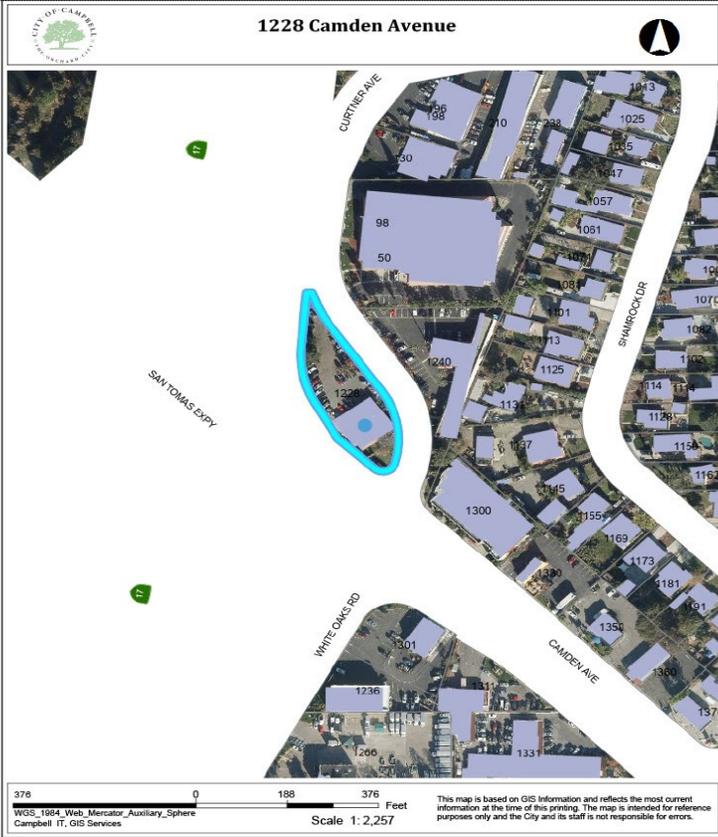




Location of Proposed Project



City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423

Project Image



Courtesy Notice

Dear Campbell Resident,

February 19, 2024

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 1228 Camden Avenue

Zoning | Area Plan: P-D | N/A

Neighborhood Association(s): N/A

Council District: 1

File No.: PLN-2024-27

APN: 414-01-001

Applicant: GreenbergFarrow

Property Owner: JP DiNapoli Companies Inc

Project Planner: Daniel Fama, Senior Planner

Email Contact: danielf@campbellca.gov

Phone Contact: (408) 866-2193

Project Description:

Request for City Council authorization to proceed with a General Plan Amendment to restore the property's land use designation to *General Commercial* (under the *former 2001 General Plan*) from Neighborhood Commercial (under the current 2040 General) to allow reconstruction of the existing Starbucks café with a new drive-through Starbucks café.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



Sheet Index

| | |
|----------|---------------------------------|
| SHEET 00 | Coversheet |
| SHEET 01 | Site Photography |
| SHEET 02 | Preliminary Site Plan |
| SHEET 03 | Preliminary Floor Plans |
| SHEET 04 | Preliminary Exterior Elevations |
| SHEET 05 | Exterior Elevations w/screening |

