. Root Well Bubblers recommended for each new tree.
4. Manual Shut Off valves (such as gate valve, ball valve or butterfly valve) shall be installed as close as possible to the point of connection of the water supply.
5. All irrigation emission devices must meet the requirements set in the ANSI standard, ASABE/ICC 802-2014. "Landscape Irrigation Sprinkler and Emitter standard."
6. No sprinklers will be installed at this site.
7. For areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff. Only drip irrigation will be installed on this site.
8. Irrigation shall be designed, maintained and managed to meet or exceed an average landscape efficiency of 70%.
9. Irrigation run times shall be scheduled between 8pm and 10am. Operation outside time window is allowed for auditing and system maintenance.
10. A diagram or list of the hydro-zones shall be kept with the irrigation controller for subsequent management purposes.
11. At the time of final inspection, the permit applicant must provide the owner of the property with certificate of completion, irrigation schedule and a schedule of landscape and irrigation maintenance.
12. An irrigation audit report shall be completed at the time of final inspection.

Static Water Pressure = 70psi

Provider: City of Campbell

Meter size 3/4"

I AGREE TO COMPLY WITH REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE APPENDIX D PRESCRIPTIVE REQUIREMENTS AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN"

I AGREE TO COMPLY WITH THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MWELD.

(name), HOMEOWNER

Landscape Documentation Package Prescriptive Compliance Option

A New Construction Project with an aggregate landscape area of 2,500 square feet or less, but not smaller than 500 square feet.

Project Information
Address: 1361 PEGGY AVE, CAMPBELL, CA 95008 APN: 408-16-080

Project Applicant Information
Applicant Name: JUNG MOO LEE Title: ARCHITECT
Company: MONTGUE DESIGN INC. Phone Number: TEL: 510-229-7841
Email Address: jlee@montguedesign.com Street Address: 1825 SOUTH GRANT ST, FLR. 9
City/State/Zip: SAN MATEO, CA 94402

Project Owner Information
Applicant Name: SUNGHWA KANG Title: PROJECT OWNER
Company: Phone Number:
Email Address: skjeen@gmail.com Street Address: 1361 PEGGY AVE.
City/State/Zip: CAMPBELL, CA 95008

Project Type
New Construction: YES Rehabilitation/Renovation/Remodel:
Cemetery: YES Residential: YES Non-Residential:

Landscape Area
Total Landscape Area (sq. ft.): 5,345 Turf Area (sq. ft.): N/A

Water Type
Potable: YES Recycled: Private Well:

Water Purveyor
San Jose Water: YES Private Well: Other:

Prescriptive Compliance Checklist

Landscape Parameter	Design Measures	Location on Plans
Compost	Incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area.	ALL NEW PLANTING AREAS
Plant Material	Residential: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water. Non-residential: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water.	ALL NEW PLANTING AREAS
Mulch	A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers. Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects.	ALL NEW PLANTING AREAS
Turf	Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.	N/A
Irrigation System	Automatic irrigation controllers are required and must use evapotranspiration or soil moisture sensor data and utilize a rain sensor. Irrigation controllers shall be of a type which does not use programming data in the event the primary power source is interrupted. Pressure regulators shall be installed on the irrigation system to ensure the dynamic pressure of the system is within the manufacturers recommended pressure range. Manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) shall be installed as close as possible to the point of connection of the water supply. All irrigation emission devices must meet the requirements set in the ANSI standard, ASABE/ICC 802-2014. "Landscape Irrigation Sprinkler and Emitter Standard." All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher using the protocol defined in ASABE/ICC 802-2014. Areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray.	N/A N/A N/A N/A N/A

JUNG MOO LEE agree to comply with the above requirements of the prescriptive compliance option to the MWELD.

Executed on (date): APRIL 11, 2023
Name (Print): JUNG MOO LEE
Signature:



ARCHITECT:
MONTGUE DESIGN INC.
JUNG MOO LEE
1825 SOUTH GRANT STREET
FLOOR 9 SAN MATEO, CA 94402
510-229-7841
jlee@montguedesign.com



PROPOSED SINGLE FAMILY,
SINGLE STORY RESIDENCE

1361 Peggy Ave, Campbell, CA 95008

SUNGHWA KANG
1361 PEGGY AVE, CAMPBELL, CA 95008
skjeen@gmail.com

REVISIONS	DATE:

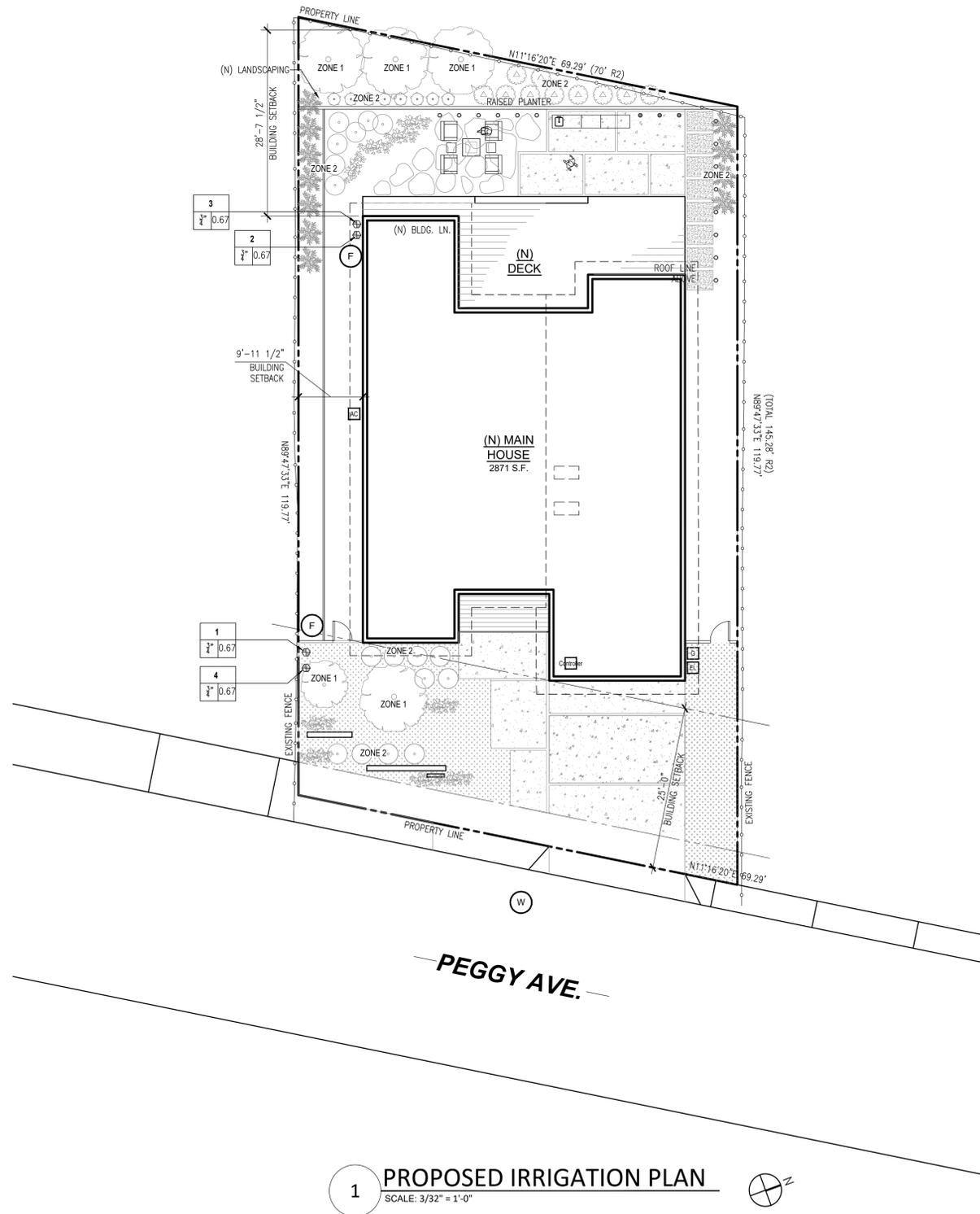
CITY STAMPS

SHEET TITLE:
LANDSCAPE PLAN

PROJECT NO: 20231361
DRAWN BY: MAB
DATE: 02-02-2023
SCALE: NTS
DRAWING NO: **L001**

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Hunter PGV-ASV-5 (Drip Assembly) 3/4" AND 1" PLASTIC ELECTRIC REMOTE CONTROL VALVE, WITH REMOVABLE ANTI-SIPHON CAP AND FLOW CONTROL. FOR RESIDENTIAL USE. INLET/OUTLET: SLIP x SLIP	4	40
	Hunter PHC-1200 (12 STATIONS) WI-FI ENABLED, FULL-FUNCTIONING CONTROLLER WITH TOUCHSCREEN, 12-STATION FIXED CONTROLLER, 120 VAC, OUTDOOR MODEL.	1	
	Valve Number		
	Valve flow		
	Valve size		
	Hunter HFS-100 (Flow Sensor) Flow Sensor for use with ACC controller, 1" Schedule 40 Sensor Body, 24 VAC, 2 amp	2	



IRRIGATION

1. Irrigation Controller with rain sensing shut off device either integral or auxiliary required. Controller to be outside of building. Exact location of the controller and weather sensor to be determined by the contractor.
2. Valve Boxes: Exact location of valves to be determined by the contractor based on site conditions and underground utilities. Valves shall have Pressure Reducer and Filter appropriate for Drip. A manual Shut Off Valve shall be installed with Valve Nest.
3. Irrigation for each hydro-zone shall have a separate valve as indicated. Root Well Bubblers recommended for each new tree.
4. Manual Shut Off valves (such as a gate valve, ball valve, or butterfly valve) shall be installed as close as possible to the point of connection of the water supply.
5. All irrigation emission devices must meet the requirements set in the ANSI standard, ASBAGE/ICC 802-2014. "Landscape Irrigation Sprinkler and Emitter Standard."
6. No sprinklers will be installed at this site.
7. For areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff. Only drip irrigation will be installed on this site.
8. Irrigation shall be designed, maintained and managed to meet or exceed an average landscape efficiency of 70%.
9. Irrigation run times shall be scheduled between 8pm and 10am. Operation outside time window is allowed for auditing and system maintenance.
10. A diagram or list of the hydro-zones shall be kept with the irrigation controller for subsequent management purposes.
11. At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, irrigation schedule and a schedule of landscape and irrigation maintenance.
12. An irrigation audit report shall be completed at the time of final inspection.

Static Water Pressure = 70psi
 Provider: City of Campbell
 Meter size 3/4"

I AGREE TO COMPLY WITH REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

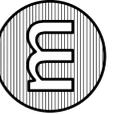
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I AGREE TO COMPLY WITH THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MWELD.

(name) , HOMEOWNER



ARCHITECT:
MONTGUE DESIGN INC.
 JUNG MOO LEE
 1825 SOUTH GRANT STREET
 FLOOR 9 SAN MATEO, CA 94402
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 jlee@montguedesign.com



PROPOSED SINGLE FAMILY,
 SINGLE STORY RESIDENCE

1361 Peggy Ave, Campbell, CA 95008
 SUNGHWA KANG
 1361 PEGGY AVE, CAMPBELL, CA 95008
 skang@gmail.com

REVISIONS	DATE:

These drawings and specifications and the concepts embodied therein are the original unpublished work of MONTGUE DESIGN and may not be disclosed or duplicated without written consent of MONTGUE DESIGN. Whether the project for which they were created is executed or not, unless otherwise agreed by contract.

CITY STAMPS

SHEET TITLE:
IRRIGATION PLAN

PROJECT NO: 20231361
 DRAWN BY: MAB
 DATE: 02-02-2023
 SCALE: NTS
 DRAWING NO: **L002**

GRADING & DRAINAGE NOTES:

NOTE: THIS DRAWING IS APPROVED SUBJECT TO:

- ALL GRADING IS SUBJECT TO OBSERVATION BY THE CITY. PERMITTEE OR REPRESENTATIVE SHALL NOTIFY THE CITY OF CAMPBELL DEPARTMENT OF PUBLIC WORKS PROJECT INSPECTOR AT LEAST 48 HOURS BEFORE START OF ANY GRADING.
- APPROVAL OF THIS PLAN APPLIES ONLY TO (A) THE EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS, (B) THE INSTALLATION OF ON-SITE (I.E. PRIVATE PROPERTY) STORM WATER CONVEYANCE AND TREATMENT FACILITIES THAT ARE OUTSIDE OF THE 5-FOOT BUILDING ENVELOPE, AND (C) THE INSTALLATION OF RETAINING STRUCTURES. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS WITH THE EXCEPTION OF THOSE LISTED ABOVE. PROPOSED IMPROVEMENTS, WITH THE EXCEPTION OF THOSE LISTED ABOVE, ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- UNLESS OTHERWISE NOTED ON THE PLAN, ANY DEPICTION OF A RETAINING STRUCTURE ON THIS PLAN SHALL NOT CONSTITUTE APPROVAL FOR CONSTRUCTION OF THE RETAINING STRUCTURE UNLESS A SEPARATE STRUCTURAL REVIEW, BY THE DEPARTMENT OF PUBLIC WORKS IS COMPLETED AND APPROVED.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR AGENT TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
- THE PERMITTEE OR AGENT SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- IN THE EVENT THAT HUMAN REMAINS AND/OR CULTURAL MATERIALS ARE FOUND, ALL PROJECT-RELATED CONSTRUCTION SHOULD CEASE WITHIN A 100-FOOT RADIUS. THE CONTRACTOR SHALL, PURSUANT TO SECTION 7050.5 OF THE HEALTH AND SAFETY CODE, AND SECTION 5097.94 OF THE PUBLIC RESOURCES CODE OF THE STATE OF CALIFORNIA, NOTIFY THE MARIN COUNTY CORONER IMMEDIATELY.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY'S PLANNING DEPARTMENT AND THE CITY ARBORIST.
- FOR NON-RESIDENTIAL PROJECTS, ANY NON-HAZARDOUS EXPORT RESULTING FROM PROJECT RELATED EXCAVATION OR LAND CLEARING SHALL BE 100% REUSED AND RECYCLED PER CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 5.408.
- ALL GRADING WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT AND/OR THE PROJECT SOIL ENGINEER. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER.
REPORT DATE:
REPORT NUMBER:
SOILS ENGINEERING COMPANY:
CONTACT INFORMATION:
- THE SOIL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNOBSERVED AND/OR UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
- PERIMETER BUILDING GRADES SHALL SLOPE AWAY FROM BUILDINGS AT LEAST 5% MINIMUM
- ALL DOWNSPOUTS SHALL HAVE SPLASH BOXES AS SHOWN ON THE GRADING AND DRAINAGE PLAN. DIRECTION OF THE FLOW SHALL BE AWAY FROM THE BUILDING.

BENCH MARK

DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE SOUTH-EASTERLY CORNER OF LOT AS SHOWN:
PROJECT BENCHMARK 245.05' (NAVD88 DATUM)

EARTH WORK QUANTITIES

CUT: 29 CY
FILL: 19 CY
EXPORT: 10 CY
IMPORT: 0 CY

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.
THE PAD OF THE HOUSE IS NOT INCLUDED

ABBREVIATIONS

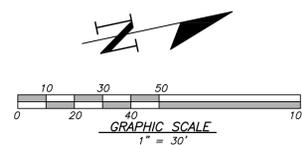
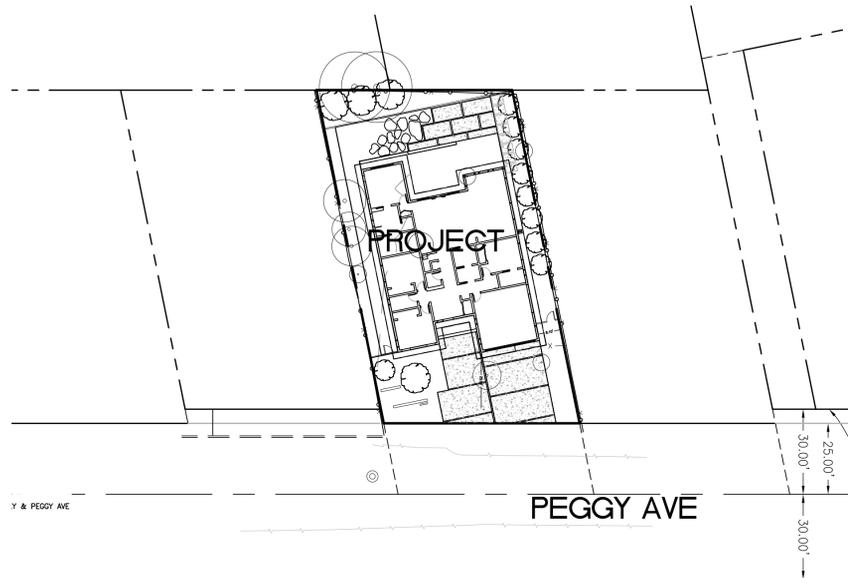
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|--|--------------------------------------|
| AC = ASPHALT CONCRETE | LP = LOW POINT |
| AD = AREA DRAIN | PAD = PAD ELEVATION |
| AG = ADJACENT GRADE AT FOUNDATION | PCC = PORTLAND CEMENT CONCRETE |
| BC = BEGIN CURVE | PL = PROPERTY LINE |
| BS = BOTTOM OF STAIR | PV = PAVEMENT GRADE |
| BU = BUBBLE UP | PVC = POLYVINYL CHLORIDE PIPE |
| BVC = BEGIN VERTICAL CURVE | PVI = POINT OF VERTICAL INTERSECTION |
| BRW = BOTTOM OF RETAINED GRADE AT WALL | RCP = REINFORCED CONCRETE PIPE |
| CB = CATCH BASIN | ROW = RIGHT OF WAY |
| CL = CENTERLINE | S=004> SLOPE |
| CO = CLEANOUT | SD = STORM DRAIN |
| CS = DOWNSPOUT WITH SPLASH BOX | SSMH = STORM DRAIN MANHOLE |
| EC = END CURVE | SG = SUBGRADE ELEVATION |
| ELEV. = ELEVATION | SS = SANITARY SEWER |
| EVC = END VERTICAL CURVE | SSMH = SANITARY SEWER MANHOLE |
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| FF = FINISHED FLOOR ELEVATION | TF = TOP OF FENCE |
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| HP = HIGH POINT | WM = WATER METER |
| HC = HANDICAP UNIT | WV = WATER VALVE |
| INV = INVERT | |

GRADING AND DRAINAGE PLAN

1361 PEGGY AVE CAMPBELL CA, 95008 APN: 406-16-060



LOCATION MAP



LEGEND

DESCRIPTION	SYMBOL
BOUNDARY LINE	---
LOT LINE	---
EASEMENT LINE	---
SIDEWALK	---
WOOD FENCE	X X
CHAIN LINK FENCE	---
RETAINING WALL	---
DRIVEWAY DRAIN INLET	---
AREA DRAIN	---
DROP INLET	---
MONUMENT	---
FIRE HYDRANT	---
ELECTRIFIER	---
WATER METER	---
AC UNIT	---
SANITARY SEWER LATERAL	---
STORM DRAIN	SD
SANITARY SEWER	SS
STREET LIGHT CONDUITS	SL
WATER	W
JOINT TRENCH	JT
HOUSE SERVICE	SVC
SLOPE ARROW	---
EXISTING CONTOUR	100
PROPOSED CONTOUR	100
OVERLAND RELEASE	---
DIRECTION OF SURFACE DRAINAGE	---
5% SLOPE AWAY FROM BUILDING	>>
GAS LINE	---
OVERHEAD ELECTRICAL LINE	OE
UNDERGROUND ELECTRICAL LINE	UE
DOWNSPOUTS W/SPLASH BOX	---
TREE TO BE REMOVED	X
ADJACENT GRADE	AG
AGGREGATE BASE (AB)	---
ASPHALT PAVEMENT (AC)	---
EARTHEN SHALE	---
PERVIOUS PAVERS	---

SHEET INDEX

COVER SHEET	C0
GRADING AND DRAINAGE PLAN	C1
UTILITY PLAN	C2
CONSTRUCTION DETAILS	C3
EROSION AND SEDIMENT CONTROL PLAN	C4
BEST MANAGEMENT PRACTICES (BMP SHEET)	



Porfirio Oscar Osuna
PORFIRIO OSCAR OSUNA
RCE 70829 EXP. 6-30-23

OSUNA ENGINEERING INC.
Planning | Surveying | Civil Engineering

CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
8920 SANTA TERESA BLVD STE. 206 TEL. (408) 772-4381
SAN JOSE, CA 95119 info@osunaengineering.com

GRADING & DRAINAGE PLAN
COVER SHEET
1361 PEGGY AVE

CAMPBELL, CALIFORNIA
Project No.: 2582 | Design: J.O. | Check: O.O. | Date: 05/16/2023

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO THE SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND ADJACENT PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND ADJACENT PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND ADJACENT PROPERTY.

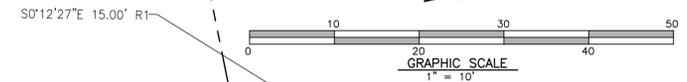
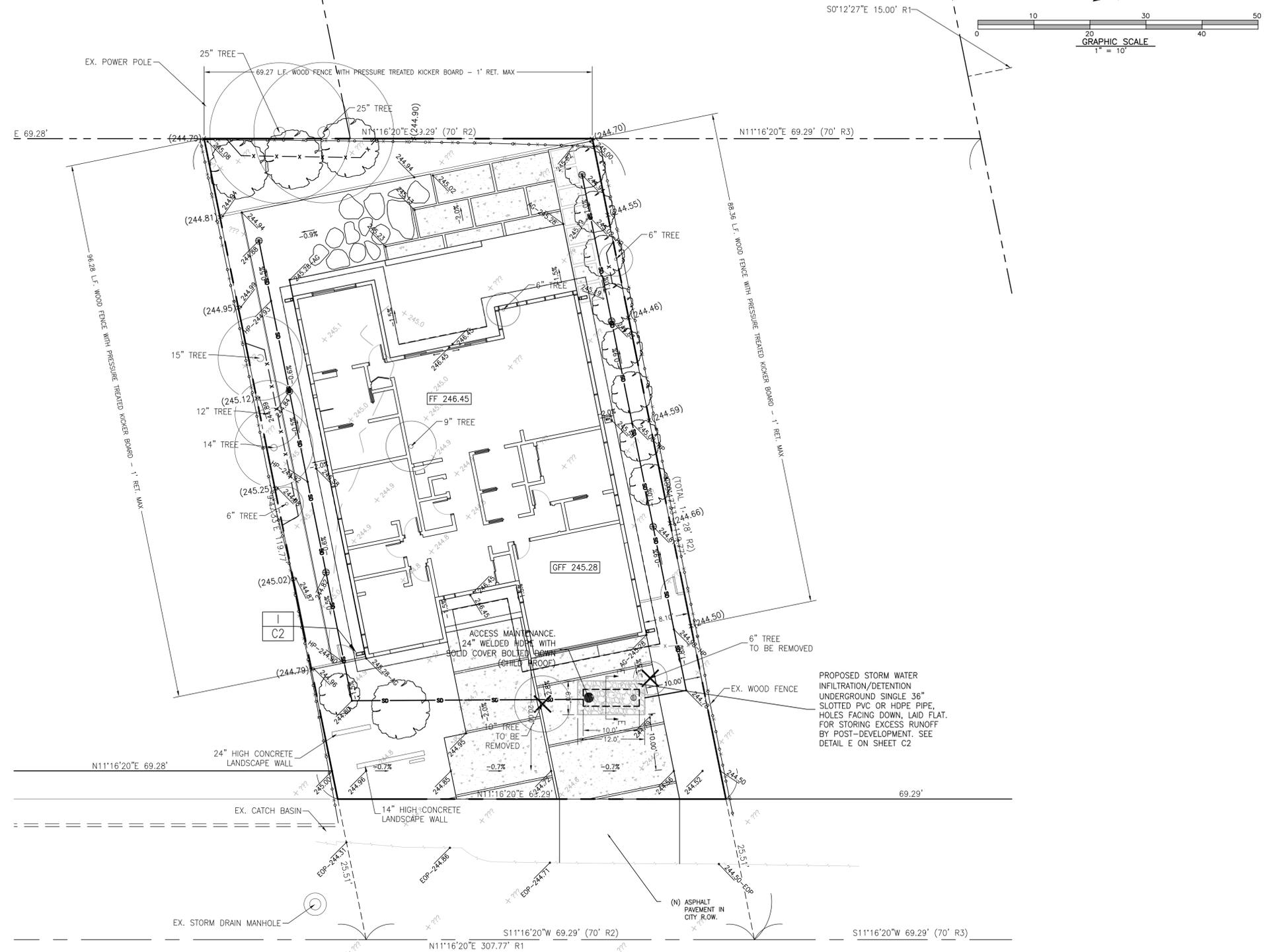
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LEGEND

DESCRIPTION	SYMBOL
BOUNDARY LINE	---
LOT LINE	---
EASEMENT LINE	---
SIDEWALK	---
WOOD FENCE	X-X
CHAIN LINK FENCE	X-X
RETAINING WALL	---
DRIVEWAY DRAIN INLET	---
AREA DRAIN	---
DROP INLET	---
MONUMENT	---
FIRE HYDRANT	---
ELECTRODER	---
WATER METER	---
AC UNIT	---
SANITARY SEWER LATERAL	---
STORM DRAIN	SD
SANITARY SEWER	SS
STREET LIGHT CONDUITS	SL
WATER	W
JOINT TRENCH	JT
HOUSE SERVICE	SVC
SLOPE ARROW	---
EXISTING CONTOUR	100
PROPOSED CONTOUR	100
OVERLAND RELEASE	---
DIRECTION OF SURFACE DRAINAGE	---
SE SLOPE AWAY FROM BUILDING	---
GAS LINE	---
OVERHEAD ELECTRICAL LINE	OE
UNDERGROUND ELECTRICAL LINE	UE
DOWNSPOUTS W/ SPLASH BOX	---
TREE TO BE REMOVED	X
ADJACENT GRADE	AG
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EARTHEN SHALE	---
PERVIOUS PAVERS	---

ABBREVIATIONS

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HP = HIGH POINT	WM = WATER METER
HC = HANDICAP UNIT	WV = WATER VALVE
INV. = INVERT	



NO.	DATE	CITY	BY	REVISIONS

PROFESSIONAL ENGINEER
 PORFIRIO OSCAR OSUNA
 No. 70829
 Exp. 6-30-23
 CIVIL
 STATE OF CALIFORNIA

P. Oscar Osuna
 PORFIRIO OSCAR OSUNA
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 SAN JOSE, CA 95119 Info@osunaengineering.com

GRADING & DRAINAGE PLAN
 TITLE
 1361 PEGGY AVE

CAMPBELL, CALIFORNIA
 Project No.: 2562 | Design: J.O. | Check: O.C. | Date: 05/16/2023

SHEET
C1.1
 OF 6 SHEETS

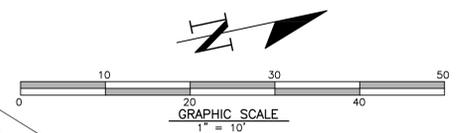
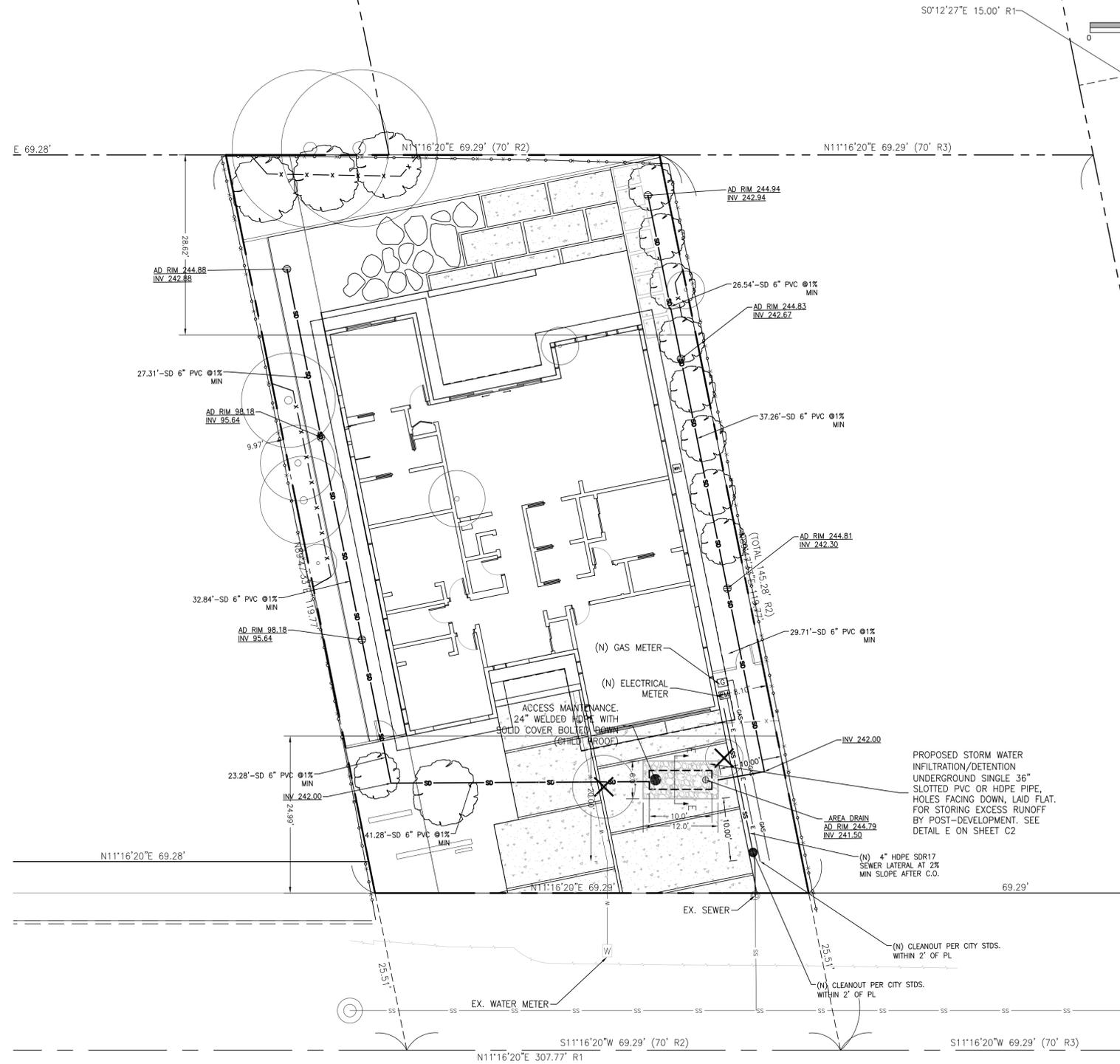
CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN JOSE, CALIFORNIA, AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN JOSE, CALIFORNIA, AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN JOSE, CALIFORNIA.

