

City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423



Notice of Public Hearing

Dear Campbell Resident,

May 3, 2024

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:30 p.m., or shortly thereafter, on Tuesday May 14, 2024, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

Project Address: 601 Almarida DR.

Zoning | Area Plan: MDH | N/A

Neighborhood Association(s): Hamann Park

Council District: 3

File No.: PLN-2024-44

APN: 27930043

Applicant: Raintree Partners

Property Owner: Raintree Campbell LLC

Application Type: Extension of Approval

Project Planner: Daniel Fama, Senior Planner

Email Contact: danielf@campbellca.gov

Phone Contact: (408) 866-2193

Project Description:

Request for a 24-month extension of the approved Site and Architectural Review Permit and Tree Removal Permit (PLN2018-00202) that allowed the construction of a three-story, 60-unit apartment building within an existing 180-unit apartment community (The Franciscan).

You may participate virtually or watch online:

- ◇ Register online to speak via Zoom:
(<https://campbellca.gov/PCSignup>.)
- ◇ Watch YouTube live-stream:
(<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

****Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español**





CITY OF CAMPBELL
COMMUNITY DEVELOPMENT DEPARTMENT

APPROVED PROJECT

File No(s): PLN2018-00202
 Approving Body: PC
 Approval Date: 5/24/2022
 Reso./Ord. No.: 4643
 Notes: Reflects Desk Item

Approval of these plans is subject to the conditions of approval specified within the above referenced resolution(s) and/or ordinance(s), any "red-line" revisions or notes made to these plans, and compliance with all applicable City, State, and Federal laws and regulations. Approval of these plans shall not be construed as to impede the City from requiring corrections of errors or omissions.

PLANNING SUBMITTAL



FRANCISCAN APARTMENTS

601 Almarida Drive
Campbell, CA 95008
08.17.20

OWNER: RAIN TREE PARTNERS
 25 TAYLOR STREET
 SAN FRANCISCO, CA 94102
 NICHOLAS LEONE, AIA
 415.272.7541
 nleone@raintreepartners.com

ARCHITECT: LOWNEY ARCHITECTURE
 360 17TH STREET, SUITE 200
 OAKLAND, CA 94612
 MARK DONAHUE
 510.269.1123
 mark@lowneyarch.com

LANDSCAPE ARCHITECT: LOWNEY ARCHITECTURE
 360 17TH STREET, SUITE 200
 OAKLAND, CA 94612
 JENNIFER IVANOVICH
 510.269.1112
 jennifer@lowneyarch.com

CIVIL ENGINEER: TALUS ENGINEERING
 811 SAN RAMON VALLEY BLVD
 DANVILLE, CA 94526
 EASTON MCALLISTER, PE
 415.948.0440
 easton@talus-eng.com

LIGHTING DESIGNER: HLB LIGHTING
 300 BRANNAN STREET, SUITE 212
 SAN FRANCISCO, CA 94107
 BRANDON THRASHER
 415.348.8273
 bthrasher@hlblighting.com

Amended per Desk Item
 Sheets C.01 to C.04
 Sheet Total: 41

ARCHITECTURAL

- A001 PROJECT INFORMATION
- A002 NEIGHBORHOOD CONTEXT
- A003 SITE PHOTOS
- A010 EXISTING SITE & DEMOLITION PLAN
- A011 OVERALL ARCHITECTURAL SITE PLAN
- A012 PARKING / LOADING
- A013 FENCING AND CIRCULATION PLAN
- A014 FENCING DETAILS
- A015 EMERGENCY ACCESS PLAN
- A016 TRASH MANAGEMENT PLAN
- A017 OPEN SPACE DIAGRAM
- A018 FLOOR AREA DIAGRAMS
- A019 LOT COVERAGE DIAGRAM
- A020 3D RENDERING - VIEW FROM ALMARIDA DRIVE
- A200 UNDERGROUND PARKING
- A201 LEVEL 1 PLAN
- A202 LEVELS 2+3 PLANS
- A301 STREETScape EXHIBIT
- A302 EXTERIOR ELEVATIONS
- A303 EXTERIOR ELEVATIONS
- A304 EXISTING BUILDING ELEVATIONS
- A305 EXISTING BUILDING ELEVATIONS
- A306 EXISTING BUILDING ELEVATIONS
- A311 SITE CROSS SECTIONS
- A312 BUILDING SECTIONS
- A350 MATERIAL PALETTE

LANDSCAPE

- L101 OVERALL SITE LANDSCAPE PLAN
- L102 PROPOSED LANDSCAPE PLAN
- L103 TREE REMOVAL PLAN
- L104 TREE REPLACEMENT PLAN
- L201 EXTERIOR LIGHTING PLAN

LIGHTING DESIGN

- LTG-1 EXTERIOR LIGHTING LAYOUT
- LTG-2 EXTERIOR LIGHTING PHOTOMETRIC PLAN

CIVIL

- C.01 GRADING AND DRAINAGE PLAN
- C.02 STORM WATER CONTROL PLAN
- C.03 SITE AREA CALCULATIONS

SHEET TOTAL: 36

Current and Adjacent Property Land Use

- The current property, The Franciscan, is owned by the applicant, Raintree Franciscan LLC. The Franciscan, is a 1971 constructed, 180-unit garden style apartment community located at 601 Almarida Drive ("Existing Project"). The Property consists of 16 two-story buildings and 2 one-story buildings on 7.5 gross acres. The Property offers a mix of 90 one-bedroom and 90 two-bedroom units. The Property assemblage is generally bound by single family residences to the north and east, a standalone retail building (currently vacant) to the south, and a Kohl's retail store and associated parking lot to the west.

Project Overview

- The Applicant proposes to add a 60-unit residential building, leasing office, and new amenities to the Existing Project ("Proposed Addition"). The unit mix of the Proposed Addition includes 7 studio, 36 one-bedroom, and 17 two-bedroom units.
- The 60-unit multifamily building and amenity building will be constructed in a single phase with an anticipated construction timeframe of 18-24 months. The buildings will be wood-framed with stucco and stained wood siding. Architectural elements such as the proposed metal railings, wood siding, and clay tile roof are incorporated into the design of the buildings to complement the elements of the surrounding apartment buildings on site.
- Each apartment unit in the proposed project contains designer interiors, vinyl wood plank flooring, designer cabinetry, and central heating and air conditioning.
- Exterior amenities include a roof deck, fitness center, community room, contemporary mail room with package storage lockers, and pool deck. The proposed project's site landscaping is designed with drought tolerant planting and will complement the existing landscaping of the community.
- The Project will also result in the removal and replacement of a leasing office/storage building, fitness facility, laundry room, pool, spa, and 6 trees..

Parking

- In connection with the development of the Proposed Addition, per density bonus standard for a development within 1/2 mile of a major transit stop ordinance, a total of 43 parking spaces are required. A total of 178 on-site parking stalls are required per density bonus standards for the Existing Project and the Proposed Project, combined. A total of 263 parking spaces are proposed through a combination of a subterranean parking garage and on-grade parking. A total of 73 parking stalls will be provided in the subterranean parking garage.

Amenities

- The amenity building has a leasing office, a fitness center, a roof deck, and a community room with kitchen and seating for community gatherings. The outdoor recreation area offers a swimming pool and spa, outdoor kitchen, lounge seating, and dining areas. A roof deck is located above the leasing office and includes outdoor kitchen and lounge seating.

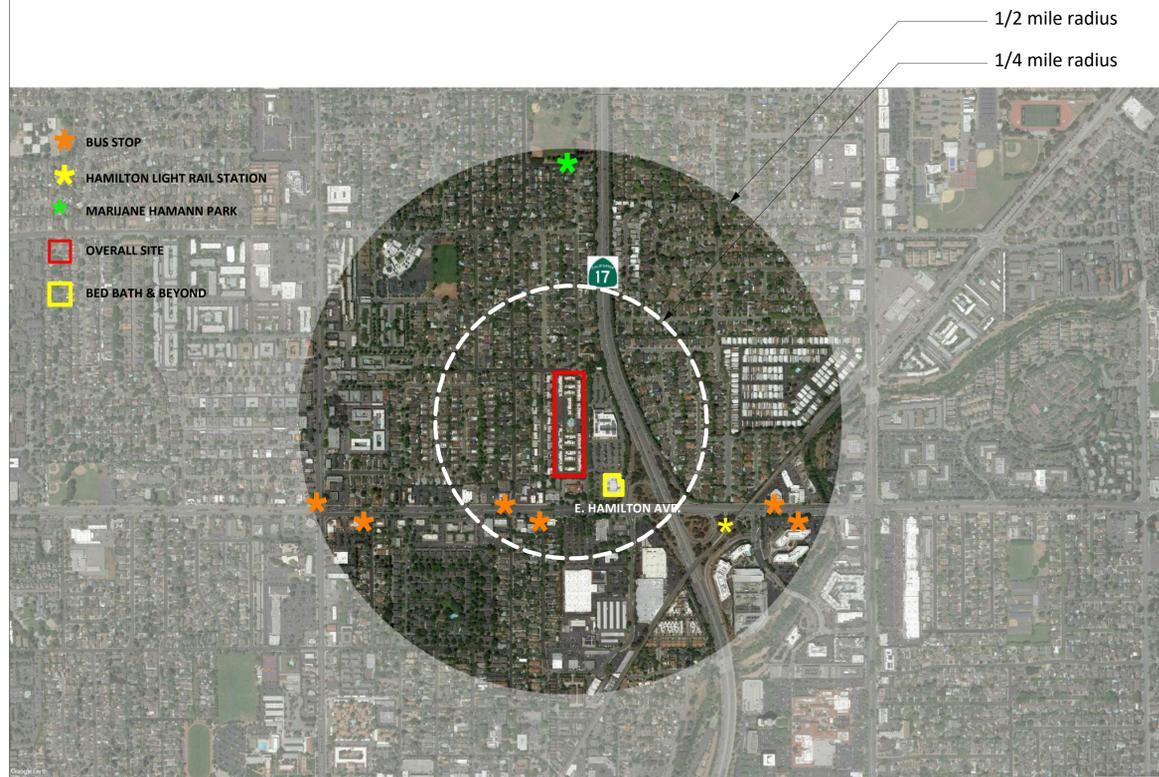
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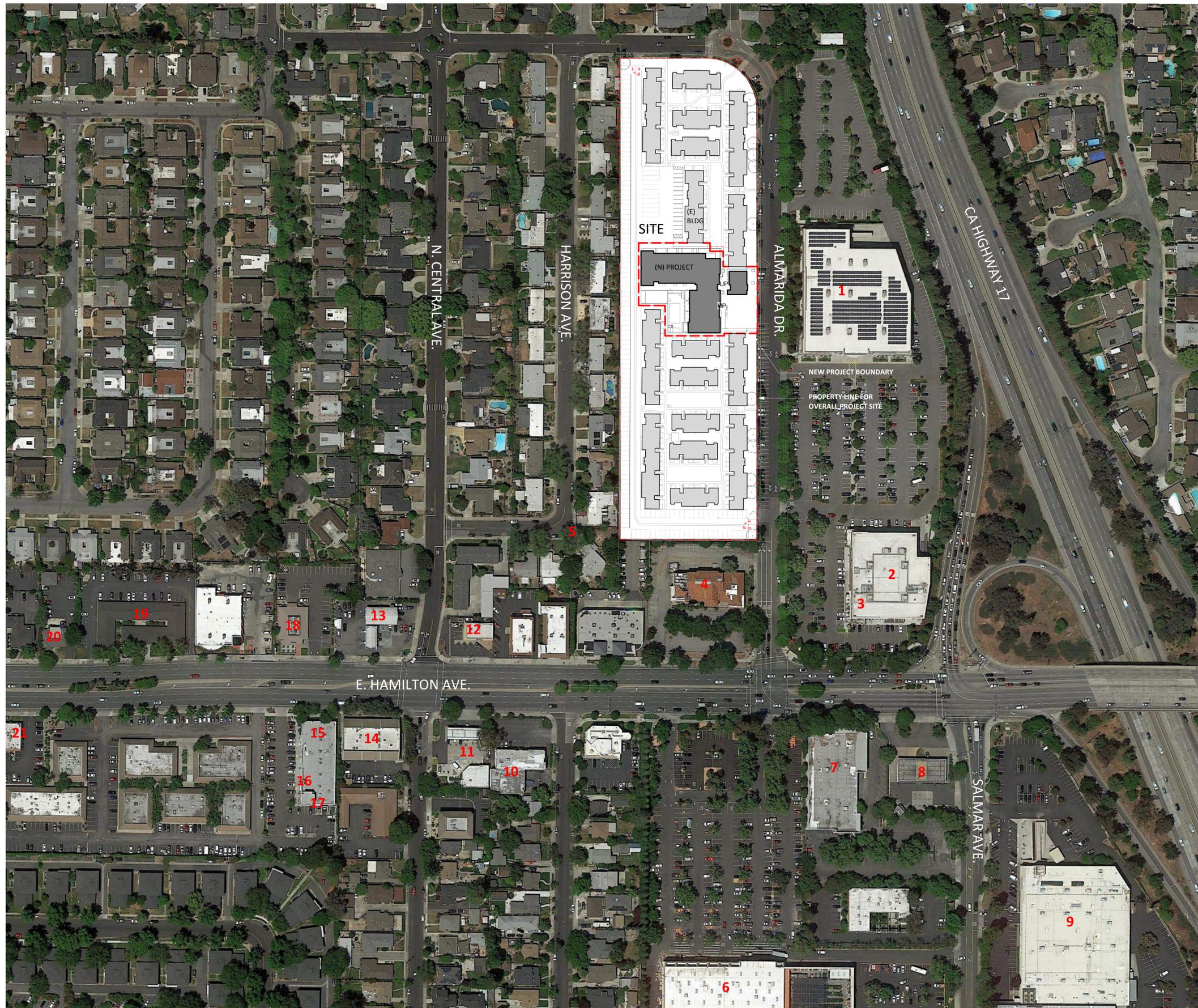
- The project is designed to meet the 2019 California Building Code.

Fire Life Safety

- Emergency Radio Responder Coverage shall be provided and installed per CFC Sec 510.
- Two-way communication system shall be provided and installed in accordance with NFPA 72 (2016 edition), CEC (2013 edition), the CFC (2016 edition), the CBC (2016 edition) and applicable local codes.
- Fire alarm system shall be provided and installed per CFC Sec. 907 and NFPA 72. Plans will be provided as a deferred submittal.

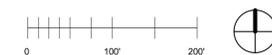
VICINITY MAP





KEY

- 1. KOHL'S
- 2. BED BATH & BEYOND
- 3. PANERA BREAD
- 4. FORMER ELEPHANT BAR RESTAURANT
- 5. PRESCHOOL
- 6. HOME DEPOT
- 7. STAPLES
- 8. GAS STATION
- 9. FRY'S ELECTRONICS
- 10. BICYCLE SHOP
- 11. GAS STATION
- 12. LIQUOR STORE
- 13. GAS STATION
- 14. OPTOMETRIST
- 15. STARBUCKS
- 16. SUBWAY
- 17. DAY SPA
- 18. MOUNTAIN MIKE'S PIZZA
- 19. DENTIST
- 20. CHIROPRACTOR
- 21. ITALIAN RESTAURANT





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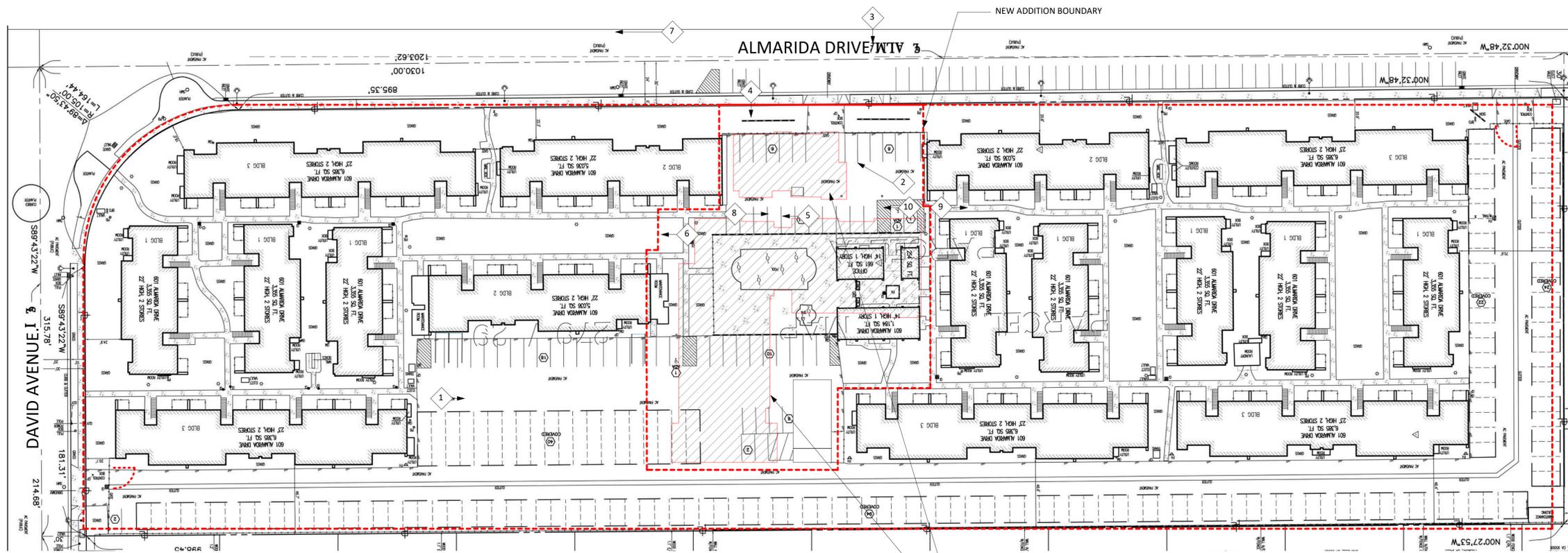
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LOCATION OF PROPOSED BUILDINGS

*THIS PLAN INDICATES DEMOLITION OF THE EXISTING AND NOT-APPROVED SITE CONFIGURATION AND LAYOUT.