Coversheet

Project Site Address: 1228 Camden Avenue, Campbell, CA 95008

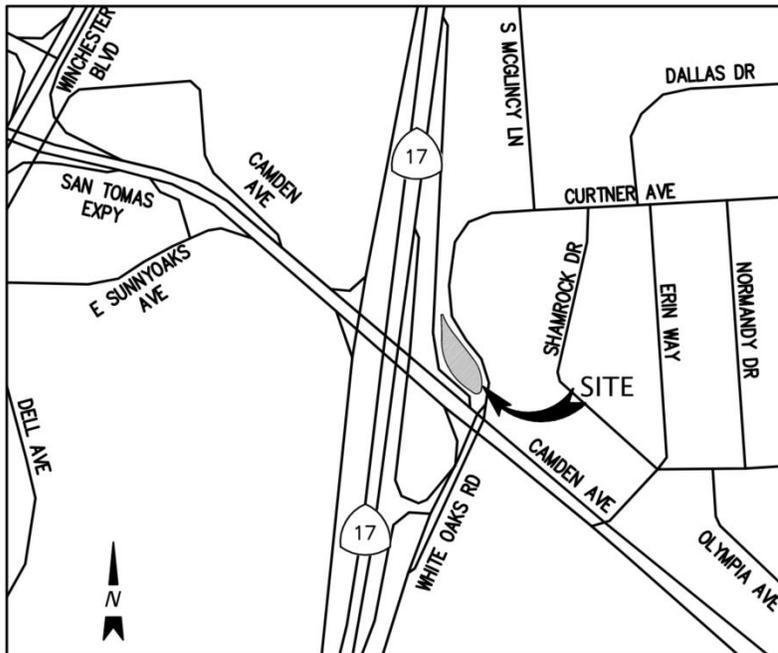
APN: 41401001

Zoning District: C1- Neighborhood Commercial

Project Title: Starbucks Curtner & Camden

Scope of Work: Propose General Plan Amendment, Zoning Map Amendment, and other requisite entitlements to allow full demo of an existing Starbucks and construction of a new Starbucks featuring drive-through facility.

Vicinity Map:



Proposed Project Data:

| | |
|----------------------|--|
| Net Lot Size | 24,486 S.F. = 0.56 acres |
| FAR | 1,816 S.F. / 24,486 S.F. = 0.074 |
| Lot Coverage | 2,793 S.F. / 24,486 S.F. = 0.114 |
| Landscaping Coverage | 8,500 S.F. / 24,486 S.F. = 0.347 |
| Paving Coverage | 13,862 S.F. / 24,486 S.F. = 0.566 |
| Building S.F. | +/- 1,816 S.F. plus +/- 250 S.F. patio |
| Shop S.F. | +/- 1,816 S.F. |