LEGEND

DESCRIPTION	SYMBOL
BOUNDARY LINE	---
LOT LINE	---
EASEMENT LINE	---
SIDEWALK	---
WOOD FENCE	X X
CHAIN LINK FENCE	X X
RETAINING WALL	---
DRIVEWAY DRAIN INLET	---
AREA DRAIN	---
DROP INLET	---
MONUMENT	---
FIRE HYDRANT	---
ELECTRICAL	---
WATER METER	---
AC UNIT	---
SANITARY SEWER LATERAL	---
STORM DRAIN	SD
SANITARY SEWER	SS
STREET LIGHT CONDUITS	SL
WATER	W
JOINT TRENCH	JT
HOUSE SERVICE	SVC
SLOPE ARROW	---
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
OVERLAND RELEASE	---
DIRECTION OF SURFACE DRAINAGE	---
SE SLOPE AWAY FROM BUILDING	---
GAS LINE	---
OVERHEAD ELECTRICAL LINE	OE
UNDERGROUND ELECTRICAL LINE	UE
DOWNSPOUT W/ SPLASH BOX	---
TREE TO BE REMOVED	X
ADJACENT GRADE	AG
AGGREGATE BASE (AB)	---
ASPHALT PAVEMENT (AC)	---
EARTHEN SWALE	---
PERVIOUS PAVERS	---

ABBREVIATIONS

AC = ASPHALT CONCRETE	LP = LOW POINT
AD = AREA DRAIN	PAD = PAD ELEVATION
AG = ADJACENT GRADE AT FOUNDATION	PCC = PORTLAND CEMENT CONCRETE
BC = BEGIN CURVE	PL = PROPERTY LINE
BS = BOTTOM OF STAIR	PV = PAVEMENT GRADE
BU = BUBBLE UP	PVC = POLYVINYL CHLORIDE PIPE
BVC = BEGIN VERTICAL CURVE	PVI = POINT OF VERTICAL INTERSECTION
BRW = BOTTOM OF RETAINED GRADE AT WALL	RCP = REINFORCED CONCRETE PIPE
CB = CATCH BASIN	ROW = RIGHT OF WAY
CL = CENTERLINE	S=004> = SLOPE
CO = CLEANOUT	SD = STORM DRAIN
DS = DOWNSPOUT WITH SPLASH BOX	SDMH = STORM DRAIN MANHOLE
EC = END CURVE	SG = SUBGRADE ELEVATION
ELEV. = ELEVATION	SS = SANITARY SEWER
EVC = END VERTICAL CURVE	SSMH = SANITARY SEWER MANHOLE
EX. = EXISTING	STA = STATION
F/C = FACE OF CURB	TC = TOP OF CURB
FF = FINISHED FLOOR ELEVATION	TF = TOP OF FENCE
FH = FIRE HYDRANT	TRW = TOP OF RETAINED GRADE AT WALL
FL = FLOW LINE	TS = TOP OF STAIR
GB = GRADE BREAK	TW = TOP OF WALL
GFF = GARAGE FINISH FLOOR	VCP = VITRIFIED CLAY PIPE
HP = HIGH POINT	WM = WATER METER
HC = HANDICAP UNIT	WV = WATER VALVE
INV. = INVERT	



NO.	DATE	CITY	BY

PROFESSIONAL ENGINEER
 PORFIRIO OSCAR OSUNA
 No. 70829
 Exp. 6-30-23
 CIVIL
 STATE OF CALIFORNIA

P. Oscar Osuna
 PORFIRIO OSCAR OSUNA
 RCE 70829 EXP. 6-30-23

OSUNA ENGINEERING INC.
 Planning | Surveying | Civil Engineering

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 6920 SANTA TERESA BLVD STE. 206 TEL. (408) 772-4381
 SAN JOSE, CA 95119 info@osunaengineering.com

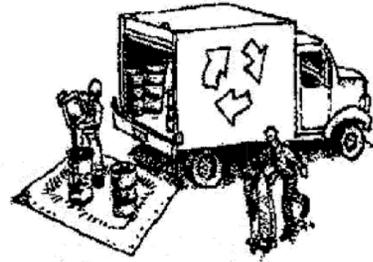
GRADING & DRAINAGE PLAN
 UTILITY PLAN
 1361 PEGGY AVE

CAMPBELL, CALIFORNIA
 Project No.: 2562 Design: J.O. Check: O.C. Date: 05/16/2023

Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- Use (but don't overuse) reclaimed water for dust control.
- Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Keep site free of litter (e.g. lunch items, cigarette butts).
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



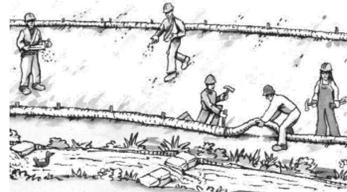
Maintenance and Parking

- Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

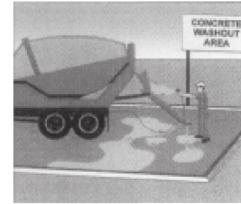
Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.
- If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Management

- Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



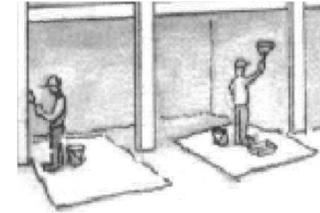
Paving

- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- Protect storm drain inlets during saw cutting.
- If saw cut slurry enters a catch basin, clean it up immediately.
- Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



**Santa Clara Valley
Urban Runoff
Pollution Prevention Program**

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



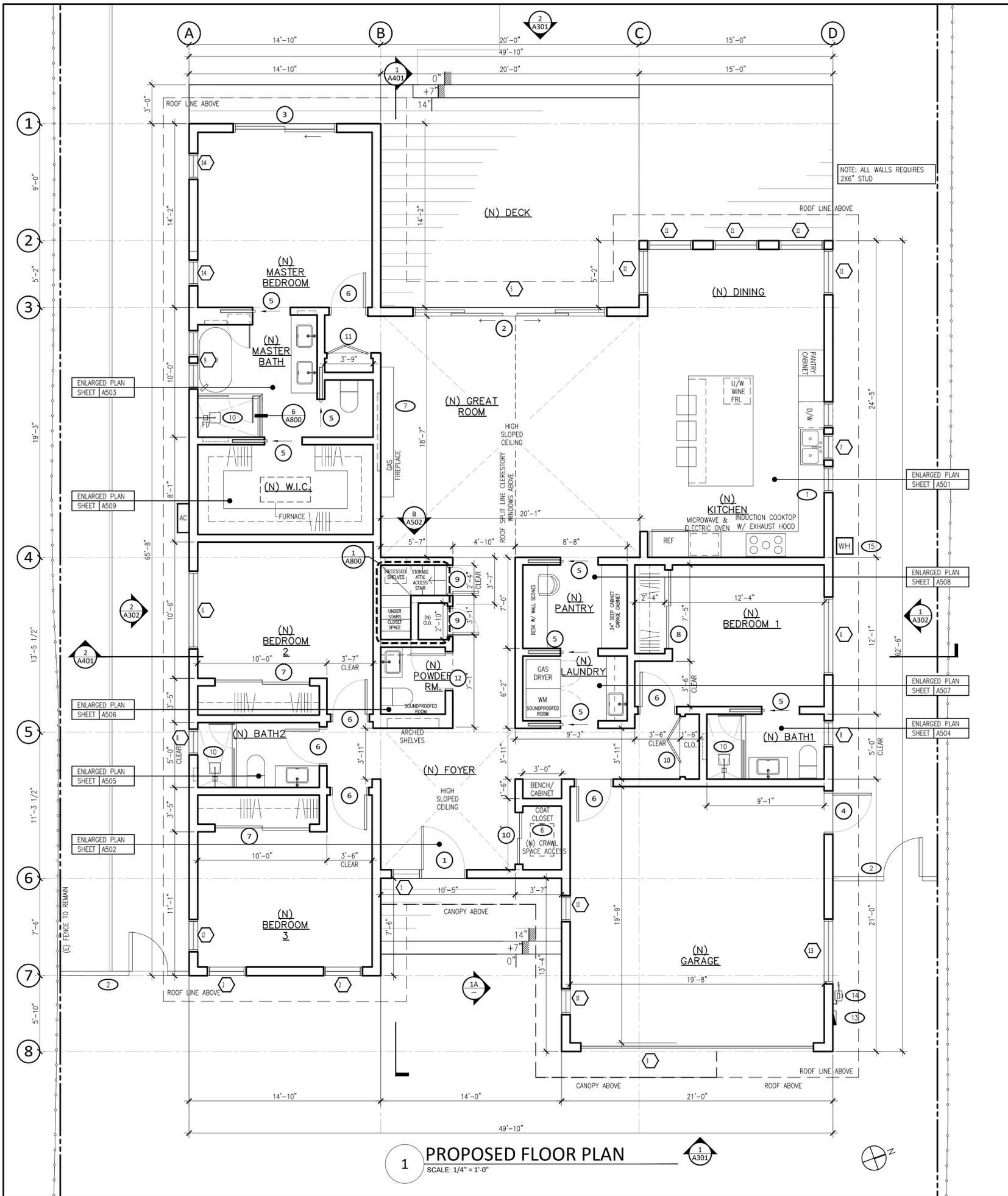
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SAN JOSE, CA 95119 info@osunaengineering.com

GRADING & DRAINAGE PLAN
BMP SHEET
1361 PEGGY AVE
CAMPBELL, CALIFORNIA
Project No.: 2582 | Designed: J.O. | Checked: O.C. | Dated: 05/16/2023

SHEET
C4
OF 6 SHEETS

NO.	DATE	BY	CITY	REVISIONS



1 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND FLOOR PLAN

- INDICATES EXISTING WALL TO BE REMOVED
- INDICATES EXISTING CMU WALL TO REMAIN
- INDICATES EXISTING DRY WALL TO REMAIN
- INDICATES NEW WALLS
- ⊗ FLOOR DRAIN
- ⊗ FIRE EXTINGUISHER & HOSE CABINET
- ⊗ FIRE EXTINGUISHER CABINET
- ⊗ ELECTRIC PANEL BOARD
- ⊗ GAS METER
- ⊗ TANK-TYPE WATER HEATER
- ⊗ TANK-LESS WATER HEATER
- ⊗ DOOR TYPE
- ⊗ WINDOW TYPE
- ⊗ GLASS DOOR / PARTITION TYPE

KEYED NOTES

- 1 (N) KITCHEN LAYOUT. NEW KITCHEN HOOD TO HAVE H.E.R.S. CERTIFIED RATER TEST AFTER INSTALLATION. RFR. TO MEP. GEN. NOTES FOR STANDARD REQ'S. & EXIST. CONDITIONS. RFR. TO TITLE 24 REPORT FOR ENERGY REQ'S.
- 2 (E) EXTERIOR WOODEN FENCE TO BE REMAIN, RE-PAIN & REFURBISH IF NEEDED. VERIFY W/ OWNER
- 3 (N) UV-PROTECTED VELUX SKYLIGHTS (select product code) ELECTRIC "FRESH AIR" (VCE) CURB MOUNTED (dimensions). PROVIDE ELECT. REQ'S. PER MFR. & SWITCH LOCATION/S.
- 4 REFER TO SHEET G002 FOR NEW LANDSCAPING. LAYOUT REFLECTED ARE FOR INITIAL PLACEMENT PURPOSES ONLY. FINAL LAYOUT & PLANT SPECIES TO BE VERIFIED W/ LANDSCAPE DESIGNER & OWNER.
- 5 (N) ATTIC ACCESS, MIN. 22X30"
- 6 (N) CRAWL SPACE ACCESS, MIN. 22X30"
- 7 IN-WALL ELECTRIC FIRE PLACE. CONFIRM W/ MANUFACTURER STANDARDS FOR INSTALLATION & UTILITY REQUIREMENTS
- 8 (N) RECTANGULAR 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD, SEE SITE PLAN.
- 9 PROVIDE SOUND ATTENUATING R-13 MIN. INSULATION AT ALL (N) AND OPEN BATHROOM INTERIOR WALLS. OPTIONAL @ BEDROOMS, VERIFY W/ OWNER
- 10 @ (N) SHOWER(S) PROVIDE THERMOST. TEMP. CONTROL VALVE PER CPC CHAPT. 4. VERIFY CONDITIONS AND MODELS W/ OWNER PRIOR TO ORDER, TYP.
- 11 (N) MIN. 7/8" EXTERIOR WALL STUCCO FINISH PROVIDE CONTINUOUS WATER PROOFING MEMBRANE ON ALL JOINTS & OPENINGS. PROVIDE INSULATION PER TITLE 24 REQ'S. FINAL COLOR TO BE SELECTED BY OWNER.
- 12 PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF KELLY MOORE OR APPROVED EQUIVALENT WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER. VERIFY COLOR W/ OWNER, TYP.
- 13 (N) 200 AMP ELECTRIC PANEL
- 14 (N) GAS METER
- 15 (N) TANK-LESS WATER HEATER
- 16 (N) CLASS A RATED COMP. ASPH. ROOF'G O/ (2) LAYERS 30 LB. ROOF'G FELT PER MFR. SPECS., TYP.
- 17 (N) ROOF RIDGE TO BE INSTALLED PER MFR. STANDARDS & REQUIREMENTS
- 18 INSTALL (N) 24 GA GSM INSIDE GUTTER. COLOR TO MATCH ROOF TONE, W/ (N) DOWNSPOUTS (SEE KEYNOTE 8)
- 18 ACCENT WOOD CLADDING O.A.E. VERIFY W/ OWNER FOR FINAL COLOR

TITLE 24 CALCULATION

WATER HEATER: NEW TANKLESS --- 199K BTU/HR --- UNIFORM ENERGY FACTOR (UEF) 0.82
 HVAC: NEW SPLIT --- HEATING, 0.95 AFUE --- COOLING, 14 SEER, 12.2 EER --- DUCTING R-6
 WALLS: R-15
 WINDOWS/GLASS DOORS: U-FACTOR 0.30 --- SHGC 0.35
 RAISED FLOOR: R-19
 ROOF: ATTIC, R-30 W/ RADIANT BARRIER --- NONATTIC, R-30

GENERAL NOTES

1. CONTRACTOR TO V.I.F. EXISTING CONDITIONS AT TIME OF BID AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THESE DRAWINGS.
2. NEW KITCHEN HOOD TO HAVE H.E.R.S. CERTIFIED RATER TEST AFTER INSTALLATION
3. HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, SKYLIGHTS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE OPENABLE AREA TO THE OUTDOORS SHALL BE NOT LESS THAN 4 PERCENT OF THE FLOOR AREA BEING VENTILATED PER CBC R303.1
4. SAFETY GLAZING SHALL BE USED AT ALL SHOWER DOORS AND NEAR SLIP HAZARD LOCATIONS. ALL GLAZING IN OR ADJACENT TO DOORS AND WITHIN 18" OF FLOOR SHALL BE SAFETY GLASS. CRC SECT. 308.4.5
5. NOTE: GLAZING WITHIN 60" OF BATHTUBS AND SHOWERS SHALL BE SAFETY GLASS. SHOWER DOORS SHALL BE 22" WIDE MIN. SAFETY GLAZING.
6. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL & NOT MORE THAN 6" LOWER THAN THRESHOLD FOR IN-SWINGING DOORS AND NOT MORE THAN 1/2" HIGH RISE AT OUT-SWINGING DOORS PER CBC R311.3.1. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 2%, PER CBC R311.3.
7. VERIFY BEDRMS. AND HALLWAYS HAVE SMOKE & CO DETECTORS PER CRC R314.3, SEE ELECTRICAL PLAN NOTES FOR LOCATIONS AND ADDITIONAL CODE REQ'S.
8. PROVIDE 18" X 24" MIN. ACCESS OPENING TO SUBAREA OF NEW ADDITION PER CBC 408.4. AND 22"x30" MIN. ATTIC ACCESS TO ALL NEW ATTIC SPACES WITH MIN. 30" UNOBSTRUCTED HEADRM PER CRC SECT. R807. OPT. PULL-DOWN LADDER
9. PER CBC SECT. 501.2, ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME. ADDRESS NUMBERS MUST BE 4" TALL, MIN., READ LEFT-RIGHT (VERTICAL ARRANGMT. NOT ALLOWED). NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING.
10. USE FIBER REINFORCED CEMENTITIOUS TILE BACKER BOARD IN AREAS TO RECEIVE CERAMIC TILE TYP., REFER TO CRC SECT. R702.4.
11. INSTALL (N) STUCCO CEMENT EXT. FINISH, 7/8" MIN. THICK WIRE REIN., 3-COAT MIN. PER CBC R703.7.2 OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC R703.3, WITH TEXTURE TO MATCH (E) RESIDENCE. TYP. VERIFY FINAL FINISHES AT ELEVATIONS
12. BEDROOMS SHALL HAVE WINDOWS THAT MEET THE MINIMUM EGRESS REQUIREMENTS OF THE HIST. BLDG. CODE. THEY SHALL HAVE A NET CLEAR OPENING OF 3.3 SQ. FT. MIN. AND A MIN. NET CLEAR OPENABLE HEIGHT OF 18" AND MIN. NET CLEAR OPENABLE WIDTH OF 18" PER CHBC 8-503. THE SILL SHALL BE NO MORE THAN 30" ABOVE THE FINISHED FLOOR PER CHBC 8-506.3.
13. NOTE: REFER ALSO TO WINDOW SCHEDULE - EGRESS NOTES AND LOCATIONS.
14. SEE ADDITIONAL MECHANICAL, PLUMBING, AND ELECTRICAL CODE REQUIREMENTS. REFER ALSO TO STRUCTURAL DRAWING SHEETS "S", AND TITLE 24 ENERGY REPORT SHEETS.
15. RESIDENTIAL LIGHTING PER 2019 TITLE-24 CODE 6.2.1: A MINIMUM OF 100% OF THE TOTAL WATTAGE OF PERMANENTLY INSTALLED LIGHTING SHALL BE PROVIDED BY HIGH EFFICACY LUMINAIRE LAMP FIXTURES PER CA TITLE-24 AND SHALL MEET THE REQUIREMENTS OF SECTION 150.0 (K) AND JOINT APPENDIX JAB. ALL LED LUMINAIRES ARE REQ'D TO HAVE DIMMERS OR VACANCY/OCCUPANCY SENSORS (EXCEPT @ HALLWAYS OR CLOSETS LESS THAN 70 SQ. FT.). SURFACE-MOUNTED CEILING LUMINAIRES SHALL BE INSTALLED W/ JAB COMPLIANT LED LAMPS AS RECOMMENDED IN TITLE 24 6.2.6/TABLE 6-2.
16. PER TITLE-24 CODE 6.2.3- RECESSED DOWNLIGHT CEILING LUMINAIRES:
 - MUST BE 100% HI-EFFICACY LISTED FOR ZERO CLEARANCE INSULATION CONTACT (IC) BY UNDERWRITERS LABORATORIES OR ANOTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY.
 - HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALES WHEN TESTED IN ACCORDANCE WITH ASTM E283 (EXHAUST FAN HOUSINGS ARE NOT REQUIRED TO BE AIRTIGHT)
 - MUST BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OR CAULK. IN ADDITION, RECESSED DOWNLIGHT CEILING LUMINAIRES.
 - SHALL NOT CONTAIN SCREW-BASED LAMPS.
 - FOR LUMINAIRES WITH HARDWIRED BALLASTS OR DRIVERS, ALLOW BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW THE CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CEILING.
 - SHALL NOT CONTAIN LIGHT SOURCES THAT ARE LABELED "NOT FOR USE IN ENCLOSED (OR RECESSED) FIXTURES"
 - SHALL CONTAIN LIGHT SOURCES THAT ARE JAB-CERTIFIED.
17. INSTALL AS REQ'D. AT LEAST ONE LUMINAIRE W/ OCCUPANCY SENSOR IN THE FOLLOWING ROOMS: BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS PER CPC 6.3.1(F)
18. PER 2019 CA ENERGY CODE 6.5.2 ALL SINGLE-FAMILY OUTDOOR LIGHTING ATTACHED TO THE RESIDENCE OR TO OTHER BUILDINGS ON THE SAME LOT MUST BE HIGH EFFICACY, AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND ONE OF THE FOLLOWING AUTOMATIC CONTROL TYPES:
 - PHOTOCONTROL AND EITHER A MOTION SENSOR OR AN AUTOMATIC TIME SWITCH CONTROL; OR
 - ASTRONOMICAL TIME CLOCK CONTROL.
 - ANY OVERRIDE TO THE ABOVE AUTOMATIC CONTROLS TO ON MUST RETURN TO AUTOMATIC CONTROL OPERATIONS WITHIN SIX HOURS. LIGHTING NOT PERMANENTLY ATTACHED TO A BUILDING ON A SINGLE-FAMILY SITE, SUCH AS DECORATIVE LANDSCAPE LIGHTING, IS NOT REGULATED BY THE RESIDENTIAL LIGHTING REQUIREMENTS. HIGH EFFICACY LIGHTING AND CONTROLS SUCH AS A TIME CLOCK OR PHOTOCONTROL WILL HELP SAVE ENERGY AND ENSURES THAT THE LIGHTING IS NOT ACCIDENTALLY LEFT ON DURING DAYLIGHT HOURS.
19. ALL EXISTING DOORS & WINDOWS MARKED ON PLAN AS (E) SHALL BE RETAINED. GC TO COORDINATE W/ OWNER FOR ANY REPAIRS, REFURBISHING, REPAINTING & REPLACEMENT NEEDED

ARCHITECT:
MONTIGUE DESIGN INC.

JUNG MOO LEE

1825 SOUTH GRANT STREET
FLOOR 9 SAN MATEO, CA 94402
510-229-7841
jlee@montiguedesign.com

**PROPOSED SINGLE FAMILY,
SINGLE STORY RESIDENCE**

1361 Peggy Ave, Campbell, CA 95008

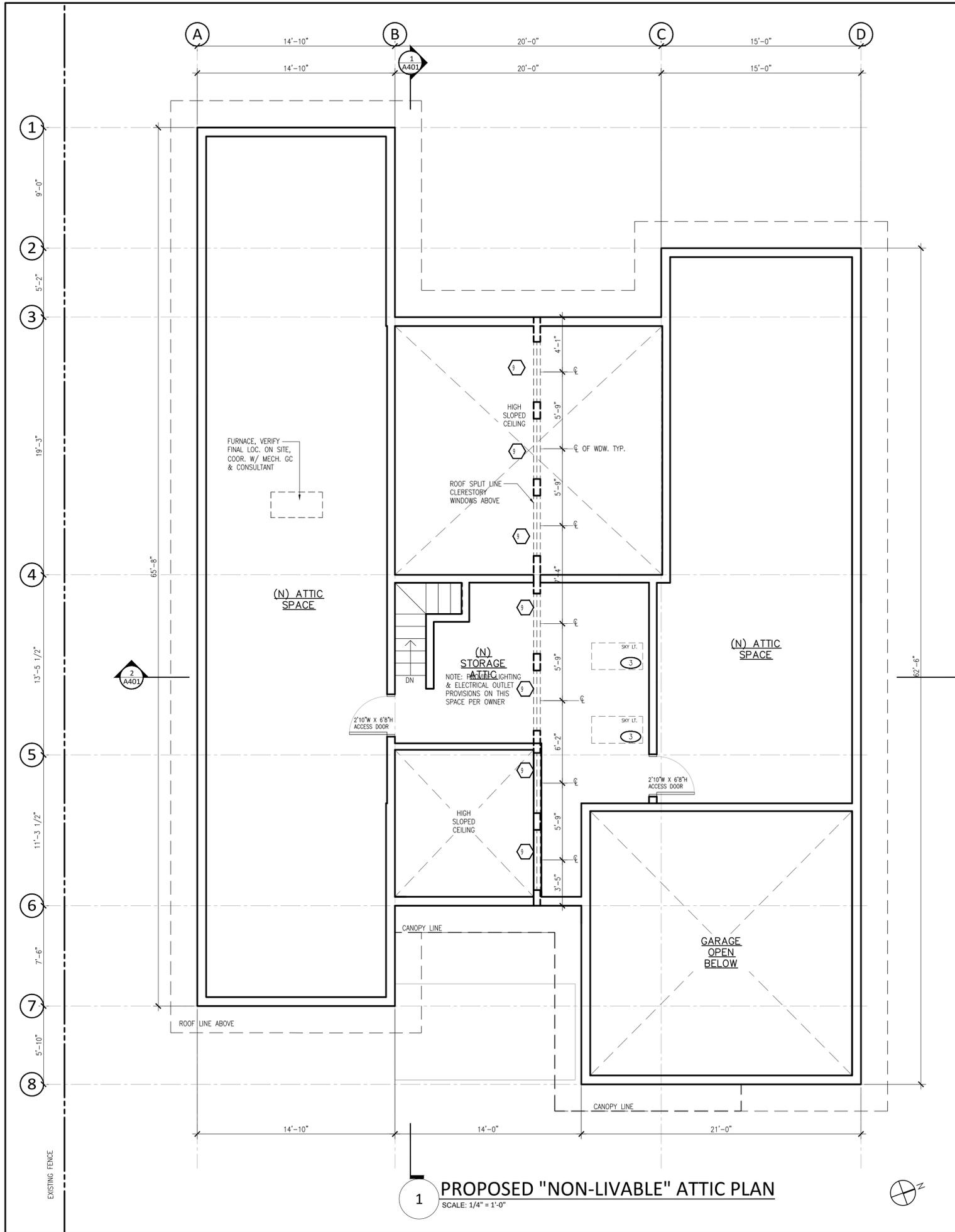
SUNGHWA KANG
1361 PEGGY AVE, CAMPBELL, CA 95008
sanghwa@gmail.com

REVISIONS	DATE:

CITY STAMPS

SHEET TITLE:
PROPOSED FLOOR PLAN

PROJECT NO: 20231361
 DRAWN BY: MAB
 DATE: 02-02-2023
 SCALE: 1/4" = 1'-0"
 DRAWING NO: **A101**



1 PROPOSED "NON-LIVABLE" ATTIC PLAN
SCALE: 1/4" = 1'-0"

TITLE 24 CALCULATION

WATER HEATER: NEW TANKLESS --- 199K BTU/HR --- UNIFORM ENERGY FACTOR (UEF) 0.82
 HVAC: NEW SPLIT --- HEATING, 0.95 ARIE --- COOLING, 14 SEER, 12.2 EER --- DUCTING R-6
 WALLS: R-15
 WINDOWS/GLASS DOORS: U-FACTOR 0.30 --- SHGC 0.35
 RAISED FLOOR: R-19
 ROOF: ATTIC, R-30 W/ RADIANT BARRIER --- NONATTIC, R-30

KEYED NOTES

- 1 (N) KITCHEN LAYOUT, NEW KITCHEN HOOD TO HAVE H.E.R.S. CERTIFIED RATER TEST AFTER INSTALLATION. RFR. TO MEP, GEN. NOTES FOR STANDARD REQ'S. & EXIST. CONDITIONS. RFR. TO TITLE 24 REPORT FOR ENERGY REQ'S.
- 2 (N) 6'HIGH WOODEN FENCE / GATE
- 3 (N) UV-PROTECTED VELUX SKYLIGHTS --(select product code) ELECTRIC "FRESH AIR" (VCE) CURB MOUNTED (dimensions), PROVIDE ELECT. REQ'S. PER MFR. & SWITCH LOCATION/S.
- 4 REFER TO SHEET G002 FOR NEW LANDSCAPING. LAYOUT REFLECTED ARE FOR INITIAL PLACEMENT PURPOSES ONLY, FINAL LAYOUT & PLANT SPECIES TO BE VERIFIED W/ LANDSCAPE DESIGNER & OWNER.
- 5 (N) ATTIC ACCESS, MIN. 22X30"
- 6 (N) CRAWL SPACE ACCESS, MIN. 22X30"
- 7 IN-WALL ELECTRIC FIRE PLACE, CONFIRM W/ MANUFACTURER STANDARDS FOR INSTALLATION & UTILITY REQUIREMENTS
- 8 (N) RECTANGULAR 26 GA GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD, SEE SITE PLAN.
- 9 PROVIDE SOUND ATTENUATING R-13 MIN. INSULATION AT ALL (N) AND OPEN BATHROOM INTERIOR WALLS, OPTIONAL @ BEDROOMS, VERIFY W/ OWNER
- 10 OPTIONAL (N) SHOWER(S) PROVIDE THERMOST. TEMP. CONTROL VALVE PER CPC CHAPT. 4. VERIFY CONDITIONS AND MODELS W/ OWNER PRIOR TO ORDER, TYP.
- 11 (N) MIN. 7/8" EXTERIOR WALL STUCCO FINISH PROVIDE CONTINUOUS WATER PROOFING MEMBRANE ON ALL JOINTS & OPENINGS. PROVIDE INSULATION PER TITLE 24 REQ'S. FINAL COLOR TO BE SELECTED BY OWNER.
- 12 PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF KELLY MOORE OR APPROVED EQUIVALENT WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, VERIFY COLOR W/ OWNER, TYP.
- 13 (N) 200 AMP ELECTRIC PANEL
- 14 (N) GAS METER
- 15 (N) TANK-LESS WATER HEATER
- 16 (N) CLASS A RATED COMP. ASPH. ROOF'G O/ (2)LAYERS 30 LB. ROOF'G FELT PER MFR. SPECS., TYP.
- 17 (N) FASCIA TO BE PLACED, FINAL COLOR TO BE DETERMINED BY OWNER
- 18 INSTALL (N) 24 GA GSM EXPOSED GUTTER, COLOR TO MATCH ROOF TONE, W/ (N) DOWNSPOUTS (SEE KEYNOTE 8)
- 19 ACCENT WOOD CLADDING O.A.E. VERIFY W/ OWNER FOR FINAL COLOR

GENERAL NOTES

1. CONTRACTOR TO V.I.F. EXISTING CONDITIONS AT TIME OF BID AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THESE DRAWINGS.
2. NEW KITCHEN HOOD TO HAVE H.E.R.S. CERTIFIED RATER TEST AFTER INSTALLATION
3. HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, SKYLIGHTS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE OPENABLE AREA TO THE OUTDOORS SHALL BE NOT LESS THAN 4 PERCENT OF THE FLOOR AREA BEING VENTILATED PER CBC R303.1
4. SAFETY GLAZING SHALL BE USED AT ALL SHOWER DOORS AND NEAR SLIP HAZARD LOCATIONS. ALL GLAZING IN OR ADJACENT TO DOORS AND WITHIN 18" OF FLOOR SHALL BE SAFETY GLASS. CRC SECT. 308.4.5
5. NOTE: GLAZING WITHIN 60" OF BATHTUBS AND SHOWERS SHALL BE SAFETY GLASS. SHOWER DOORS SHALL BE 22" WIDE MIN. SAFETY GLAZING.
6. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL & NOT MORE THAN 6" LOWER THAN THRESHOLD FOR IN-SWINGING DOORS AND NOT MORE THAN 1/2" HIGH RISE AT OUT-SWINGING DOORS PER CBC R311.3.1. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 2%, PER CBC R311.3.
7. VERIFY BEDRMS. AND HALLWAYS HAVE SMOKE & CO DETECTORS PER CRC R314.3, SEE ELECTRICAL PLAN NOTES FOR LOCATIONS AND ADDITIONAL CODE REQ'S.
8. PROVIDE 18" X 24" MIN. ACCESS OPENING TO SUBAREA OF NEW ADDITION PER CBC 408.4. AND 22"x30" MIN. ATTIC ACCESS TO ALL NEW ATTIC SPACES WITH MIN. 30" UNOBSTRUCTED HEADRM PER CRC SECT. R807. OPT. PULL-DOWN LADDER
9. PER CBC SECT. 501.2, ADDRESS NUMBERS SHALL BE LIT DURING NONDAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME, ADDRESS NUMBERS MUST BE 4" TALL, MIN., READ LEFT-RIGHT (VERTICAL ARRANGMT. NOT ALLOWED). NUMBERS MUST BE LOCATED WHERE EMERGENCY CREWS CAN READ IT FROM THE STREET FRONTING THE DWELLING.
10. USE FIBER REINFORCED CEMENTITIOUS TILE BACKER BOARD IN AREAS TO RECEIVE CERAMIC TILE TYP., REFER TO CRC SECT. R702.4.
11. INSTALL (N) STUCCO CEMENT EXT. FINISH, 7/8" MIN. THICK WIRE REINR., 3-COAT MIN. PER CBC R703.7.2 OVER TWO LAYERS OF GRADE D BLDG PAPER PER CBC R703.3, WITH TEXTURE TO MATCH (E) RESIDENCE. TYP. VERIFY FINAL FINISHES AT ELEVATIONS
12. BEDROOMS SHALL HAVE WINDOWS THAT MEET THE MINIMUM EGRESS REQUIREMENTS OF THE HIST. BLDG. CODE. THEY SHALL HAVE A NET CLEAR OPENING OF 3.3 SQ. FT. MIN. AND A MIN. NET CLEAR OPENABLE HEIGHT OF 18" AND MIN. NET CLEAR OPENABLE WIDTH OF 18" PER CHBC 8-503. THE SILL SHALL BE NO MORE THAN 30" ABOVE THE FINISHED FLOOR PER CHBC 8-506.3.
13. NOTE: REFER ALSO TO WINDOW SCHEDULE - EGRESS NOTES AND LOCATIONS.
14. SEE ADDITIONAL MECHANICAL, PLUMBING, AND ELECTRICAL CODE REQUIREMENTS. REFER ALSO TO STRUCTURAL DRAWING SHEETS "S", AND TITLE 24 ENERGY REPORT SHEETS.
15. RESIDENTIAL LIGHTING PER 2019 TITLE-24 CODE 6.2.1: A MINIMUM OF 100% OF THE TOTAL WATTAGE OF PERMANENTLY INSTALLED LIGHTING SHALL BE PROVIDED BY HIGH EFFICACY LUMINAIRE LAMP FIXTURES PER CA TITLE-24 AND SHALL MEET THE REQUIREMENTS OF SECTION 150.0 (K) AND JOINT APPENDIX JAB. ALL LED LUMINAIRES ARE REQ'D TO HAVE DIMMERS OR VACANCY/OCCUPANCY SENSORS (EXCEPT @ HALLWAYS OR CLOSETS LESS THAN 70 SQ. FT.). SURFACE-MOUNTED CEILING LUMINAIRES SHALL BE INSTALLED W/ JAB COMPLIANT LED LAMPS AS RECOMMENDED IN TITLE 24 6.2.6/TABLE 6-2.
16. PER TITLE-24 CODE 6.2.3- RECESSED DOWNLIGHT CEILING LUMINAIRES:
 - MUST BE 100% HI-EFFICACY LISTED FOR ZERO CLEARANCE INSULATION CONTACT (IC) BY UNDERWRITERS LABORATORIES OR ANOTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY.
 - HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283 (EXHAUST FAN HOUSINGS ARE NOT REQUIRED TO BE AIRTIGHT)
 - MUST BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OR CAULK. IN ADDITION, RECESSED DOWNLIGHT CEILING LUMINAIRES.
 - SHALL NOT CONTAIN SCREW-BASED LAMPS.
 - FOR LUMINAIRES WITH HARDWIRED BALLASTS OR DRIVERS, ALLOW BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW THE CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CEILING.
 - SHALL NOT CONTAIN LIGHT SOURCES THAT ARE LABELED "NOT FOR USE IN ENCLOSED (OR RECESSED) FIXTURES"
 - SHALL CONTAIN LIGHT SOURCES THAT ARE JAB-CERTIFIED.
17. INSTALL AS REQ'D, AT LEAST ONE LUMINAIRE W/ OCCUPANCY SENSOR IN THE FOLLOWING ROOMS: BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS PER CPC 6.3.1(f)
18. PER 2019 CA ENERGY CODE 6.5.2 ALL SINGLE-FAMILY OUTDOOR LIGHTING ATTACHED TO THE RESIDENCE OR TO OTHER BUILDINGS ON THE SAME LOT MUST BE HIGH EFFICACY, AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND ONE OF THE FOLLOWING AUTOMATIC CONTROL TYPES:
 - PHOTOCONTROL AND EITHER A MOTION SENSOR OR AN AUTOMATIC TIME SWITCH CONTROL; OR
 - ASTRONOMICAL TIME CLOCK CONTROL.
 - ANY OVERRIDE TO THE ABOVE AUTOMATIC CONTROLS TO ON MUST RETURN TO AUTOMATIC CONTROL OPERATIONS WITHIN SIX HOURS. LIGHTING NOT PERMANENTLY ATTACHED TO A BUILDING ON A SINGLE-FAMILY SITE, SUCH AS DECORATIVE LANDSCAPE LIGHTING, IS NOT REGULATED BY THE RESIDENTIAL LIGHTING REQUIREMENTS. HIGH EFFICACY LIGHTING AND CONTROLS SUCH AS A TIME CLOCK OR PHOTOCONTROL WILL HELP SAVE ENERGY AND ENSURES THAT THE LIGHTING IS NOT ACCIDENTALLY LEFT ON DURING DAYLIGHT HOURS.
19. ALL EXISTING DOORS & WINDOWS MARKED ON PLAN AS (E) SHALL BE RETAINED, GC TO COORDINATE W/ OWNER FOR ANY REPAIRS, REFURBISHING, REPAINTING & REPLACEMENT NEEDED