EXISTING PARKING SUMMARY*

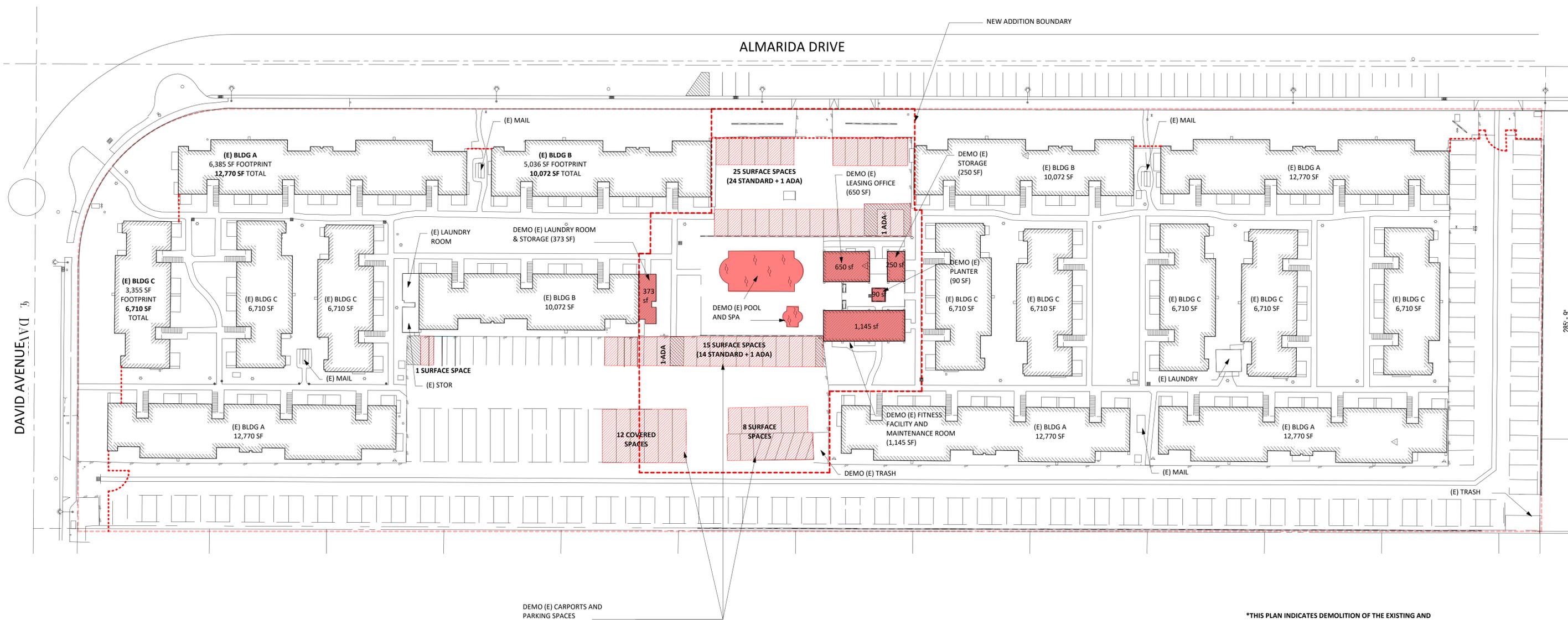
OFF-STREET PARKING	COVERED	SURFACE	ADA	TOTAL SPACES
EXISTING SPACES	180	60	2	242
DEMO SPACES	-12	-47	-2	-61
EXISTING TO REMAIN	164	13	0	181

*Existing conditions do not meet minimum code requirements for parking

EXISTING BUILDING AREA SUMMARY

BUILDING	AREA/BLDG	QTY	TOTAL AREA
UNIT BLDG TYPE A	12,770 SF	5	63,850 SF
UNIT BLDG TYPE B	10,072 SF	3	30,216 SF
UNIT BLDG TYPE C	6,710 SF	8	53,680 SF
LEASING OFFICE / POOL (TO BE DEMOLISHED)	2,508 SF		2,508 SF

150,254 SF	TOTAL (E) BLDG AREA
-2,508 SF	DEMO SCOPE
147,746 SF	TOTAL (E) BLDG AREA TO REMAIN



*THIS PLAN INDICATES DEMOLITION OF THE EXISTING AND NOT-APPROVED SITE CONFIGURATION AND LAYOUT.

1 SITE DEMOLITION PLAN
1/32" = 1'-0"

PLANNING INFORMATION:

Development Data	Square Feet		Percent of Site	
	Existing	Proposed	Existing	Proposed
Building Coverage	75,972	102,198	27%	36%
Landscape Coverage	92,913	91,424	33%	32%
Paving Coverage	115,061	90,324	40%	29%
Floor Area Ratio (Total Bldg SF divided by net lot size)	150,254	201,054 (excludes garage)	53%	71%

Adjacent Land Uses:	Use
North	Residential
South	Commercial
East	Commercial
West	Residential

Existing Buildings To Remain:

Type	Area (SF)	Qty.	Total (SF)
BLDG A	12,770	5	63,850
BLDG B	10,072	3	30,216
BLDG C	6,710	8	53,680
TOTAL			147,746

Parking:	# Standard	# Compact	# Accessible	# TOTAL
Existing	240 (180 COVERED +60 OPEN AIR)	0	0	240
Proposed	256 (183 ONSITE +73 GARAGE)	0	0	256
Approved	267	0	0	267

Residential Projects:	UNIT TYPE						
	A	B	C	D	E	F	G
Living Area (avg.sq.ft)	250	300	300	300	314	300	322
Garage Area (sq.ft)	-	-	-	-	-	-	-
Total Area (sq.ft)	348	637	644	827	889	909	940
Number of Bedrooms	studio	1	1	2	2	2	2
Total Number of Units per Type	7	33	3	2	5	6	4

= 60 TOTAL

ZONING INFORMATION

SITE ADDRESS: 601 ALMARIDA DRIVE CAMPBELL, CA 95008

ASSESSOR'S PARCEL #: 279-30-043

ZONING DISTRICT: R-3

GENERAL PLAN: HIGH-DENSITY RESIDENTIAL

SETBACKS

	FRONT	STREET SIDE	SIDE/REAR
REQUIRED	20'	12'	5' or 1/2 wall ht
PROVIDED	20'-6"	404'	44'-11"

LOT AREA

325,763 GSF (7.48 GR. ACRES)
283,946 NSF

DENSITY

GENERAL PLAN	ALLOWED DENSITY	LOT AREA	ALLOWED UNITS	EXISTING UNITS/ DENSITY	PROPOSED UNITS/ DENSITY
HIGH DENSITY RESIDENTIAL	21-27 D.U./GR. ACRE	7.48 GR. ACRES	157 - 202	180 UNITS (24 D.U./GR. ACRE)	240 UNITS (32 D.U./GR. ACRE)

UNIT MATRIX

	STUDIO (TYPE A)	1BR (B,C)	2BR (D,E,F,G)	TOTAL/FL
LEVEL 3	3	13	5	21
LEVEL 2	2	11	7	20
LEVEL 1	2	12	5	19
TOTAL	7	36	17	60
RATIO	12%	60%	28%	
AVG SIZE	353 SF	640 SF	900 SF	

DENSITY BONUS CALCULATION

	STUDIO (TYPE A)	1BR (B,C)	2BR (D,E,F,G)	TOTAL
BASE UNIT COUNT	7	36	17	60
DENSITY BONUS UNITS (11% VLI)	1	4	2	7
ALLOWED DENSITY PER ACRE WITH DENSITY BONUS (35%)				21 - 27
PROPOSED DENSITY PER ACRE				29 - 37
				32

NEW BUILDING INFORMATION

	RESIDENTIAL BUILDING	AMENITY BUILDING	UNDERGROUND GARAGE
NUMBER OF STORIES:	3	2	1 (BELOW GRADE)
ALLOWABLE HEIGHT:	40 FT / 3 STORIES	40 FT / 3 STORIES	
PROPOSED HEIGHT:	37'-0" (TOP OF RIDGE)	27'-7" (TOP OF RIDGE)	-10'-0"
CONSTRUCTION TYPE:	TYPE V-A	TYPE V-A	TYPE I-A
SPRINKLERED:	YES	YES	YES
OCCUPANCY CLASSIFICATION:	R2 (RESIDENTIAL)	R2 (RESIDENTIAL) B (BUSINESS) A3 (ASSEMBLY)	S2 (PARKING)
BUILDING AREA			
FLOOR LEVEL	P3		
	P2		
	P1		32,280 SF
	L1	16,246 SF	1,792 SF
	L2	16,246 SF	3,106 SF, 1,013 SF DECK
	L3	15,936 SF	462 SF BALC.
TOTAL	48,428 SF	4,898 SF	32,280 SF

REQUIRED ON-SITE PARKING (SEE A012 FOR ADD'L DETAILS)

CA STATE DENSITY BONUS STANDARD FOR A DEVELOPMENT WITHIN 1/2 MILE OF A MAJOR TRANSIT STOP:

TYPE	180 (E) UNITS	RATIO	(E) PARKING SPACES	60 (N) UNITS	(N) PARKING SPACES
STUDIO	0	0.5	0	7	3.5
1 BEDROOM	90	0.5	45	36	18.0
2 BEDROOM	90	1.0	90	17	17.0
OFFICE		1/225SF		903 SF	4.0
			135	+	42.5

= 178 REQUIRED SPACES

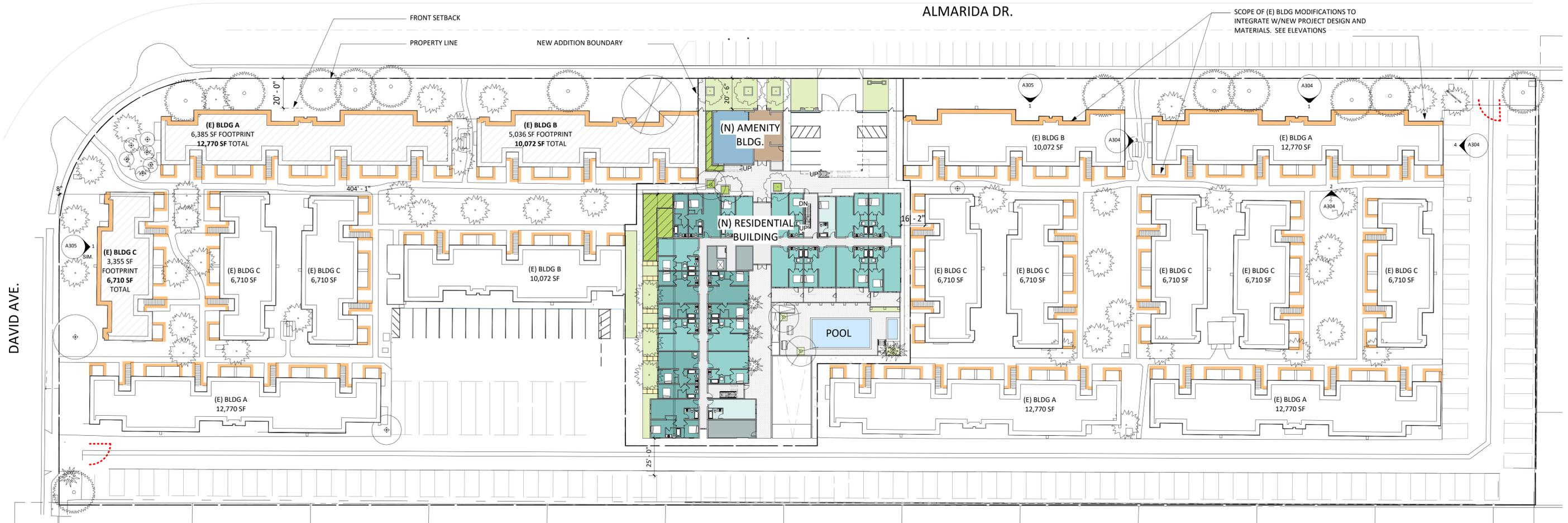
PROVIDED PARKING SPACES:	EXISTING:	PROPOSED:	REMOVED:	ADDED:	TOTAL:
	242 SPACES	- 61 SPACES		+82 SPACES	263 SPACES

PARKING SURPLUS: (263 PROVIDED - 178 REQUIRED) = 85 SPACES

OPEN SPACE CALCULATIONS

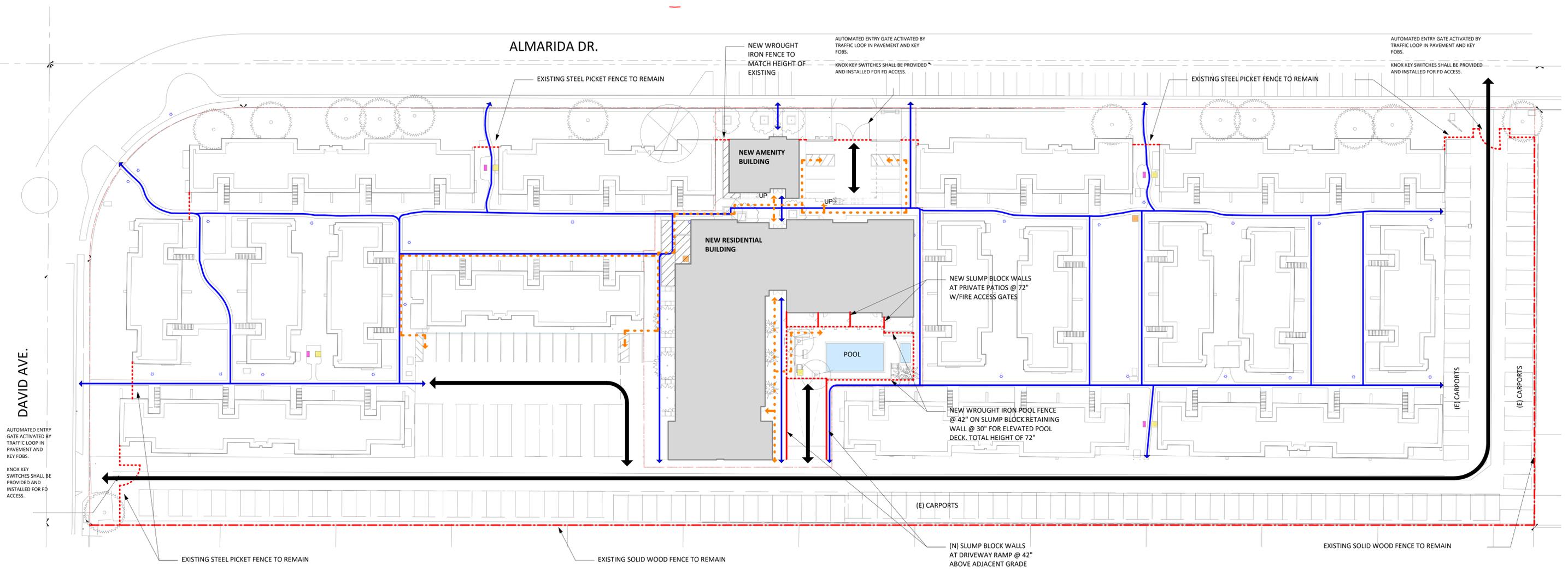
	300 SF/D.U.	180 (E) UNITS +60 (N) UNITS	TOTAL
OPEN SPACE REQUIRED:			54,000*
			18,000
TOTAL OPEN SPACE REQUIRED =			72,000 SF
OPEN SPACE PROVIDED:			
(N) COMMUNITY ROOF DECK			1,037 SF
(N) POOL AREA			2,553 SF
PRIVATE PATIOS/BALCONIES: (N)			1,208 SF
PUBLIC OPEN SPACE: (E)			29,171 SF
(N)			4,883 SF
TOTAL OPEN SPACE PROVIDED (EXISTING + NEW) =			38,852 SF

*PREVIOUSLY DEFICIENT WHEN BUILT, SEE A017



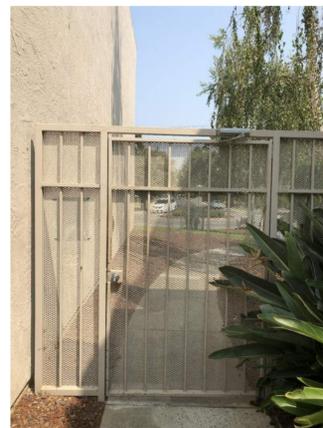
LEGEND

- PEDESTRIAN PATH
- VEHICULAR TRAVEL
- - - ACCESSIBLE PATH
- SOLID FENCE (WOOD--6 FT HT)
- - - PICKET FENCE (STEEL--6 FT HT)
- · - · - BLOCK WALL (VARIES AS NOTED)
- LIGHT POLE
- MAILBOXES
- TRASH CAN
- DOG WASTE
-
-