Site Photography



Entry 1 from Curtner Ave



Entry 2 from Curtner Ave



View from intersection of Curtner Ave & Camden Ave



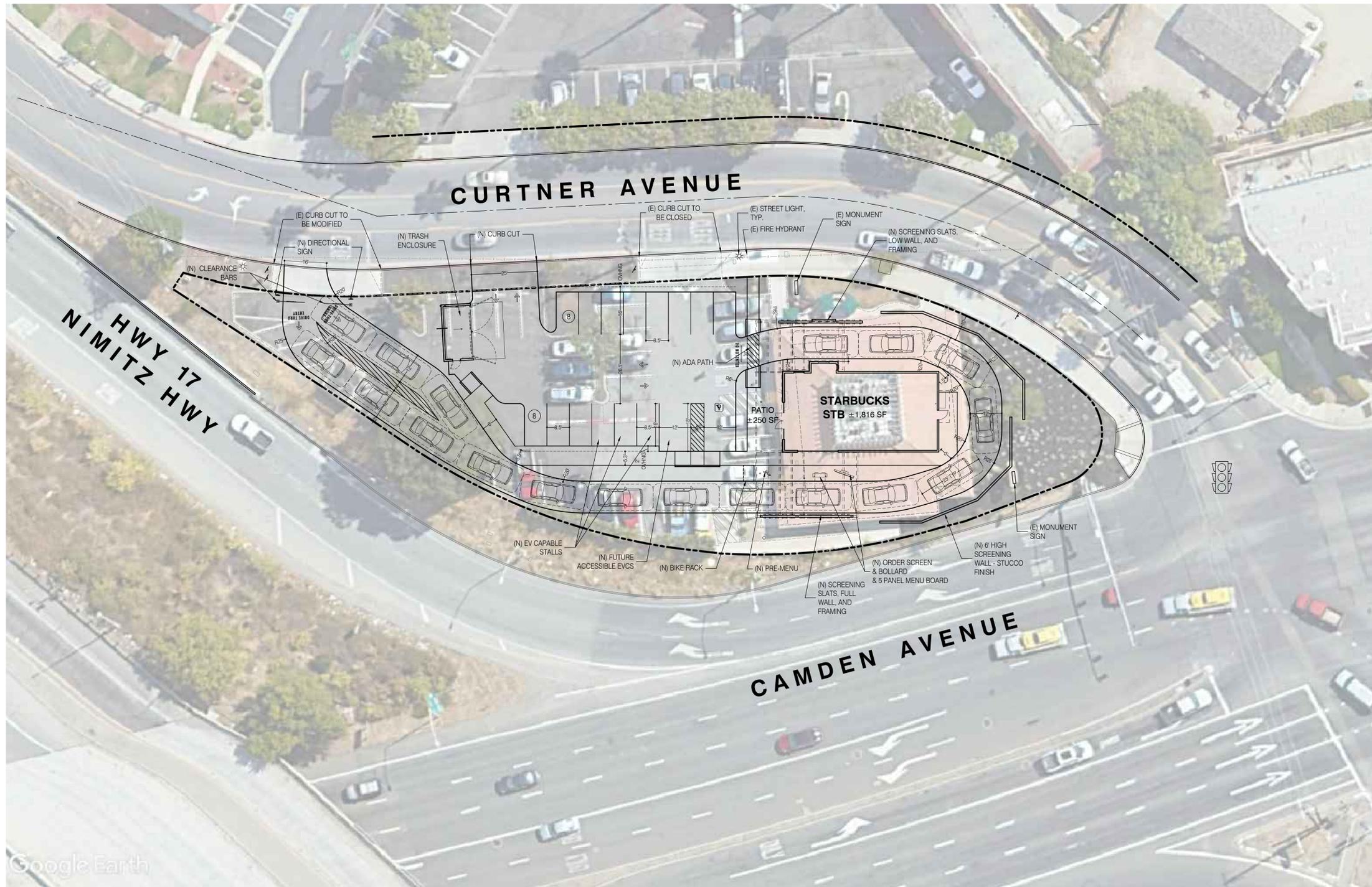
Building entrance 1, patio, ramps to sidewalk and accessible parking



Building entrance 2, northeast side elevation



Trash enclosure, view towards east



PROJECT INFORMATION

ZONING CLASSIFICATION

| | |
|---------------|-------------------------|
| JURISDICTION | CITY OF CAMPBELL, CA |
| EXISTING ZONE | NEIGHBORHOOD COMMERCIAL |
| REQUIRED ZONE | GENERAL COMMERCIAL |

SITE AREA

| | |
|----------------------|--------------------------|
| STARBUCKS SITE AREA: | ±24,486 S.F. ±0.56 AC |
|----------------------|--------------------------|

BUILDING INFORMATION

| | |
|--|----------------------------------|
| STARBUCKS BUILDING AREA | ±1,816 SF |
| PATIO | ±250 SF |
| F.A.R. (BUILDING AREA) | =1,816 S.F./24,486 S.F. = ±0.074 |
| SITE COVERAGE (BUILDING AREA + COVERED CANOPY AREA) | =2,793 S.F./24,486 S.F. = ±0.114 |

PARKING SUMMARY

| USER | RATIO REQUIRED | SPACES REQUIRED | SPACES PROVIDED |
|----------------------------|---|---------------------------|-----------------|
| STARBUCKS BUILDING & PATIO | *1 SP/3 SEATS + 1 SP/200 SF OF NON DINING | 16 | |
| STANDARD ACCESSIBLE | | 1 VAN + 1 FUTURE EVCS VAN | 14 |
| TOTAL | | | 16 |