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 SINGLE STORY RESIDENCE**

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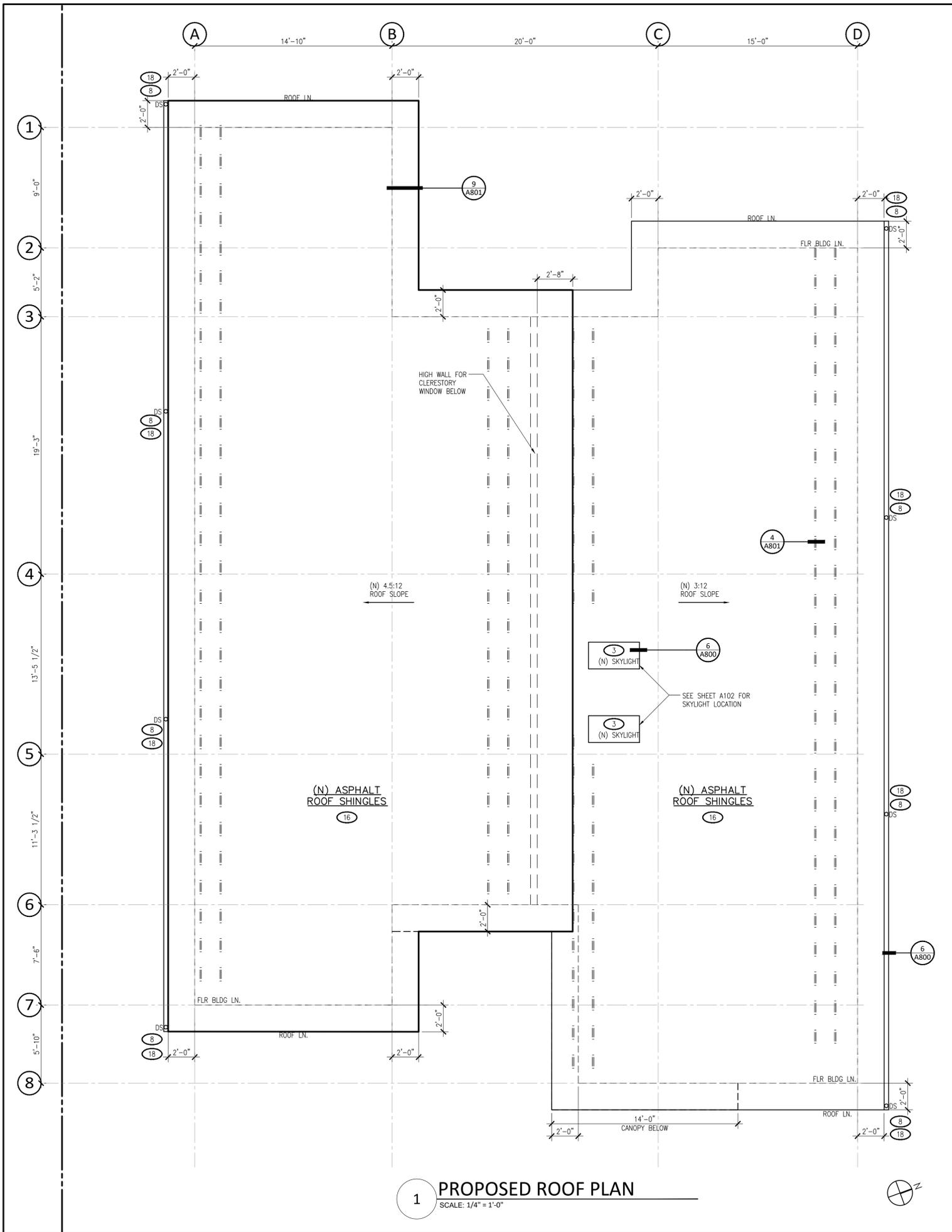
REVISIONS	DATE:

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CITY STAMPS

SHEET TITLE:
**PROPOSED ATTIC
 PLAN**

PROJECT NO: 20231361
 DRAWN BY: MAB
 DATE: 02-02-2023
 SCALE: 1/4" = 1'-0"
 DRAWING NO: **A102**



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

TITLE 24 CALCULATION

WATER HEATER: NEW TANKLESS --- 199K BTU/HR --- UNIFORM ENERGY FACTOR (UEF) 0.82
 HVAC: NEW SPLIT --- HEATING, 0.95 AFUE --- COOLING, 14 SEER, 12.2 EER --- DUCTING R-6
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 WINDOWS/GLASS DOORS: U-FACTOR 0.30 --- SHGC 0.35
 RAISED FLOOR: R-19
 ROOF: ATTIC, R-30 W/ RADIANT BARRIER --- NONATTIC, R-30

LEGEND ROOF PLAN

1 1/2" X 8" ROOF VENT INTAKE

ROOF VENTILATION

TOTAL ROOF AREA : 3,549 S.F.
 REQUIRED VENTILATION AREA : 3,549 S.F./150=23.66 S.F.
 12"x1-1/2" VENTS = 0.125 S.F. (VENT. AREA) X 202 = 25.25 S.F.
 TOTAL PROVIDED = 25.25 S.F.

KEYED NOTES

- 1 (N) KITCHEN LAYOUT. NEW KITCHEN HOOD TO HAVE H.E.R.S. CERTIFIED RATER TEST AFTER INSTALLATION. RFR. TO MEP. GEN. NOTES FOR STANDARD REQ'S. & EXIST. CONDITIONS. RFR. TO TITLE 24 REPORT FOR ENERGY REQ'S.
- 2 (N) 6' HIGH WOODEN FENCE / GATE
- 3 (N) UV-PROTECTED VELUX SKYLIGHTS --(select product code) ELECTRIC "FRESH AIR" (ICE) CURB MOUNTED (dimensions). PROVIDE ELECT. REQ'S. PER MFR. & SWITCH LOCATION/S.
- 4 REFER TO SHEET 0002 FOR NEW LANDSCAPING. LAYOUT REFLECTED ARE FOR INITIAL PLACEMENT PURPOSES ONLY. FINAL LAYOUT & PLANT SPECIES TO BE VERIFIED W/ LANDSCAPE DESIGNER & OWNER.
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- 19 ACCENT WOOD CLADDING O.A.E. VERIFY W/ OWNER FOR FINAL COLOR

INITIAL PHOTOVOLTAIC SYSTEM CALCULATION PER CITY REQUIREMENT AND REFERENCE. SOLAR SYSTEM ARE DEFERRED SUBMITTAL

Unbound Solar California New Home Construction Calculator
This calculator provides a basic estimate for research and initial planning purposes only.

Select Climate Zone	CIA Formula	Dwelling Units Formula	Enter Floor Area (sq.ft.)	Enter Number of Units
ZONE 4	X	0.586	1,21	2871
Minimum System Size:				
System Size: 2.89 kW				
Minimum System Size With Storage:				
System Size with Storage: 2.17 kW				
<small>Minimum battery storage capacity is 7.5 kWh per dwelling.</small>				

GENERAL NOTES

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 - SHALL NOT CONTAIN SCREW-BASED LAMPS.
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17. INSTALL AS REQ'D. AT LEAST ONE LUMINAIRE W/ OCCUPANCY SENSOR IN THE FOLLOWING ROOMS: BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS PER CPC 6.3.1(f)
18. PER 2019 CA ENERGY CODE 6.5.2 ALL SINGLE-FAMILY OUTDOOR LIGHTING ATTACHED TO THE RESIDENCE OR TO OTHER BUILDINGS ON THE SAME LOT MUST BE HIGH EFFICACY, AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND ONE OF THE FOLLOWING AUTOMATIC CONTROL TYPES:
 - PHOTOCONTROL AND EITHER A MOTION SENSOR OR AN AUTOMATIC TIME SWITCH CONTROL; OR
 - ASTRONOMICAL TIME CLOCK CONTROL.
 - ANY OVERRIDE TO THE ABOVE AUTOMATIC CONTROLS TO ON MUST RETURN TO AUTOMATIC CONTROL OPERATIONS WITHIN SIX HOURS. LIGHTING NOT PERMANENTLY ATTACHED TO A BUILDING ON A SINGLE-FAMILY SITE, SUCH AS DECORATIVE LANDSCAPE LIGHTING, IS NOT REGULATED BY THE RESIDENTIAL LIGHTING REQUIREMENTS. HIGH EFFICACY LIGHTING AND CONTROLS SUCH AS A TIME CLOCK OR PHOTOCONTROL WILL HELP SAVE ENERGY AND ENSURES THAT THE LIGHTING IS NOT ACCIDENTALLY LEFT ON DURING DAYLIGHT HOURS.
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**PROPOSED SINGLE FAMILY,
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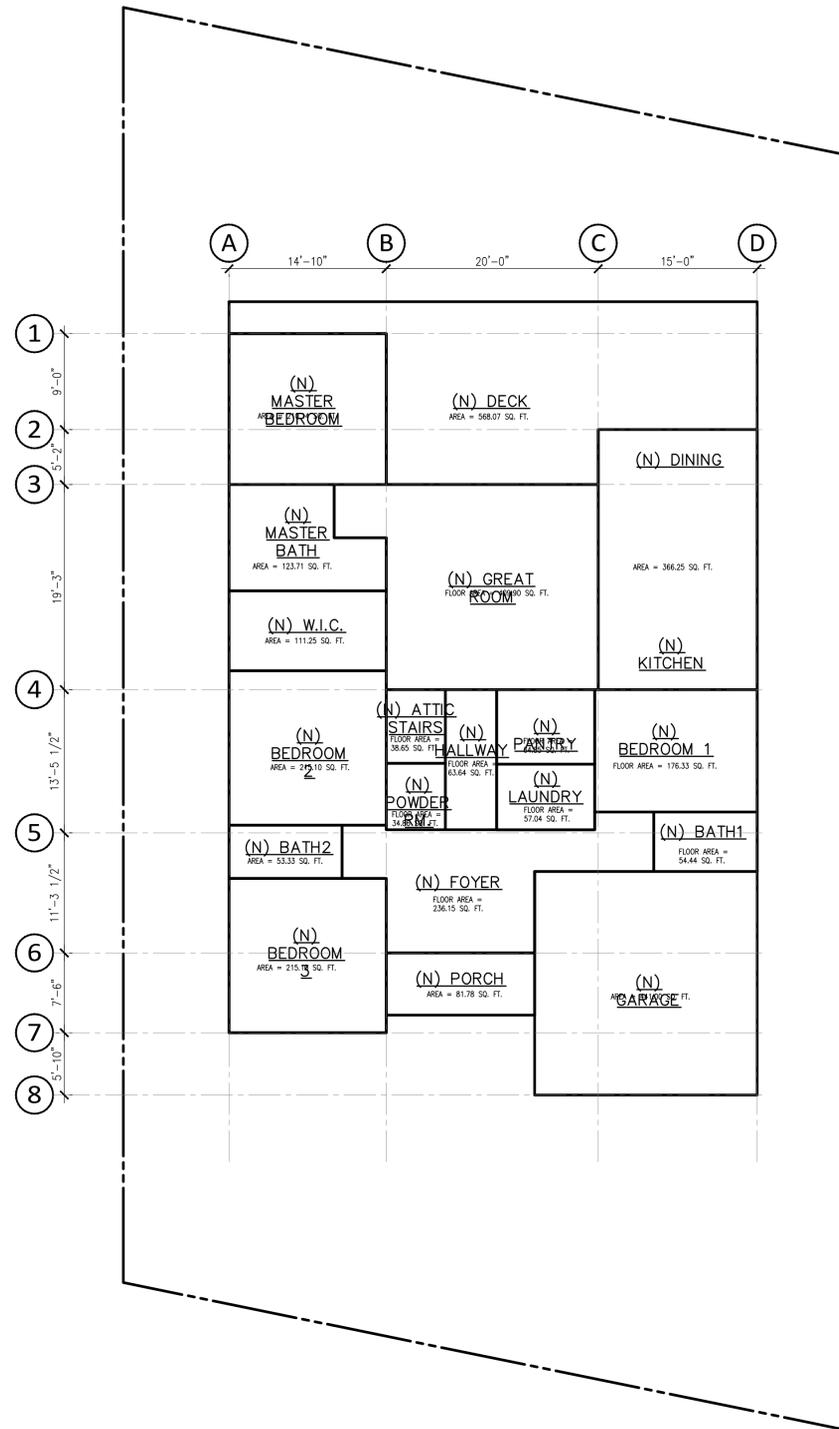
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 skang@dm.com

REVISIONS	DATE:

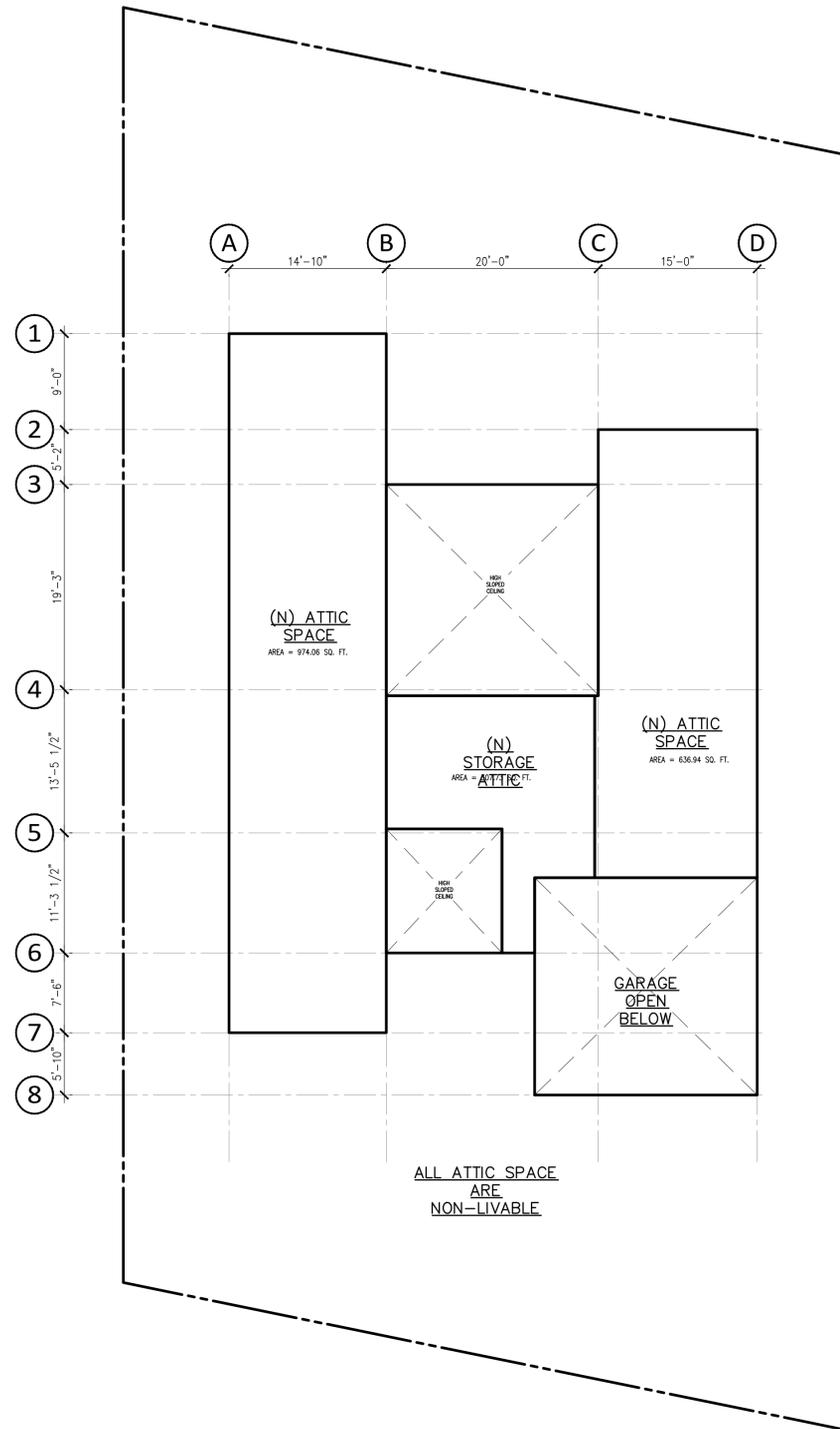
CITY STAMPS

SHEET TITLE:
PROPOSED ROOF PLAN

PROJECT NO: 20231361
 DRAWN BY: MAB
 DATE: 02-02-2023
 SCALE: 1/4" = 1'-0"
 DRAWING NO: **A103**



1 FIRST FLOOR AREA DIAGRAM
SCALE: 1/8" = 1'-0"



1 ATTIC SPACE AREA DIAGRAM
SCALE: 1/8" = 1'-0"

ARCHITECT:
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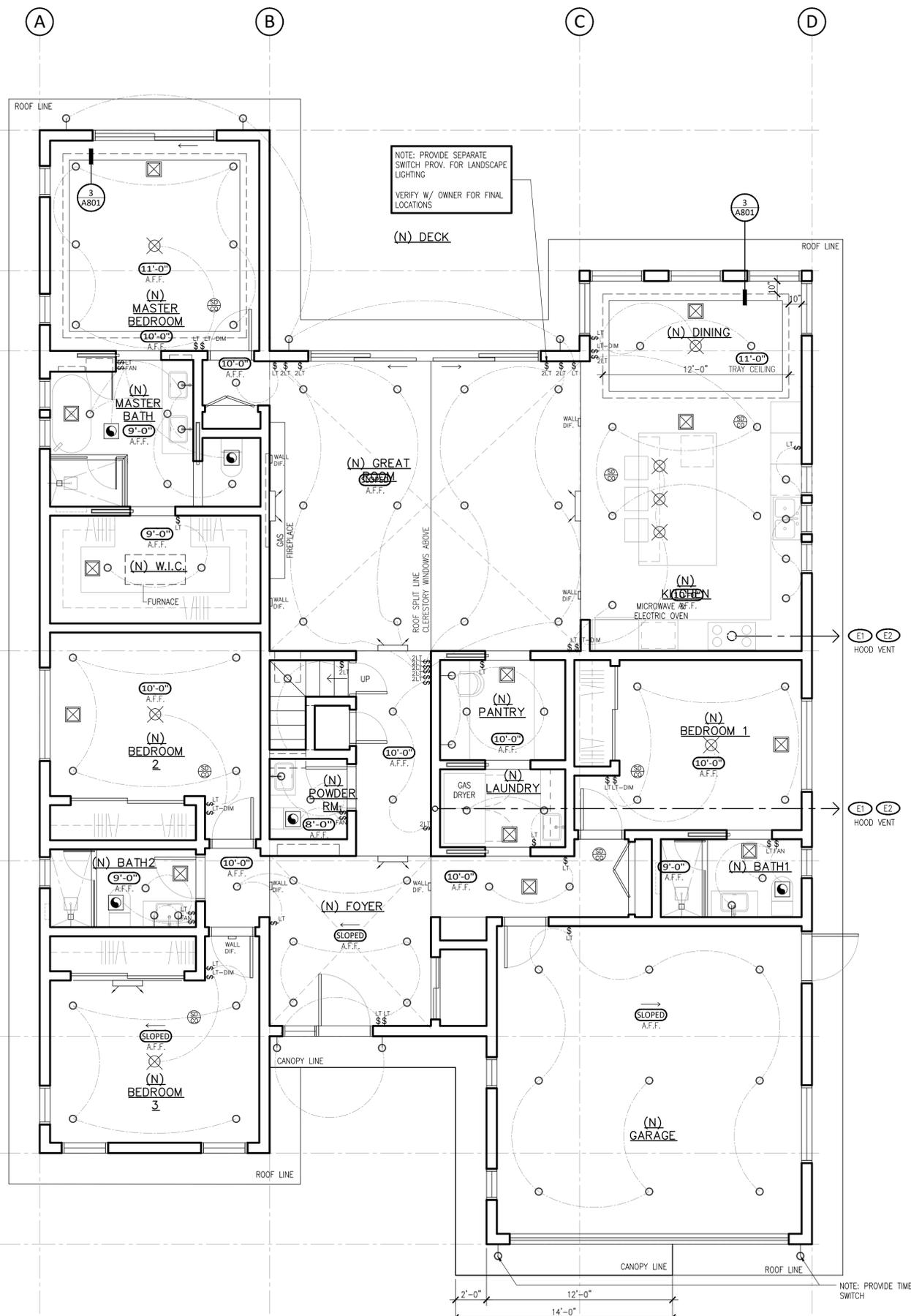
REVISIONS	DATE:

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CITY STAMPS

SHEET TITLE:
**FLOOR AREA
DIAGRAM**

PROJECT NO: 20231361
DRAWN BY: MAB
DATE: 02-02-2023
SCALE: 1/4" = 1'-0"
DRAWING NO: **A104**



1 PROPOSED REFLECTED CEILING/ LIGHTING & MECHANICAL PLAN
SCALE: 1/4" = 1'-0"

MECHANICAL NOTES

- EXHAUST AIR SHALL NOT BE DIRECTED ONTO WALKWAYS. AIR EXHAUST AND INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANCE SCREENS, LOUVERS OR GRILLES HAVING A MINIMUM OPENING SIZE OF 1/4" AND A MAXIMUM OPENING SIZE OF 1/2" IN ANY DIMENSION. OPENINGS SHALL BE PROTECTED AGAINST LOCAL WEATHER CONDITIONS. OUTDOOR AIR EXHAUST AND INTAKE OPENINGS SHALL MEET THE PROVISIONS FOR THE EXTERIOR WALL OPENING PROTECTIVE IN ACCORDANCE WITH CRC.R303.4.2 AND R303.5.
- MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS SHALL BE LOCATED A MINIMUM OF 1- FEET FROM ANY HAZARDOUS OR NOXIOUS CONTAMINANT, SUCH AS VENTS, CHIMNEYS, PLUMBING VENTS, STREETS, ALLEYS, PARKING LOTS AND LOADING DOCKS, EXCEPT AS OTHERWISE SPECIFIED IN THE CMC 2010. WHERE A SOURCE OF A CONTAMINANT IS LOCATED WITHIN 10 FEET OF AN INTAKE OPENING, SUCH OPENING SHALL BE LOCATED A MINIMUM OF 2 FEET BELOW THE CONTAMINANT SOURCE. FOR THE PURPOSE OF THIS SECTION, THE EXHAUST FROM DWELLING UNIT TOILET ROOMS, BATHROOMS AND KITCHENS SHALL NOT BE CONSIDERED AS HAZARDOUS OR NOXIOUS.
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- THE EXISTING RELOCATED FURNACE UNIT IS ADEQUATE TO SUPPORT THE ADDITIONAL FLOOR AREAS.
- PROVIDE THE HABITABLE SPACE WITH A HEATING SYSTEM CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68°F AT POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- THE DRYER VENT DUCT SHALL BE 4" WITH A MAXIMUM RUN OF 14', INCLUDING TWO 90-DEGREE ELBOWS, PER CMC 504.3.2.2. AND SHALL HAVE A BACK DRAFT DAMPER CMC 504.1. ADDITIONALLY, CLOTHES DRYER EXHAUST DUCTS SHALL TERMINATE 3 FEET FROM PROPERTY LINES AND 3 FEET FROM ANY OPENINGS INTO THE BUILDING. CMC 504.5
- ALL (N) EQUIPMENT TO BE APPROVED BY TESTING AUTHORITY APPROVED BY LOCAL JURISDICTION. PROVIDE INSTALLATION INSTRUCTIONS ON ALL (N) EQUIPMENT TO FIELD INSPECTOR AT TIME OF INSPECTION. PER CMC 302.2.1.1, PROVIDE SEISMIC BRACING SECURED TO STRUCTURE PER COR 410(A). PROVIDE CATWALK & SERVICE PLATFORM TO ATTIC EQUIP. INSTALLATIONS PER CMC 304.0 ENSURE INLET AIR DUCTING TO ENSURE SUFFICIENT SUPPLY OF AIR FOR PROPER FUEL COMBUSTION, REFER TO MFR. INSTALLATION REQ'S.
- ALL ENVIRONMENTAL AIR DUCT TERMINATIONS OF AIR DUCTS AND VENTS SHALL BE A MIN. OF 36" AWAY FROM ANY OPENINGS INTO THE BUILDING PER CMC SECT. 502.2.1.
- CLOTHES DRYER EXHAUST DUCTS SHALL BE OF RIGID METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES. THE DIAMETER SHALL BE NOT LESS THAN 4 INCHES NOMINAL AND THE THICKNESS SHALL BE NOT LESS THAN 0.016" OF AN INCH PER CMC 504.4.2. UNLESS OTHERWISE PERMITTED OR REQUIRED BY THE DRYER MANUFACTURER'S INSTRUCTIONS AND APPROVED BY THE AUTHORITY HAVING JURISDICTION, DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE (1.57 RAD) ELBOWS. A LENGTH OF 2 FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE (1.57 RAD) ELBOW IN EXCESS OF TWO PER CMC 504.4.2.1

LEGEND RCP / LIGHT / MECH

- ELECTRICAL PANEL BOARD
- SPRINKLER
- SMOKE & CARBON MONOXIDE DETECTOR
- SPEAKER
- LED PINLIGHT W/ DIFFUSER
- LED SURFACE-MOUNTED LIGHT
- ACCENT WALL LED SCONCE LIGHT
- ACCENT HANGING LED LIGHT
- MECHANICAL EXHAUST
- THERMOSTAT
- MAIN SWITCH BANK
- 24"x24" CEILING RECESSED LED LIGHT
- AIR SUPPLY
- AIR RETURN
- ROUND AIR DIFFUSER
- WALL-MOUNTED AIR SUPPLY
- SURFACE FLUORESCENT
- HUNG FLUORESCENT
- POLE-MOUNTED LIGHT
- TRACK LIGHT
- FLOOD LIGHT
- STEP LIGHT (RISER-MOUNTED)
- CAMERA / CCTV
- WALL MOUNTED AIR REGISTERS

KEYED NOTES

- VENT OUT THROUGH WALL
- ALL NEW EXHAUST / MECHANICAL DUCTS ARE TO BE LIMITED TO 40 FEET MAX IN ACCORDANCE TO THE ENERGY COMPLIANCE DOCUMENTATION (CF-1R-PRF-01E).