EXISTING SOLID WOOD FENCE



EXISTING STEEL PICKET GATE



EXISTING STEEL PICKET FENCE



PROPOSED PLASTER WALL TYPOLOGY



PROPOSED WROUGHT IRON FENCE AND RAILINGS TYPOLOGY @ POOL



NOTE: FENCE HEIGHT 6'-0" TYPICAL

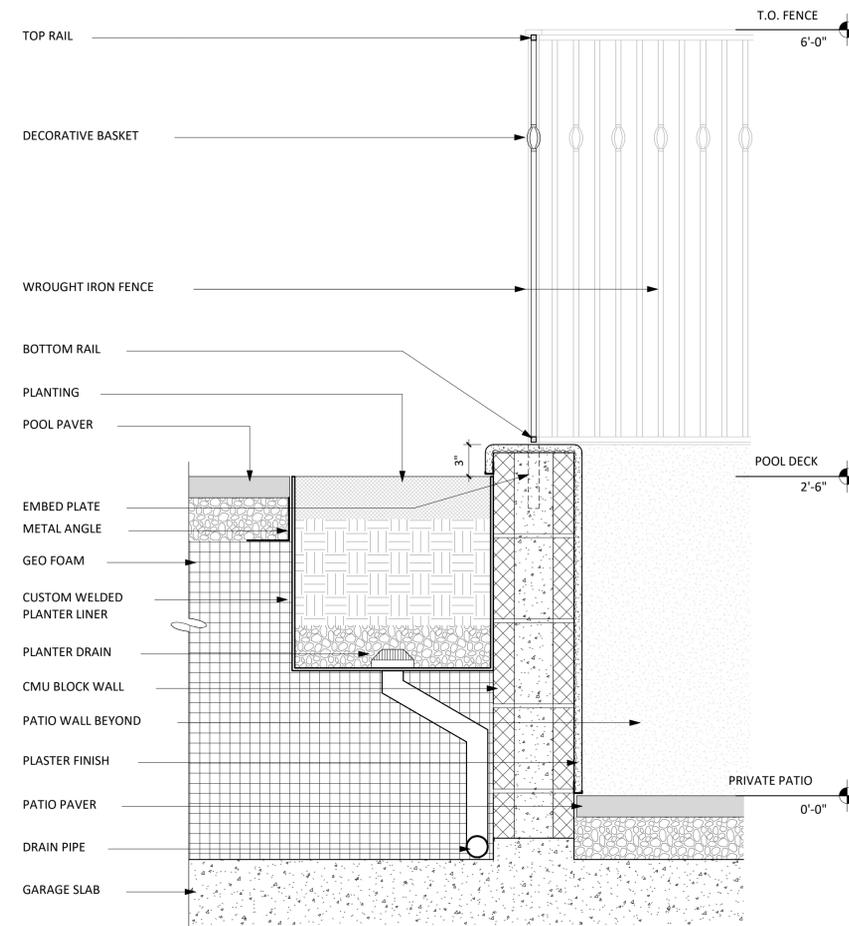
EXISTING SWINGING STEEL GATE

PROPOSED

EXISTING

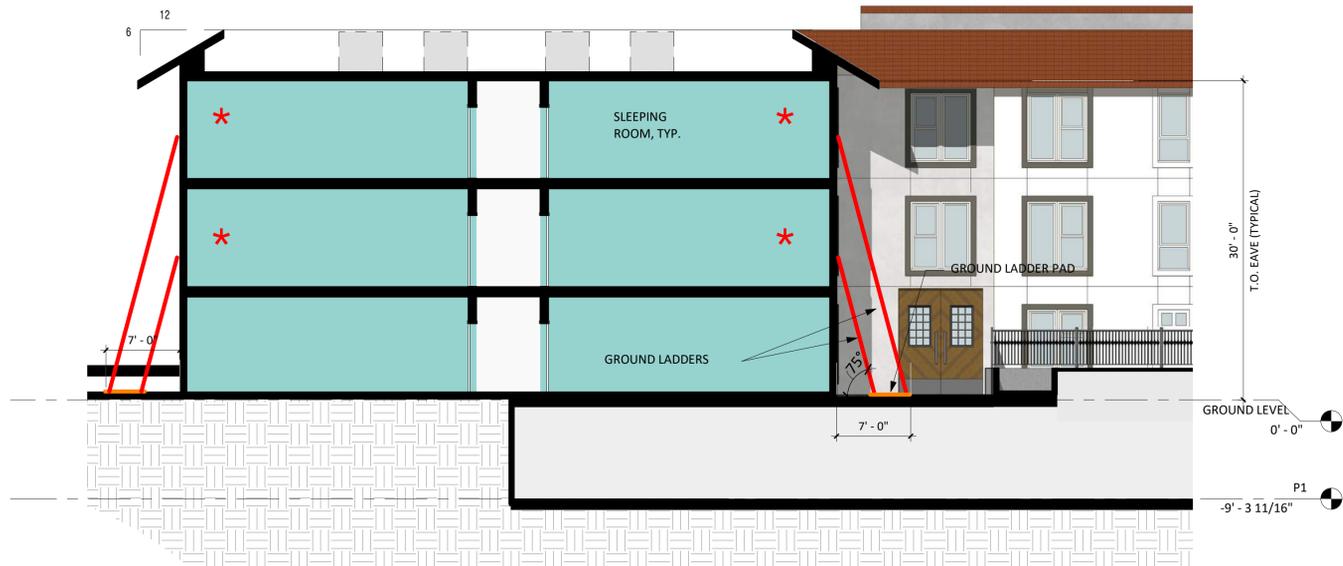


TOP OF FENCE 6'-0" ABOVE ADJACENT GRADE



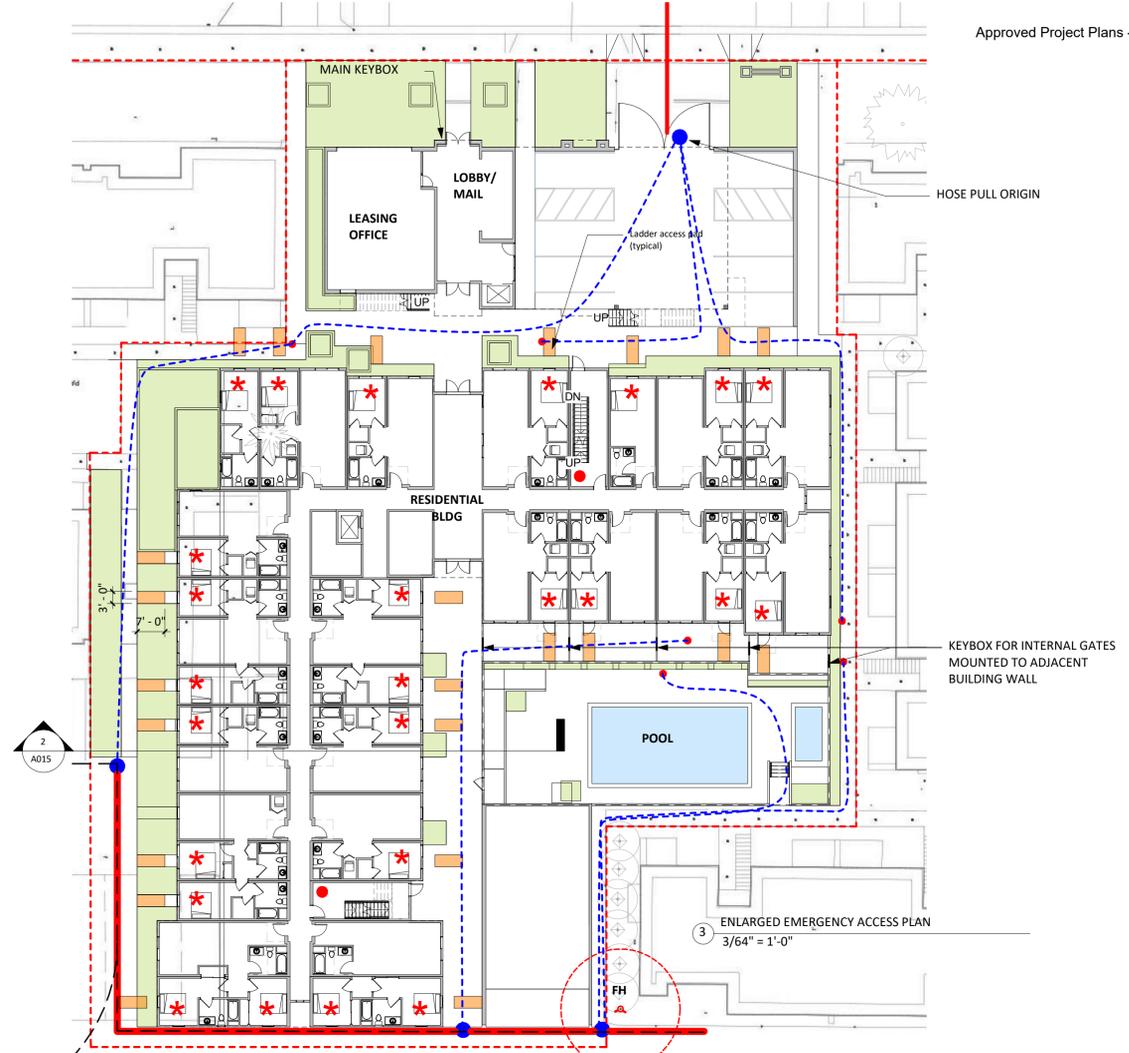
1 POOL FENCE 1 1/2" = 1'-0"

PROPOSED POOL ENCLOSURE

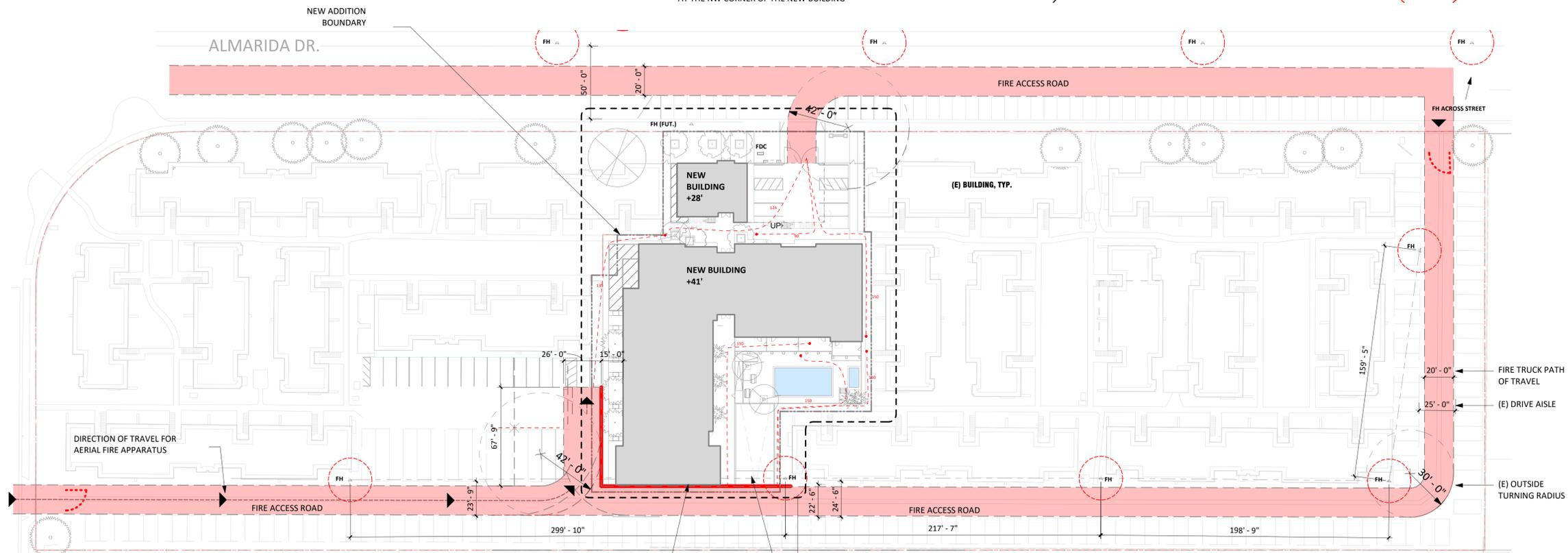


2 BUILDING SECTION EMERGENCY ACCESS
1/8" = 1'-0"

NOTE: PER DISCUSSIONS WITH SCCFD, AERIAL ACCESS NOT REQUIRED. IN ORDER TO MEET HOSE PULL REQUIREMENTS, TWO POINTS OF ACCESS ARE PROVIDED: ONE IN THE FRONT DRIVEWAY OF THE COMMUNITY BUILDING AND ONE FROM THE INTERNAL PARKING ROAD AT THE NW CORNER OF THE NEW BUILDING



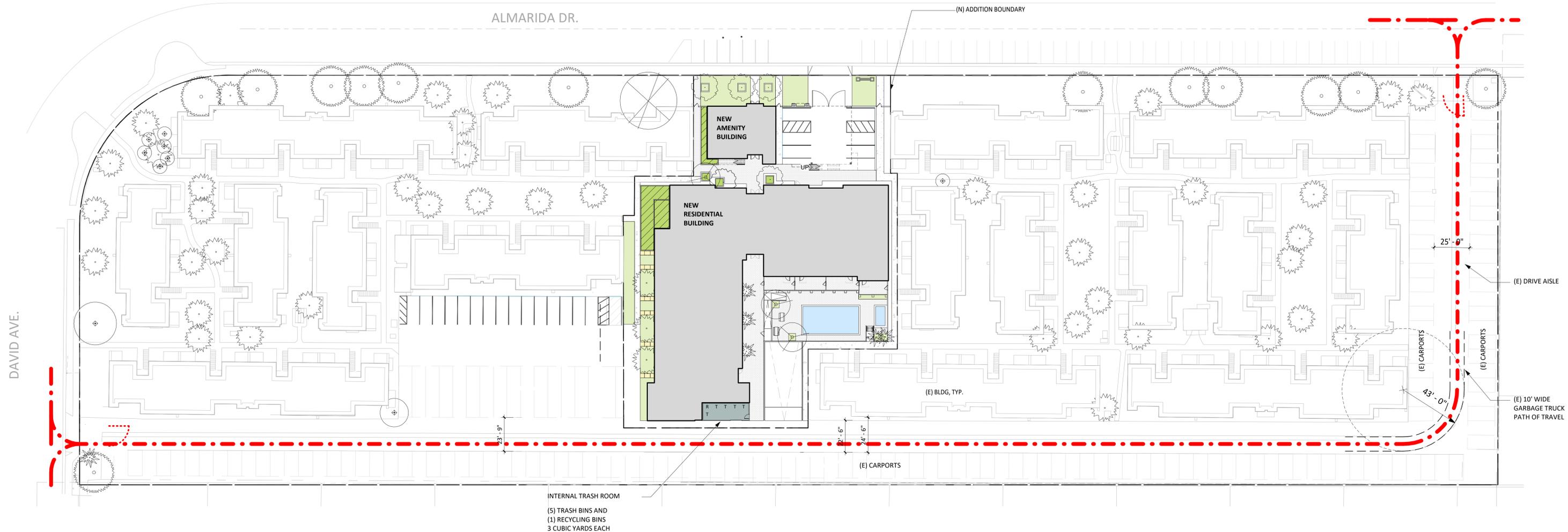
3 ENLARGED EMERGENCY ACCESS PLAN
3/64" = 1'-0"



1 OVERALL SITE EMERGENCY ACCESS PLAN
1" = 40'-0"

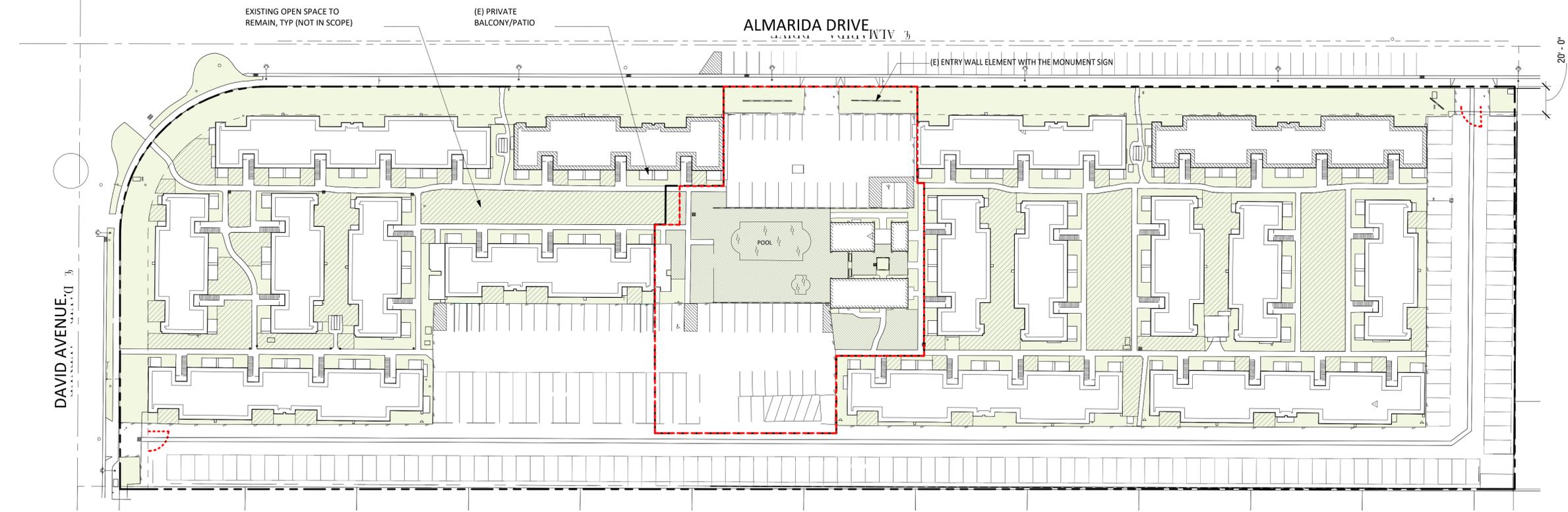
LEGEND

- * RESCUE WINDOW
- — — 150' HOSE PULL
- STANDPIPE
- 3'-0" 3'-9" GROUND LADDER PAD ACCESS
- FIRE ACCESS ROAD
- CURB STRIPE
- ▶ DIRECTION OF TRAVEL
- FH (E) FIRE HYDRANT, 15' CLR. EITHER SIDE



① OVERALL SITE PLAN TRASH
 1/32" = 1'-0"





LEGEND

- EXISTING LANDSCAPED AREA
- EXISTING PUBLIC OPEN SPACE AREA (10' MIN. DIM.)
- ADDITION BOUNDARY / DEMO SCOPE

OPEN SPACE CALCULATIONS: EXISTING
TABLE 21.08.070

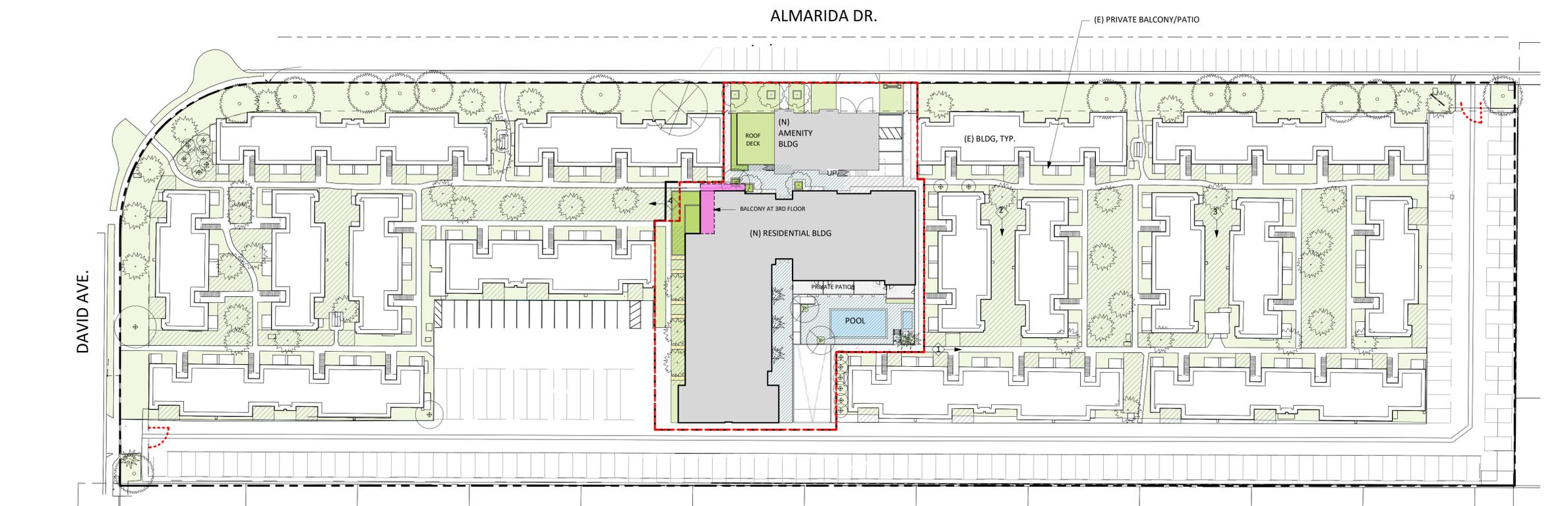
REQUIRED: 300 SF/UNIT
180 EXISTING UNITS
180 UNITS X 300 SF/UNIT = **54,000 SF REQUIRED**