DT QUEUE PROVIDED: 18 VEHICLES

*EATING ESTABLISHMENTS WITH DRIVE-THROUGH TO BE PARKED AT 1 SP/3 SEATS + 1 SP/200 SF OF NON-DINING FLOOR AREA.
REQUIRED NUMBER SHOWN IS BASED ON MAXIMUM SEATING FOR BUILDING PLUS PATIO OF 30 SEATS AND A BACK OF HOUSE AREA OF ± 1,200 SF

PROJECT NOTES

- THIS CONCEPTUAL SITE PLAN IS FOR PLANNING SUBMITTAL PURPOSES ONLY.
- THIS SITE PLAN IS BASED ON A PDF OF AN ALTA SURVEY PREPARED BY KIER+WRIGHT DATED 10/21/2019, AND AN AERIAL.

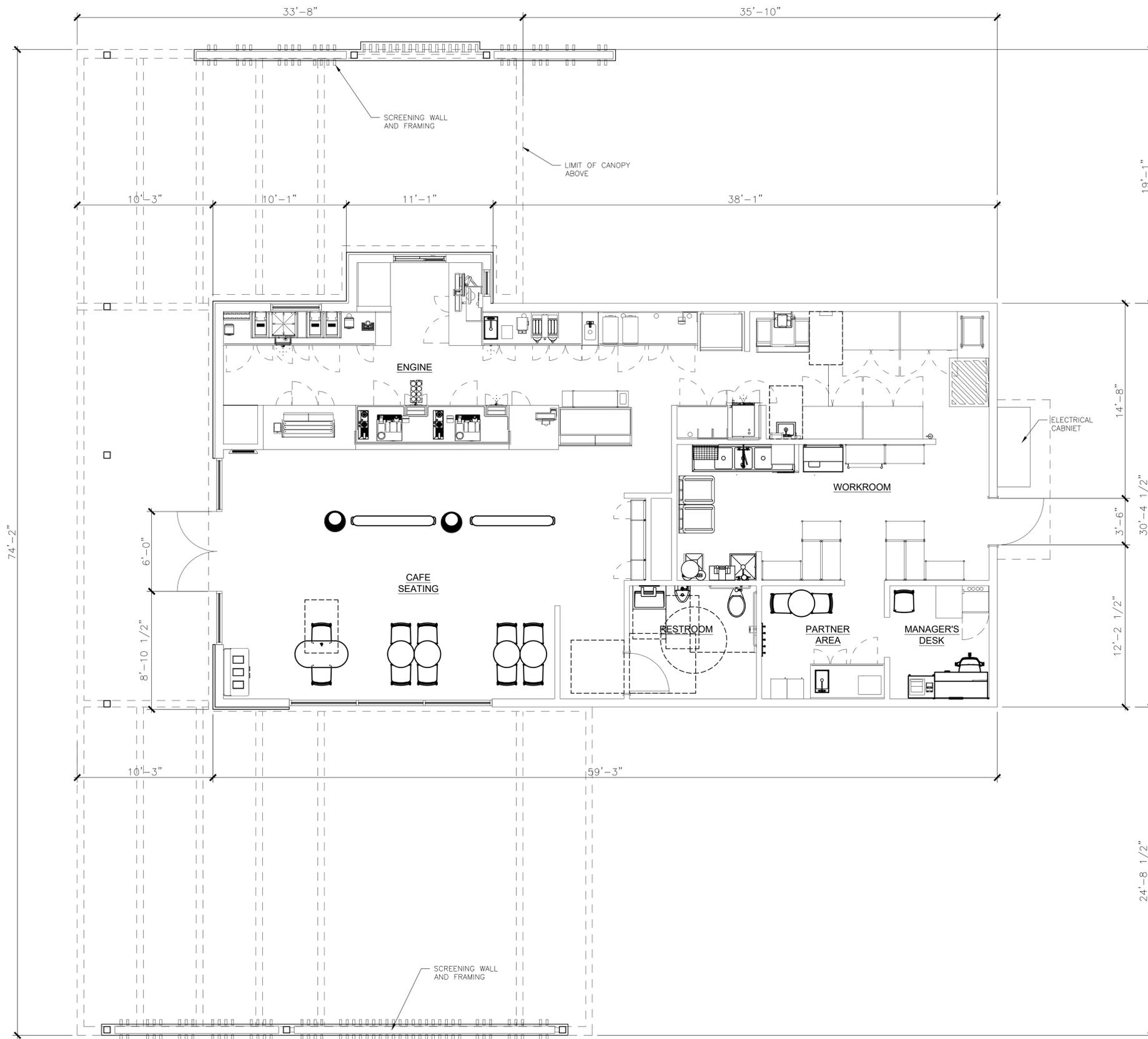
DRAWING ISSUE/REVISION RECORD

| DATE | NARRATIVE | INITIALS |
|------------|------------|----------|
| 01.12.2022 | PREP SP-1 | II |
| 03.01.2022 | PREP SP-2 | II |
| 08.16.2023 | PREP SP-3 | CD |
| 09.25.2023 | PREP SP-4 | BP/CD |
| 09.25.2023 | PREP SP-5 | BP/CD |
| 10.11.2023 | PREP SP-6 | BP |
| 11/08/2023 | PREP SP-7 | BP |
| 11/09/2023 | PREP SP-7a | BP |
| 12/14/2023 | PREP SP-8 | BP |
| 02.12.2024 | PREP SP-9 | BP |

GREENBERG FARROW CONTACTS

| | |
|-------------------------|-----------|
| PLANNER/PROJECT MANAGER | B. POTRUS |
| SITE DEV. COORDINATOR | F.CODA |





1 TEST FIT FLOOR PLAN
SCALE: 1/4" = 1'-0"



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GF 4695 MacArthur Court
Suite 1450
Newport Beach, CA 92660
T:949 296 0450