GENERAL NOTES

- PROVIDE TAMPER PROOF, ARC-FAULT CIRCUIT INTERRUPTER(AFCI) OUTLETS AND RECEPTACLES IN REMODELED ROOMS, PROVIDE GFCI ELECTRICAL OUTLET PROTECTION AT NEW KIT. & BATH LOCATIONS. AFCI'S SHALL BE LISTED TO PROTECT THE ENTIRE BRANCH CIRCUIT PER CEC 210.8(A).
- ALL AREAS SPECIFIED IN CEC 210.52, ALL 125 VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES. CEC 406.11.
- ALL LIGHTS AT BATHROOM TO BE SUITABLE FOR DAMP LOCATION
- THE PERMANENTLY INSTALLED LUMINAIRES IN BATHROOMS, ATTACHED AND DETACHED GARAGES, LAUNDRY ROOMS, CLOSETS AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES.
- THE PERMANENTLY INSTALLED LUMINAIRES LOCATED IN ROOMS OR AREAS OTHER THAN IN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS, CLOSETS AND UTILITY ROOMS SHALL BE EFFICACY LUMINAIRES.
- LUMINAIRES RECESSED INTO CEILINGS SHALL MEET ALL OF THE FOLLOWING CONDITIONS.
 - A. BE LISTED, AS DEFINED IN SECTION 101, FOR ZERO CLEARANCE INSULATION CONTACT (ZC) UNDERWRITERS' LABORATORIES OR OTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORIES.
 - B. PROVIDE LABEL THAT CERTIFIES THAT THE LUMINAIRES AIRTIGHT WITH A LEAKAGE LESS THAN 20 CFM AT 75 PASCALES WHEN TESTED IN ACCORDANCE WITH ASTM E283.
 - C. BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH THE GASKET OR CAULK.
 - D. FOR RECESSED LUMINAIRES WITH BALLASTS TO QUALITY AS HIGH EFFICACY FOR COMPLIANCE WITH SECTION 150(n), THE BALLASTS SHALL BE CERTIFIED TO THE COMMISSION TO COMPLY WITH SECTION 119(n).
 - E. ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW THE CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN CEILING.
- PERMANENTLY INSTALLED OUTDOOR LIGHTING ATTACHED TO THE BUILDING SHALL CONSIST OF HIGH EFFICACY LUMINAIRES UNLESS CONTROLLED BY AN APPROVED MOTION SENSOR. SENSORS CANNOT HAVE AN OVERRIDE ALLOWING THE LIGHT FIXTURE TO BE CONTINUOUSLY ON.
- THE COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" FROM RECESSED LUMINAIRES, FAN MOTORS AND OTHER HEAT PRODUCING DEVICES, HOWEVER, WHERE HEAT-PRODUCING DEVICES ARE LISTED FOR LESSER CLEARANCES, COMBUSTIBLE INSULATION COMPLYING WITH THE LISTING REQUIREMENTS SHALL BE SEPARATED IN ACCORDANCE WITH THE CONDITIONS STIPULATED IN THE LISTING.
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING ENVELOPE SHALL MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN THE CALIFORNIA ENERGY CODE FOR RECESSED LUMINAIRES INSTALLED IN CEILINGS.
- THE NFRC LABEL, WHICH STATES THE REQUIRED U-VALUE AND SGHC FOR ALL FENESTRATION PRODUCTS SHALL NOT BE REMOVED PRIOR TO INSPECTION OR REMOVAL BY BUILDING INSPECTOR AND SHALL REFLECT THE VALUES LISTED IN THE ENERGY REPORT.
- CONTRACTOR TO V.I.F. EXISTING CONDITIONS AT TIME OF BID AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THESE DRAWINGS.
- RECESSED DOWN LIGHT LUMINAIRES IN CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE. SHALL BE CERTIFIED AS AIRTIGHT (INCLUDING EXHAUST FAN HOUSINGS), SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, SHALL NOT CONTAIN SCREW BASE SOCKETS, AND ALL LIGHT SOURCES SHALL BE MARKED WITH "JAB-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JAB.
- ALL FORWARD PHASE OUT DIMMERS USED WITH LED LIGHT SOURCES SHALL COMPLY WITH NEMA SSL 7A.
- EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.
- LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF.
- IN BATHROOMS GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
- DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES (EXCEPTIONS: LUMINAIRES IN CLOSETS LESS THAN 70 SQ. FT. AND IN HALLWAYS).
- UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- KITCHEN BRANCH CIRCUIT CODE REQ'S:
 - A MINIMUM OF TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED TO SERVE COUNTERTOP AND WALL RECEPTACLES IN THE KITCHEN, PANTRY AND DINING ROOM [CEC 210.11A]. NO BUILT-IN APPLIANCES ARE ALLOWED ON THESE CIRCUITS (EXCEPT AN ELECTRIC CLOCK OR THE IGNITION OF A GAS RANGE).
 - INDIVIDUAL (DEDICATED) CIRCUITS ARE REQUIRED FOR GARBAGE DISPOSALS, MICROWAVES, COMPACTORS, AND DISHWASHERS. [CEC210.19A(B)]
 - AFCI (ARC-FAULT CIRCUIT-INTERRUPTER) PROTECTION IS REQUIRED FOR ALL 120V 15- & 20-AMP KITCHEN CIRCUITS. [CEC210.12A]
- RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEAS. HORIZONTALLY ALONG THE FLR. LINE IN ANY WALL SPACE IS OVER 6 FEET FROM THE RECEPTACLE, ALLOWING A MAX. OF 12 FEET BETWEEN RECEPTACLES ON THE SAME WALL. ANY RECEPTACLE INSTALLED FOR A SPECIFIC APPLIANCE MUST BE LOCATED WITHIN 6 FEET OF THE APPLIANCE. AT LEAST ONE RECEPTACLE MUST BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING UNIT, AND BE LISTED AS WEATHER RESISTANT TYPE RECEPTACLE. ALL 120V 15- AND 20- AMPERE RECEPTACLES INSTALLED IN AREAS SPECIFIED BY ART. 210.52 SHALL BE LISTED AS TAMPER-RESISTANT TYPE. ALL 120V 15- AND 20-AMPERE RECEPTACLES SHALL HAVE ARC-FAULT CIRCUIT PROTECTION PER CEC 210.12(A)
- KITCHEN OUTLETS SHALL BE SPACED AT 4' O.C. MAX., NO POINT ALONG COUNTERS 2' OR LONGER SHALL BE WITHOUT AN OUTLET. KITCHEN ISLAND SHALL HAVE MIN. OF ONE RECEPTACLE PER EACH 4' COUNTER TOP SECTION. KITCHEN COUNTERS SHALL HAVE MIN. TWO (2) DEDICATED 20-AMP MIN. CIRCUITS FOR COUNTER RECEPTACLES, THAT MAY NOT SERVE OTHER OUTLETS OR FIXTURES. CEC 210.52.3
- CA GREEN BLDG. STANDARDS CODE 4.106.4.1 EV CHARGING UNITS MUST BE INSTALLED FOR EACH DWELLING UNIT TO INCLUDE A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICES. CA GREEN BLDG. STANDARDS CODE 5.106.5.3 ELECTRIC VEHICLE (EV) CHARGING. SECTION SHALL APPLY TO NEWLY CONSTRUCTED BUILDINGS OR ADDITIONS AND/OR ALTERATIONS TO EXISTING BUILDINGS.
- PROVIDE DEDICATED CIRCUIT FOR NEW BATHROOM & LAUNDRY RECEPTACLE OUTLETS [CEC 210.8(A)(1), 210.11(C)(3), 210.52(0), 406.9]
- DEDICATED CIRCUIT LAUNDRY RECEPTACLE OUTLETS, ON 125V, 15- AND 20-AMP CIRCUITS TO BE GFCI PROTECTED. [CEC 210.8(A)(2), 210.11(C)(2), 210.52(F)]
- PROVIDE A SEPARATE BRANCH CIRCUITS FOR MOTOR DRIVEN APPLIANCE SUCH AS GARBAGE DISPOSAL AND DISHWASHER. [CEC 430.42, 430.53(A)(1) AND (A)(2)]

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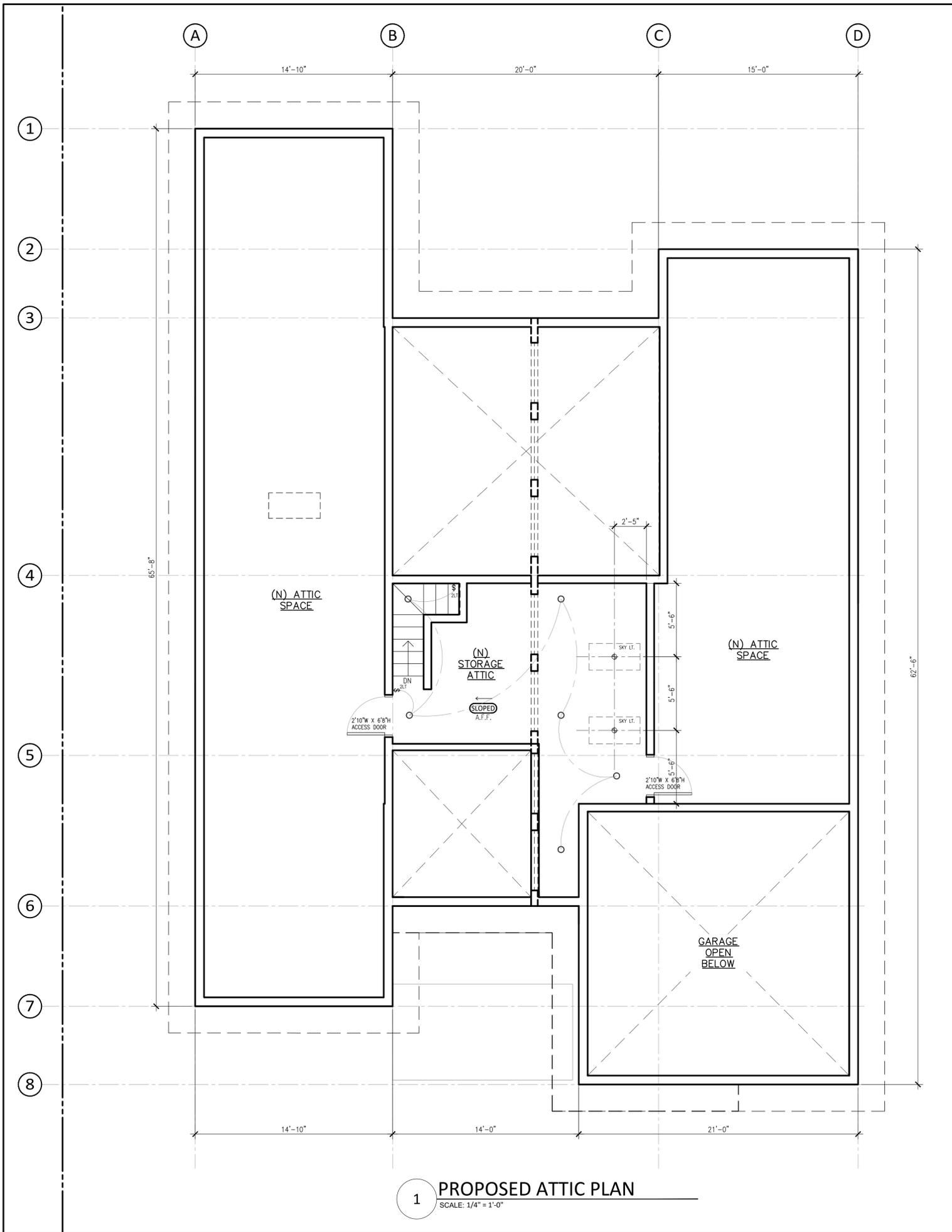
REVISIONS	DATE:

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CITY STAMPS

SHEET TITLE:
PROPOSED REFLECTED CEILING/LIGHTING & MECHANICAL PLAN

PROJECT NO: 20231361
DRAWN BY: MAB
DATE: 02-02-2023
SCALE: 1/4" = 1'-0"
DRAWING NO: **A201**



1 PROPOSED ATTIC PLAN
SCALE: 1/4" = 1'-0"

MECHANICAL NOTES

- EXHAUST AIR SHALL NOT BE DIRECTED ONTO WALKWAYS. AIR EXHAUST AND INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS OR GRILLES HAVING A MINIMUM OPENING SIZE OF 3/4" AND A MAXIMUM OPENING SIZE OF 2" IN ANY DIMENSION. OPENINGS SHALL BE PROTECTED AGAINST LOCAL WEATHER CONDITIONS. OUTDOOR AIR EXHAUST AND INTAKE OPENINGS SHALL MEET THE PROVISIONS FOR THE EXTERIOR WALL OPENING PROTECTIVE IN ACCORDANCE WITH CRC.R303.4.2 AND R303.5.
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LEGEND RCP / LIGHT / MECH

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- SPEAKER
- LED PINLIGHT W/ DIFFUSER
- LED SURFACE-MOUNTED LIGHT
- ACCENT WALL LED SCONCE LIGHT
- ACCENT HANGING LED LIGHT
- MECHANICAL EXHAUST
- THERMOSTAT
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- CAMERA / CCTV
- WALL MOUNTED AIR REGISTERS

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 - D. FOR RECESSED LUMINAIRES WITH BALLASTS TO QUALITY AS HIGH EFFICACY FOR COMPLIANCE WITH SECTION 150(h), THE BALLASTS SHALL BE CERTIFIED TO THE COMMISSION TO COMPLY WITH SECTION 119(n).
 - E. ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW THE CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN CEILING.
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- LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF.
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- DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES (EXCEPTIONS: LUMINAIRES IN CLOSETS LESS THAN 70 SQ. FT. AND IN HALLWAYS).
- UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- KITCHEN BRANCH CIRCUIT CODE REQ'S:
 - A MINIMUM OF TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED TO SERVE COUNTERTOP AND WALL RECEPTACLES IN THE KITCHEN, PANTRY AND DINING ROOM [CEC 210.11A]. NO BUILT-IN APPLIANCES ARE ALLOWED ON THESE CIRCUITS (EXCEPT AN ELECTRIC CLOCK OR THE IGNITION OF A GAS RANGE).
 - INDIVIDUAL (DEDICATED) CIRCUITS ARE REQUIRED FOR GARBAGE DISPOSALS, MICROWAVES, COMPACTORS, AND DISHWASHERS. [CEC210.19A18]
 - AFCI (ARC-FAULT CIRCUIT-INTERRUPTER) PROTECTION IS REQUIRED FOR ALL 120V 15- & 20-AMP KITCHEN CIRCUITS. [CEC210.12A]
- RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEAS. HORIZONTALLY ALONG THE FLR. LINE IN ANY WALL SPACE IS OVER 6 FEET FROM THE RECEPTACLE, ALLOWING A MAX. OF 12 FEET BETWEEN RECEPTACLES ON THE SAME WALL. ANY RECEPTACLE INSTALLED FOR A SPECIFIC APPLIANCE MUST BE LOCATED WITHIN 6 FEET OF THE APPLIANCE. AT LEAST ONE RECEPTACLE MUST BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING UNIT, AND BE LISTED AS WEATHER RESISTANT TYPE RECEPTACLE. ALL 120V 15- AND 20- AMPERE RECEPTACLES INSTALLED IN AREAS SPECIFIED BY ART. 210.52 SHALL BE LISTED AS TAMPER-RESISTANT TYPE. ALL 120V 15- AND 20- AMPERE RECEPTACLES SHALL HAVE ARC-FAULT CIRCUIT PROTECTION PER CEC 210.12(A)
- KITCHEN OUTLETS SHALL BE SPACED AT 4' O.C. MAX., NO POINT ALONG COUNTERS 2' OR LONGER SHALL BE WITHOUT AN OUTLET. KITCHEN ISLAND SHALL HAVE MIN. OF ONE RECEPTACLE PER EACH 4' COUNTER TOP SECTION. KITCHEN COUNTERS SHALL HAVE MIN. TWO (2) DEDICATED 20-AMP MIN. CIRCUITS FOR COUNTER RECEPTACLES, THAT MAY NOT SERVE OTHER OUTLETS OR FIXTURES. CEC 210.52.3
- CA GREEN BLDG. STANDARDS CODE 4.106.4.1 EV CHARGING UNITS MUST BE INSTALLED FOR EACH DWELLING UNIT TO INCLUDE A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICES. CA GREEN BLDG. STANDARDS CODE 5.103.3 ELECTRIC VEHICLE (EV) CHARGING. SECTION SHALL APPLY TO NEWLY CONSTRUCTED BUILDINGS OR ADDITIONS AND/OR ALTERATIONS TO EXISTING BUILDINGS.
- PROVIDE DEDICATED CIRCUIT FOR NEW BATHROOM & LAUNDRY RECEPTACLE OUTLETS [CEC 210.8(A)(1), 210.11(C)(3), 210.52(D), 406.9]
- DEDICATED CIRCUIT LAUNDRY RECEPTACLE OUTLETS, ON 125V, 15- AND 20-AMP CIRCUITS TO BE GFCI PROTECTED. [CEC 210.8(A)(2), 210.11(C)(2), 210.52(F)]
- PROVIDE A SEPARATE BRANCH CIRCUITS FOR MOTOR DRIVEN APPLIANCE SUCH AS GARBAGE DISPOSAL AND DISHWASHER. [CEC 430.42, 430.53(A)(1) AND (A)(2)]

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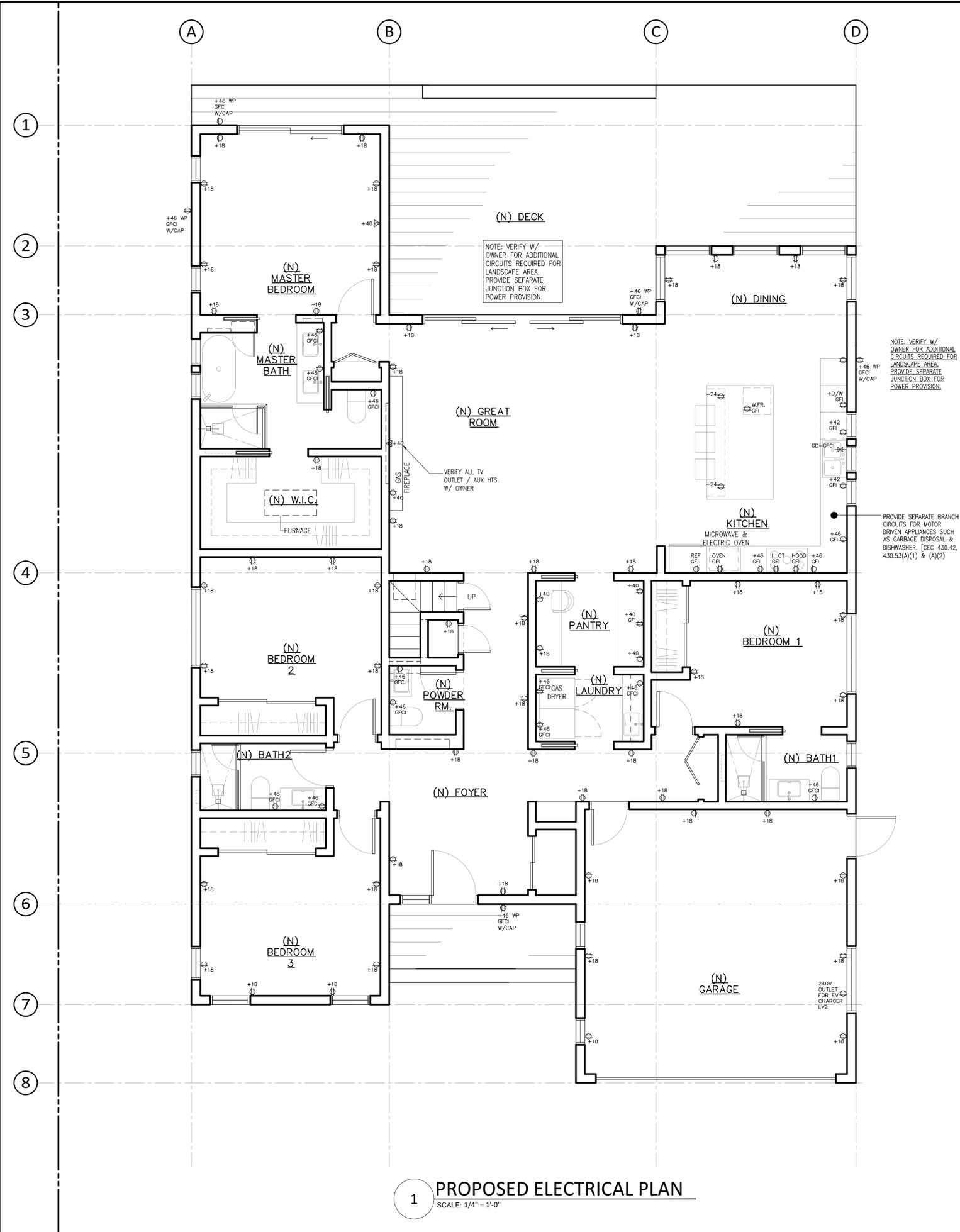
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REVISIONS	DATE:

CITY STAMPS

SHEET TITLE:
**PROPOSED ATTIC
 REFLECTED CEILING
 PLAN**

PROJECT NO: 20231361
 DRAWN BY: MAB
 DATE: 02-02-2023
 SCALE: 1/4" = 1'-0"
 DRAWING NO: **A201B**



LEGEND ELECTRICAL / GAS

- ELECTRICAL PANEL BOARD
- 2-GANG POWER OUTLET W/ HEIGHT A.F.F.
- SIGNAGE OUTLET (SEE ELEVATIONS), POWER PROVISION SHOULD BE HARDWIRED TO SIGNAGE, VERIFY WITH MANUFACTURER
- QUAD POWER OUTLET W/ HEIGHT A.F.F.
- TELEPHONE / LAN OUTLET W/ HEIGHT A.F.F.
- CATV OUTLET
- FLOOR RECESSED QUAD POWER OUTLET, PROVIDE COVER TO BE FLUSHED TO FLOOR
- FLOOR RECESSED LAN OUTLET, PROVIDE COVER TO BE FLUSHED TO FLOOR
- PROVIDE 1/2" H.P. GARAGE DISPOSAL W/ SWITCHED ELECT. OUTLET ON LOWER SINK CABINET.
- GAS LINE

ELECTRICAL NOTES

1. CONTRACTOR TO V.I.F. EXISTING CONDITIONS AT TIME OF BID AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THESE DRAWINGS.
2. ALL ELECTRICAL OUTLETS IN THE KITCHEN AND BATHROOMS ARE TO BE G.F.C.I. PROTECTED
3. ALL ELECTRICAL OUTLETS OUTSIDE ARE TO BE G.F.I.C. PROTECTED WITH W.P. CAP
4. A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING ROOM OR OTHER SIMILAR AREAS (CEC 210.11(C)1)
5. PROVIDE WATER-SEALED RECEPTACLES IN ALL OUTLETS AT BAR AND KITCHEN.
6. CONTRACTOR TO VERIFY LOAD REQUIREMENTS FROM MANUFACTURER FOR ALL EQUIPMENT OUTLETS
7. SEE ELEVATIONS FOR ALL SIGNAGE POWER PROVISION HEIGHTS.
8. AN ARC-FAULT CIRCUIT INTERRUPTER IS REQUIRED IN ALL FAMILY ROOMS, DINING ROOMS, BEDROOMS, LIVING ROOMS, PARLORS AND SIMILAR AREAS. CEC 210.12(B)
9. ALL AREAS SPECIFIED IN CEC 210.52, ALL 125 VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES. CEC 406.11.
10. NEW KITCHEN HOOD TO HAVE H.E.R.S. CERTIFIED RATER TEST AFTER INSTALLATION.
11. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEAS. HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS OVER 6 FEET FROM THE RECEPTACLE, ALLOWING A MAX. OF 12 FEET BETWEEN RECEPTACLES ON THE SAME WALL. ANY RECEPTACLE INSTALLED FOR A SPECIFIC APPLIANCE MUST BE LOCATED WITHIN 6 FEET OF THE APPLIANCE. AT LEAST ONE RECEPTACLE MUST BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING UNIT, AND BE LISTED AS WEATHER RESISTANT TYPE RECEPTACLE. ALL 120V 15- AND 20- AMPERE RECEPTACLES INSTALLED IN AREAS SPECIFIED BY ART. 210.52 SHALL BE LISTED AS TAMPER-RESISTANT TYPE. ALL 120V 15- AND 20- AMPERE RECEPTACLES SHALL HAVE ARC-FAULT CIRCUIT PROTECTION PER CEC 210.12(A)
12. KITCHEN OUTLETS SHALL BE SPACED AT 4' O.C. MAX., NO POINT ALONG COUNTERS 2' OR LONGER SHALL BE WITHOUT AN OUTLET. KITCHEN ISLAND SHALL HAVE MIN. OF ONE RECEPTACLE PER EACH 4' COUNTER TOP SECTION. KITCHEN COUNTERS SHALL HAVE MIN. TWO (2) DEDICATED 20-AMP MIN. CIRCUITS FOR COUNTER RECEPTACLES, THAT MAY NOT SERVE OTHER OUTLETS OR FIXTURES. CEC 210.52.3
20. KITCHEN BRANCH CIRCUIT CODE REQ'S:
21. A MINIMUM OF TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED TO SERVE COUNTERTOP AND WALL RECEPTACLES IN THE KITCHEN, PANTRY AND DINING ROOM (CEC 210.11A). NO BUILT-IN APPLIANCES.
22. ARE ALLOWED ON THESE CIRCUITS (EXCEPT AN ELECTRIC CLOCK OR THE IGNITION OF A GAS RANGE).
23. INDIVIDUAL (DEDICATED) CIRCUITS ARE REQUIRED FOR GARBAGE DISPOSALS, MICROWAVES, COMPACTORS, AND DISHWASHERS. [CEC210.19A1B]
24. AFCI (ARC-FAULT CIRCUIT-INTERRUPTER) PROTECTION IS REQUIRED FOR ALL 120V 15-& 20-AMP KITCHEN CIRCUITS. [CEC210.12A]
25. CA GREEN BLDG. STANDARDS CODE 4.106.4.1 EV CHARGING UNITS MUST BE INSTALLED FOR EACH DWELLING UNIT TO INCLUDE A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICES.
26. CA GREEN BLDG. STANDARDS CODE 5.106.5.3 ELECTRIC VEHICLE (EV) CHARGING. SECTION SHALL APPLY TO NEWLY CONSTRUCTED BUILDINGS OR ADDITIONS AND/OR ALTERATIONS TO EXISTING BUILDINGS.

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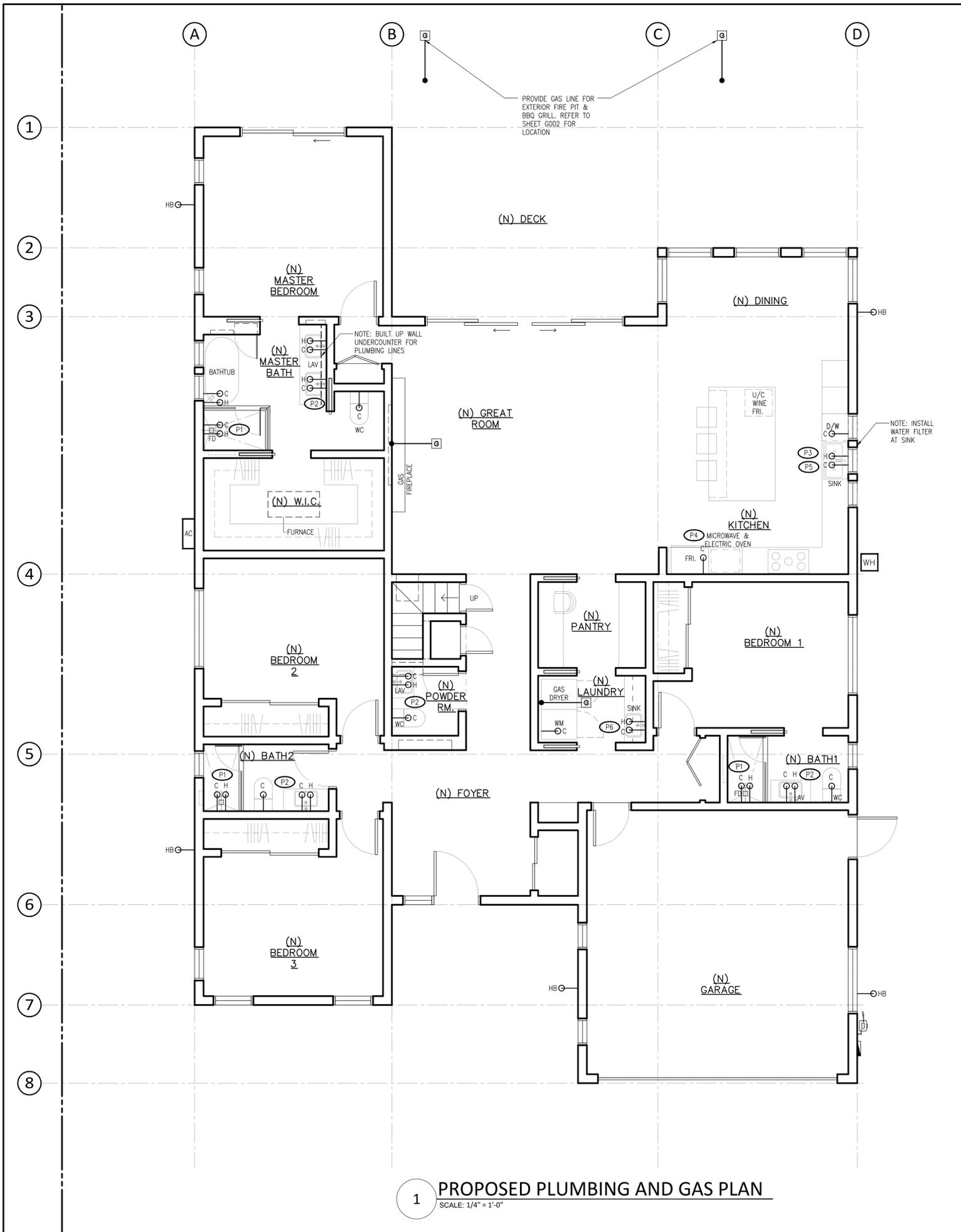
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CITY STAMPS

SHEET TITLE:
PROPOSED ELECTRICAL PLAN

PROJECT NO: 20231361
DRAWN BY: MAB
DATE: 02-02-2023
SCALE: 1/4" = 1'-0"
DRAWING NO: **A202**



1 PROPOSED PLUMBING AND GAS PLAN
SCALE: 1/4" = 1'-0"

LEGEND PLUMBING

C	COLD WATER VALVE
H/C	HOT & COLD WATER VALVE
HB	HOSE BIBB
CO	CLEANOUT
FD	FLOOR DRAIN
DW	DISHWASHER
DS	DOWNSPOUT
VSTR	VENT STACK THROUGH ROOF

- ### KEYED NOTES
- (P1) @ (N) SHWR(S) PROVIDE THERMOST. TEMP. CNTRL. VALVE, ENSURE CODE COMPLIANCE, REF. TO SHT. AD.3/4 VERIFY CONDITIONS AND MODELS W/ OWNER PRIOR TO ORDER, TYP.
 - (P2) INSTALL (N) SINK & VANITY, AND TOILET ROUGH PLUMBING SUPPLY LINES AND DRAINAGE. PROVIDE (N) GYP. BD. WALLS & CEILING AT (N) EN SUITE BATH RM., AND CONNECT PLUMBING VENTS FR. BATHS TO (N) PLUMBING VENT STACKS TO ROOF, U.N.O., REFER TO SHT. MEP1.0, TYP.
 - (P3) INSTALL ROUGH PLUMBING SUPPLY LINES & DRAINAGE FOR (N) KITCHEN SINKS & DISHWASHER. CONNECT PLUMBING VENTS TO (N) PLUMBING VENT STACKS TO ROOF, U.N.O., TYP. REFER TO SHT. MEP1.0 FOR LOC'S.
 - (P4) PROVIDE 1/4" MIN. COPPER COLD WATER LINE TO REFRIGERATOR ICE MAKER W/ ACCESS TO REMOVABLE FILTER W/ SHUT-OFF COCK IN RECESSED AREA IN WALL. VERIFY PLACEMENT AND REQUIREMENTS WITH MFG SPECS. TYP.
 - (P5) PROV. (N) DISHWASHER AS SELECTED BY OWNER INTO CABINET NICHE. PROVIDE ELECT. OUTLET & WATER SERVICE PER MFG'S SPECS.
 - (P6) RE-ROUTE (E) WATER SUPP. DRAIN TO (N) LOC. @ (N) SINKS. VERIFY (E) WTR. SUPPLY LINES W/ (N) LOAD REQ'S.
 - (P7) VERIFY (E) PLUMBING VENT RUNS FOR NEW VENT CONNECTIONS, LOC. (N) PLUMBING VENT PENETRATIONS AT ROOF, TYP.