PROVIDED:
EXISTING TO REMAIN (NOT IN SCOPE)
PUBLIC OPEN SPACE: 29,171 SF

EXISTING (DEMO SCOPE)
PUBLIC OPEN SPACE/POOL: 9,894 SF

EXISTING + DEMO = 39,065 SF PROVIDED

② OVERALL SITE PLAN EXISTING OPEN SPACE
1" = 40'-0"



LEGEND

- EXISTING LANDSCAPED AREA
- EXISTING PUBLIC OPEN SPACE AREA
- PROPOSED LANDSCAPED AREA
- PROPOSED PUBLIC OPEN SPACE AREA
- POOL / PLAZA
- NEW PRIVATE PATIOS
- ROOF DECK
- ADDITION BOUNDARY

OPEN SPACE CALCULATIONS: PROPOSED
TABLE 21.08.070

REQUIRED: 300 SF/UNIT
180 EXISTING UNITS + 60 NEW UNITS
240 UNITS X 300 SF/UNIT = **72,000 SF REQUIRED**

PROVIDED:
EXISTING TO REMAIN (NOT IN SCOPE)
PUBLIC OPEN SPACE: 29,171 SF

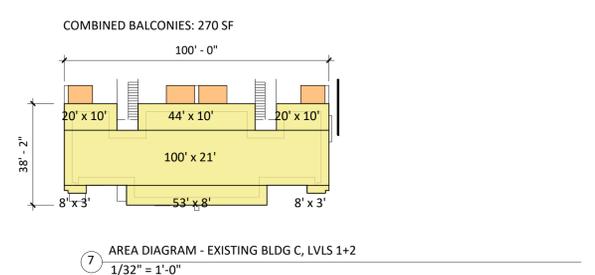
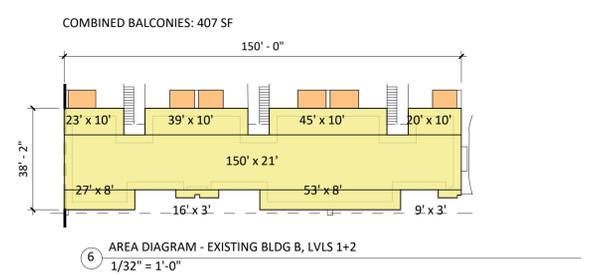
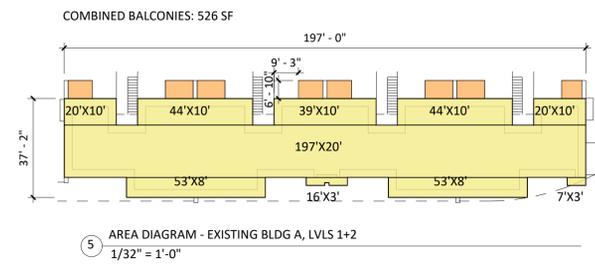
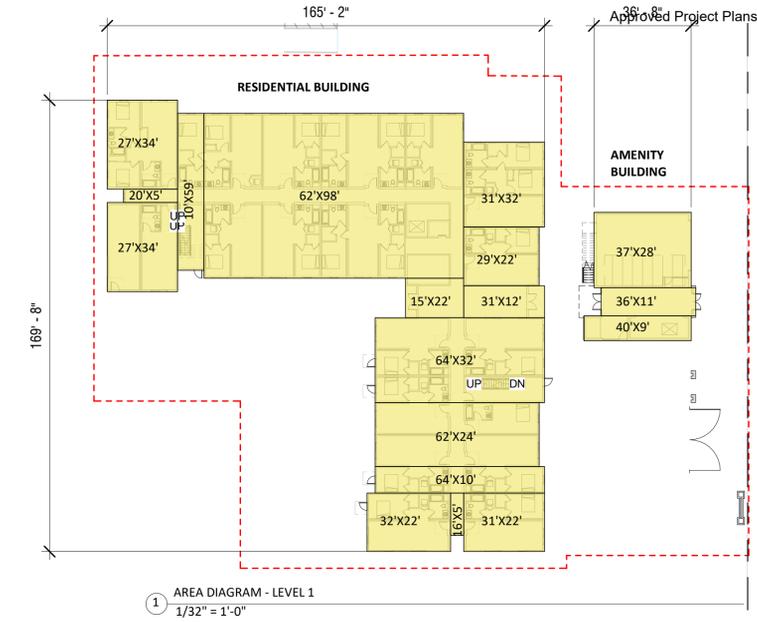
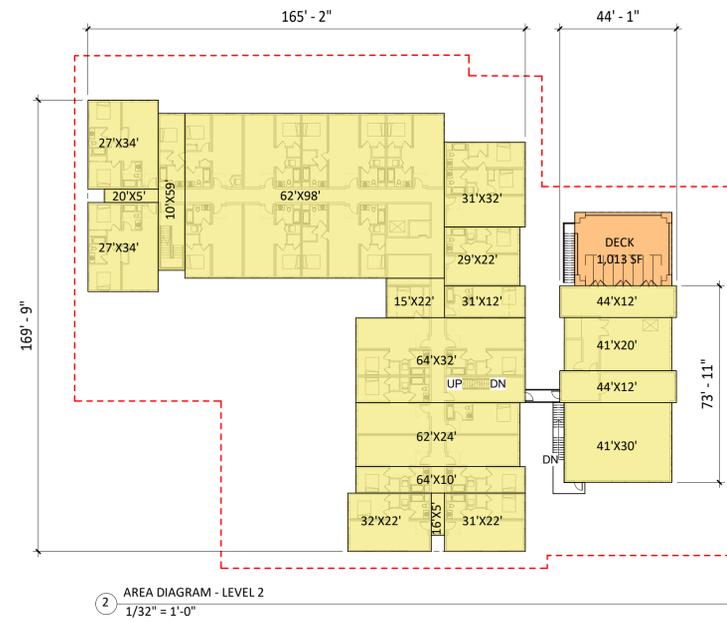
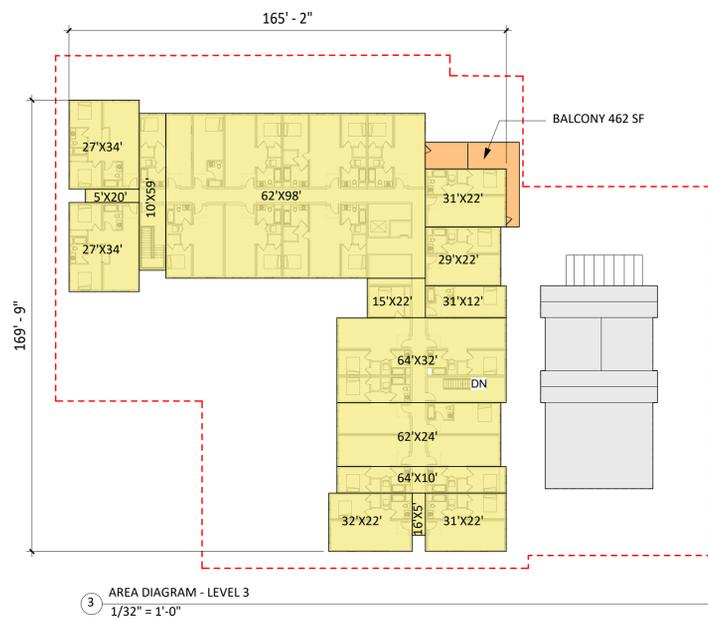
NEW PROJECT SCOPE
PUBLIC OPEN SPACE: 4,883 SF
POOL/POOL DECK: 2,553 SF
PRIVATE PATIOS: 1,208 SF
ROOF DECK: 1,037 SF
9,681 SF

EXISTING + NEW = 38,852 SF PROVIDED

PERCENTAGE OF LANDSCAPED AREA
73,032SF LANDSCAPE / 283,946SF SITE = 26%

① OVERALL SITE PLAN PROPOSED OPEN SPACE
1" = 40'-0"





NEW

LEVEL P1

UNDERGROUND PARKING	
94' x 165':	15,510 SF
60' x 112':	6,720 SF
75' x 134':	10,050 SF
32,280 SF	

LEVEL 3

RESIDENTIAL BUILDING	
27' x 34':	918 SF
5' x 20':	100 SF
27' x 34':	918 SF
10' x 59':	590 SF
62' x 98':	6,076 SF
31' x 22':	682 SF
29' x 22':	638 SF
31' x 12':	372 SF
64' x 32':	2,048 SF
62' x 24':	1,488 SF
64' x 10':	640 SF
32' x 22':	704 SF
16' x 5':	80 SF
31' x 22':	682 SF
15,936 SF	

LEVEL 2

RESIDENTIAL BUILDING	
27' x 34':	918 SF
5' x 20':	100 SF
27' x 34':	918 SF
10' x 59':	590 SF
62' x 98':	6,076 SF
31' x 32':	992 SF
29' x 22':	638 SF
31' x 12':	372 SF
64' x 32':	2,048 SF
62' x 24':	1,488 SF
64' x 10':	640 SF
32' x 22':	704 SF
16' x 5':	80 SF
31' x 22':	682 SF
16,246 SF	

AMENITY BUILDING	
44' x 12':	528 SF
41' x 20':	820 SF
44' x 12':	528 SF
41' x 30':	1,230 SF
3,106 SF	
19,352 SF	

LEVEL 1

RESIDENTIAL BUILDING	
27' x 34':	918 SF
5' x 20':	100 SF
27' x 34':	918 SF
10' x 59':	590 SF
62' x 98':	6,076 SF
31' x 32':	992 SF
29' x 22':	638 SF
31' x 12':	372 SF
64' x 32':	2,048 SF
62' x 24':	1,488 SF
64' x 10':	640 SF
32' x 22':	704 SF
16' x 5':	80 SF
31' x 22':	682 SF
16,246 SF	

AMENITY BUILDING	
37' x 28':	1,036 SF
36' x 11':	396 SF
40' x 9':	360 SF
1,792 SF	
18,038 SF	

EXISTING

BUILDING C

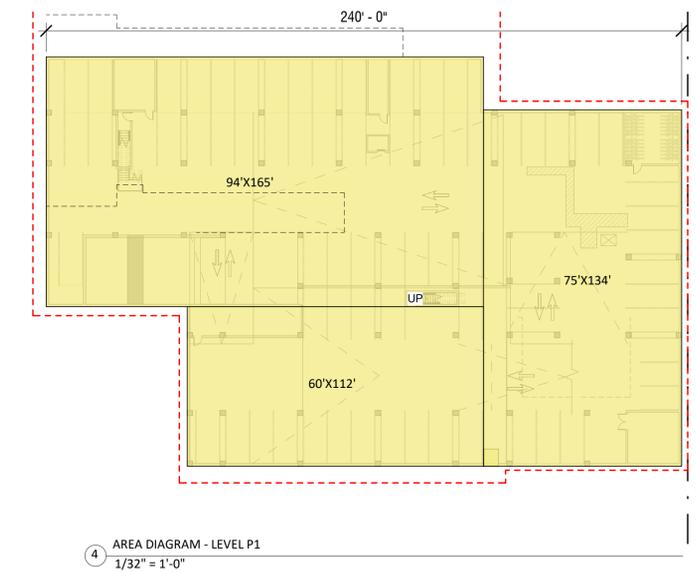
EXISTING BLDG LVLS 1+2	
100' x 21':	2,100 SF
20' x 10':	200 SF
44' x 10':	440 SF
20' x 10':	200 SF
8' x 3':	24 SF
53' x 8':	424 SF
8' x 3':	24 SF
3,412 SF	

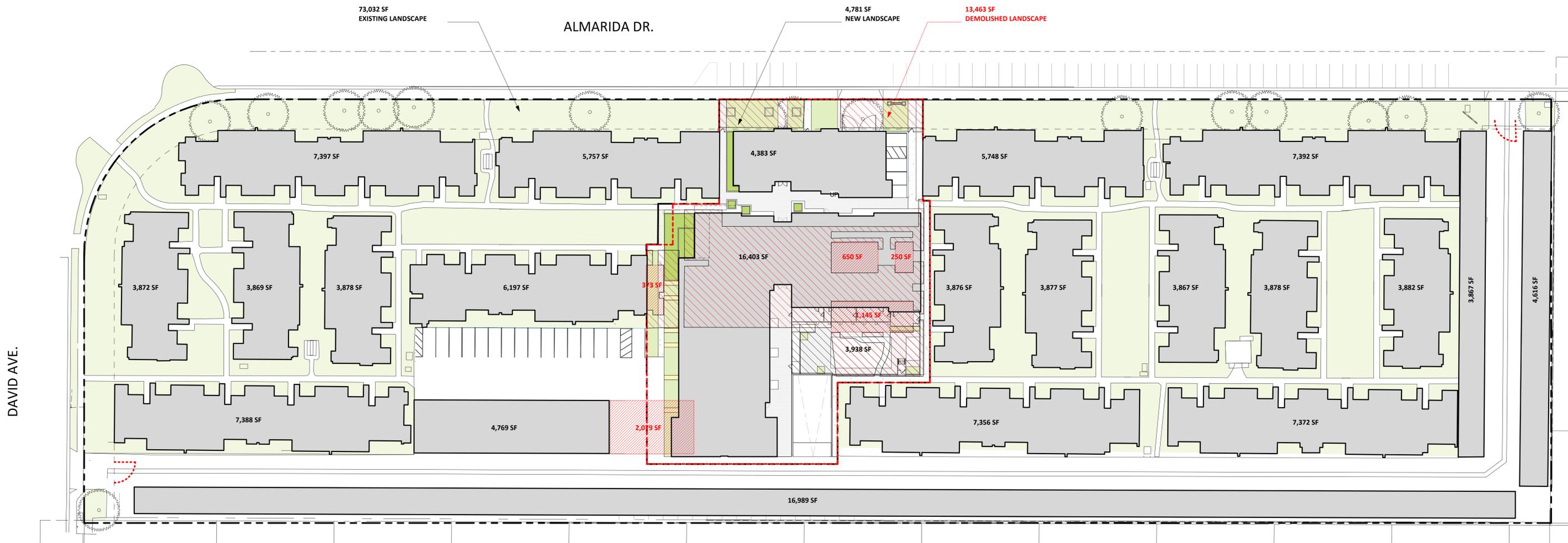
BUILDING B

EXISTING BLDG LVLS 1+2	
150' x 21':	3,150 SF
23' x 10':	230 SF
39' x 10':	390 SF
45' x 10':	450 SF
20' x 10':	200 SF
27' x 8':	216 SF
16' x 3':	48 SF
53' x 8':	424 SF
9' x 3':	27 SF
5,135 SF	

BUILDING A

EXISTING BLDG LVLS 1+2	
197' x 20':	3,940 SF
20' x 10':	200 SF
44' x 10':	440 SF
39' x 10':	390 SF
44' x 10':	440 SF
20' x 10':	200 SF
53' x 8':	424 SF
16' x 3':	48 SF
53' x 8':	424 SF
7' x 3':	21 SF
6,527 SF	





PREVIOUS LOT COVERAGE*

EXISTING BUILDINGS	CARPORTS	LANDSCAPE
7,397 SF	4,769 SF	73,032 SF
5,757 SF	16,989 SF	13,553 SF
5,748 SF	3,867 SF	
7,392 SF	4,616 SF	
3,872 SF		
3,869 SF	2,079 SF	
3,878 SF		
6,197 SF		
3,876 SF		
3,877 SF		
3,867 SF		
3,878 SF		
3,882 SF		
7,388 SF		
7,356 SF		
7,372 SF		

NEW LOT COVERAGE*

EXISTING BUILDINGS	NEW BUILDINGS	CARPORTS	EXISTING LANDSCAPE	NEW LANDSCAPE
7,397 SF	4,383 SF	4,769 SF	73,032 SF	4,781 SF
5,757 SF	16,403 SF	16,989 SF		3,938 SF
5,748 SF		3,867 SF		
7,392 SF		4,616 SF		
3,872 SF				
3,869 SF				
3,878 SF				
6,197 SF				
3,876 SF				
3,877 SF				
3,867 SF				
3,878 SF				
3,882 SF				
7,388 SF				
7,356 SF				
7,372 SF				

KEY:

BLACK: EXISTING / NEW
 RED: DEMOLISHED

* "Lot coverage" means the horizontal area measured within the outside of the exterior walls on the ground floor of all buildings and accessory structures on a lot, including garages, carports, and covered porches.