STARBUCKS TEST FIT - FLOOR PLAN
CAMDEN & CURTNER
NWC CAMDEN AVE & CURTNER AVE, CAMPBELL, CA
A01

20220105.0 02.12.2024



1 NORHT-WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH-EAST ELEVATION
SCALE: 3/16" = 1'-0"



3 SOUTH-EAST ELEVATION
SCALE: 3/16" = 1'-0"

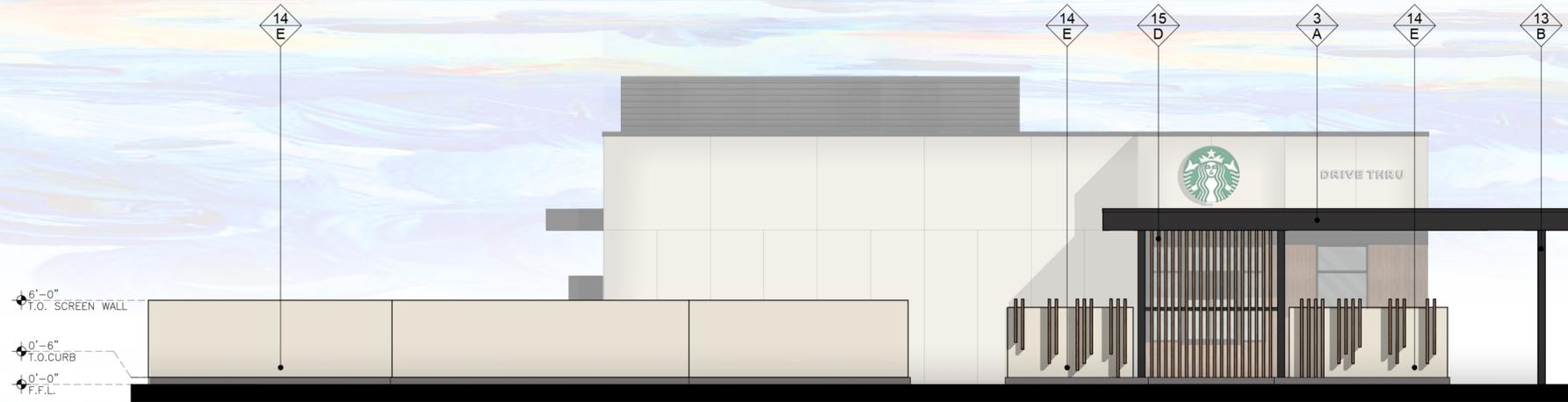


4 SOUTH-WEST ELEVATION
SCALE: 3/16" = 1'-0"

FINISH SCHEDULE

| FINISH MATERIAL | FINISH COLOR |
|---|---|
| 1 ALUMINUM STOREFRONT DOORS / WINDOWS SYSTEM | A PRE-FINISHED - BLACK |
| 2 HOLLOW METAL DOOR AND FRAME | B PREFINISHED TO MATCH STOREFRONT COLOR |
| 3 COMPOSITE METAL PANELS | C ANODIZED BLACK |
| 4 WOOD LOOK SIDING | D NICHHA VINTAGEWOOD SPURCE |
| 5 COARSE STUCCO FINISH: WITH INTEGRAL COLOR & TEXTURE | E TO MATCH SW 6154 NACRE |
| 6 SMOOTH STUCCO FINISH: WITH INTEGRAL COLOR & TEXTURE | F DOUBLE PANE CLEAR GLASS |
| 7 METAL COPING/ BRAKE METAL | |
| 8 CORRUGATED METAL ROOF SCREEN | |
| 9 NOT USED | |
| 10 STUCCO CONTROL JOINT | |
| 11 SIGNAGE (UNDER SEPARATE PERMIT) | |
| 12 ELECTRICAL CABINET | |
| 13 STEEL POSTS | |
| 14 SCREEN WALL | |

Note:
Colors shown on these elevations are for illustration purposes only. For actual colors, refer to manufacturer's samples.



1 NORTH-EAST ELEVATION WITH SCREENING PANELS
SCALE: 3/16" = 1'-0"



2 SOUTH-WEST ELEVATION WITH SCREENING PANELS
SCALE: 3/16" = 1'-0"



3 SOUTH-EAST ELEVATION WITH SCREENING PANELS
SCALE: 3/16" = 1'-0"

FINISH SCHEDULE

| FINISH MATERIAL | FINISH COLOR |
|---|---|
| 1 ALUMINUM STOREFRONT DOORS / WINDOWS SYSTEM | A PRE-FINISHED - BLACK |
| 2 HOLLOW METAL DOOR AND FRAME | B PREFINISHED TO MATCH STOREFRONT COLOR |
| 3 COMPOSITE METAL PANELS | C ANODIZED BLACK |
| 4 WOOD LOOK SIDING | D TO MATCH NICHHA VINTAGEWOOD SPURCE |
| 5 COARSE STUCCO FINISH: WITH INTEGRAL COLOR & TEXTURE | E TO MATCH SW 6154 NACRE |
| 6 SMOOTH STUCCO FINISH: WITH INTEGRAL COLOR & TEXTURE | F DOUBLE PANE CLEAR GLASS |
| 7 METAL COPING/ BRAKE METAL | |
| 8 CORRUGATED METAL ROOF SCREEN | |
| 9 NOT USED | |
| 10 STUCCO CONTROL JOINT | |
| 11 SIGNAGE (UNDER SEPARATE PERMIT) | |
| 12 ELECTRICAL CABINET | |
| 13 STEEL POSTS | |
| 14 SCREEN WALL - SMOOTH STUCCO FINISH | |
| 15 WOOD LOOK VERTICAL SLATS | |

Note:
Colors shown on these elevations are for illustration purposes only. For actual colors, refer to manufacturer's samples.