- ### PLUMBING NOTES
- THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY
- WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC, INSTALLATION STANDARDS OF APPENDIX 1 OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. SPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.1.1(D) OF THE CPC PRIOR TO PERMIT ISSUANCE. PIPING MATERIAL TO BE COPPER.
 - DOMESTIC DISHWASHERS REQUIRE AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHER. LISTED AIR GAPS SHALL BE INSTALLED WITH THE FLOOD-LEVEL (FL) MARKING AT OR ABOVE THE FLOODLEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER. (CPC 807.3)
 - SHOWER HEAD : GLACIER BAY- BUILDERS SINGLE-HANDLE 1 SPRAY PRESSURE BALANCE SHOWER FAUCET. WATERSENSE CERTIFIED WITH 1.8 GPM FLOW RATE.FLUSH VOLUME: 1.8 GALLONS/FLUSH < 2.0 GALLONS/FLUSH
 - WATER CLOSETS: GLACIER BAY 2-PIECE 1.1 GPF/1.6 GPF HIGH EFFICIENCY DUAL FLUSH COMPLETE ELONGATED TOILET. FLUSH VOLUME: 1.27 GALLONS/FLUSH < 1.28 GALLONS/FLUSH
 - LAVATORY FAUCETS: GLACIER BAY CONSTRUCTOR 4 IN. CENTERSET 2-HANDLE MID-ARC BATHROOM FAUCET WITH CLICK INSTALL POP UP. FLOW RATE(MAX)=1.2 GALLONS/MINUTE AT 80PSI
 - KITCHEN FAUCETS:DELTA FOUNDATIONS 2-HANDLE BAR FAUCET. FLOW RATE(MAX)=1.8 GALLONS/MINUTE AT 60PSI
 - HOT WATER PIPING TO HAVE MINIMUM WALL INSULATION THICKNESS OF NOT LESS THAN THE DIAMETER OF THE PIPE, AND INSULATION OF 1" OR A MINIMUM R-7.2 INSULATION WHERE THE PIPE HAS A NOMINAL DIAMETER OF 0.75" AND LESS THAN 1". [CPC 609.11.2, CENC 150.0(J)]
 - ALL DOWNSPOUTS TO DISCHARGE TO 5 FEET MINIMUM FROM THE FOUNDATION TO AN APPROVED DRAINAGE SYSTEM.
 - ALL EXISTING PLUMBING FIXTURES NOT INCLUDED IN THE SCOPE OF NEW WORK SHALL BE REPLACED, IF NECESSARY, TO COMPLY WITH CALIFORNIA SENATE BILL SB407 & CGSC 4.303.1 AS FOLLOWS:
 - WATER CLOSETS NOT TO EXCEED 1.28 GPF.
 - SINGLE SHOWERHEAD: NOT TO EXCEED 1.8 GPM AT 80 PSI, CERTIFIED U.S. EPA WATERSENSE.
 - MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF MULTIPLE HEADS CONTROLLED BY A SINGLE VALVE. NOT TO EXCEED 1.8 GPM AT 80 PSI, OR DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET BE OPERATIONAL AT A TIME.
 - FAUCETS NOT TO EXCEED 1.2 GPM AT 60 PSI; MINIMUM FLOW RATE OF A RESIDENTIAL LAVATORY FAUCET SHALL NOT BE LESS THAN 0.8 GPM AT 20 PSI.
 - PER CPC 402.5, TOILET FIXTURES SHALL BE SET LEVEL AND IN PROPER ALIGNMENT WITH REFERENCE TO ADJACENT WALLS. NO WATER CLOSET OR BIDET SHALL BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION NOR CLOSER THAN 30 INCHES (CENTER TO CENTER TO A SIMILAR FIXTURE. THE CLEAR SPACE IN FRONT OF A WATER CLOSET, LAVATORY, OR BIDET SHALL BE NOT LESS THAN 24 INCHES. NO URINAL SHALL BE SET CLOSER THAN 12 INCHES FROM ITS CENTER TO A SIDE WALL OR PARTITION NOR CLOSER THAN 24 INCHES CENTER TO CENTER.
 - CONFIRM THAT (E) & (N) PLUMBING FIXTURES MEET THE REQ'S OF CALIF. SB 407 (2009) REPLACEMENT OF (E) NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING FIXTURES. SEE ATTACHED REGULATIONS SHT. AD.01 FOR FURTHER INFORMATION.
 - MAXIMUM HOT WATER TEMPERATURE @ SHOWER LIMITED TO 120° BY A DEVICE THAT IS IN ACCORDANCE W/ CPC 408.3.
 - SHOWERS SHALL HAVE A MIN. AREA OF 1024 SQ. IN. AND HAVE A MIN FIN. DIM OF 30" CLR. IN ANY DIRECTION. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN A 22" UNOBSTRUCTED OPENING FOR EGRESS. (CPC 408.6)
 - VERIFY (E) WATER LINE SIZING REQ.MNTS WITH (N) PLUMBING FIXTURE LOAD. IF REQ'D. PROVIDE (N) SUBAREA OR UNDERGROUND WATER PIPE, CONFIRM (N)P.O.E. AND INSTALL (N) SHUT-OFF VALVE PER CPC 606, TYP.
 - PROVIDE (N) APPRV'D AIR GAP FITTING ON DISCHARGE SIDE OF DISHWASHER DRAIN TO SINK PER CPC SECT. 807.3, TYP.
 - PROVIDE (N) ANTI-HAMMER DEVICES THAT ARE ACCESSIBLE AT ALL PLUMBING APPLIANCES & FIXTURES AS REQ'D TO MINIMIZE NOISE, TYP.

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CITY STAMPS

SHEET TITLE:
**PROPOSED
 PLUMBING AND GAS
 PLAN**

PROJECT NO: 20231361
 DRAWN BY: MAB
 DATE: 02-02-2023
 SCALE: 1/4" = 1'-0"
 DRAWING NO: **A203**

TITLE 24 CALCULATION

WATER HEATER: NEW TANKLESS --- 199K BTU/HR --- UNIFORM ENERGY FACTOR (UEF) 0.82
 HVAC: NEW SPLIT --- HEATING, 0.95 AFUE --- COOLING, 14 SEER, 12.2 EER --- DUCTING R-6
 WALLS: R-15
 WINDOWS/GLASS DOORS: U-FACTOR 0.30 --- SHGC 0.35
 RAISED FLOOR: R-19
 ROOF: ATTIC, R-30 W/ RADIANT BARRIER --- NONATTIC, R-30

GENERAL NOTES ELEVATION

- THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY
- CONTRACTOR TO V.I.F. EXISTING CONDITIONS AT TIME OF BID AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THESE DRAWINGS.
 - ALL DOWNSPOUTS TO DISCHARGE TO 5 FEET MINIMUM FROM THE FOUNDATION TO AN APPROVED DRAINAGE SYSTEM
 - EGRESS WINDOW REQUIREMENTS:
 - THE BOTTOM OF THE EGRESS WINDOW OPENING CAN'T EXCEED 44" FROM THE FINISHED FLOOR.
 - THE MINIMUM OPENING AREA OF THE EGRESS WINDOW IS 5.7 SQUARE FEET.
 - THE MINIMUM EGRESS WINDOW OPENING HEIGHT IS 24" HIGH.
 - THE MINIMUM EGRESS WINDOW OPENING IS 20" WIDE.
 - THE EGRESS WINDOW MUST HAVE A GLASS AREA OF NOT LESS THAN 8% OF THE TOTAL FLOOR AREA OF ROOM(S) FOR WHICH IT IS SERVING, TO ALLOW THE MINIMUM AMOUNT OF SUFFICIENT NATURAL LIGHT.
 - THE EGRESS WINDOW MUST HAVE A OPENING AREA OF NOT LESS THAN 4% OF THE TOTAL FLOOR AREA OF ROOM(S) FOR WHICH IT IS SERVING, TO ALLOW THE MINIMUM AMOUNT OF NATURAL VENTILATION. *
 - MULTIPLE WINDOWS CAN BE USED TO SERVICE A SINGLE AREA WHERE ONE WINDOW DOES NOT MEET THESE PERCENTAGES OF TOTAL FLOOR AREA. AS LONG AS THE TOTALLED AMOUNTS FROM THIS COMBINATION OF WINDOWS MEET OR EXCEED THE 8% FOR NATURAL LIGHT AND 4% FOR NATURAL VENTILATION

SUBFLOOR VENTILATION

PROPOSED NEW GROUND FLOOR AREA : 2,871 S.F.
 REQUIRED VENT AREA : 2,871 S.F. / 150 = 19.14 S.F.
 PROPOSED VENT AREA : 4X22 WALL VENT @ 32 = 19.55 S.F.
 TOTAL VENT AREA PROVIDED : 19.55 S.F.

NOTE:
 UNDERFLOOR AREA SHALL BE VENTILATED BY OPENINGS IN EXTERIOR SUBFLOOR WALLS. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1-30 FT. OF UNDER FLOOR AREA. THEY SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH OPENINGS OF 1/4" DIMENSIONS PER UBC.SEC.2516(C).6.

ADDRESS NUMBER NOTES

- ADDRESS NUMBERS SHALL BE INTERNALLY OR EXTERNALLY LIT DURING NON-DAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME (TYPICAL OF LOW VOLTAGE UNITS) OR IF LIT ONLY DURING NON-DAYLIGHT HOURS, SWITCHING SHALL BE CONTROLLED BY A TIME CLOCK OR A PHOTO SENSOR. BATTERY OR PHOTO CELL POWERED UNITS CANNOT BE USED FOR REQUIRED ADDRESSING.
- ADDRESS NUMBERS SHALL BE AT LEAST FOUR INCHES HIGH AND INSTALLED ON A CONTRASTING BACKGROUND.
- ADDRESS NUMBERS SHALL READ FROM LEFT TO RIGHT. VERTICALLY POSITIONED NUMBERS ARE NOT ALLOWED.
- ADDRESS NUMBERS SHALL BE PLACED IN SUCH A LOCATION THAT EMERGENCY CREWS CAN READ THE ADDRESS FROM THE STREET FRONTING THE DWELLING.

KEYED NOTES

- (N) KITCHEN LAYOUT. NEW KITCHEN HOOD TO HAVE H.E.R.S. CERTIFIED RATER TEST AFTER INSTALLATION. RFR. TO MEP. GEN. NOTES FOR STANDARD REQ'S. & EXIST. CONDITIONS. RFR. TO TITLE 24 REPORT FOR ENERGY REQ'S.
- (N) 6' HIGH WOODEN FENCE / GATE
- (N) UV-PROTECTED VELUX SKYLIGHTS --(select product code) ELECTRIC "FRESH AIR" (VCE) CURB MOUNTED (dimensions). PROVIDE ELECT. REQ'S. PER MFR. & SWITCH LOCATION/S.
- REFER TO SHEET 0002 FOR NEW LANDSCAPING. LAYOUT REFLECTED ARE FOR INITIAL PLACEMENT PURPOSES ONLY. FINAL LAYOUT & PLANT SPECIES TO BE VERIFIED W/ LANDSCAPE DESIGNER & OWNER.
- (N) ATTIC ACCESS, MIN. 22X30"
- (N) CRAWL SPACE ACCESS, MIN. 22X30"
- IN-WALL ELECTRIC FIRE PLACE. CONFIRM W/ MANUFACTURER STANDARDS FOR INSTALLATION & UTILITY REQUIREMENTS
- (N) RECTANGULAR 26 GA. GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD. SEE SITE PLAN.
- PROVIDE SOUND ATTENUATING R-13 MIN. INSULATION AT ALL (N) AND OPEN BATHROOM INTERIOR WALLS, OPTIONAL @ BEDROOMS, VERIFY W/ OWNER
- OPTIONAL (N) SHOWER(S) PROVIDE THERMOST. TEMP. CONTROL VALVE PER CPC CHAPT. 4. VERIFY CONDITIONS AND MODELS W/ OWNER PRIOR TO ORDER, TYP.
- (N) MIN. 7/8" EXTERIOR WALL STUCCO FINISH PROVIDE CONTINUOUS WATER PROOFING MEMBRANE ON ALL JOINTS & OPENINGS. PROVIDE INSULATION PER TITLE 24 REQ'S. FINAL COLOR TO BE SELECTED BY OWNER.
- PAIN NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF KELLY MOORE OR APPROVED EQUIVALENT WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER. VERIFY COLOR W/ OWNER, TYP.
- (N) 200 AMP ELECTRIC PANEL
- (N) GAS METER
- (N) TANK-LESS WATER HEATER
- (N) CLASS A RATED COMP. ASPH. ROOF'G O/ (2)LAYERS 30 LB. ROOF'G FELT PER MFR. SPECS., TYP.
- (N) FASCIA TO BE PLACED, FINAL COLOR TO BE DETERMINED BY OWNER
- INSTALL (N) 24 GA. GSM EXPOSED GUTTER, COLOR TO MATCH ROOF TONE, W/ (N) DOWNSPOUTS (SEE KEYNOTE 8)
- ACCENT WOOD CLADDING O.A.E. VERIFY W/ OWNER FOR FINAL COLOR



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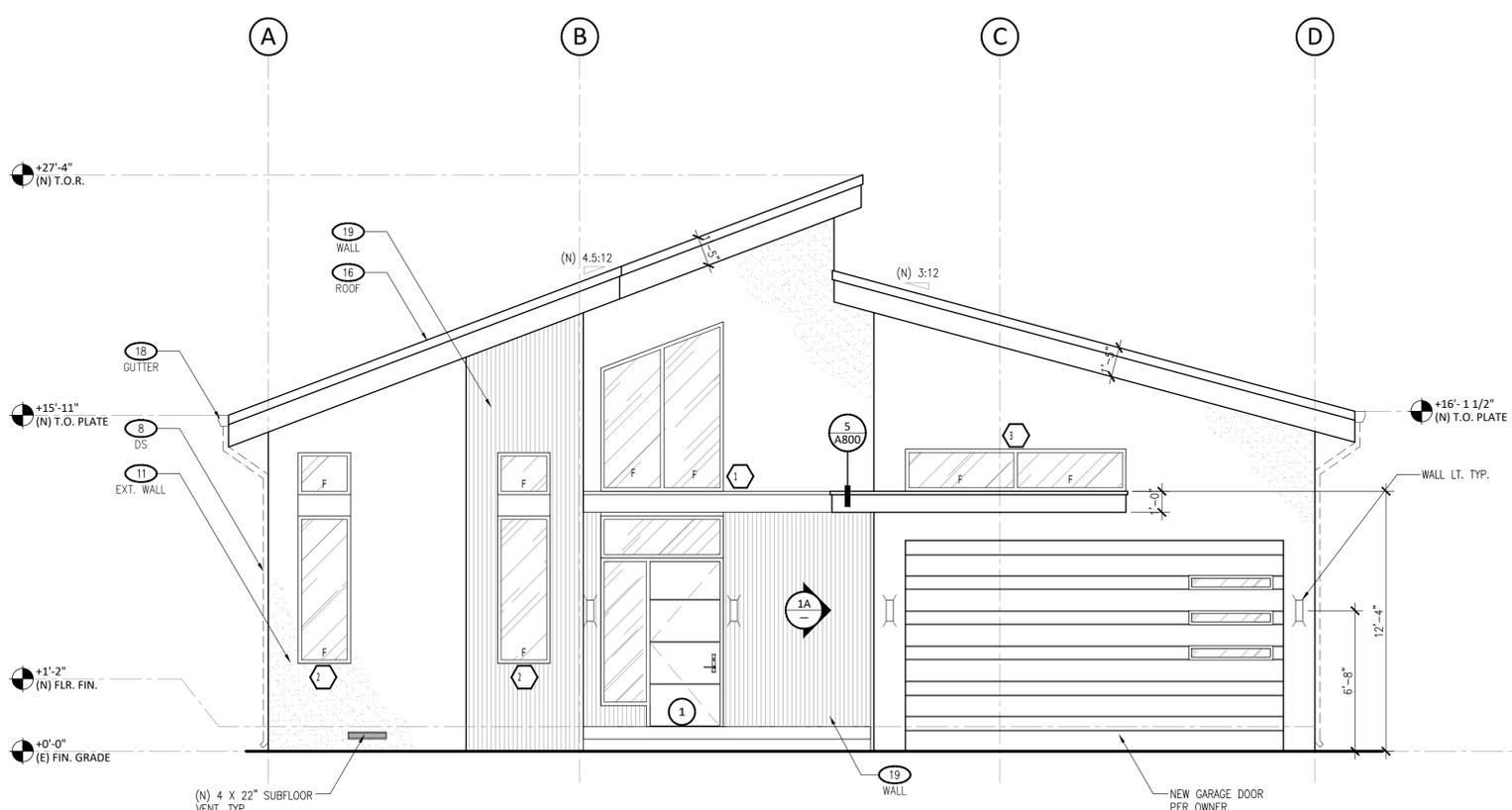


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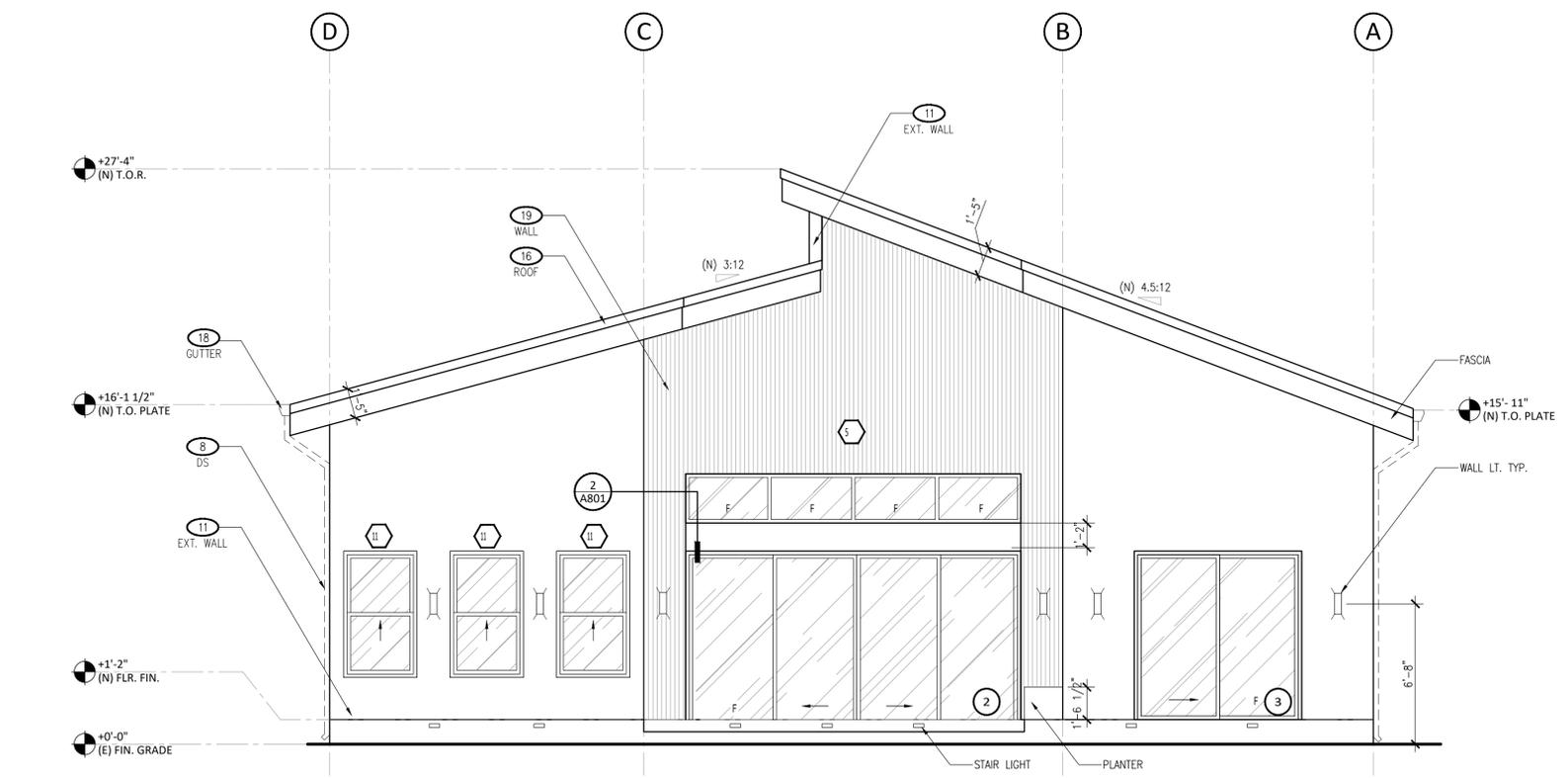
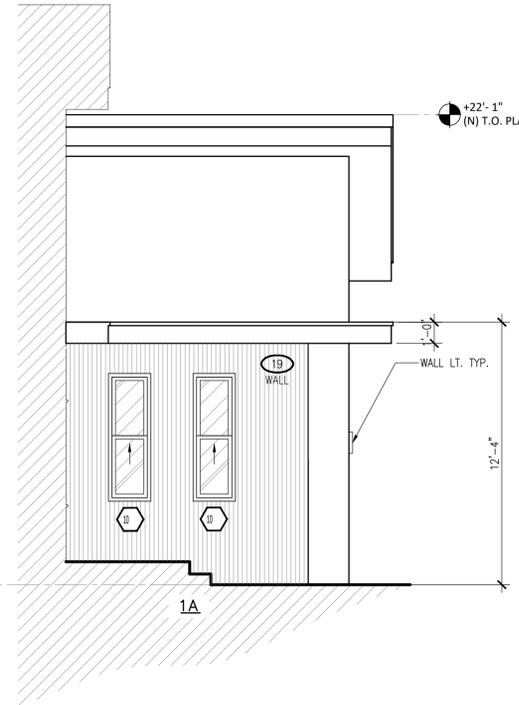
REVISIONS	DATE:

CITY STAMPS

SHEET TITLE:
PROPOSED EXTERIOR ELEVATIONS
 PROJECT NO: 20231361
 DRAWN BY: MAB
 DATE: 02-02-2023
 SCALE: 1/4" = 1'-0"
 DRAWING NO: **A301**



1 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
 SCALE: 1/4" = 1'-0"



1 PROPOSED COLORS AND MATERIAL BOARD (FRONT VIEW)
SCALE: 3/8" = 1'-0"



(M1) COMPOSITE WOOD CLADDING



(M2) COMPOSITE WOOD FLOORING



(M3) PAINT FINISHED STUCCO –
SHERWIN-WILLIAMS SW 7005 PURE
WHITE EXTERIOR PAINT



(M4) PAINT FINISHED FASCIA –
SHERWIN-WILLIAMS SW 7020
BLACK FOX EXTERIOR PAINT



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SINGLE STORY RESIDENCE**

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REVISIONS	DATE:

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CITY STAMPS

SHEET TITLE:
COLOR/ MATERIAL SHEET

PROJECT NO: 20231361
DRAWN BY: MAB
DATE: 02-02-2023
SCALE: 3/8" = 1'-0"
DRAWING NO:

A303

TITLE 24 CALCULATION

WATER HEATER: NEW TANKLESS --- 199K BTU/HR --- UNIFORM ENERGY FACTOR (UEF) 0.82
 HVAC: NEW SPLIT --- HEATING, 0.95 AFUE --- COOLING, 14 SEER, 12.2 EER --- DUCTING R-6
 WALLS: R-15
 WINDOWS/GLASS DOORS: U-FACTOR 0.30 --- SHGC 0.35
 RAISED FLOOR: R-19
 ROOF: ATTIC, R-30 W/ RADIANT BARRIER --- NONATTIC, R-30

GENERAL NOTES ELEVATION

- THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY
- CONTRACTOR TO V.I.F. EXISTING CONDITIONS AT TIME OF BID AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THESE DRAWINGS.
 - ALL DOWNSPOUTS TO DISCHARGE TO 5 FEET MINIMUM FROM THE FOUNDATION TO AN APPROVED DRAINAGE SYSTEM
 - EGRESS WINDOW REQUIREMENTS:
 - THE BOTTOM OF THE EGRESS WINDOW OPENING CAN'T EXCEED 44" FROM THE FINISHED FLOOR.
 - THE MINIMUM OPENING AREA OF THE EGRESS WINDOW IS 5.7 SQUARE FEET.
 - THE MINIMUM EGRESS WINDOW OPENING HEIGHT IS 24" HIGH.
 - THE MINIMUM EGRESS WINDOW OPENING IS 20" WIDE.
 - THE EGRESS WINDOW MUST HAVE A GLASS AREA OF NOT LESS THAN 8% OF THE TOTAL FLOOR AREA OF ROOM(S) FOR WHICH IT IS SERVING, TO ALLOW THE MINIMUM AMOUNT OF SUFFICIENT NATURAL LIGHT.
 - THE EGRESS WINDOW MUST HAVE A OPENING AREA OF NOT LESS THAN 4% OF THE TOTAL FLOOR AREA OF ROOM(S) FOR WHICH IT IS SERVING, TO ALLOW THE MINIMUM AMOUNT OF NATURAL VENTILATION. *
 - MULTIPLE WINDOWS CAN BE USED TO SERVICE A SINGLE AREA WHERE ONE WINDOW DOES NOT MEET THESE PERCENTAGES OF TOTAL FLOOR AREA, AS LONG AS THE TOTAL AMOUNTS FROM THIS COMBINATION OF WINDOWS MEET OR EXCEED THE 8% FOR NATURAL LIGHT AND 4% FOR NATURAL VENTILATION

SUBFLOOR VENTILATION

PROPOSED NEW GROUND FLOOR AREA : 2,871 S.F.
 REQUIRED VENT AREA : 2,871 S.F. / 150 = 19.14 S.F.
 PROPOSED VENT AREA : 4X22 WALL VENT @ 32 = 19.55 S.F.
 TOTAL VENT AREA PROVIDED : 19.55 S.F.

NOTE:
 UNDERFLOOR AREA SHALL BE VENTILATED BY OPENINGS IN EXTERIOR SUBFLOOR WALLS. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1-30 FT. OF UNDER FLOOR AREA. THEY SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH OPENINGS OF 1/4" DIMENSIONS PER UBC.SEC.2516(C).6.

ADDRESS NUMBER NOTES

- ADDRESS NUMBERS SHALL BE INTERNALLY OR EXTERNALLY LIT DURING NON-DAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME (TYPICAL OF LOW VOLTAGE UNITS) OR IF LIT ONLY DURING NON-DAYLIGHT HOURS, SWITCHING SHALL BE CONTROLLED BY A TIME CLOCK OR A PHOTO SENSOR. BATTERY OR PHOTO CELL POWERED UNITS CANNOT BE USED FOR REQUIRED ADDRESSING.
- ADDRESS NUMBERS SHALL BE AT LEAST FOUR INCHES HIGH AND INSTALLED ON A CONTRASTING BACKGROUND.
- ADDRESS NUMBERS SHALL READ FROM LEFT TO RIGHT. VERTICALLY POSITIONED NUMBERS ARE NOT ALLOWED.
- ADDRESS NUMBERS SHALL BE PLACED IN SUCH A LOCATION THAT EMERGENCY CREWS CAN READ THE ADDRESS FROM THE STREET FRONTING THE DWELLING.

KEYED NOTES

- (N) KITCHEN LAYOUT. NEW KITCHEN HOOD TO HAVE H.E.R.S. CERTIFIED RATER TEST AFTER INSTALLATION. RFR. TO MEP GEN. NOTES FOR STANDARD REQ'S. & EXIST. CONDITIONS. RFR. TO TITLE 24 REPORT FOR ENERGY REQ'S.
- (N) 6" HIGH WOODEN FENCE / GATE
- (N) UV-PROTECTED VELUX SKYLIGHTS --(select product code) ELECTRIC "FRESH AIR" (VCE) CURB MOUNTED (dimensions). PROVIDE ELECT. REQ'S. PER MFR. & SWITCH LOCATION/S.
- REFER TO SHEET 0202 FOR NEW LANDSCAPING. LAYOUT REFLECTED ARE FOR INITIAL PLACEMENT PURPOSES ONLY. FINAL LAYOUT & PLANT SPECIES TO BE VERIFIED W/ LANDSCAPE DESIGNER & OWNER.
- (N) ATTIC ACCESS, MIN. 22X30"
- (N) CRAWL SPACE ACCESS, MIN. 22X30"
- IN-WALL ELECTRIC FIRE PLACE. CONFIRM W/ MANUFACTURER STANDARDS FOR INSTALLATION & UTILITY REQUIREMENTS
- (N) RECTANGULAR 26 GA. GSM DOWN SPOUTS & SPLASH BLOCKS SLOPED AWAY FROM BASE OF HOUSE, DIRECT TO YARD. SEE SITE PLAN.
- PROVIDE SOUND ATTENUATING R-13 MIN. INSULATION AT ALL (N) AND OPEN BATHROOM INTERIOR WALLS, OPTIONAL @ BEDROOMS, VERIFY W/ OWNER
- OPTIONAL (N) SHOWER(S) PROVIDE THERMOST. TEMP. CONTROL VALVE PER CPC CHAPT. 4. VERIFY CONDITIONS AND MODELS W/ OWNER PRIOR TO ORDER, TYP.
- (N) MIN. 7/8" EXTERIOR WALL STUCCO FINISH PROVIDE CONTINUOUS WATER PROOFING MEMBRANE ON ALL JOINTS & OPENINGS. PROVIDE INSULATION PER TITLE 24 REQ'S. FINAL COLOR TO BE SELECTED BY OWNER.
- PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF KELLY MOORE OR APPROVED EQUIVALENT WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, VERIFY COLOR W/ OWNER, TYP.
- (N) 200 AMP ELECTRIC PANEL
- (N) GAS METER
- (N) TANK-LESS WATER HEATER
- (N) CLASS A RATED COMP. ASPH. ROOF'G O/ (2) LAYERS 30 LB. ROOF'G FELT PER MFR. SPECS., TYP.
- (N) FASCIA TO BE PLACED, FINAL COLOR TO BE DETERMINED BY OWNER
- INSTALL (N) 24 GA. GSM EXPOSED GUTTER, COLOR TO MATCH ROOF TONE, W/ (N) DOWNSPOUTS (SEE KEYNOTE 8)
- ACCENT WOOD CLADDING O.A.E. VERIFY W/ OWNER FOR FINAL COLOR



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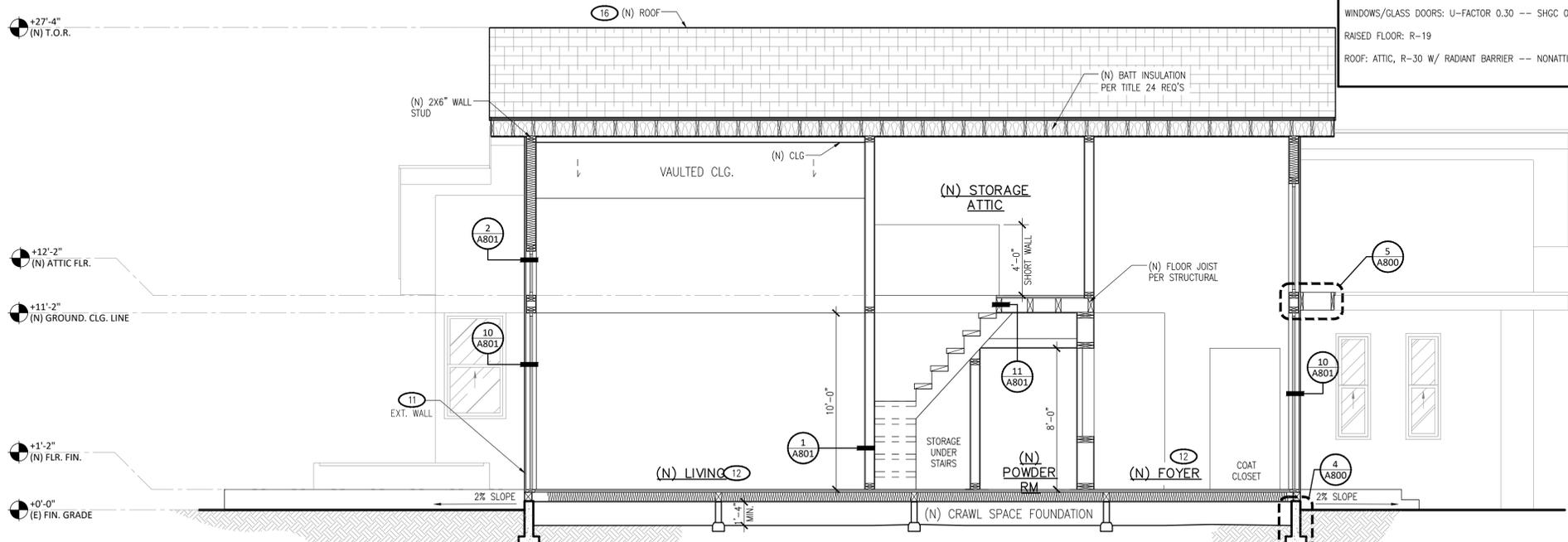


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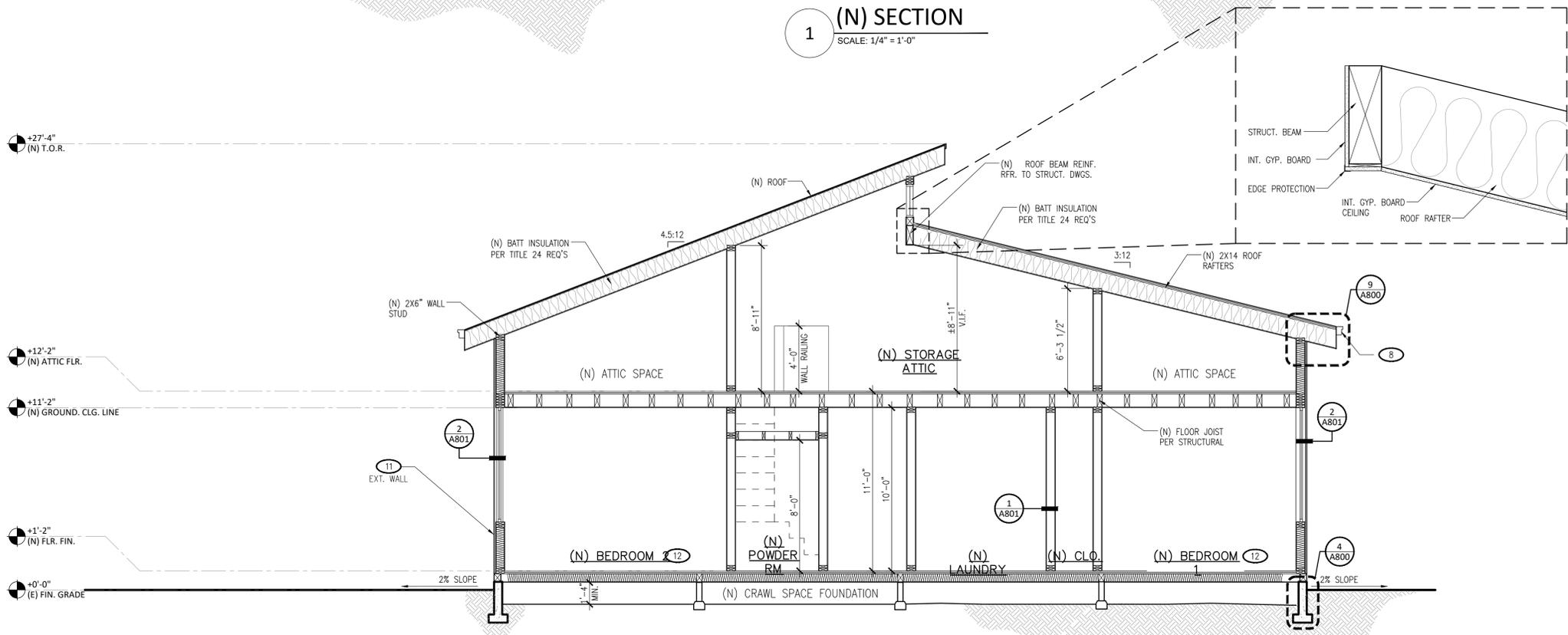
REVISIONS	DATE:

CITY STAMPS

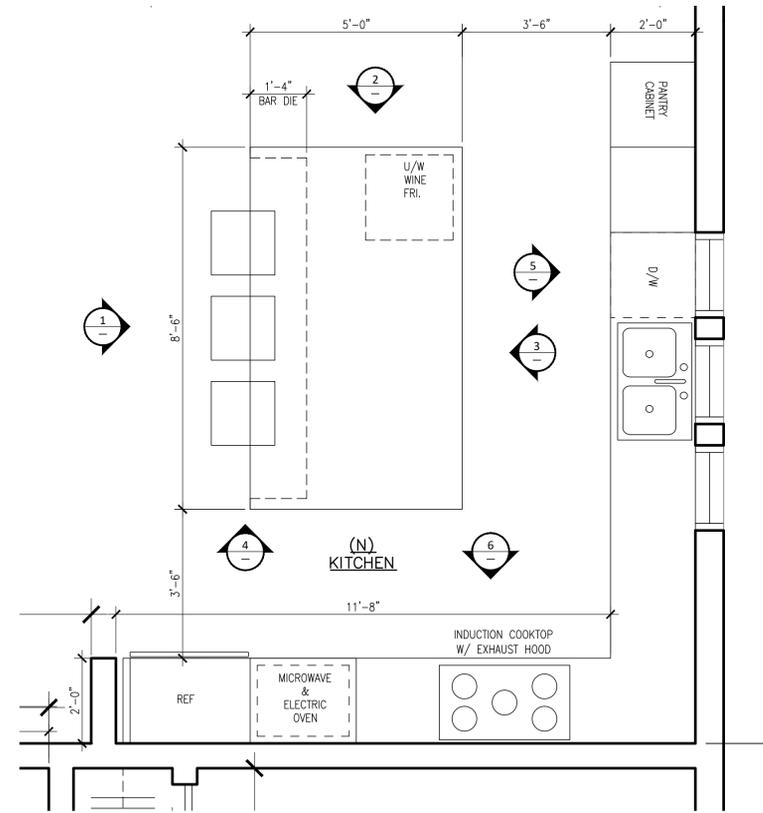
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SECTION
 PROJECT NO: 20231361
 DRAWN BY: MAB
 DATE: 02-02-2023
 SCALE: 1/4" = 1'-0"
 DRAWING NO: **A401**



1 (N) SECTION
 SCALE: 1/4" = 1'-0"



2 (N) SECTION
 SCALE: 1/4" = 1'-0"

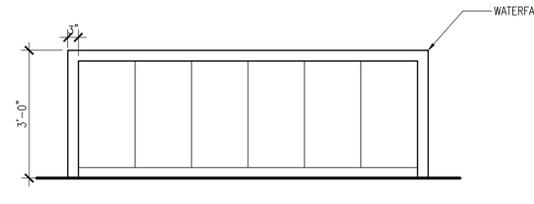


A KITCHEN - KEY PLAN
SCALE: 1/2" = 1'-0"

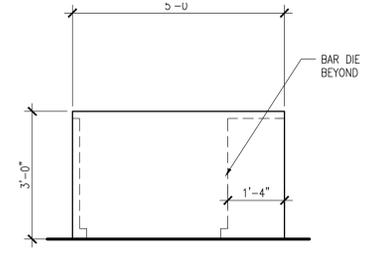
NOTE: GC TO VERIFY ALL APPLIANCES TO OWNER & MFR. STANDARD INSTALL & ELECT, MECH, PLUMB. REQ'S. PRIOR TO FABRICATION OF MILLWORK & INSTALL. OF UTILITIES

- NOTE:
- ELEVATION SHOWN IS FOR REFERENCE ONLY. REFER TO KITCHEN CABINET MFR. FOR FINAL SPECS. & DETAILS. VERIFY W/ OWNER.
 - (N) KITCHEN HOOD TO HAVE H.E.R.S. CERTIFIED RATER TEST AFTER INSTALLATION

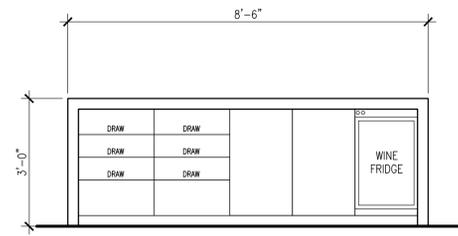
NOTE: DIMENSIONS ARE PER CLIENT'S COMMENT



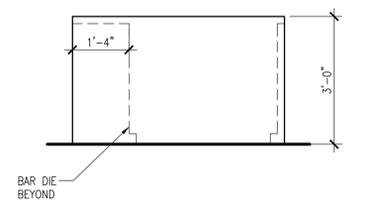
1 ISLAND - ELEVATION
SCALE: 1/2" = 1'-0"



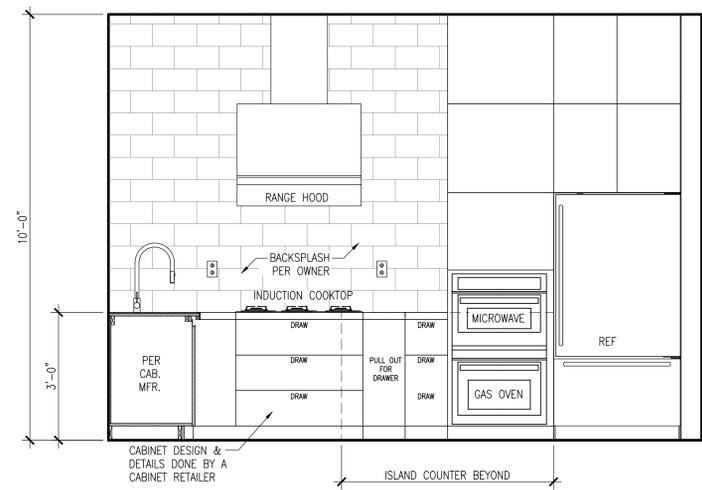
2 ISLAND - ELEVATION
SCALE: 1/2" = 1'-0"



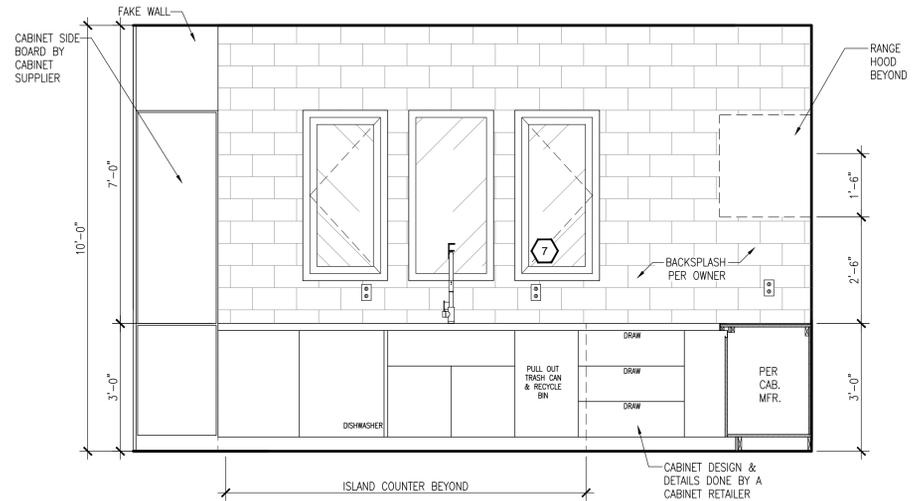
3 ISLAND - ELEVATION
SCALE: 1/2" = 1'-0"



4 ISLAND - ELEVATION
SCALE: 1/2" = 1'-0"



5 KITCHEN - ELEVATION
SCALE: 1/2" = 1'-0"



6 KITCHEN - ELEVATION
SCALE: 1/2" = 1'-0"

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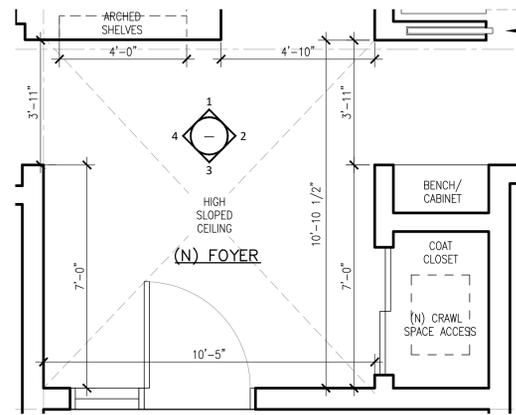
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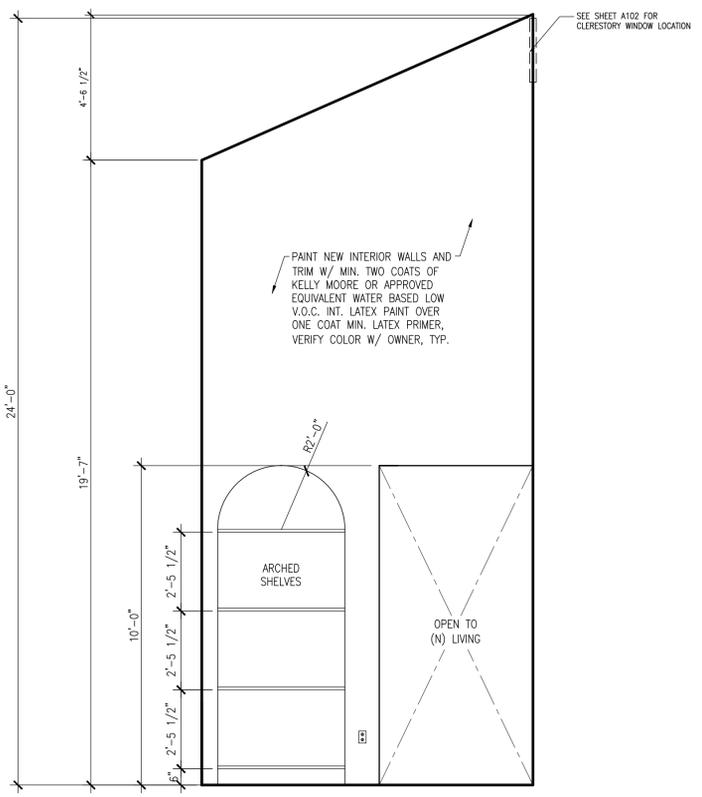
SHEET TITLE:
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DRAWN BY: MAB
DATE: 02-02-2023
SCALE: 1/2" = 1'-0"
DRAWING NO: **A501**

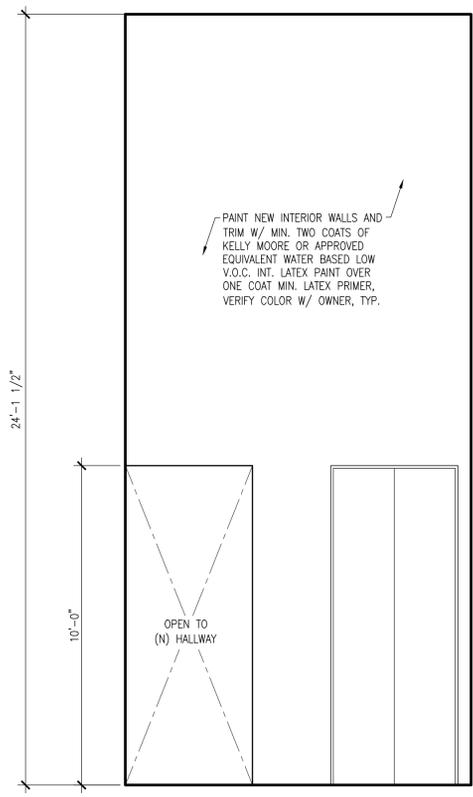


A FOYER - KEY PLAN
SCALE: 3/8" = 1'-0"

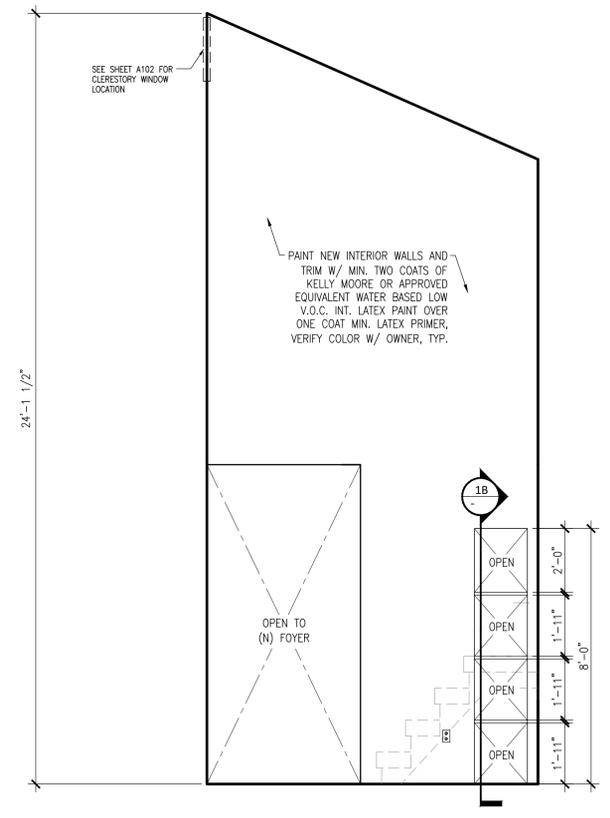
NOTE: GC TO VERIFY ALL APPLIANCES TO OWNER & MFR. STANDARD INSTALL & ELECT, MECH, PLUMB. REQ'S. PRIOR TO FABRICATION OF MILLWORK & INSTALL. OF UTILITIES



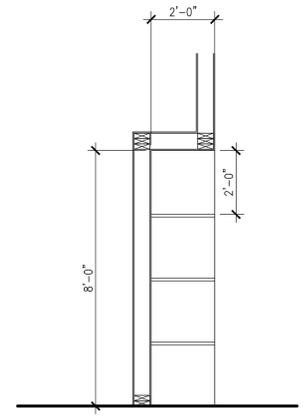
1 FOYER - ELEVATION
SCALE: 3/8" = 1'-0"



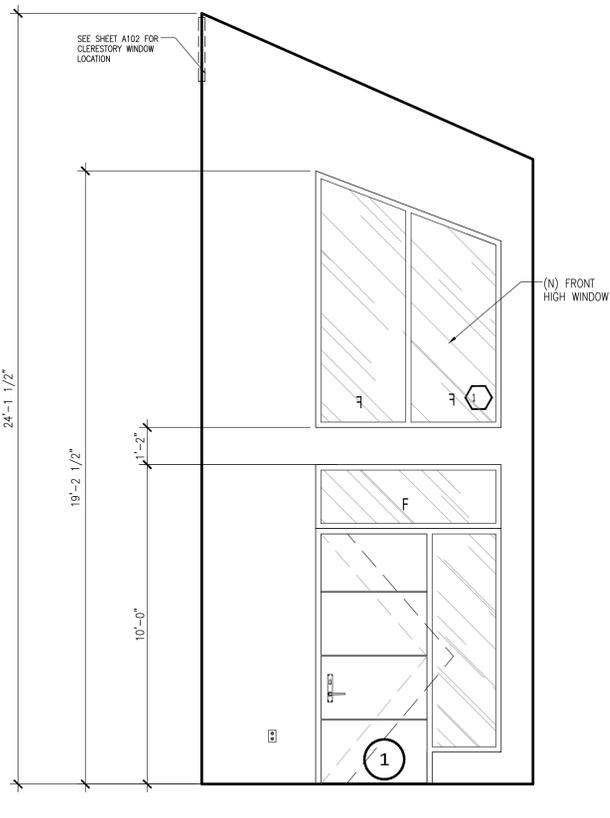
2 FOYER - ELEVATION
SCALE: 3/8" = 1'-0"



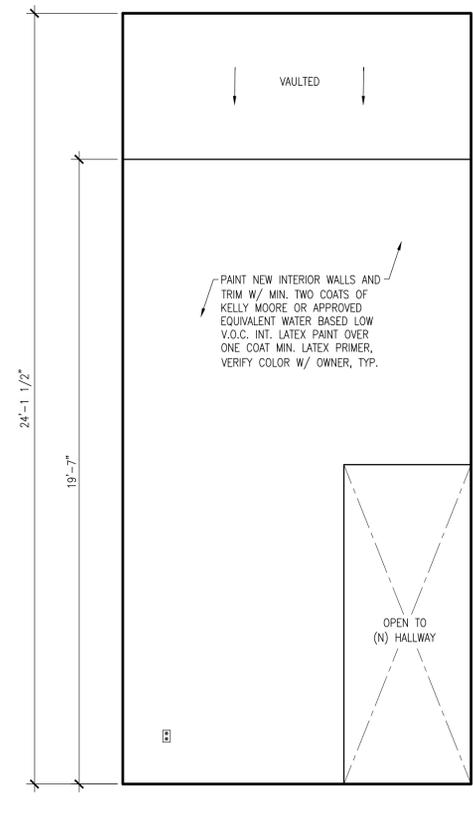
B RECESSED SHLVES. (GREAT RM) - ELEVATION
SCALE: 3/8" = 1'-0"



1B R. SHELVES - SECTION
SCALE: 3/8" = 1'-0"



3 FOYER - ELEVATION
SCALE: 3/8" = 1'-0"



4 FOYER - ELEVATION
SCALE: 3/8" = 1'-0"



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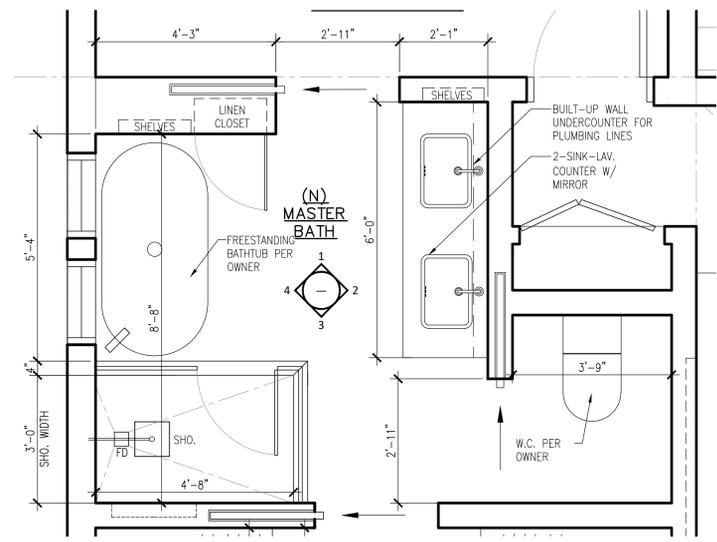
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SHEET TITLE:
**PROPOSED INTERIOR
ELEVATIONS**

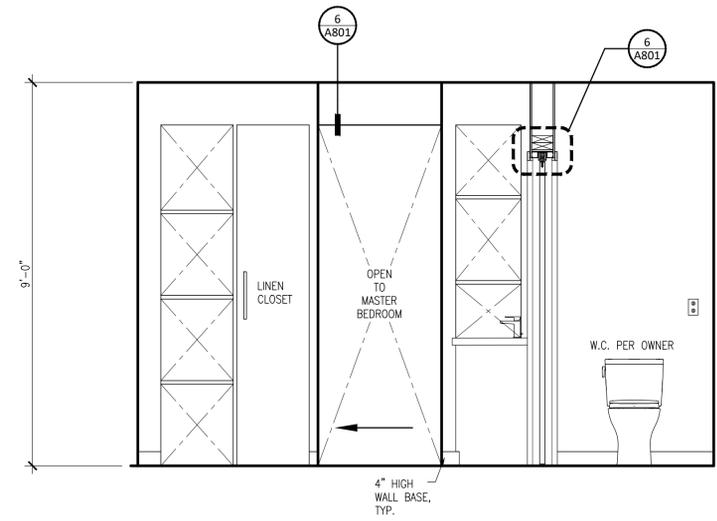
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DATE: 02-02-2023
SCALE: 3/8" = 1'-0"
DRAWING NO: **A502**



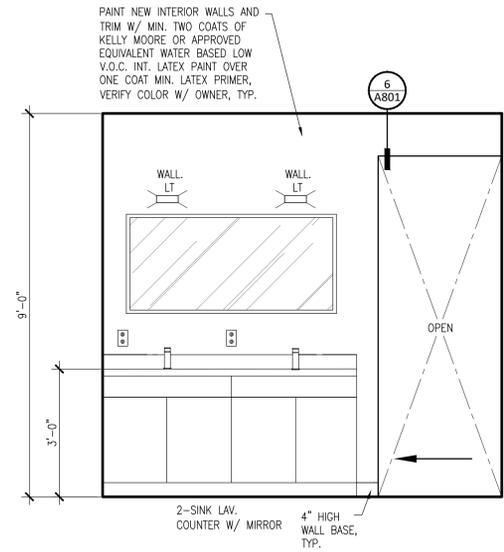
A MASTER BATH - KEY PLAN
SCALE: 1/2" = 1'-0"

NOTE: GC TO VERIFY ALL APPLIANCES TO OWNER & MFR. STANDARD INSTALL & ELECT, MECH, PLUMB. REQ'S. PRIOR TO FABRICATION OF MILLWORK & INSTALL. OF UTILITIES

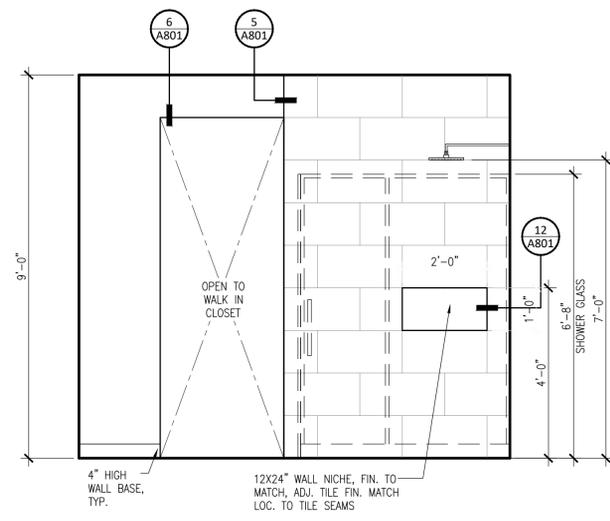
NOTE: VERIFY FINAL LOCATIONS OF ALL FIXTURES W/ OWNER PRIOR TO PLUMB. INSTALL



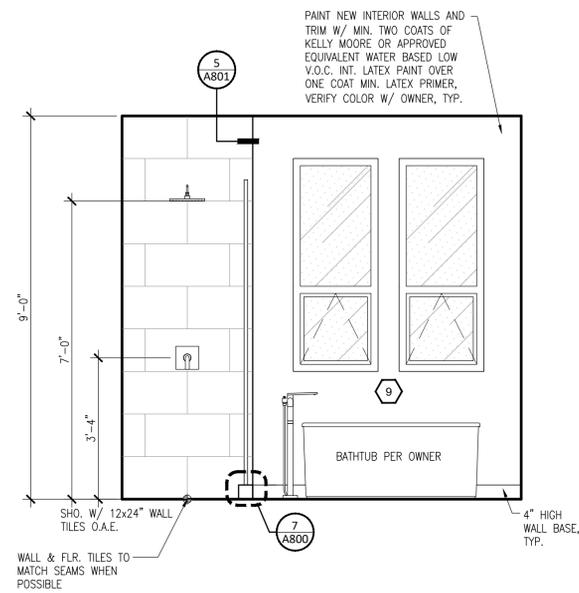
1 MASTER BATH - ELEVATION
SCALE: 1/2" = 1'-0"



2 MASTER BATH - ELEVATION
SCALE: 1/2" = 1'-0"



3 MASTER BATH - ELEVATION
SCALE: 1/2" = 1'-0"



4 MASTER BATH - ELEVATION
SCALE: 1/2" = 1'-0"



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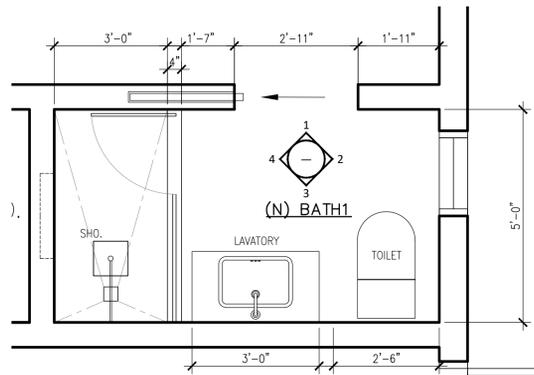
CITY STAMPS

SHEET TITLE:
**PROPOSED INTERIOR
ELEVATIONS**

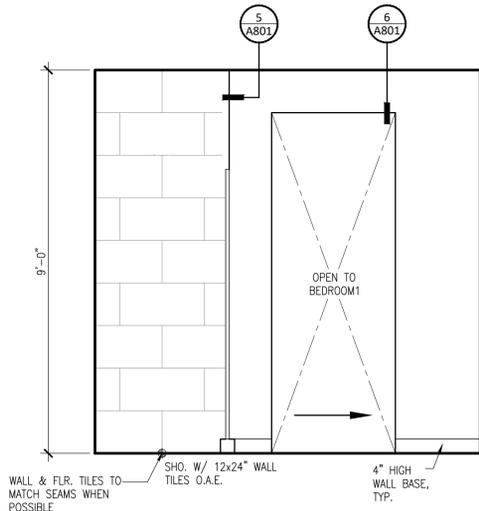
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DRAWN BY: MAB
DATE: 02-02-2023
SCALE: 1/2" = 1'-0"
DRAWING NO: **A503**

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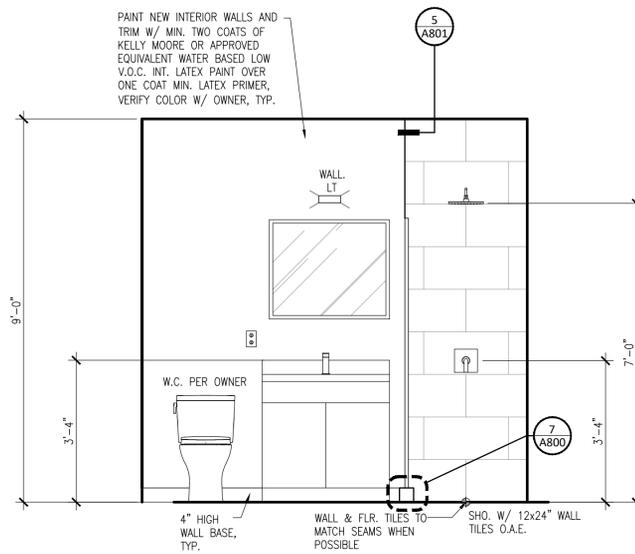
NOTE: VERIFY FINAL LOCATIONS OF ALL FIXTURES W/ OWNER PRIOR TO PLUMB. INSTALL



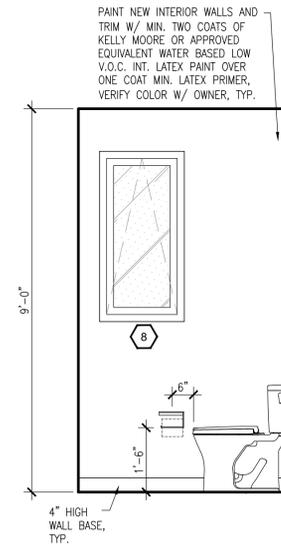
A BATHROOM1 - KEY PLAN
SCALE: 1/2" = 1'-0"



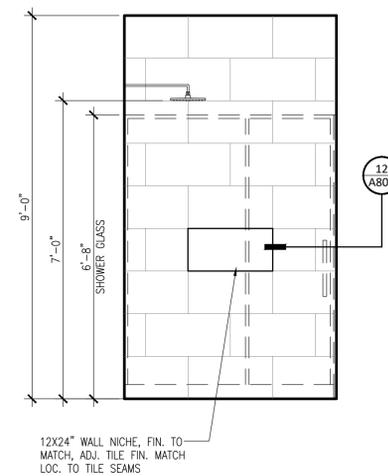
1 BATHROOM1 - ELEVATION
SCALE: 1/2" = 1'-0"



3 BATHROOM1 - ELEVATION
SCALE: 1/2" = 1'-0"



2 BATHROOM1 - ELEVATION
SCALE: 1/2" = 1'-0"



4 BATHROOM1 - ELEVATION
SCALE: 1/2" = 1'-0"



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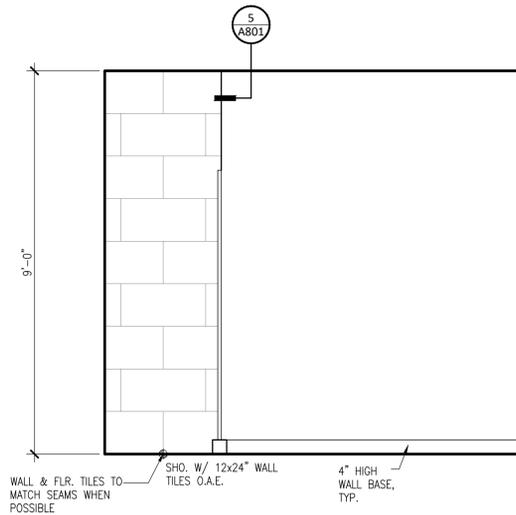
CITY STAMPS

SHEET TITLE:
**PROPOSED INTERIOR
ELEVATIONS**

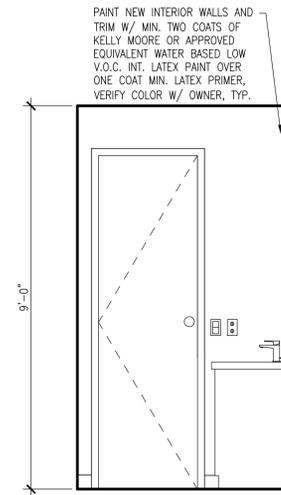
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DRAWN BY: MAB
DATE: 02-02-2023
SCALE: 1/2" = 1'-0"
DRAWING NO: **A504**

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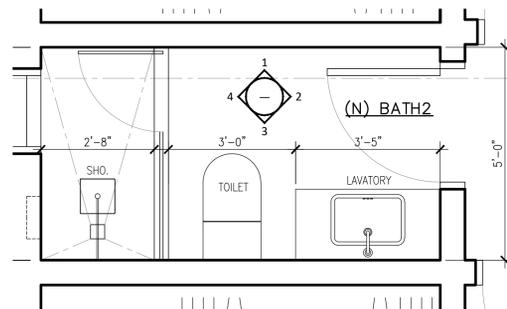
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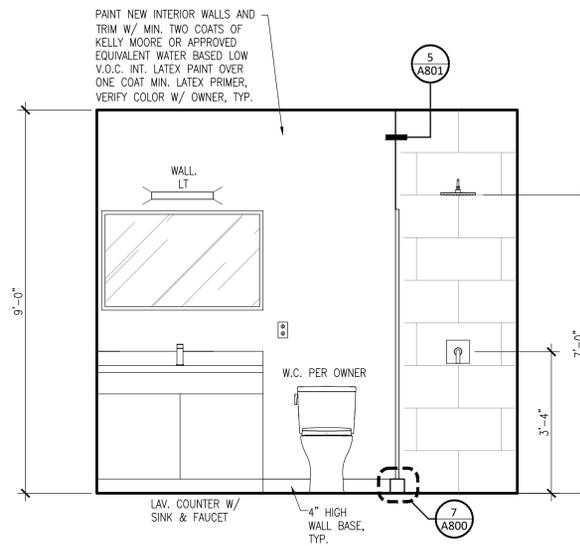
1 BATHROOM2 - ELEVATION
SCALE: 1/2" = 1'-0"



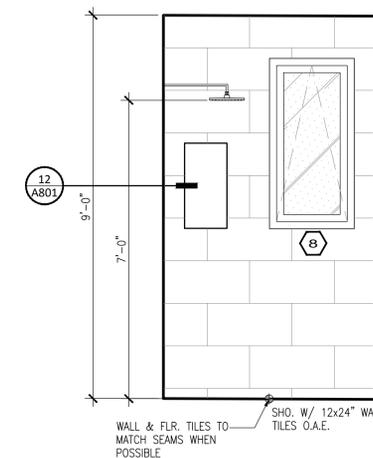
2 BATHROOM2 - ELEVATION
SCALE: 1/2" = 1'-0"



A BATHROOM2 - KEY PLAN
SCALE: 1/2" = 1'-0"



3 BATHROOM2 - ELEVATION
SCALE: 1/2" = 1'-0"



4 BATHROOM2 - ELEVATION
SCALE: 1/2" = 1'-0"



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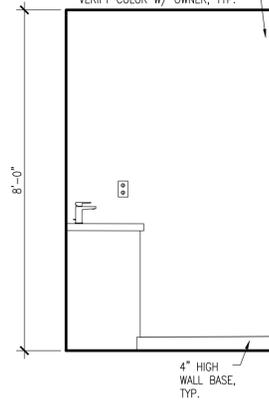
SHEET TITLE:
PROPOSED INTERIOR
ELEVATIONS

PROJECT NO: 20231361
DRAWN BY: MAB
DATE: 02-02-2023
SCALE: 1/2" = 1'-0"
DRAWING NO: A505

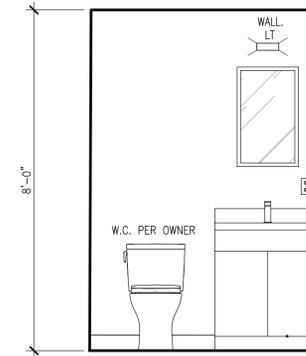
NOTE: GC TO VERIFY ALL APPLIANCES TO OWNER & MFR. STANDARD INSTALL & ELECT, MECH, PLUMB. REQ'S. PRIOR TO FABRICATION OF MILLWORK & INSTALL. OF UTILITIES

NOTE: VERIFY FINAL LOCATIONS OF ALL FIXTURES W/ OWNER PRIOR TO PLUMB. INSTALL

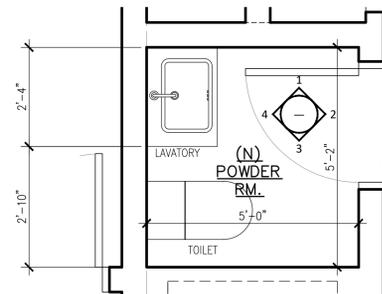
PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF KELLY MOORE OR APPROVED EQUIVALENT WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, VERIFY COLOR W/ OWNER, TYP.