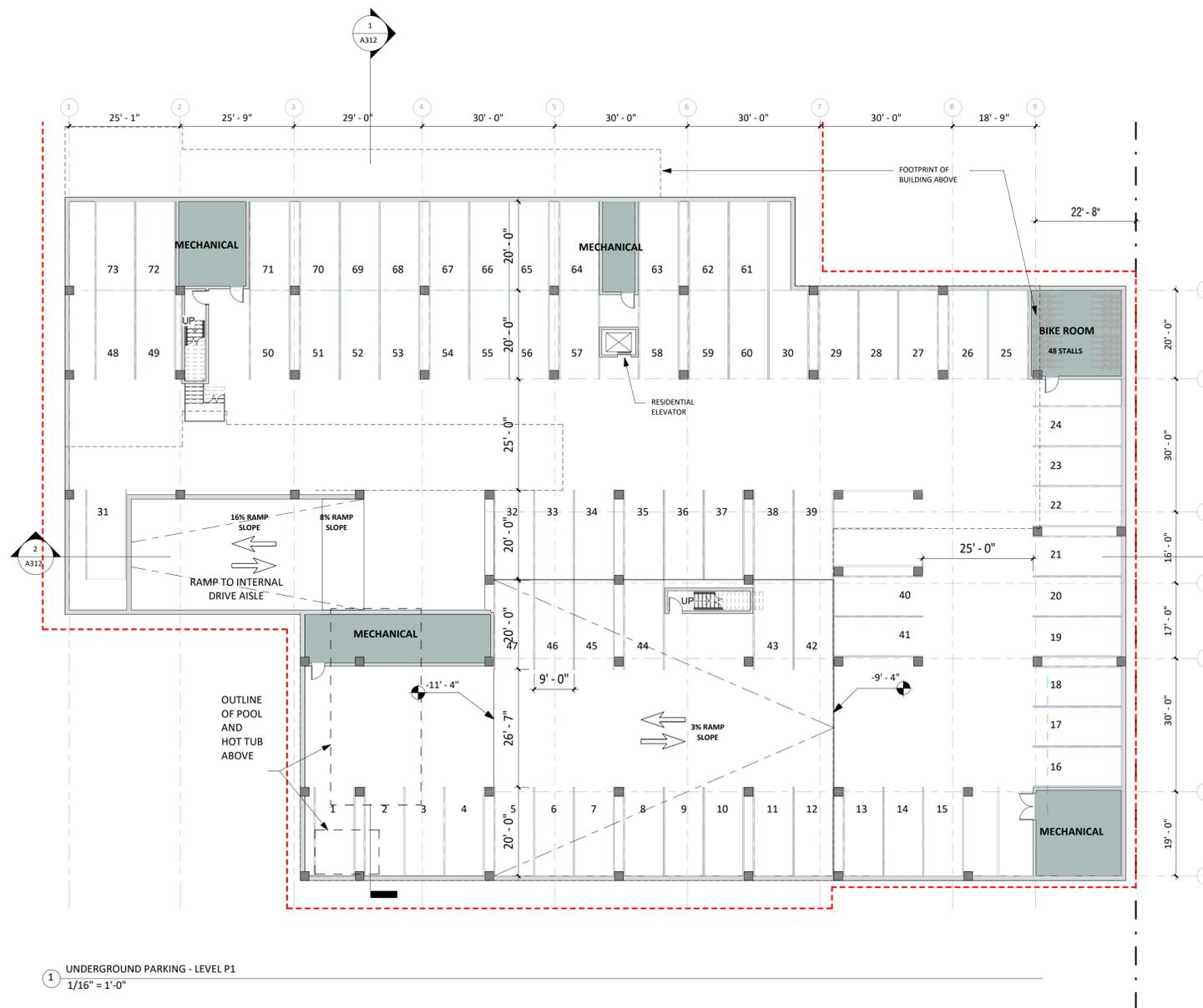
Maximum allowable lot coverage = 40%

1,145 SF
 650 SF
 373 SF
 250 SF

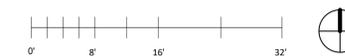
88,024 SF + 32,320 SF = 120,344 SF 86,565 SF
 % LOT COVERAGE = 37%

85,606 SF + 20,786 SF + 30,241 SF = 136,633 SF 73,032 SF + 8,719 SF = 81,751 SF
 % LOT COVERAGE = 42%





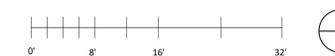
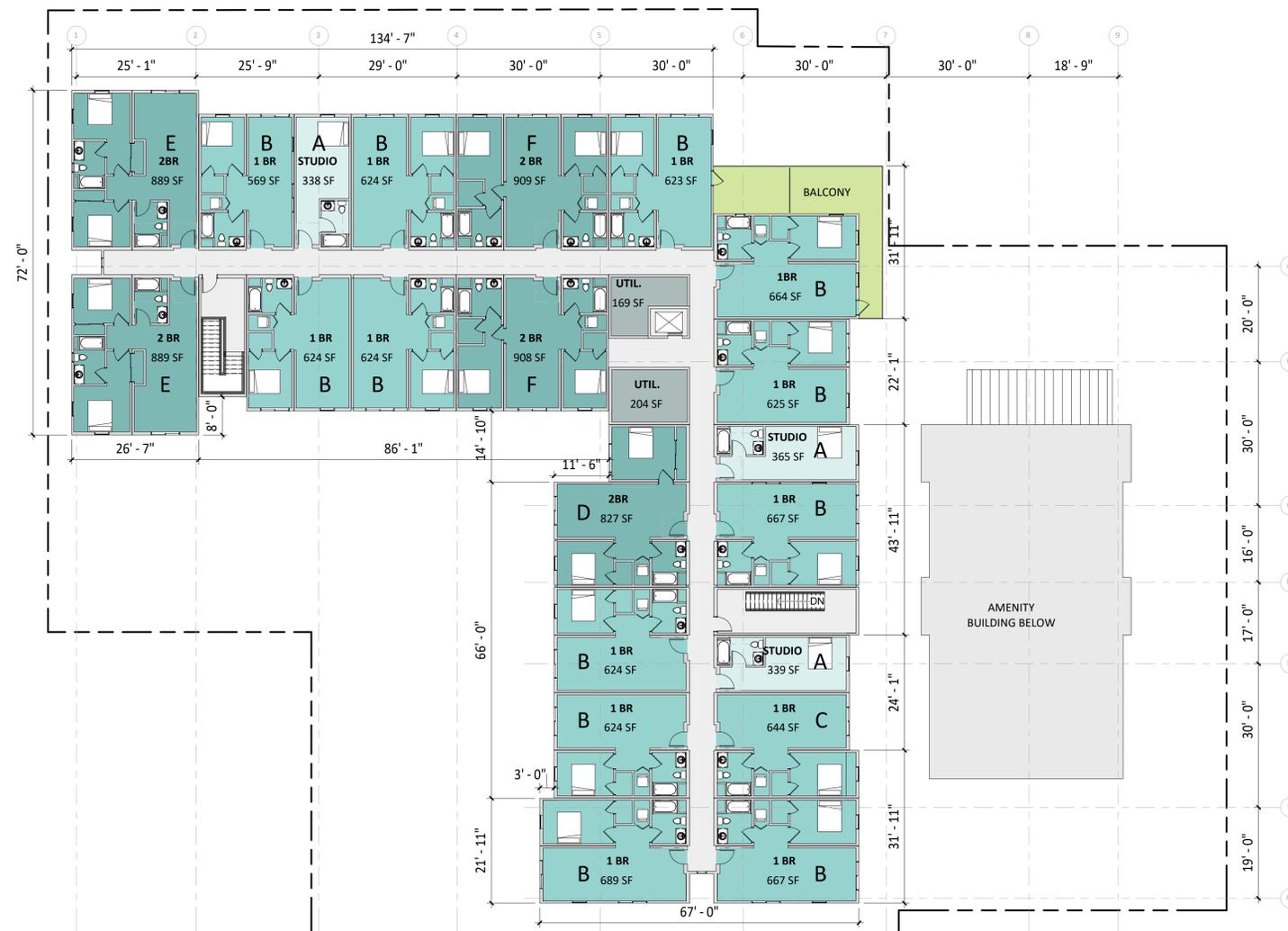
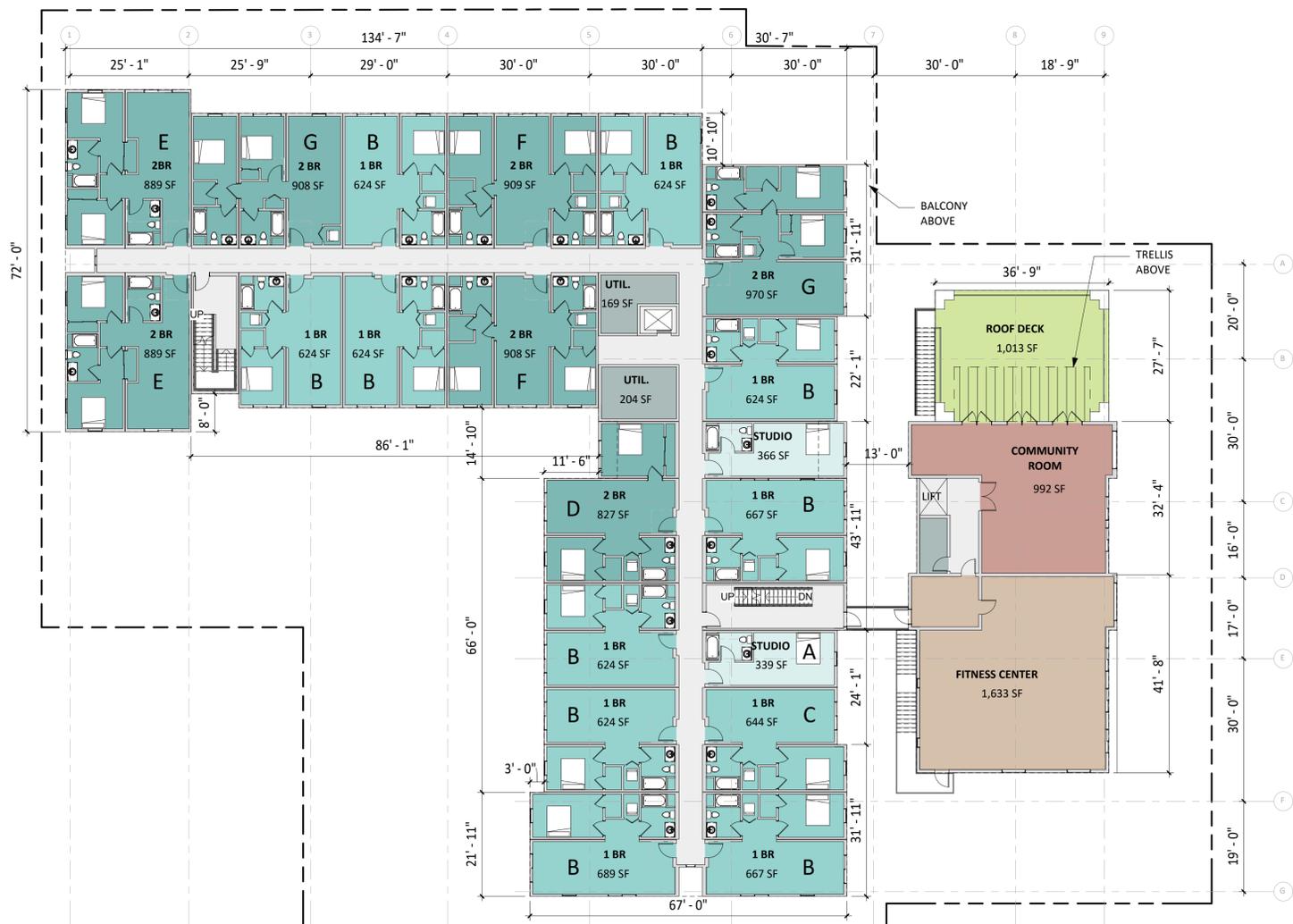
1 UNDERGROUND PARKING - LEVEL P1
1/16" = 1'-0"



LEGEND

-  EXISTING BUILDING NOT IN CONTRACT
-  ACCESSIBLE PATH OF TRAVEL
-  EGRESS PATH OF TRAVEL







① EXISTING ALMARIDA STREETScape (WEST)
3/64" = 1'-0"



② PROPOSED ALMARIDA STREETScape (WEST)
3/64" = 1'-0"



③ EXISTING ALMARIDA STREETScape (EAST)
3/64" = 1'-0"



④ PROPOSED ALMARIDA STREETScape (EAST)
3/64" = 1'-0"



MATERIAL LEGEND

- 1 EXISTING BARREL CLAY TILE
- 2 SHERWIN WILLIAMS "URBANE BRONZE" SW7048
- 3 STAINED WOOD, BOARD AND BATTEN
- 4 TILE IN "REGENCY BLUE"
- 5 FLAT TERRA COTTA ROOF TILE
- 6 RESIDENTIAL WINDOW FRAME - MIKRON BLEND, ADOBE
- 7 AMENITY WINDOW FRAME - MIKRON, ARCHITECTURAL BRONZE
- 8 PAINTED STUCCO SHERWIN WILLIAMS "SPARE WHITE" SW 6203
- 9 PAINTED STUCCO SHERWIN WILLIAMS "AGREEABLE GRAY" SW 7029
- 10 METAL GUARDRAIL SHERWIN WILLIAMS "URBANE BRONZE" SW 7048
- 11 GARAGE ENTRY RAMP
- 12 METAL ROLL-UP DOOR AT TRASH ROOM



NOTE: 0'-0" = 99.75'



3 EAST ELEVATION incl AMENITY and ENTRY WALL
1" = 10'-0"

MATERIAL LEGEND

- 1 EXISTING BARREL CLAY TILE
- 2 SHERWIN WILLIAMS "URBANE BRONZE" SW7048
- 3 STAINED WOOD, BOARD AND BATTEN
- 4 TILE IN "REGENCY BLUE"
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- 11 GARAGE ENTRY RAMP
- 12 METAL ROLL-UP DOOR AT TRASH ROOM



4 WEST ELEVATION AMENITY BUILDING
1" = 10'-0"



2 EAST ELEVATION
1" = 10'-0"



1 NORTH ELEVATION
1" = 10'-0"

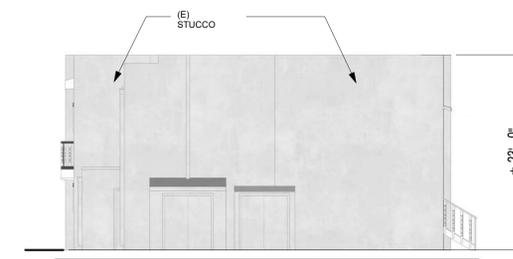


MATERIAL LEGEND

- 1 EXISTING BARREL CLAY TILE
- 2 SHERWIN WILLIAMS "URBANE BRONZE" SW7048
- 3 STAINED WOOD, BOARD AND BATTEN
- 4 TILE IN "REGENCY BLUE"
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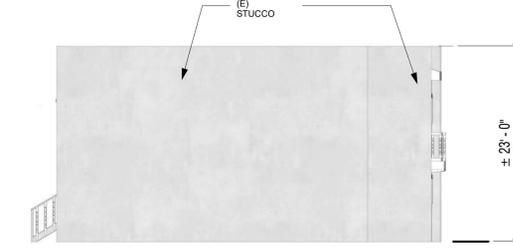
1 EXISTING BLDG TYPE A EAST ELEVATION
1" = 10'-0"



3 EXISTING BLDG TYPE A NORTH ELEVATION
1" = 10'-0"



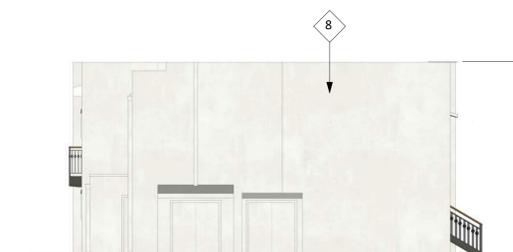
6 EXISTING BLDG TYPE A WEST ELEVATION
1" = 10'-0"



4 EXISTING BLDG TYPE A SOUTH ELEVATION
1" = 10'-0"



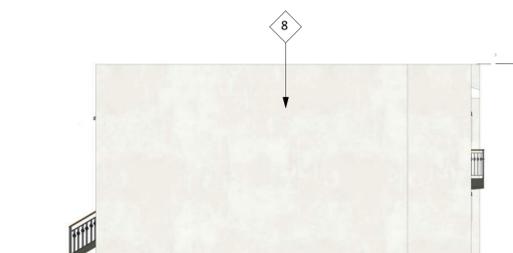
5 PROPOSED BLDG TYPE A EAST ELEVATION
1" = 10'-0"



7 PROPOSED BLDG TYPE A NORTH
1" = 10'-0"



2 PROPOSED BLDG TYPE A WEST ELEVATION
1" = 10'-0"



8 PROPOSED BLDG TYPE A SOUTH
1" = 10'-0"

NOTE: NO ARCHITECTURAL ALTERATIONS ARE PROPOSED FOR THE NORTH AND SOUTH ELEVATIONS.

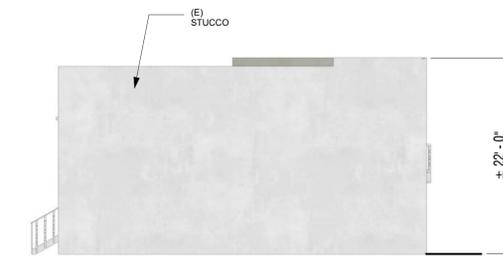


MATERIAL LEGEND

- 1 EXISTING BARREL CLAY TILE
- 2 SHERWIN WILLIAMS "URBANE BRONZE" SW7048
- 3 STAINED WOOD, BOARD AND BATTEN
- 4 TILE IN "REGENCY BLUE"
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- 11 GARAGE ENTRY RAMP
- 12 METAL ROLL-UP DOOR AT TRASH ROOM



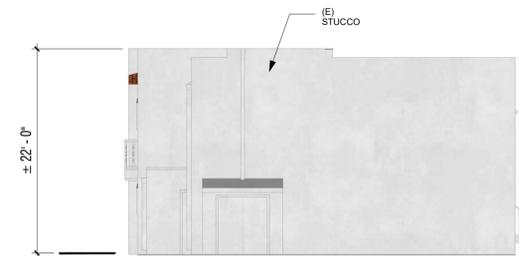
1 EXISTING BLDG TYPE B EAST ELEVATION
1" = 10'-0"



4 EXISTING BLDG TYPE B SOUTH ELEVATION
1" = 10'-0"



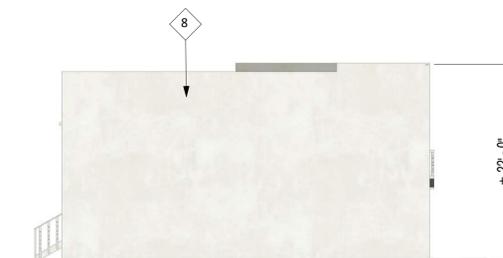
2 EXISTING BLDG TYPE B WEST ELEVATION
1" = 10'-0"



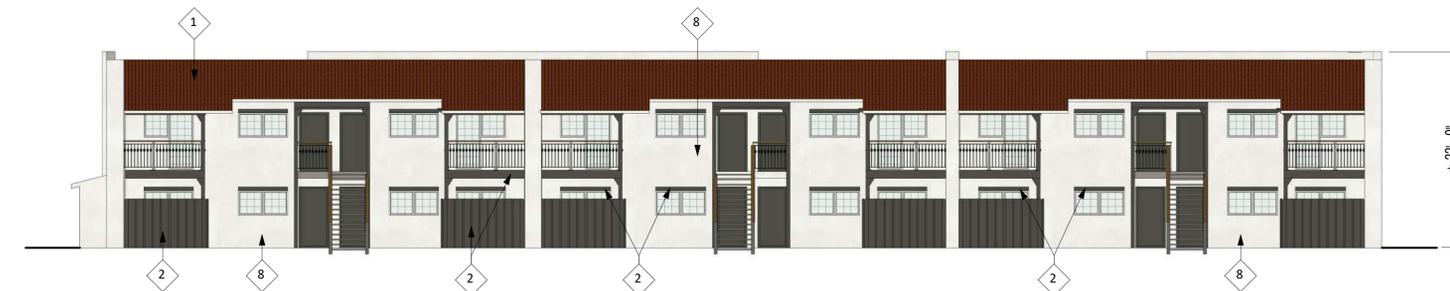
3 EXISTING BLDG TYPE B NORTH ELEVATION
1" = 10'-0"