1 POWDER RM. - ELEVATION
SCALE: 1/2" = 1'-0"

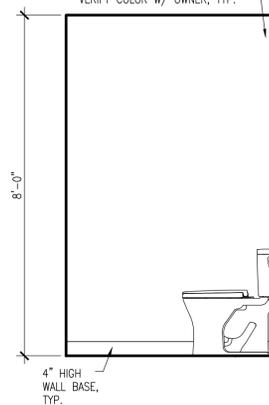


2 POWDER RM. - ELEVATION
SCALE: 1/2" = 1'-0"



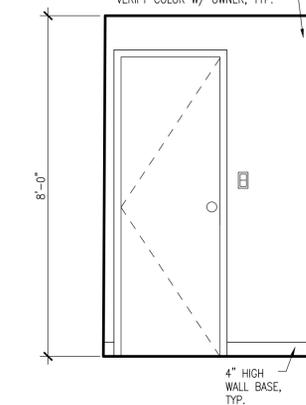
A POWDER ROOM - KEY PLAN
SCALE: 1/2" = 1'-0"

PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF KELLY MOORE OR APPROVED EQUIVALENT WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, VERIFY COLOR W/ OWNER, TYP.



3 POWDER RM. - ELEVATION
SCALE: 1/2" = 1'-0"

PAINT NEW INTERIOR WALLS AND TRIM W/ MIN. TWO COATS OF KELLY MOORE OR APPROVED EQUIVALENT WATER BASED LOW V.O.C. INT. LATEX PAINT OVER ONE COAT MIN. LATEX PRIMER, VERIFY COLOR W/ OWNER, TYP.



4 POWDER RM. - ELEVATION
SCALE: 1/2" = 1'-0"



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REVISIONS	DATE:

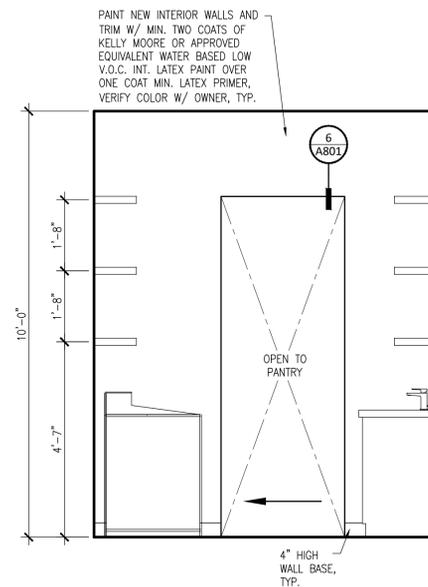
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CITY STAMPS

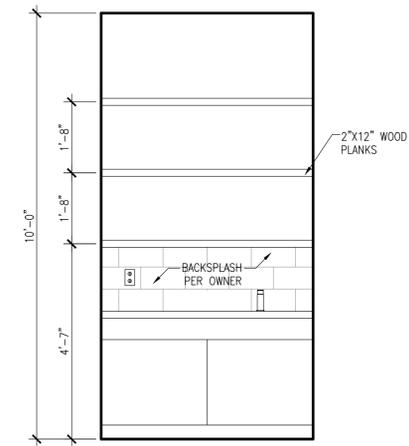
SHEET TITLE:
PROPOSED INTERIOR
ELEVATIONS

PROJECT NO: 20231361
DRAWN BY: MAB
DATE: 02-02-2023
SCALE: 1/2" = 1'-0"
DRAWING NO: **A506**

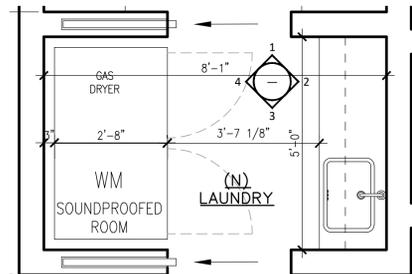
NOTE: GC TO VERIFY ALL APPLIANCES TO OWNER & MFR. STANDARD INSTALL & ELECT, MECH, PLUMB. REQ'S. PRIOR TO FABRICATION OF MILLWORK & INSTALL. OF UTILITIES



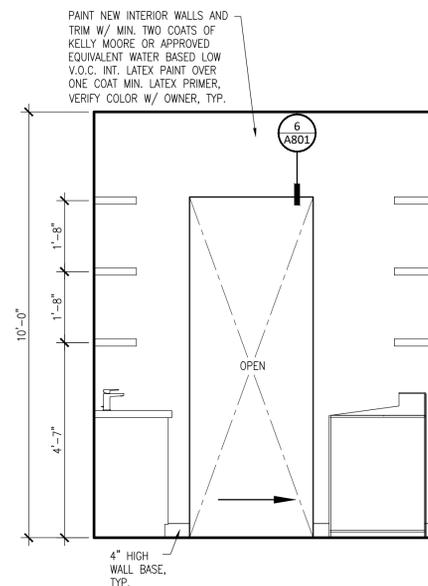
1 LAUNDRY RM. - ELEVATION
SCALE: 1/2" = 1'-0"



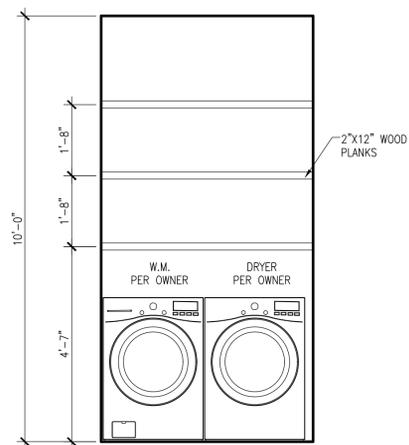
2 LAUNDRY RM. - ELEVATION
SCALE: 1/2" = 1'-0"



A LAUNDRY ROOM - KEY PLAN
SCALE: 1/2" = 1'-0"



3 LAUNDRY RM. - ELEVATION
SCALE: 1/2" = 1'-0"



4 LAUNDRY RM. - ELEVATION
SCALE: 1/2" = 1'-0"



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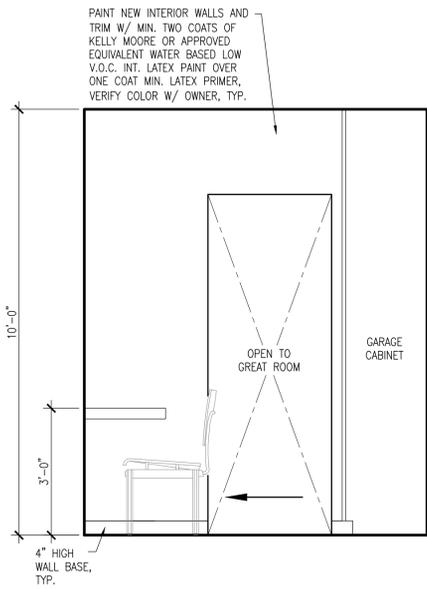
REVISIONS	DATE:

CITY STAMPS

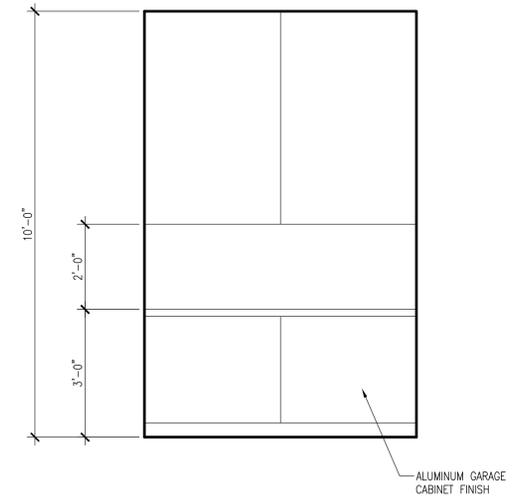
SHEET TITLE:
PROPOSED INTERIOR
ELEVATIONS

PROJECT NO: 20231361
DRAWN BY: MAB
DATE: 02-02-2023
SCALE: 1/2" = 1'-0"
DRAWING NO: **A507**

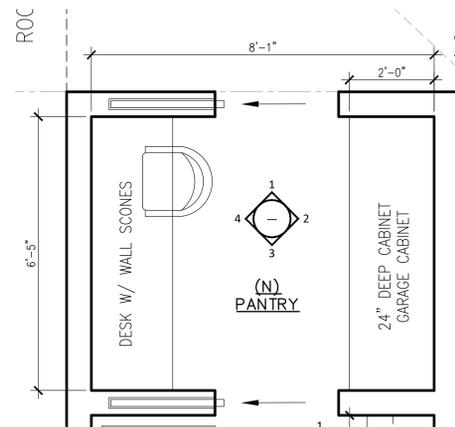
NOTE: GC TO VERIFY ALL APPLIANCES TO OWNER & MFR. STANDARD INSTALL & ELECT, MECH, PLUMB. REQ'S. PRIOR TO FABRICATION OF MILLWORK & INSTALL. OF UTILITIES



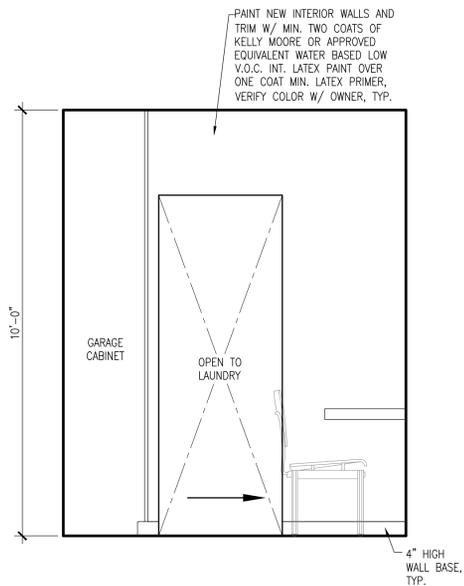
1 PANTRY - ELEVATION
SCALE: 1/2" = 1'-0"



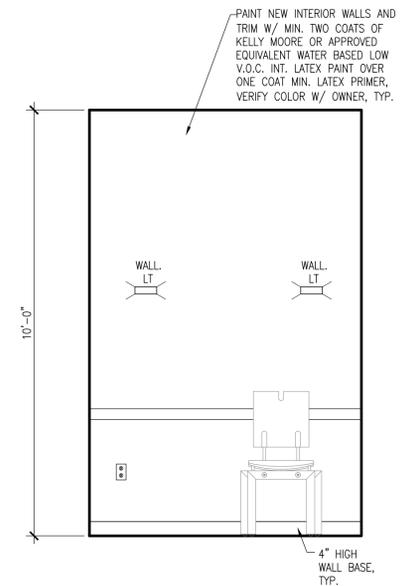
2 PANTRY - ELEVATION
SCALE: 1/2" = 1'-0"



A PANTRY - KEY PLAN
SCALE: 1/2" = 1'-0"



3 PANTRY - ELEVATION
SCALE: 1/2" = 1'-0"



4 PANTRY - ELEVATION
SCALE: 1/2" = 1'-0"



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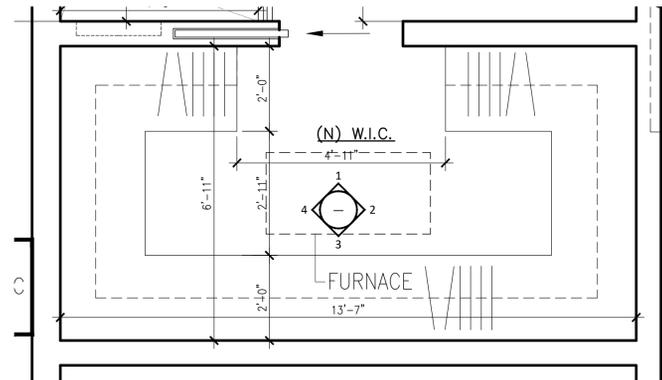
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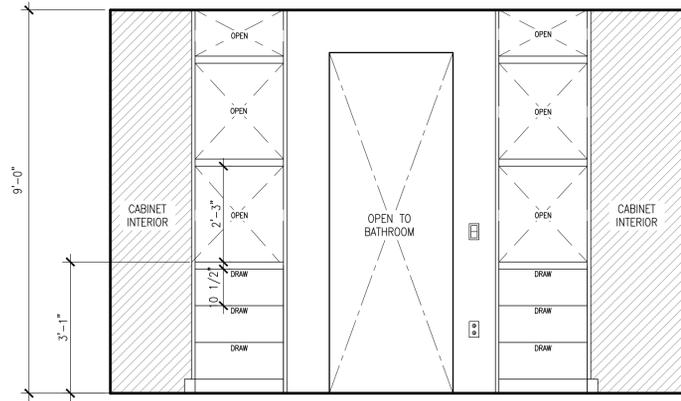
CITY STAMPS

SHEET TITLE:
**PROPOSED INTERIOR
ELEVATIONS**

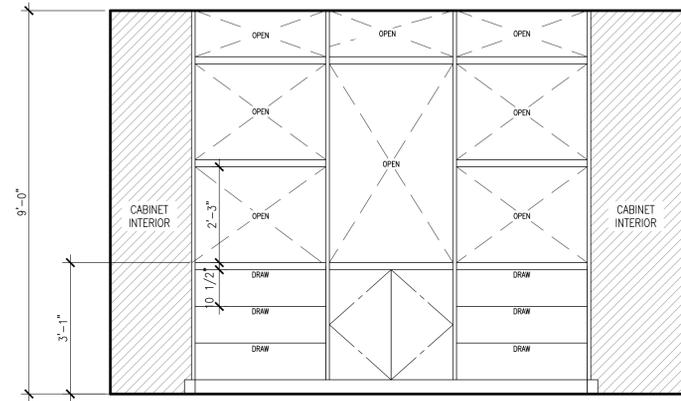
PROJECT NO: 20231361
DRAWN BY: MAB
DATE: 02-02-2023
SCALE: 1/2" = 1'-0"
DRAWING NO: **A508**



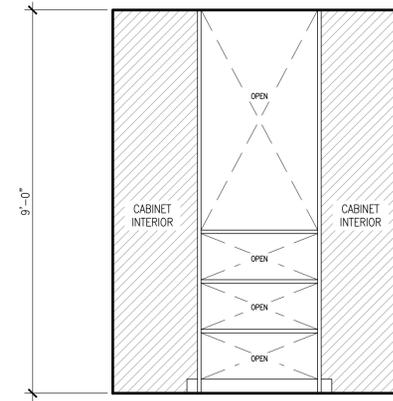
A WALK-IN CLOSET - KEY PLAN
SCALE: 1/2" = 1'-0"



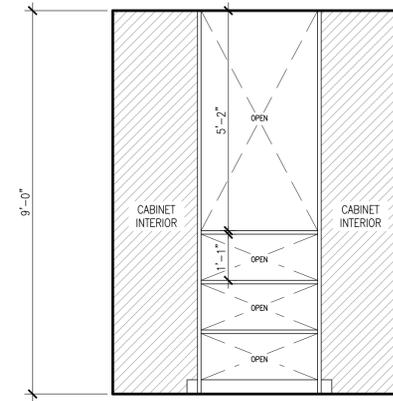
1 WALK-IN CLOSET - ELEVATION
SCALE: 1/2" = 1'-0"



3 WALK-IN CLOSET - ELEVATION
SCALE: 1/2" = 1'-0"



2 WALK-IN CLOSET - ELEVATION
SCALE: 1/2" = 1'-0"



4 WALK-IN CLOSET - ELEVATION
SCALE: 1/2" = 1'-0"

NOTE: FINAL CABINET DESIGN & DETAILS DONE BY A CABINET RETAILER



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REVISIONS	DATE:

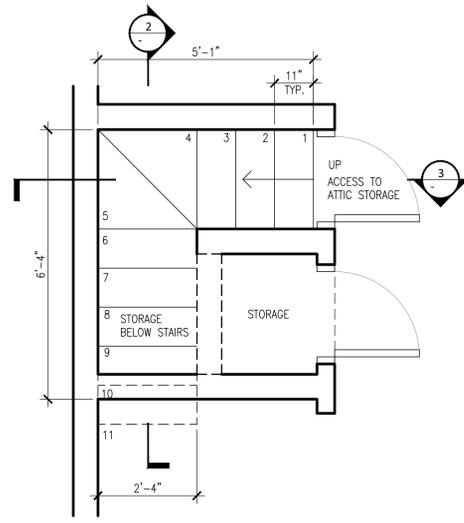
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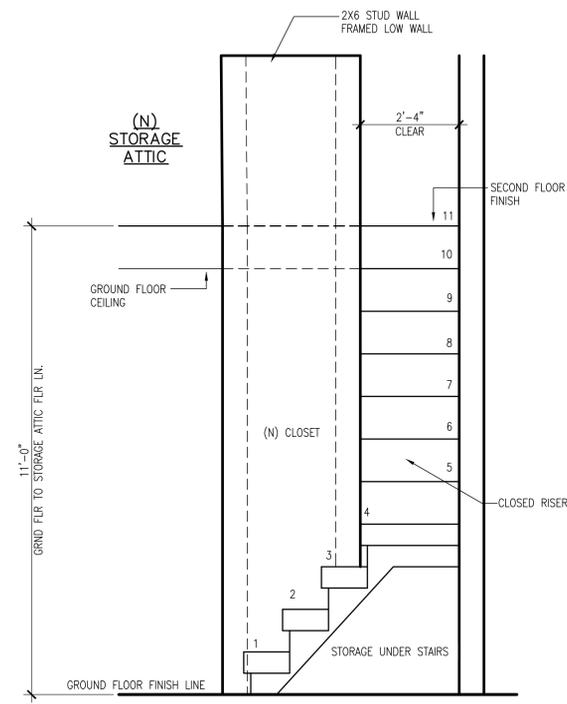
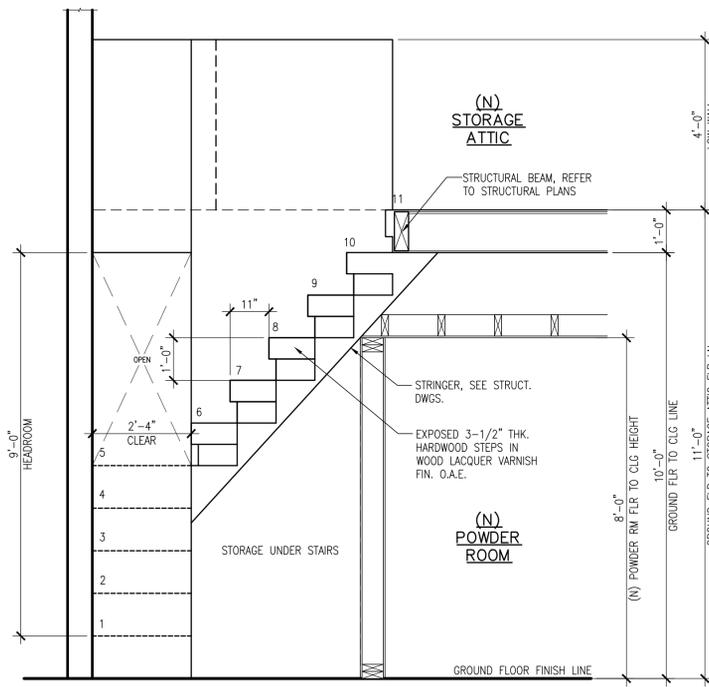
SHEET TITLE:
**PROPOSED INTERIOR
ELEVATIONS**

PROJECT NO: 20231361
DRAWN BY: MAB
DATE: 02-02-2023
SCALE: 1/2" = 1'-0"
DRAWING NO: **A509**

REFER TO STRUCT. DWGS.
FOR INFORMATION



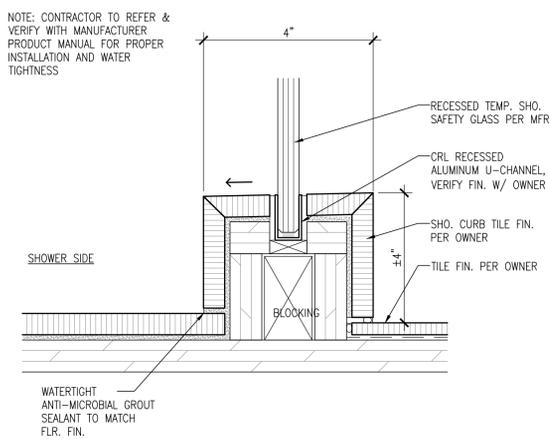
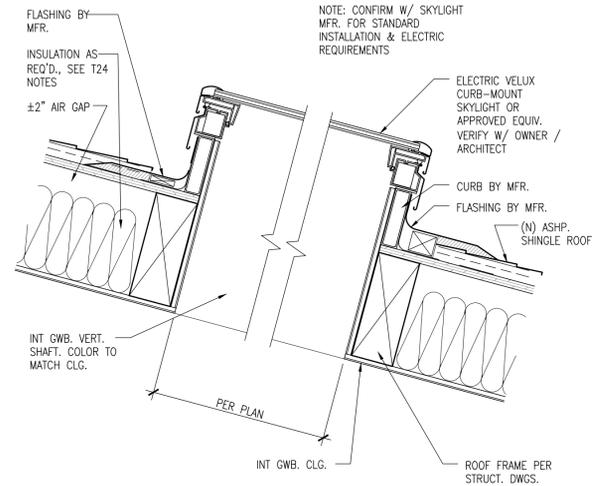
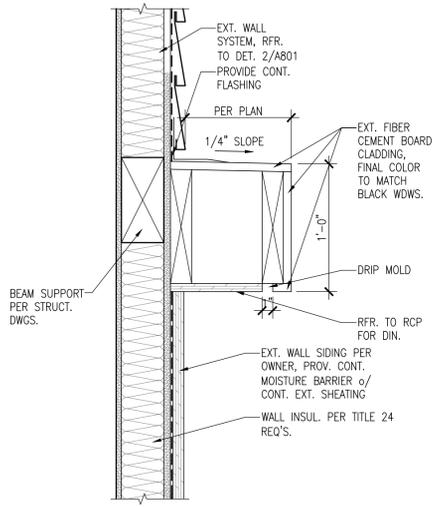
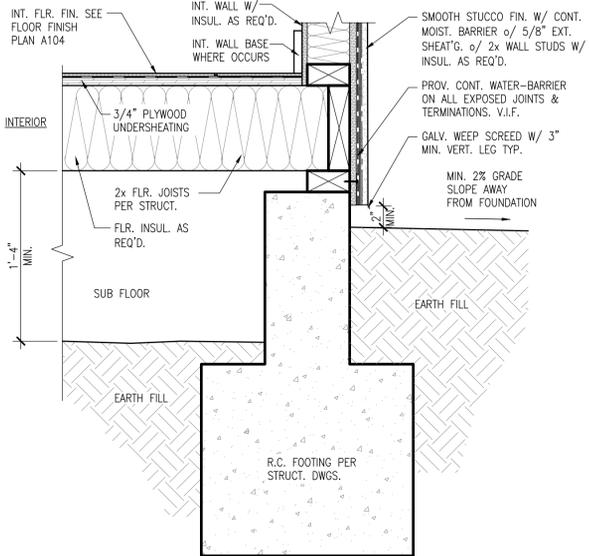
NOTE: FINAL STAIR STEP & RAIL DESIGN
WOULD BE PER STAIR MANUFACTURER.
SUBMIT SHOP DRAWINGS FOR OWNER
AND/OR ARCHITECT'S APPROVAL.



1 STAIR DETAIL - PLAN
SCALE: 1/2" = 1'-0"

2 STAIR DETAIL - SIDE ELEVATION
SCALE: 1/2" = 1'-0"

3 STAIR DETAIL - FRONT ELEVATION
SCALE: 1/2" = 1'-0"



4 TYP. PERIMETER FOUNDATION
SCALE: 1'-1/2" = 1'-0"

5 EXT. CANOPY DETAIL
SCALE: 1'-1/2" = 1'-0"

6 SKYLIGHT DETAIL
SCALE: 1'-1/2" = 1'-0"

7 SHOWER CURB DETAIL
SCALE: 6" = 1'-0"



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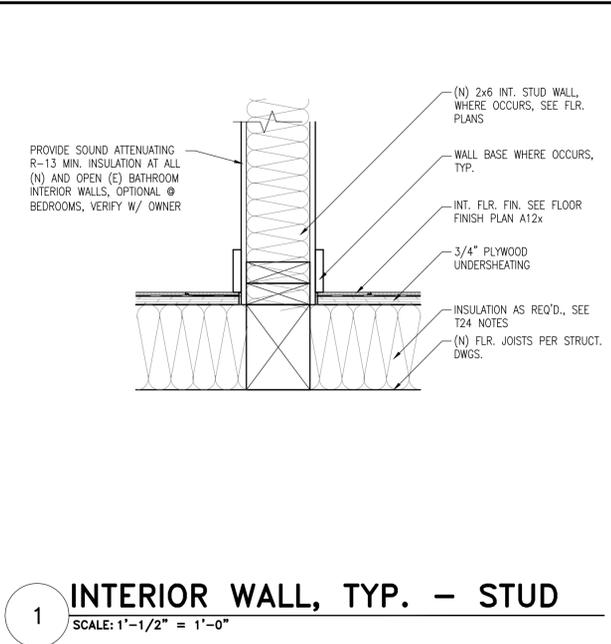
REVISIONS	DATE:

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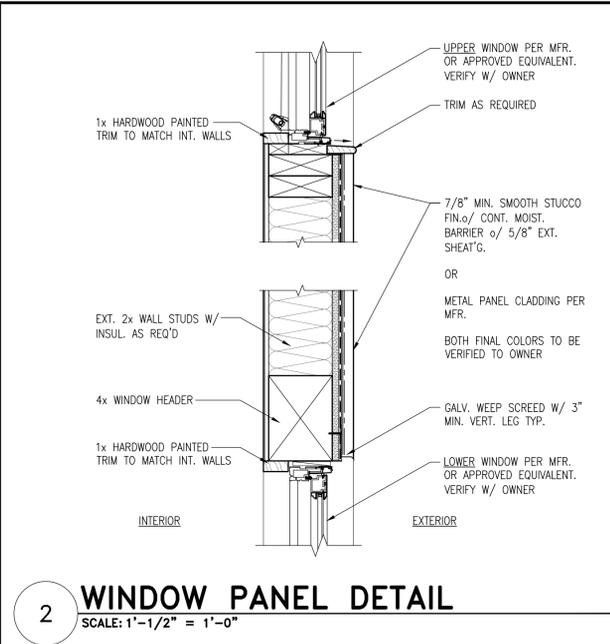
CITY STAMPS

SHEET TITLE:
DETAILS

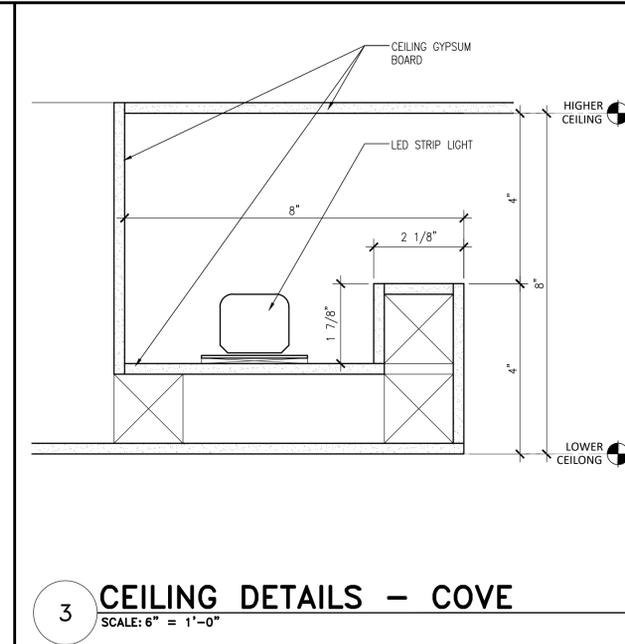
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DRAWN BY: MAB
DATE: 02-02-2023
SCALE: AS NOTED
DRAWING NO: A800



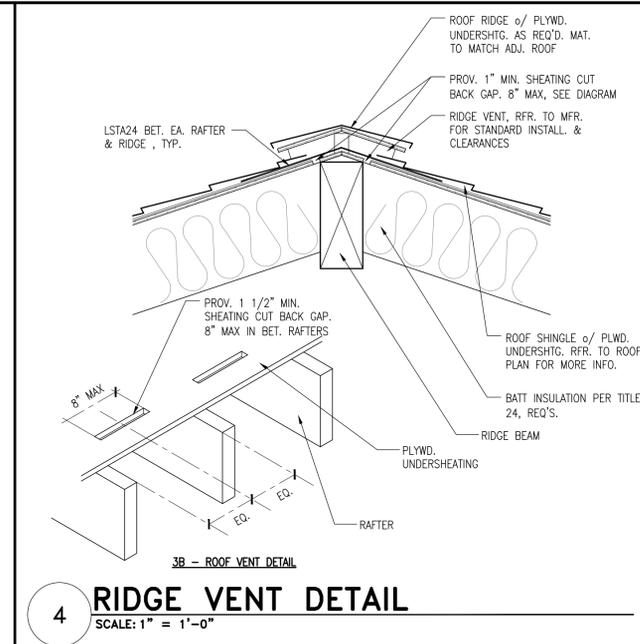
1 INTERIOR WALL, TYP. - STUD
SCALE: 1'-1/2" = 1'-0"



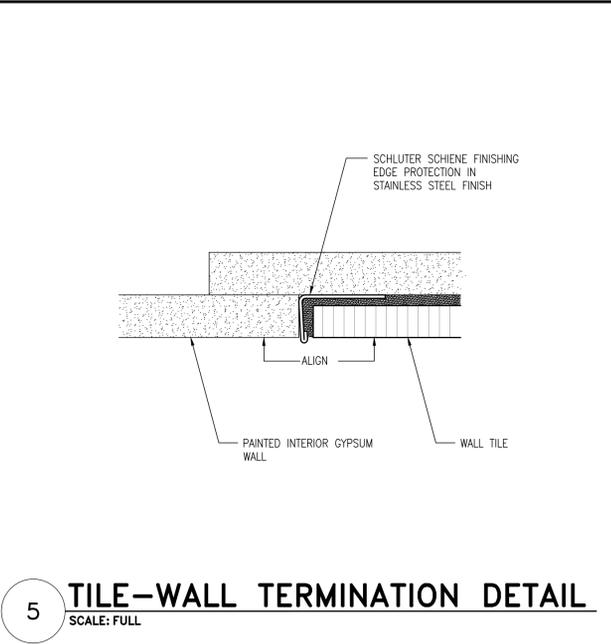
2 WINDOW PANEL DETAIL
SCALE: 1'-1/2" = 1'-0"



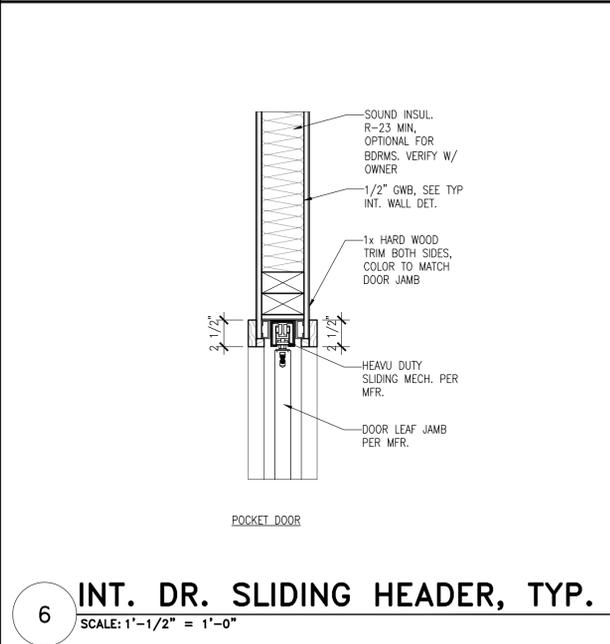
3 CEILING DETAILS - COVE
SCALE: 6" = 1'-0"



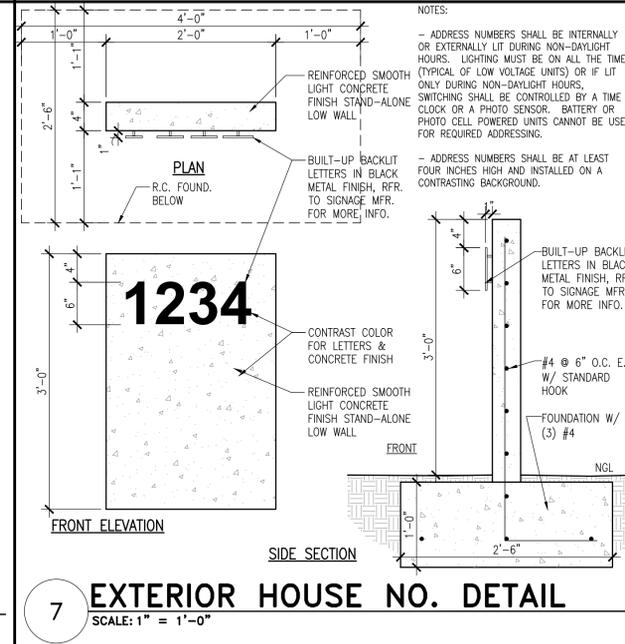
4 RIDGE VENT DETAIL
SCALE: 1" = 1'-0"



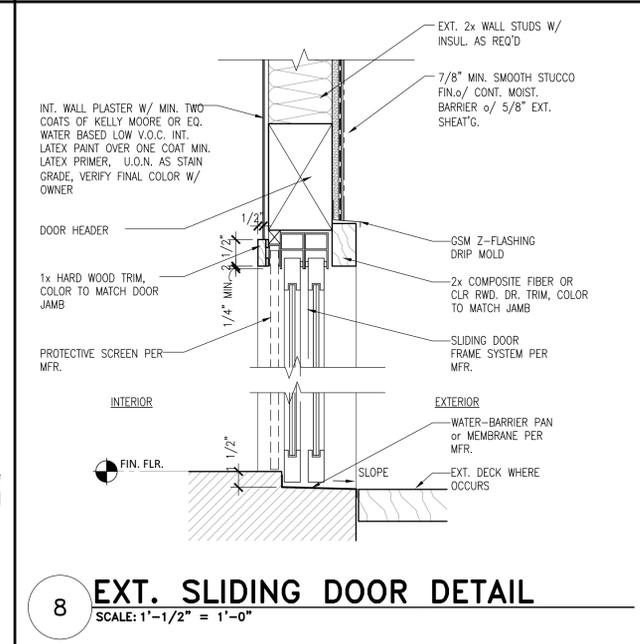
5 TILE-WALL TERMINATION DETAIL
SCALE: FULL



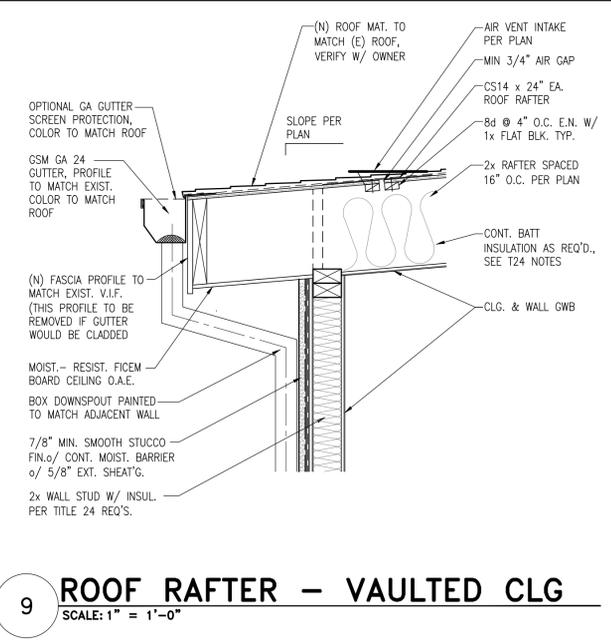
6 INT. DR. SLIDING HEADER, TYP.
SCALE: 1'-1/2" = 1'-0"



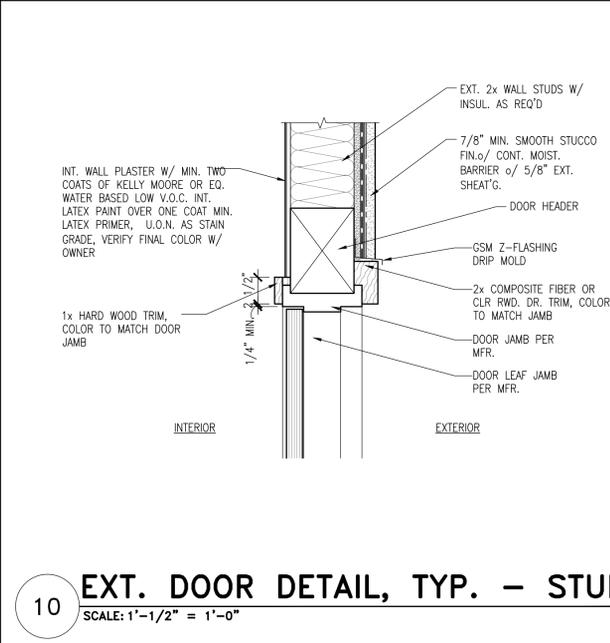
7 EXTERIOR HOUSE NO. DETAIL
SCALE: 1" = 1'-0"



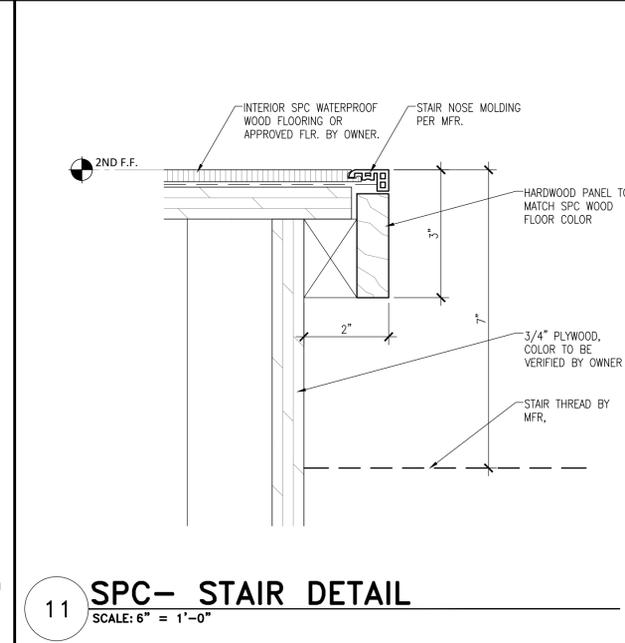
8 EXT. SLIDING DOOR DETAIL
SCALE: 1'-1/2" = 1'-0"



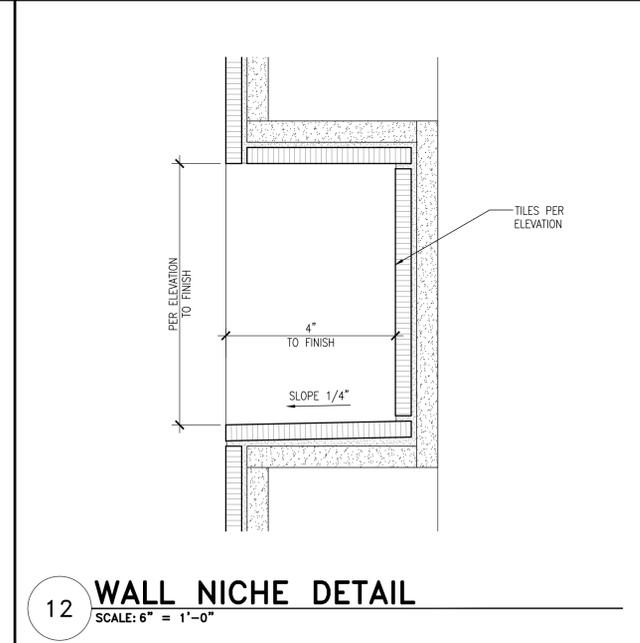
9 ROOF RAFTER - VAULTED CLG
SCALE: 1" = 1'-0"



10 EXT. DOOR DETAIL, TYP. - STUD
SCALE: 1'-1/2" = 1'-0"



11 SPC- STAIR DETAIL
SCALE: 6" = 1'-0"



12 WALL NICHE DETAIL
SCALE: 6" = 1'-0"

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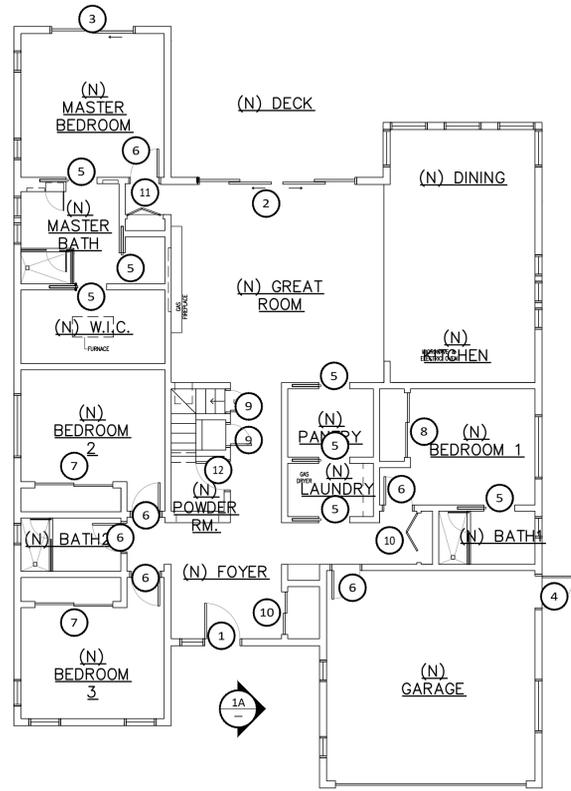
REVISIONS	DATE:

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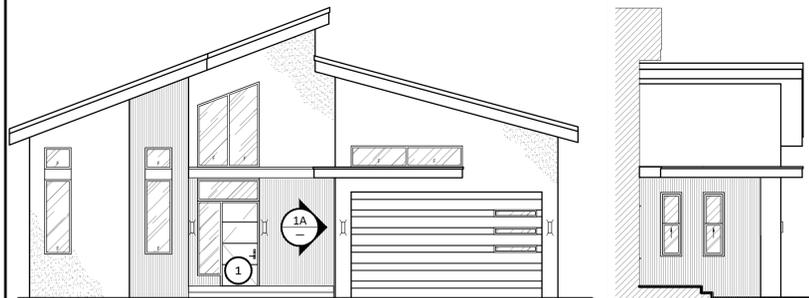
CITY STAMPS

SHEET TITLE:
DETAILS

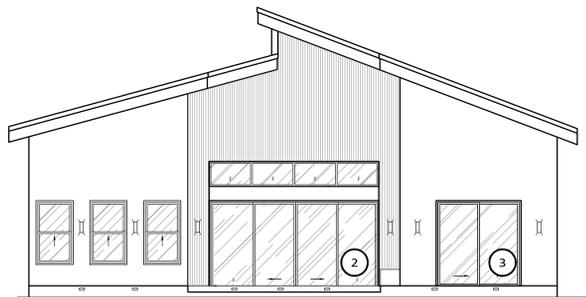
PROJECT NO: 20231361
DRAWN BY: MAB
DATE: 02-02-2023
SCALE: AS NOTED
DRAWING NO: **A801**



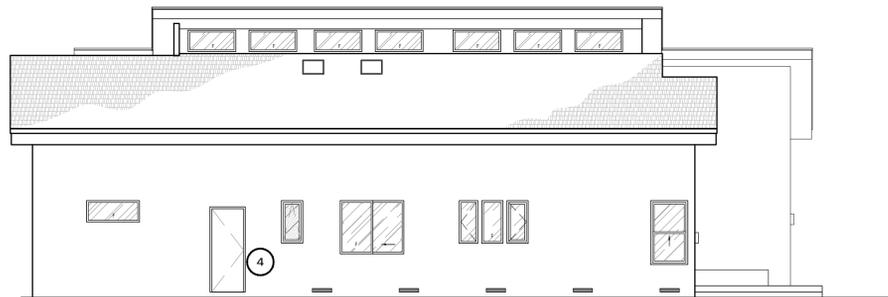
6 PROPOSED GROUND FLOOR KEYPLAN
SCALE: 1/8" = 1'-0"



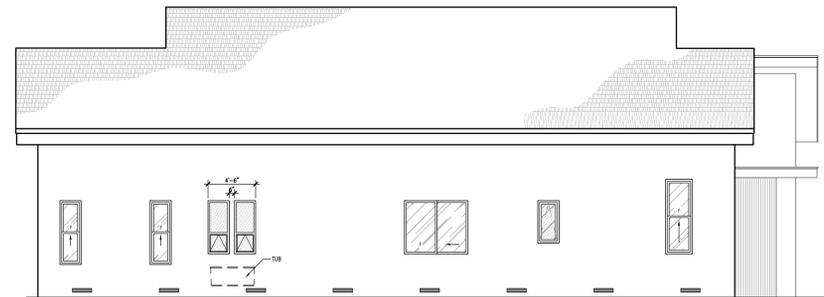
1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
SCALE: 1/8" = 1'-0"



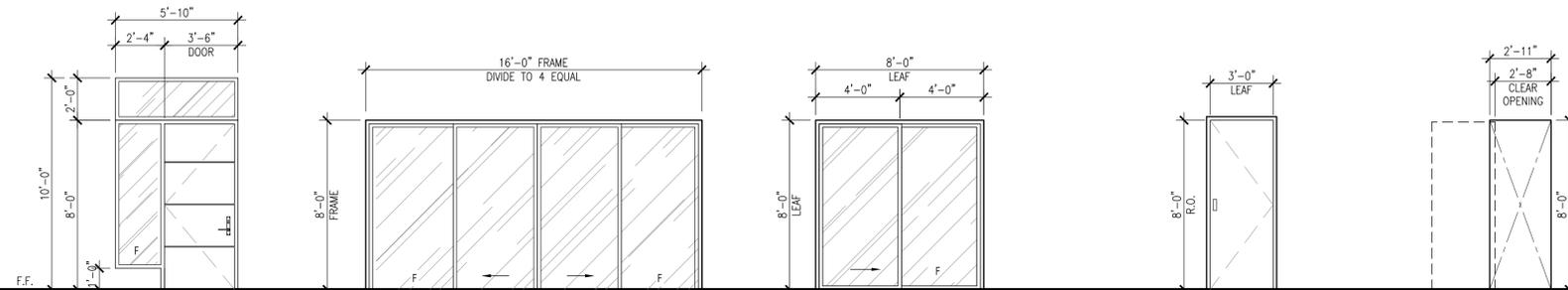
3 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



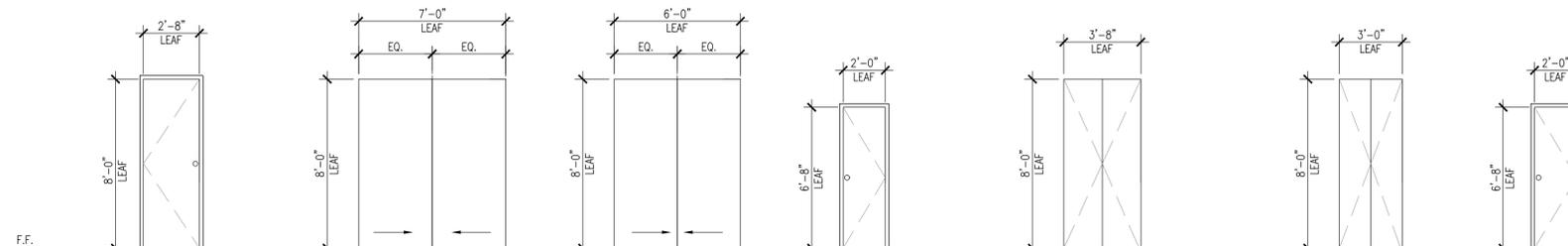
4 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

NOTE: DIMENSIONS ARE TAKEN FROM DOOR LEAF. PROVIDE PROPER CLEARANCE / SPACING FOR JAMBS DURING WALL FRAMING AS REQUIRED BY MFR.

NOTE: PRIOR TO FINAL ORDER, GC NEEDS TO VERIFY ALL ROUGH OPENINGS AND REQUIRED CLEARANCES ON FIELD. COORDINATE WITH ARCHITECT AND/OR OWNER FOR ANY DISCREPANCIES



DOOR	1	2	3	4	5
QTY.	1	1	1	1	7
LOC.	FOYER - EXT. GRND FLR	LIVING - EXT.	MASTER BEDROOM - EXT.	GARAGE - EXT.	MASTER BATH, W.I.C., LAUNDRY, BATH - INT.
MATERIAL	GLASS/WOOD	GLASS	GLASS	WOOD	WOOD
COLOR	BLACK	BLACK	BLACK	WHITE	WHITE
TYPE	SWING	SLIDING	SLIDING	SWING	POCKET DOOR
GLAZING	TEMPERED	TEMPERED	TEMPERED		
U-FACTOR	U-FACTOR >0.30; SHGC 0.35	U-FACTOR >0.30; SHGC 0.35	U-FACTOR >0.30; SHGC 0.35		
NOTE					



DOOR	6	7	8	9	10	11	12
QTY.	6	2	1	2	1	1	1
LOC.	GARAGE, BATH 2, MASTER BDRM., BDRM 1&2&3 - INT.	BDRM 2&3 - INT.	BDRM. 1 - INT.	HALLWAY - INT.	HALLWAY GOING BDRM. 1. - INT.	LIVING - INT.	POWDER ROOM
MATERIAL	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
COLOR	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE
TYPE	SWING	SLIDING	SLIDING	SWING	FOLD FRENCH DOOR	FOLD FRENCH DOOR	SWING
GLAZING							
U-FACTOR							
NOTE		CLOSET DOOR	CLOSET DOOR	CLO. / ATTIC DR.	CLOSET DOOR	CLOSET DOOR	

5 DOORS SCHEDULE
SCALE: 1/4" = 1'-0"



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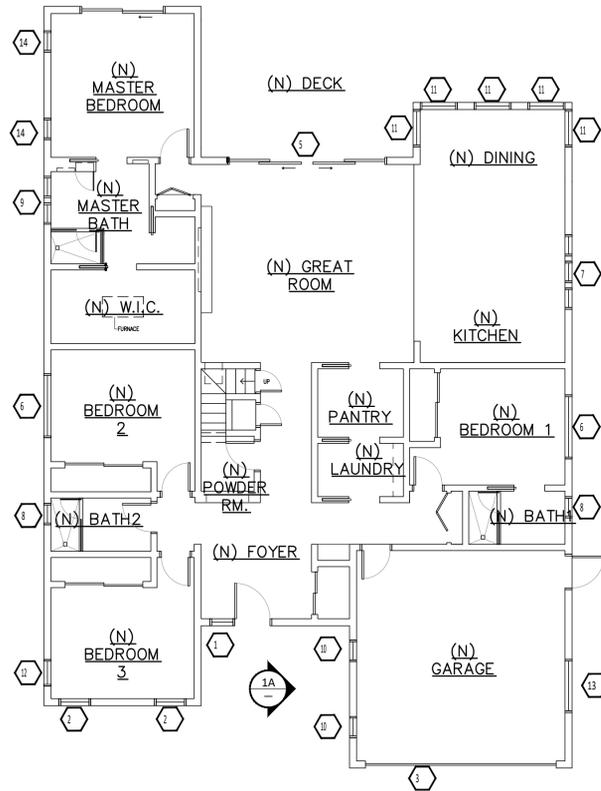
REVISIONS	DATE:

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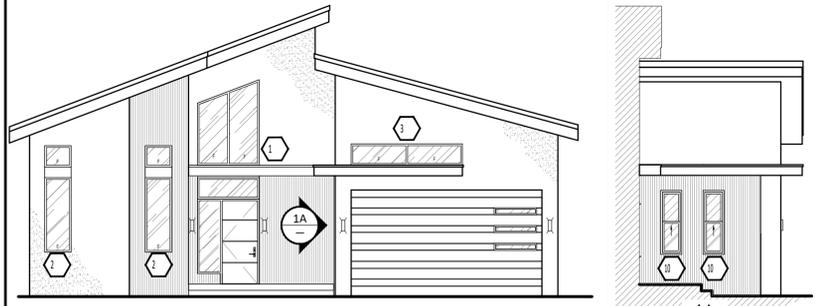
CITY STAMPS

SHEET TITLE:
SCHEDULE OF DOORS

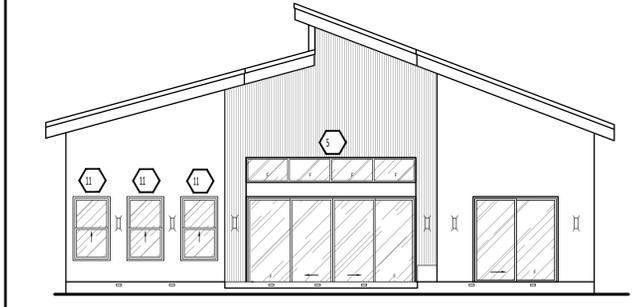
PROJECT NO: 20231361
DRAWN BY: MAB
DATE: 02-02-2023
SCALE: AS NOTED
DRAWING NO: **A900**



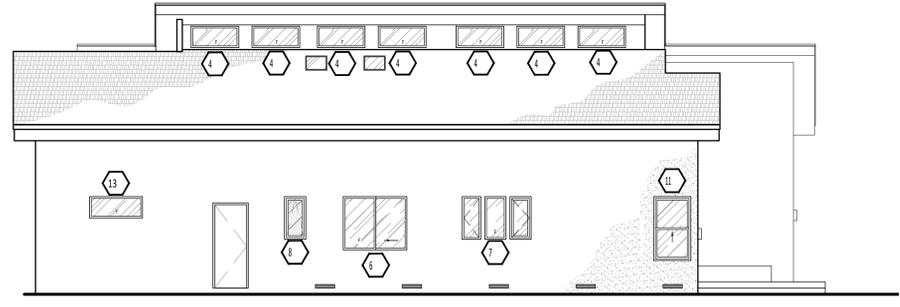
6 PROPOSED GROUND FLOOR KEYPLAN
SCALE: 1/8" = 1'-0"



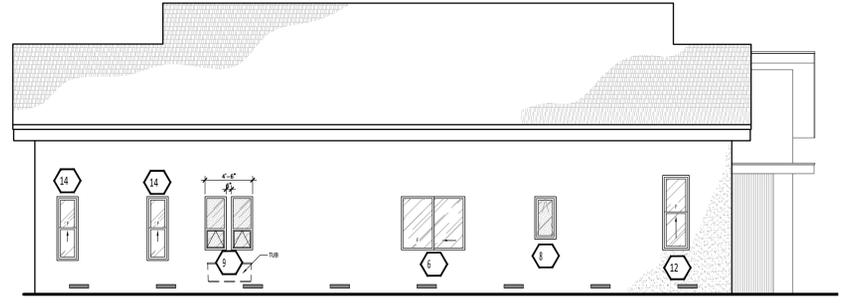
1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
SCALE: 1/8" = 1'-0"

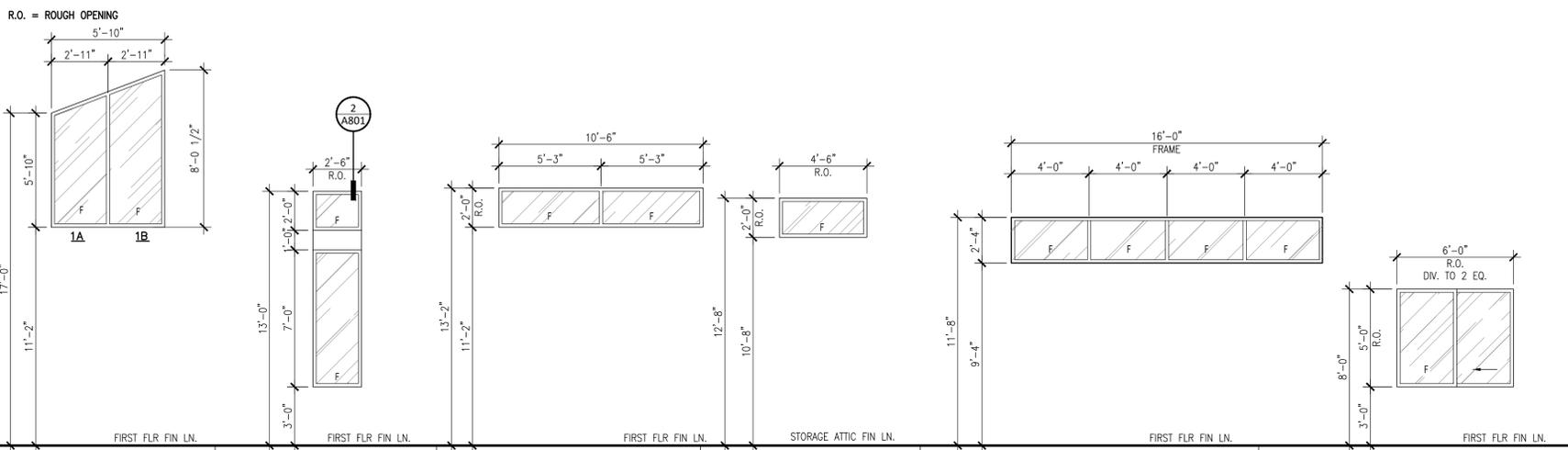


3 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

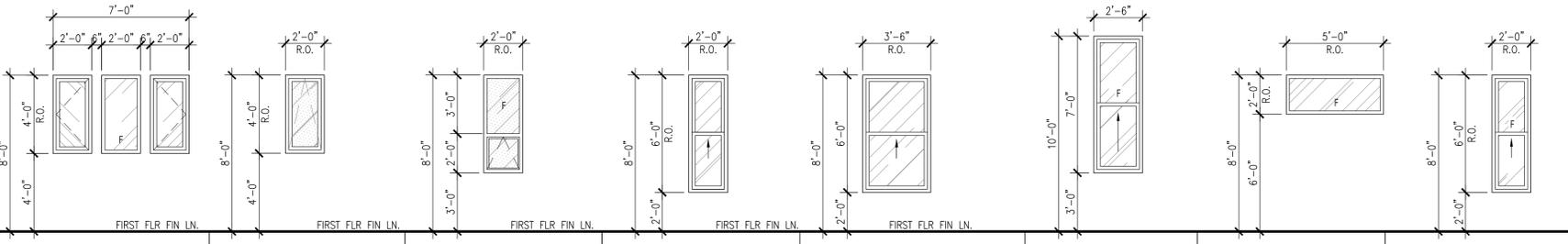


4 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

NOTE:
PRIOR TO FINAL ORDER, GC NEEDS TO VERIFY ALL ROUGH
OPENINGS AND REQUIRED CLEARANCES ON FIELD.
COORDINATE WITH ARCHITECT AND/OR OWNER FOR ANY
DISCREPANCIES



WINDOW	1	2	3	4	5	6
QTY.	1	2	1	7	1	2
LOC.	ENTRY PORCH	BDRM 3	GARAGE	CLERESTORY	GREAT ROOM	BDRM. 1, BDRM. 2,
MATERIAL	FIBERGLASS	FIBERGLASS	FIBERGLASS	FIBERGLASS	FIBERGLASS	FIBERGLASS
COLOR	BLACK	BLACK	BLACK	BLACK	BLACK	BLACK
TYPE	FIXED	FIXED	FIXED	FIXED	FIXED	FIXED/SLIDING
GLAZING	TEMPERED	TEMPERED	TEMPERED	TEMPERED	TEMPERED	TEMPERED
U-FACTOR	U-FACTOR >0.30; SHGC 0.35					
NOTE	TRANSOM	NOTE	NOTE	CLERESTORY WINDOW	NOTE	NOTE



WINDOW	7	8	9	10	11	12	13	14
QTY.	3	2	2	2	5	1	1	2
LOC.	KITCHEN	BATH 1 & 2	MASTER BATH	GARAGE	DINING	BEDROOM 3	GARAGE	MASTER BEDROOM
MATERIAL	FIBERGLASS							
COLOR	BLACK							
TYPE	2 CASEMENT & 1 FIXED	AWNING	AWNING	SINGLE HUNG	SINGLE HUNG	SINGLE HUNG	BLACK	BLACK
GLAZING	TEMPERED	FROSTED / TEMPERED	FROSTED / TEMPERED	TEMPERED	TEMPERED	TEMPERED	TEMPERED	TEMPERED
U-FACTOR	U-FACTOR >0.30; SHGC 0.35							
NOTE	NOTE	NOTE	NOTE	NOTE	NOTE	EGRESS	NOTE	NOTE

5 WINDOWS SCHEDULE
SCALE: 1/4" = 1'-0"

SKYLIGHT SCHEDULE

LOCATION	QTY.	MANUFACTURER	PRODUCT #	ELECTRIC	DIMENSIONS			NOTES
					INSIDE CURB	OUTSIDE CURB	MAX. CLEARANCE	
STORAGE ATTIC	2	VELUX		YES				*FRESH AIR (VCE) CURB MOUNTED

ARCHITECT:
MONTQUE DESIGN INC.
JUNG MOO LEE

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**PROPOSED SINGLE FAMILY,
SINGLE STORY RESIDENCE**

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SUNGHWA KANG
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REVISIONS

NO.	DATE	DESCRIPTION
1		
2		

DATE:

CITY STAMPS

SHEET TITLE:
**SCHEDULE OF
WINDOWS**

PROJECT NO: 20231361
DRAWN BY: MAB
DATE: 02-02-2023
SCALE: AS NOTED
DRAWING NO: **A901**