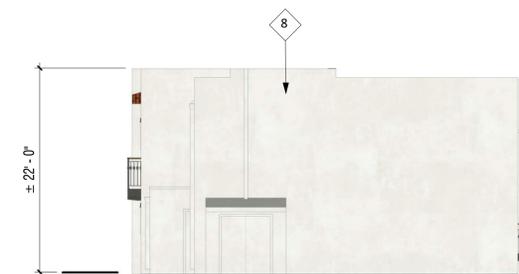
5 PROPOSED BLDG TYPE B EAST ELEVATION
1" = 10'-0"



8 PROPOSED BLDG TYPE B SOUTH ELEVATION
1" = 10'-0"



6 PROPOSED BLDG TYPE B WEST ELEVATION
1" = 10'-0"



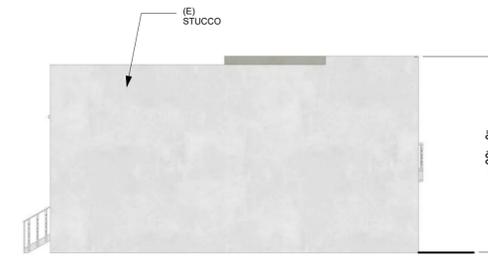
7 PROPOSED BLDG TYPE B NORTH ELEVATION
1" = 10'-0"

NOTE: NO ARCHITECTURAL ALTERATIONS ARE PROPOSED FOR THE NORTH AND SOUTH ELEVATIONS





1 EXISTING BLDG TYPE C EAST ELEVATION
1" = 10'-0"



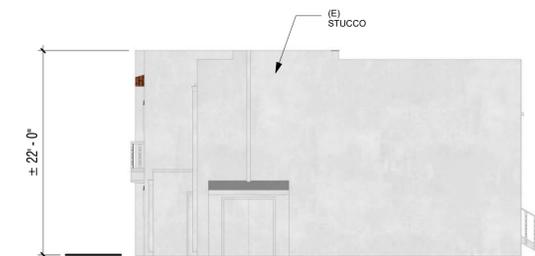
3 EXISTING BLDG TYPE C SOUTH ELEVATION
1" = 10'-0"

MATERIAL LEGEND

- 1 EXISTING BARREL CLAY TILE
- 2 SHERWIN WILLIAMS "URBANE BRONZE" SW7048
- 3 STAINED WOOD, BOARD AND BATTEN
- 4 TILE IN "REGENCY BLUE"
- 5 FLAT TERRA COTTA ROOF TILE
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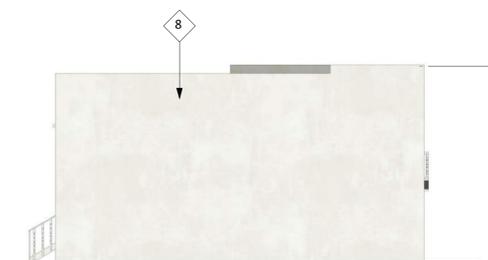
4 EXISTING BLDG TYPE C WEST ELEVATION
1" = 10'-0"



2 EXISTING BLDG TYPE C NORTH ELEVATION
1" = 10'-0"



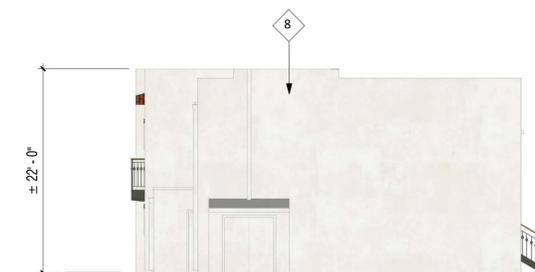
5 PROPOSED BLDG TYPE C EAST ELEVATION
1" = 10'-0"



7 PROPOSED BLDG TYPE C SOUTH ELEVATION
1" = 10'-0"



8 PROPOSED BLDG TYPE C WEST ELEVATION
1" = 10'-0"



6 PROPOSED BLDG TYPE C NORTH ELEVATION
1" = 10'-0"

NOTE: NO ARCHITECTURAL ALTERATIONS ARE PROPOSED FOR THE NORTH AND SOUTH ELEVATIONS





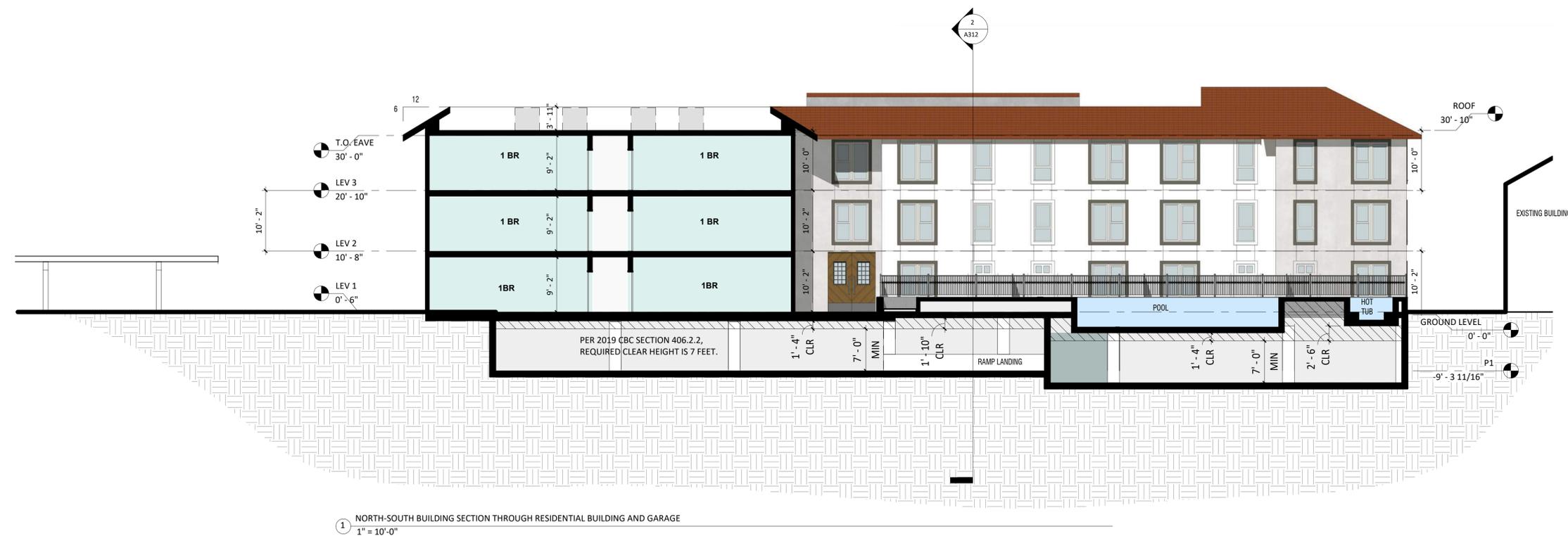
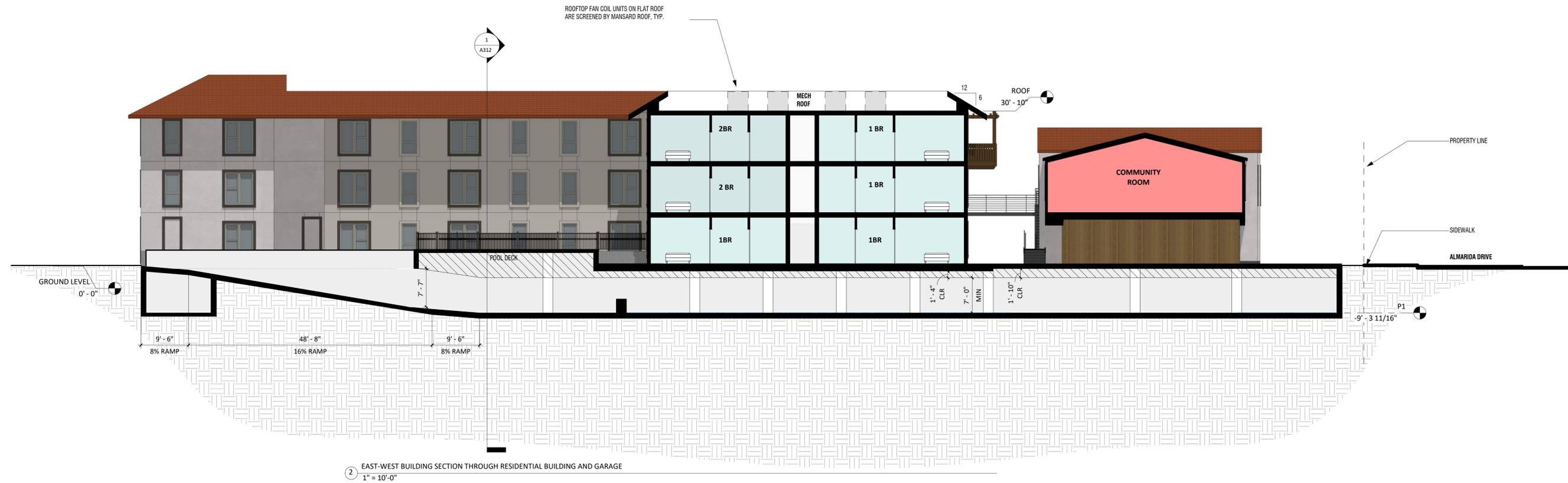
3 - Site Section
1/16" = 1'-0"



2 - Site Section
1/16" = 1'-0"



1 - Site Section
1/16" = 1'-0"



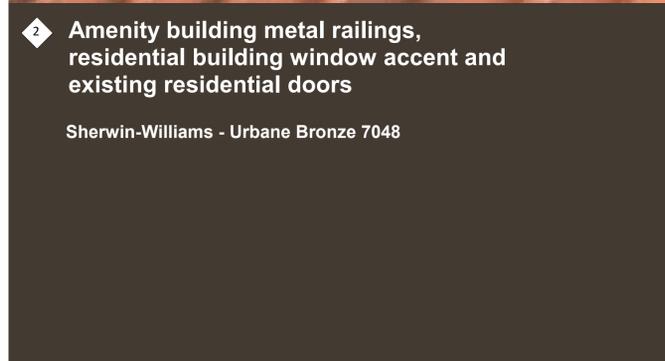


1 Existing Barrel Clay tile



3 Proposed Amenity Building and Existing building siding

Stained wood, Board and batten



2 Amenity building metal railings, residential building window accent and existing residential doors

Sherwin-Williams - Urbane Bronze 7048

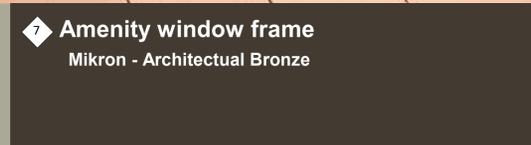


5 Proposed Flat Clay Tile



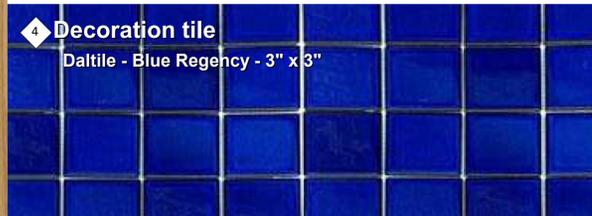
6 Residential window frame

Mikron Blend - Adobe



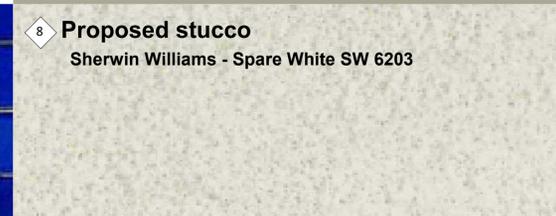
7 Amenity window frame

Mikron - Architectural Bronze



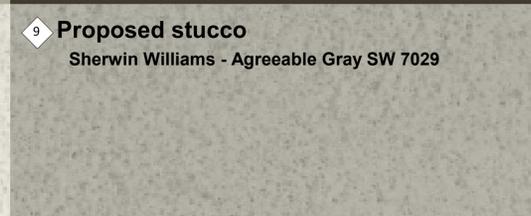
4 Decoration tile

Daltile - Blue Regency - 3" x 3"



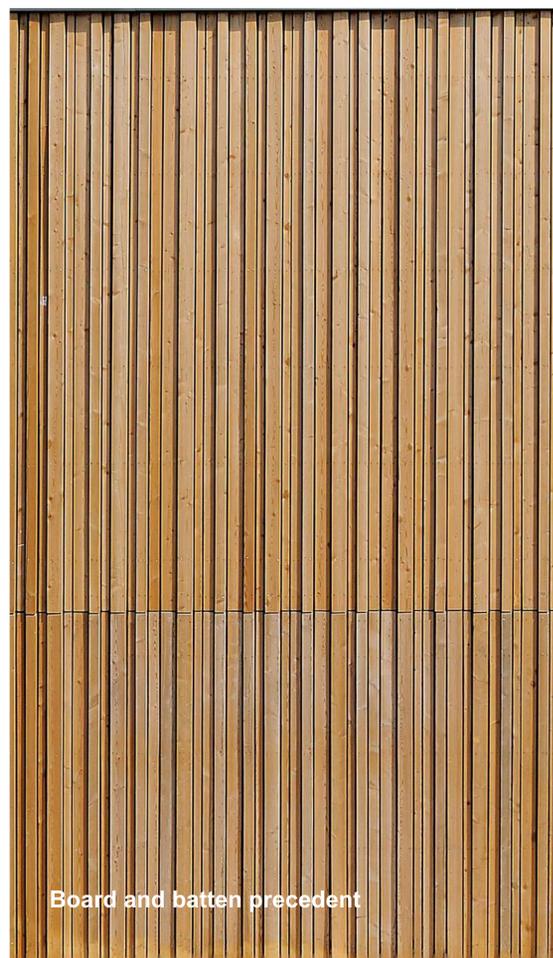
8 Proposed stucco

Sherwin Williams - Spare White SW 6203



9 Proposed stucco

Sherwin Williams - Agreeable Gray SW 7029

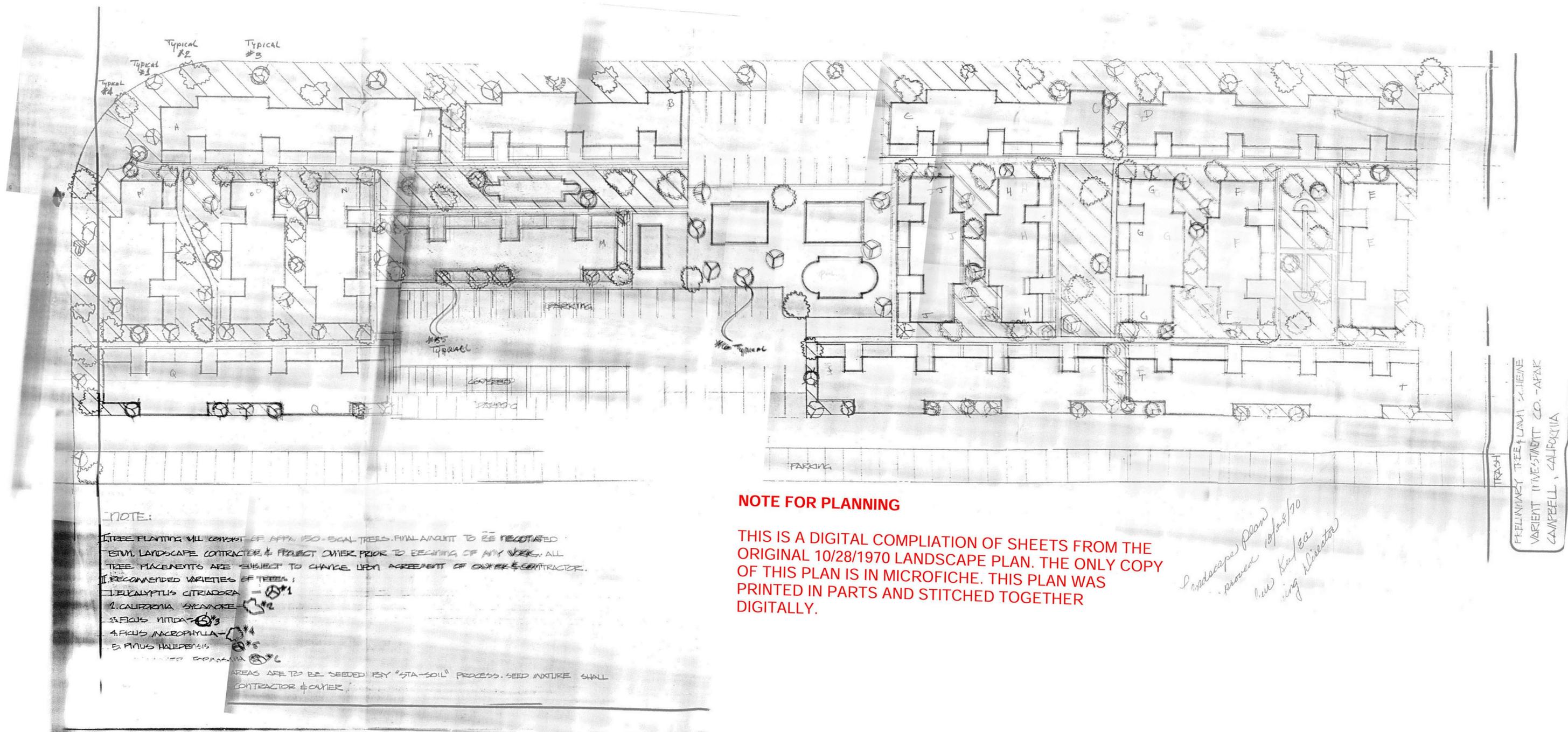


Board and batten precedent



- 5
- 2
- 6
- 8
- 9
- 6
- 8
- 3
- 4
- 2
- 7

- 5
- 6
- 9
- 8
- 2
- 3
- 1
- 8



NOTE:

TREE PLANTING WILL CONSIST OF APPROX 150-200 TREES. FINAL AMOUNT TO BE NEGOTIATED WITH LANDSCAPE CONTRACTOR & PROJECT OWNER PRIOR TO BEGINNING OF ANY WORK. ALL TREE PLACEMENTS ARE SUBJECT TO CHANGE UPON AGREEMENT OF OWNER & CONTRACTOR.

RECOMMENDED VARIETIES OF TREES:

- 1. EUCALYPTUS CITRIODORA - 1
- 2. CALIFORNIA SIKANNOE - 2
- 3. FIGUS NITIDA - 3
- 4. FIGUS MACROPHYLLA - 4
- 5. PINUS HALEPENSIS - 5

AREAS ARE TO BE SEEDED BY "STA-SOIL" PROCESS. SEED MIXTURE SHALL BE DETERMINED BY LANDSCAPE CONTRACTOR & OWNER.

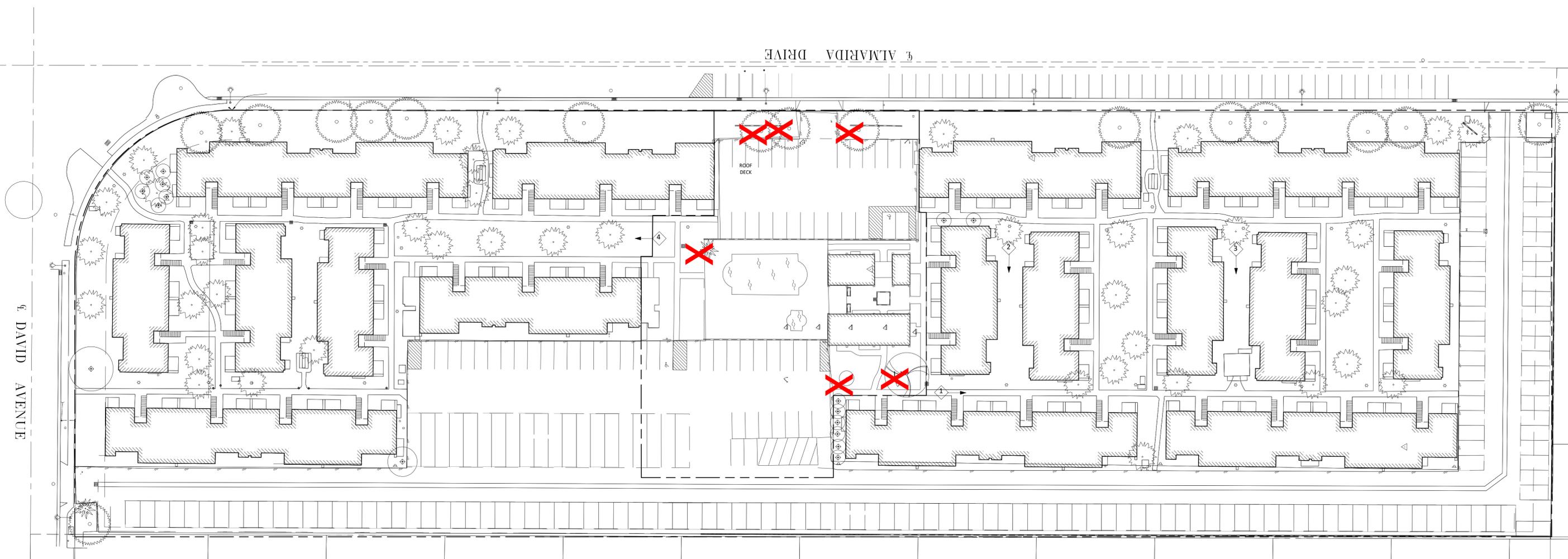
NOTE FOR PLANNING

THIS IS A DIGITAL COMPILED OF SHEETS FROM THE ORIGINAL 10/28/1970 LANDSCAPE PLAN. THE ONLY COPY OF THIS PLAN IS IN MICROFICHE. THIS PLAN WAS PRINTED IN PARTS AND STITCHED TOGETHER DIGITALLY.

Landscape Plan prepared 10/28/70 by Kalea King Director

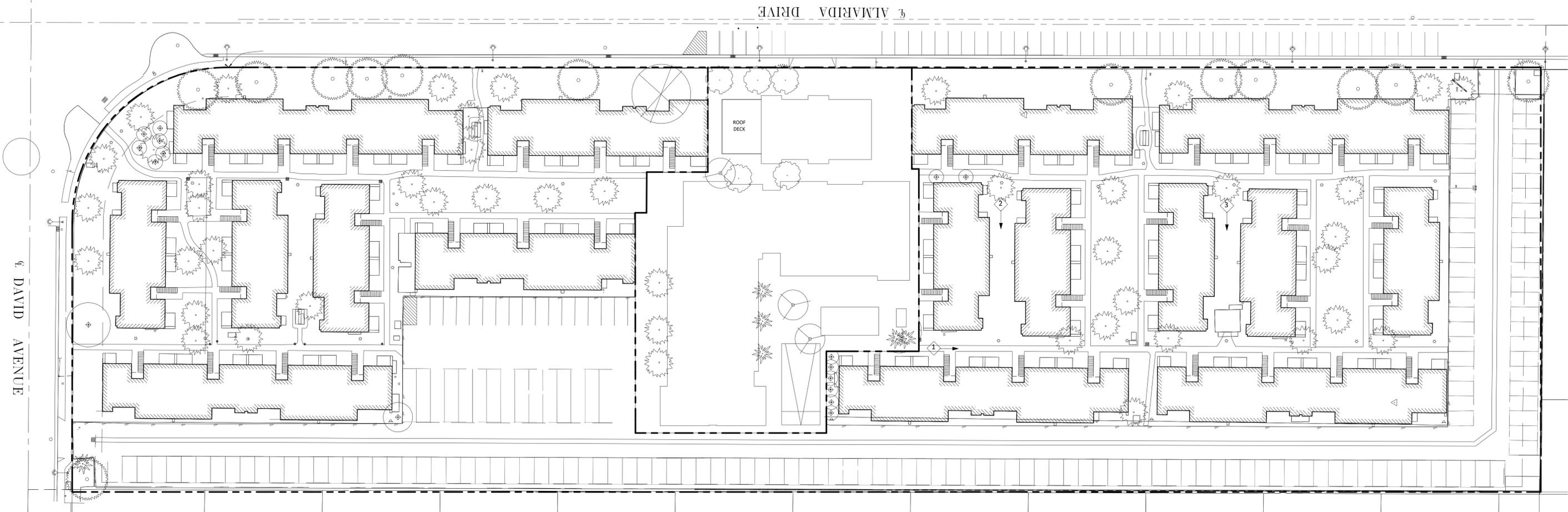
PRELIMINARY TREE PLANTING SCHEME
VARIANT INVESTMENT CO. - APAR
CAMPBELL, CALIFORNIA

SYMBOL	DESCRIPTION	COUNT
	TOTAL TREES FROM 1970 PLAN	160
	TOTAL TREES ON SITE IN 2020	74
X	TREES TO BE REMOVED FROM NEW PROJECT BOUNDARY	6
TOTAL TREES TO REPLACE		92



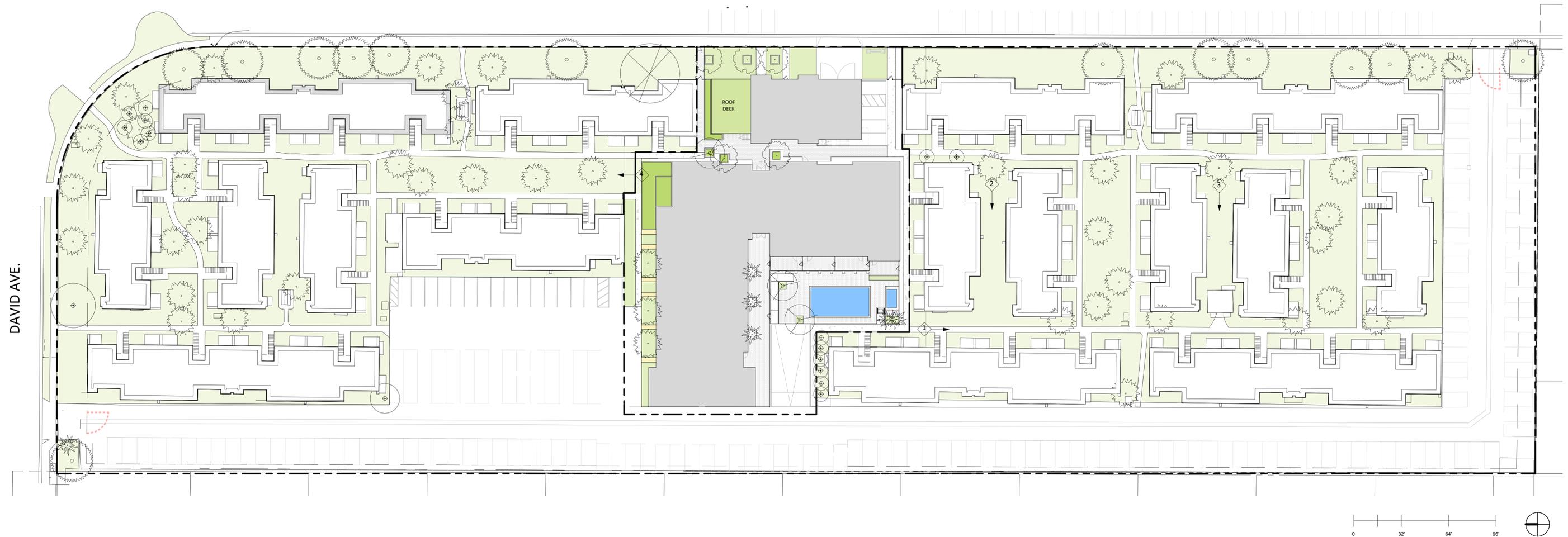
EXISTING TREES BASED ON GOOGLE EARTH IMAGES AND SITE PHOTOS, V.I.F.

SYMBOL	DESCRIPTION	COUNT
	TOTAL TREES REQUIRED TO REPLACE	92
	TREE REPLACEMENT WITHIN PROJECT BOUNDARY	17
TOTAL TREES REPLACED THROUGHOUT SITE (NOT SHOWN AT THIS TIME)		75



EXISTING TREES BASED ON GOOGLE EARTH IMAGES
AND SITE PHOTOS, V.I.F.

ALMARIDA DR.



1 OVERALL SITE PLAN LANDSCAPE
1/32" = 1'-0"

EXISTING LANDSCAPE PHOTOS



1



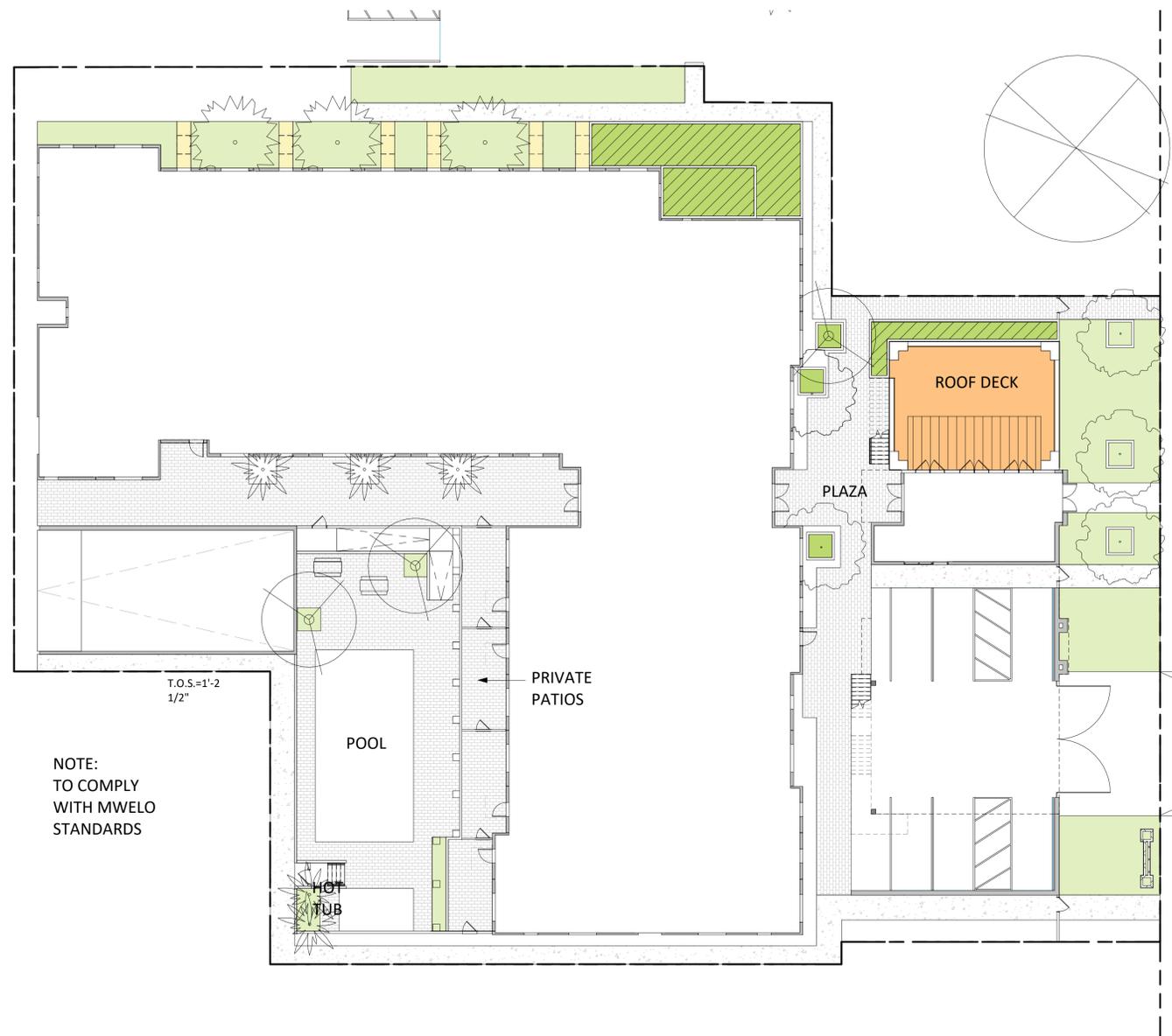
2



3



4



IRRIGATION DESIGN INTENT

IRRIGATION SYSTEM IS DESIGNED TO COMPLY WITH MWELo STANDARDS - TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH. ALL SELECTED COMPONENTS ARE COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE AND MINIMUM MAINTENANCE REQUIREMENT. THE SYSTEM IS A COMBINATION OF SUBSURFACE IRRIGATION AND TREE BUBBLERS AS APPROPRIATE TO PLANT TYPE, EXPOSURE, AND SLOPE CONDITIONS.

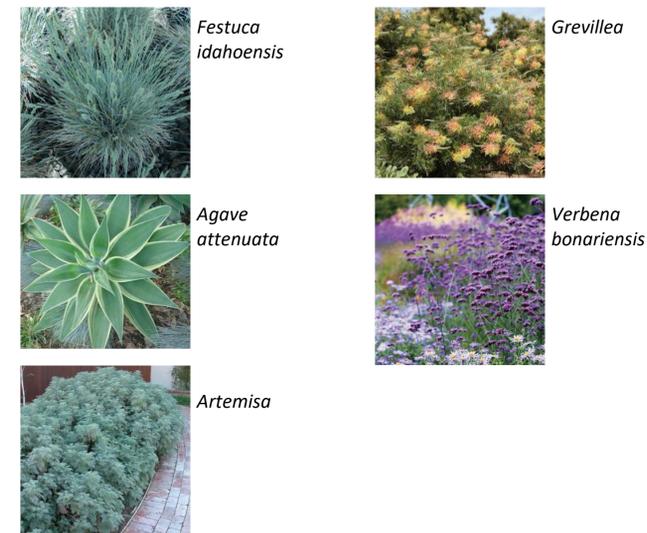
CONTROL OF THE SYSTEM IS VIA A WEATHER-ENABLED CONTROLLER CAPABLE OF DAILY SELF-ADJUSTMENT BASED ON REAL-TIME WEATHER CONDITIONS AS MEASURED BY AN ON-SITE WEATHER SENSOR.

THE SYSTEM INCLUDES A MASTER CONTROL VALVE AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.

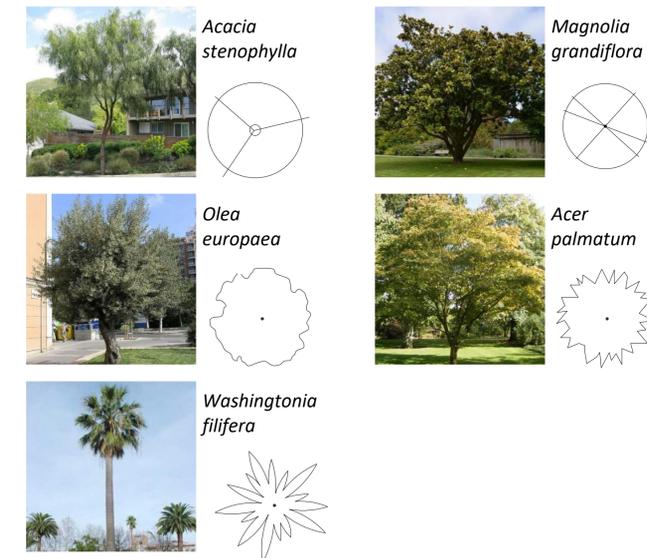
LEGEND

- Pavers 
- Concrete 
- Flow-through planters 
- Decomposed Granite 
- Drought tolerant planting area 
- Roof Deck 

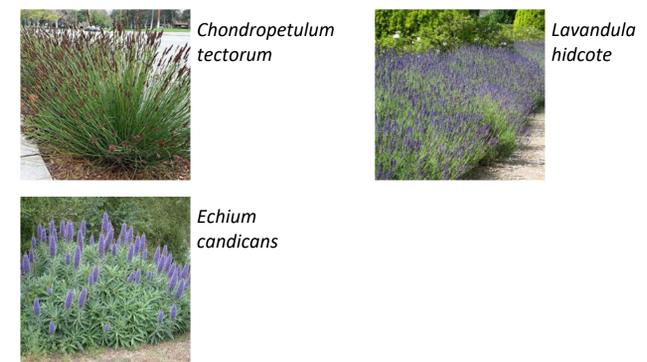
DROUGHT TOLERANT PLANTING



TREES

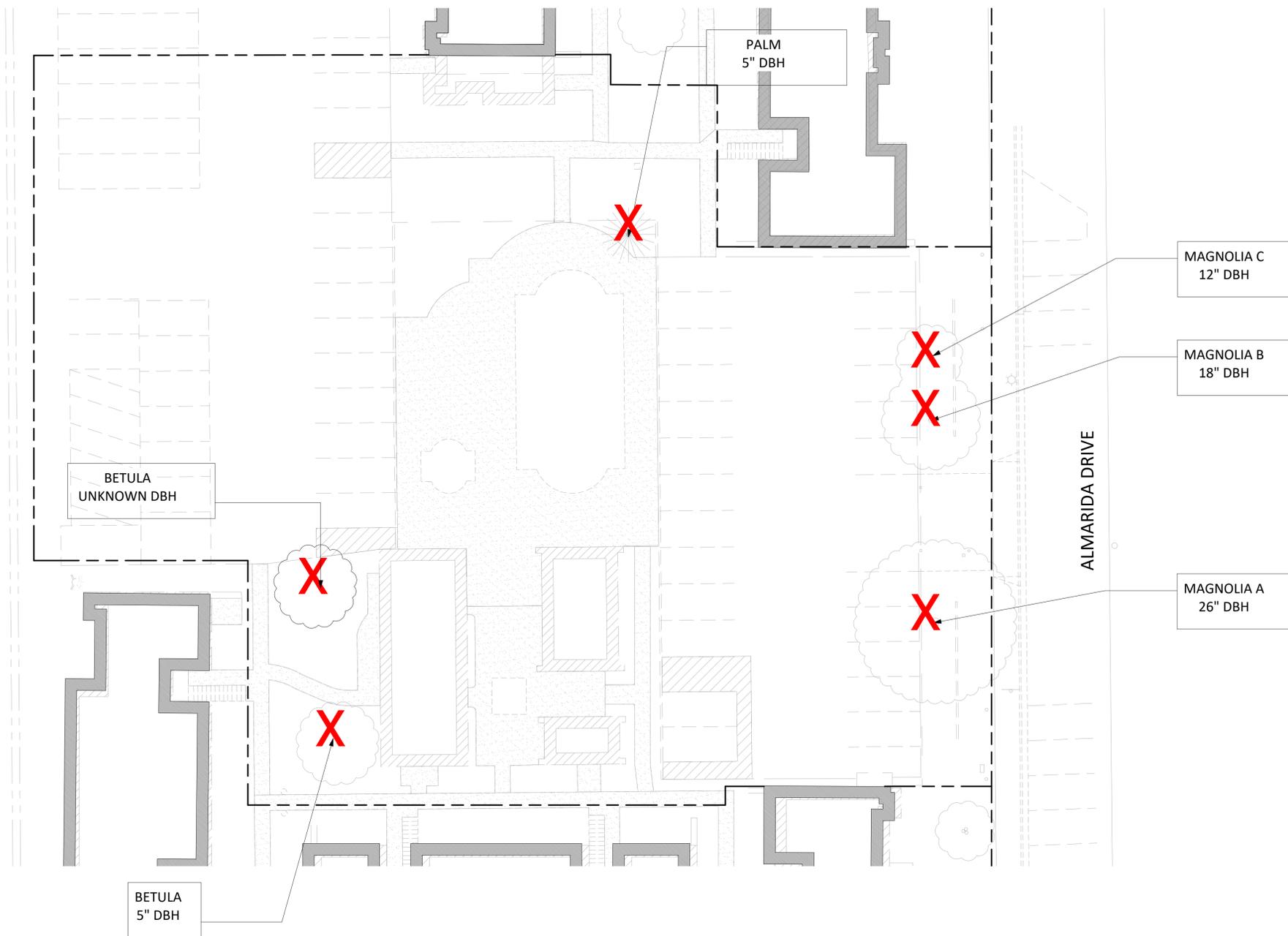


FLOW-THROUGH PLANTERS



KEY:

X EXISTING TREES TO BE REMOVED (6)



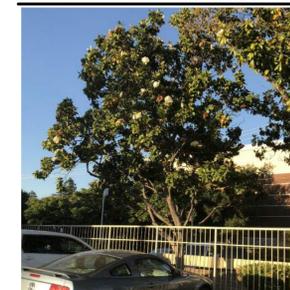
MAGNOLIA A



MAGNOLIA B



MAGNOLIA C

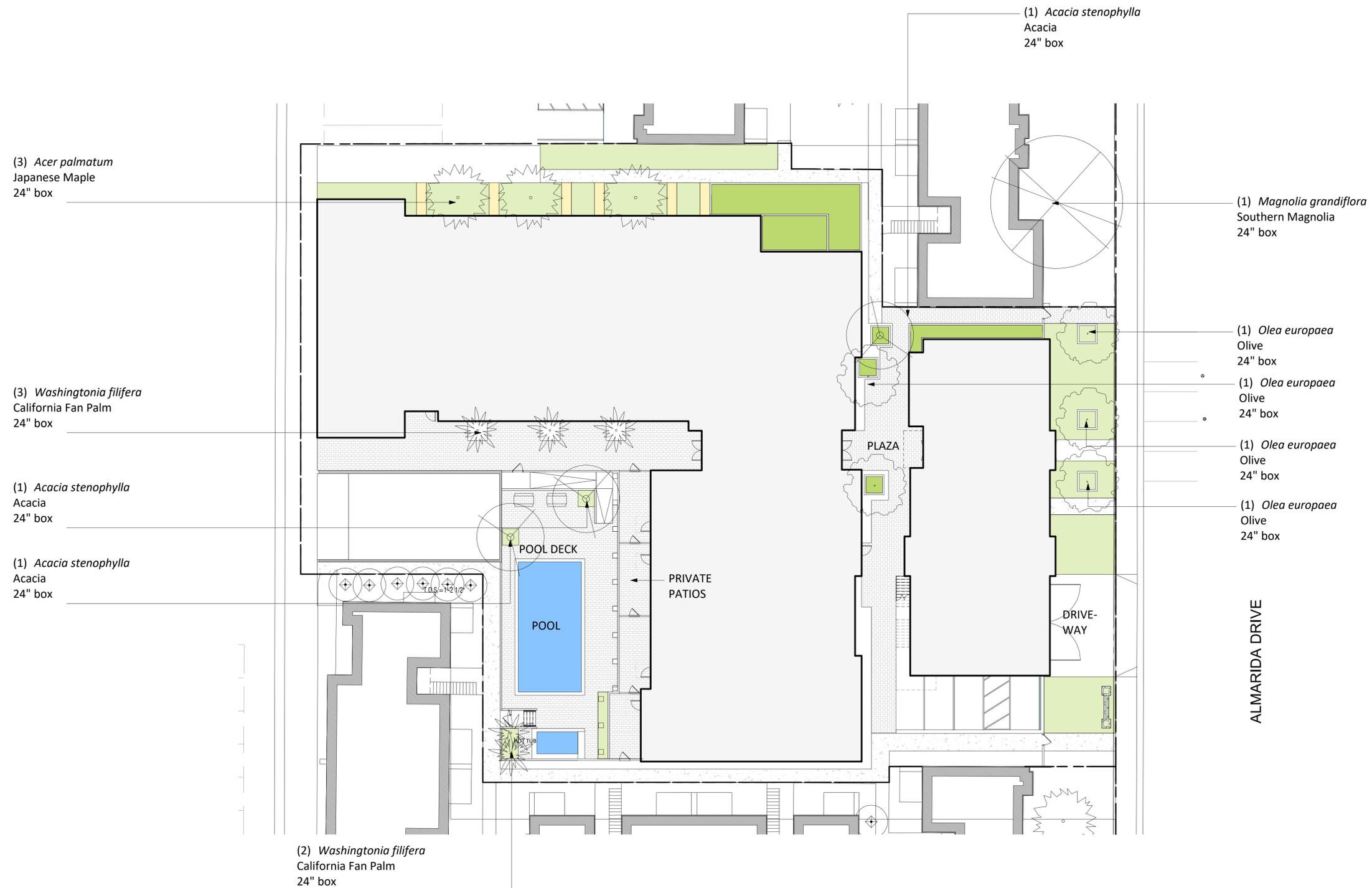


PALM



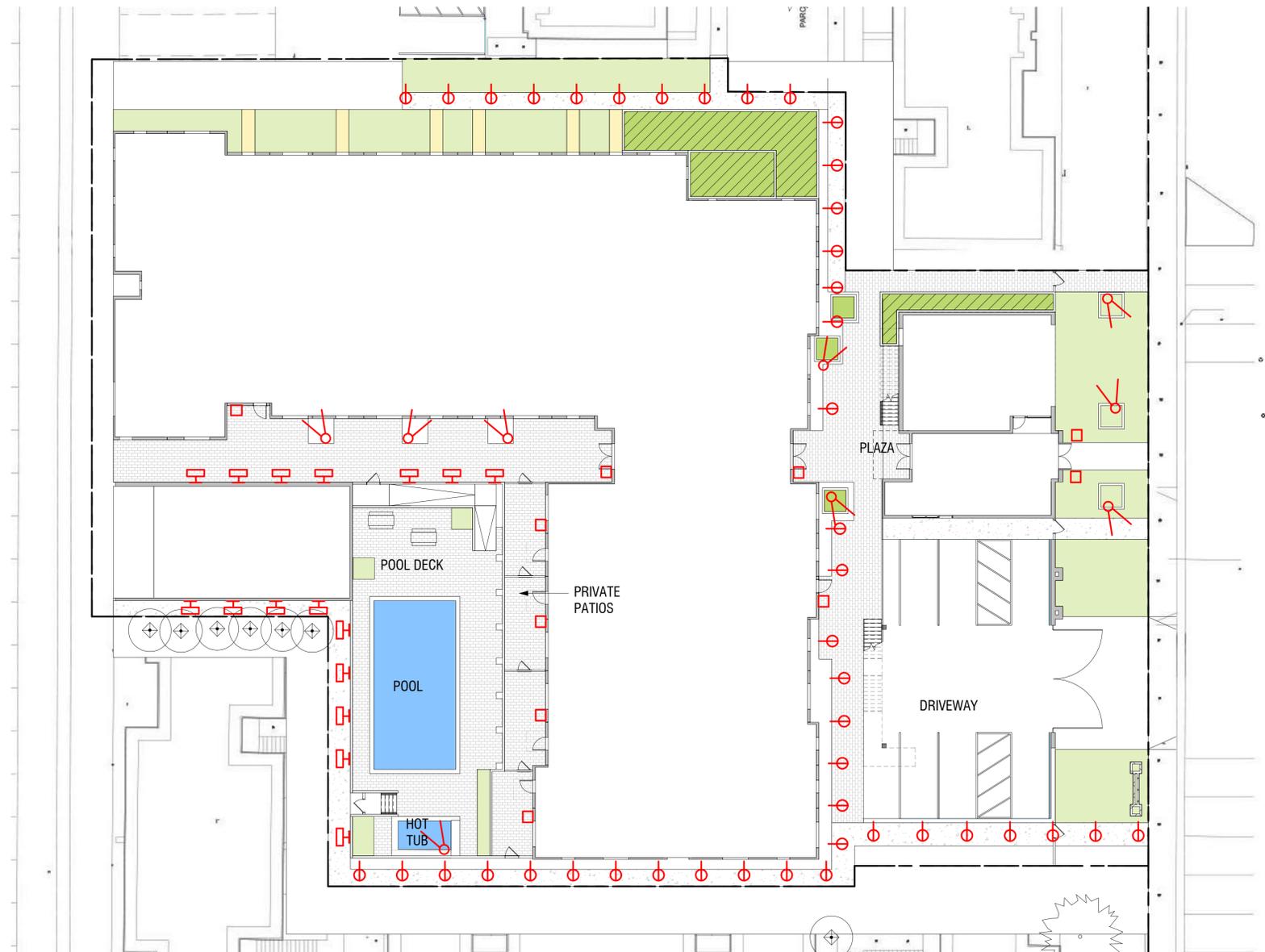
BETULA





TOTAL PROPOSED TREES WITHIN NEW PROJECT BOUNDARY : 17
 TOTAL REMOVED TREES WITHIN NEW PROJECT BOUNDARY : (6)
TOTAL NUMBER OF TREES GAINED WITHIN NEW PROJECT BOUNDARY : 11





WALL MOUNT

SYMBOL: 

RECESSED LED STEP LIGHT MOUNTED TO CMU WALL



LED me LED 100 STEP LIGHT
By WAC Lighting

WALL LIGHT

SYMBOL: 

MOUNTED AT PRIVATE PATIOS AND EXITS



FRAMED OUTDOOR WALL LIGHT
By Lightology

LED DOWNLIGHT

SYMBOL: 

MOUNTED ON TREE TRUNK



LED DOWNLIGHT
By FXLuminaire

PATH LIGHT

SYMBOL: 

PATH LIGHT SET INTO PLANTING BEDS



MULTIPLICITY PATH LIGHT
By Landscapeforms

7 NEW SPACES

Franciscan Apartments

 Campbell, CA

NOT FOR
 CONSTRUCTION

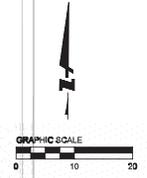
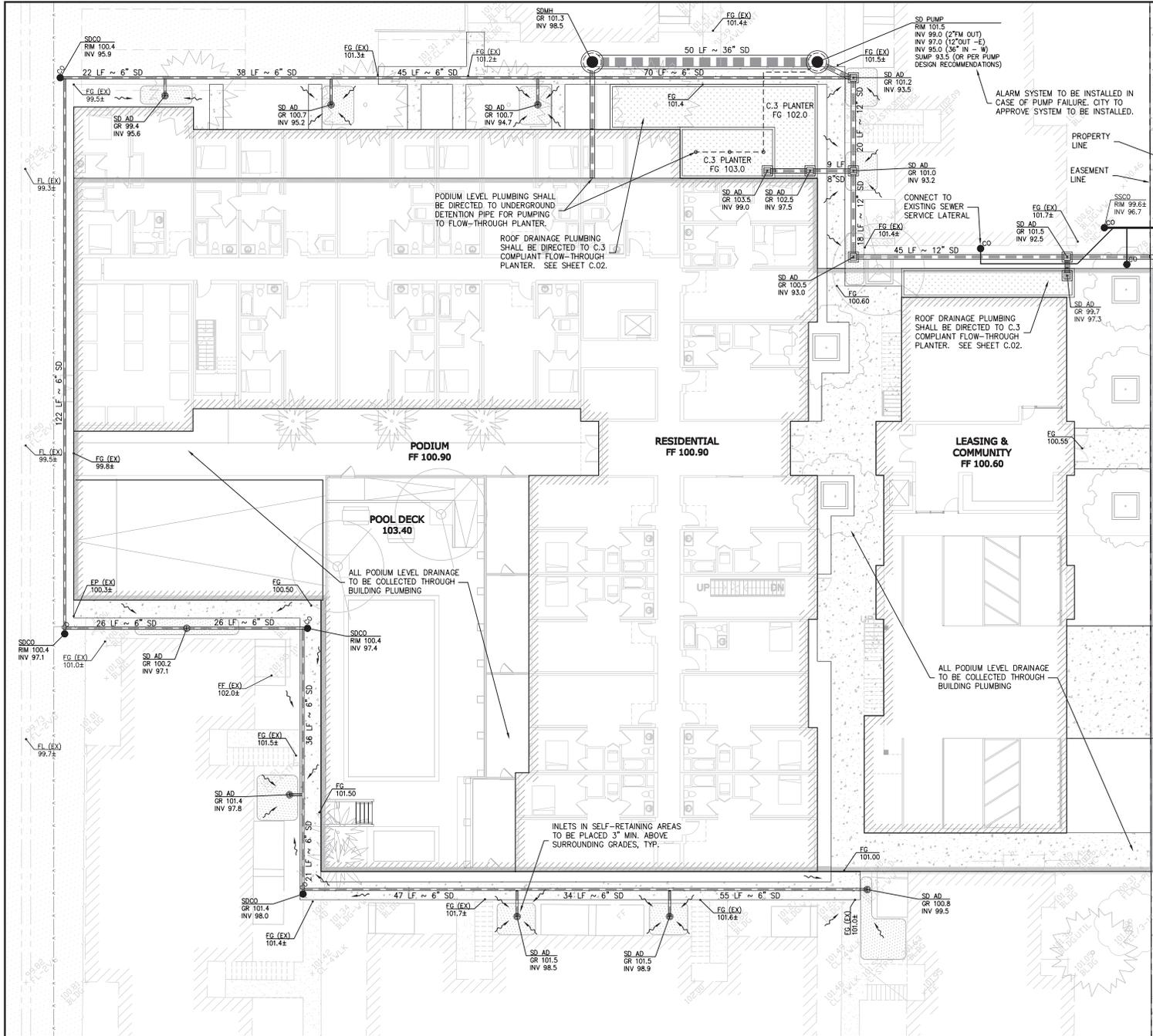


NO.	ISSUE DATE	REVIEWED BY	REVISION

PROJECT NAME
 Franciscan Apartments

 TITLE
 Exterior Lighting Layout

PROJECT NUMBER
 18161.00
 SCALE
 1" = 10'-0"
 DATE ISSUED
 8 November 2019



PROJECT SUMMARY

PROPERTY ADDRESS:	THE FRANCISCAN 601 ALMARIDA DRIVE CAMPBELL, CA 95008
DEVELOPER:	RAINTREE PARTNERS 28202 CABOT ROAD, SUITE 300 LAGUNA HILLS, CA 92677 (949) 365-6650
CIVIL ENGINEER:	TALLUS, INC. 811 SAN RAMON VALLEY BLVD. DANVILLE, CALIFORNIA 94528 (925) 837-3780
ARCHITECT:	LOWNEY ARCHITECTURE 36017TH STREET, SUITE 200 PARKLAND, CA 94612 (510) 836-5400
SURVEYOR:	ANACAL ENGINEERING COMPANY 1900 EAST LA PALMA AVENUE ANAHUENI, CA 92005 (714) 774-1763
ASSESSOR'S PARCEL NO.:	APN: 279-30-043
TOTAL AREA:	325,763 SF (GROSS) 283,946 SF (NET)
UTILITIES:	WATER SUPPLY: SAN JOSE WATER COMPANY FIRE PROTECTION: SANTA CLARA COUNTY FIRE DEPT. SEWAGE DISPOSAL: WEST VALLEY SANITATION DISTRICT STORM DRAIN: CITY OF CAMPBELL GAS & ELECTRIC: PACIFIC GAS & ELECTRIC TELEPHONE: AT&T / COMCAST CABLE TELEVISION: COMCAST

SURVEYOR NOTES:

- THIS PLAN IS BASED ON AN ALTA SURVEY PROVIDED BY THE CLIENT AND PREPARED BY ANACAL ENGINEERING COMPANY DATED JUNE 9, 2017.
- SUPPLEMENTAL TOPOGRAPHIC DATA IN THE PROJECT AREA WAS COLLECTED BY DEBOLT CIVIL ENGINEERING IN A FIELD SURVEY DATED APRIL 16, 2018.
- PUBLIC UTILITY INFORMATION IN ALMARIDA DRIVE WAS OBTAINED FROM CITY OF CAMPBELL UTILITY RECORD DRAWINGS.

FLOOD ZONE:

ZONE 'X' PER FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.06085C 0237H EFFECTIVE DATE: MAY 13, 2009

ENGINEER'S STATEMENT

CIVIL ENGINEERING WORK ON THESE PLANS HAS BEEN PREPARED BY ME, OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD CIVIL ENGINEERING PRACTICE.

Easton C. McAllister
EASTON C. MCALLISTER, PE
P.E. #61148 EXP 12/31/16

DATE
07/31/2020

