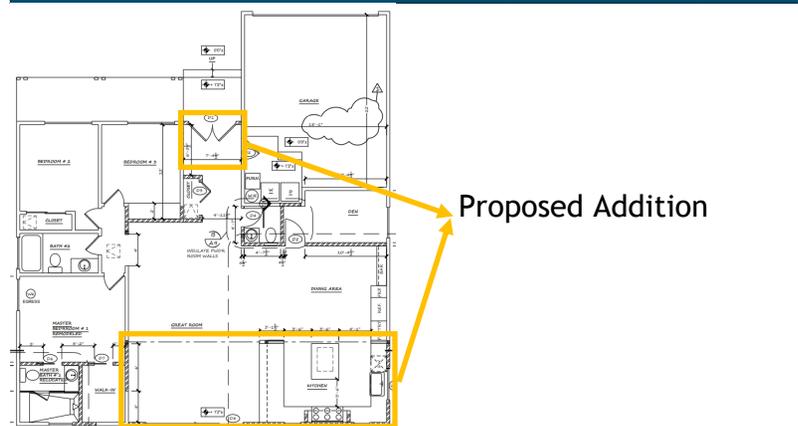






City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

January 5, 2024

The Community Development Director will be rendering a decision on the following project.

Project Address: 642 Sobrato Lane

Zoning | Area Plan: R-1-6 | STANP

Neighborhood Association(s): N/A

File No: PLN-2023-144

APN: 404-23-023

Applicant: SAAP Construction LLC

Property Owner: Vipul Nataraj

Application Type: Administrative Site and Architectural Review Permit

Project Planner: Tracy Tam, Associate Planner

Email Contact: tracyt@campbellca.gov

Phone Contact: (408) 871-5103

Project Description:

To allow an approximately 374 square foot single-story addition to an existing single-story residence.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **January 5, 2024**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **January 15, 2024**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español



CODES: Under Campbell Municipal Code
 2022 Edition California Building Code
 Volumes 1 & 2- (2022 IBC)
 2022 Edition California Mechanical Code (2022 UMC)
 2022 Edition California Plumbing Code (2022 UPC)
 2022 Edition California Electrical Code (2022 NEC)
 2022 Edition California Fire Code (2022 IFC)
 20-2022 Fire Code
 2022 Edition California Energy Code
 2022 Building, Mechanical, Elect, & Plumbing
 2022 Edition California Residential
 Code (2022 IRC)

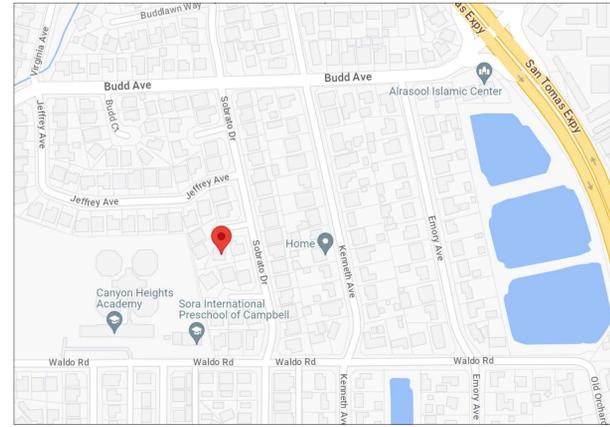
Project Data	
Rajvi & Vipul Residence 642 Sobrato Lane Campbell, CA	
Zoning Dist.:	R-1-6
Existing Lot Size:	8,415 S.F.
PUD:	NONE
Landuse:	LDR/Low Density Residential (Less than 6 units per gross acre)
APN NO:	404 23 023
1. Existing Footprint: FAR CALC	
(E) Footprint includes Garage	1,731.18 s.f.
(E) Covered Backyard Porch	185.70 s.f.
(E) Detachable Sun Room- Removed	161.78 s.f.
(E) Covered Front Porch	187.15 s.f.
(E) TOTAL Footprint	2,265.81 s.f.
Existing Building Sq. Ft.	1,731.18 s.f.
2. Existing Added Habitable:	
(E) Habitable	1292.56 s.f.
(N) ADDED Habitable @ Back	347.48 s.f.
(N) ADDED Habitable @ Front	26.13 s.f.
TOTAL (N) HABITABLE	1666.17 s.f.
MFA = 35% of 8415 s.f. (Lot Area) Allowed = 2,945.25 s.f.	COMPLIANT
2,539.42 S.F. < 2,945.25 S.F.	
3. Scope Of Work	
A. Backyard Addition includes : 1. Kitchen Relocation 2. Expanded Living Room B. Powder Room Addition in Existing Habitable s.f. C. Office/Den Room Addition in Existing Habitables.f. D. Master Bedroom Suite Renovation includes : 1. Master Bath Relocated 2. Walk-In Closet Relocated	

NOTE: NO EXISTING FIRE SPRINKLER SYSTEM

SURVEY NOTE:

1 - THIS PROJECT WILL REQUIRE THAT A SURVEYOR APPROVE THE FOUNDATION FORMS IN TERMS OF SETBACK ACCURACY AND FLOOR LEVEL HEIGHTS PRIOR TO PLACING CONCRETE. LANGUAGE FOR THE LETTER MUST BE AS WRITTEN AS CAMPBELL'S SURVEYOR HANDOUT AVAILABLE THROUGH THE BUILDING DEPARTMENT.

CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT BEFORE PERFORMING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY



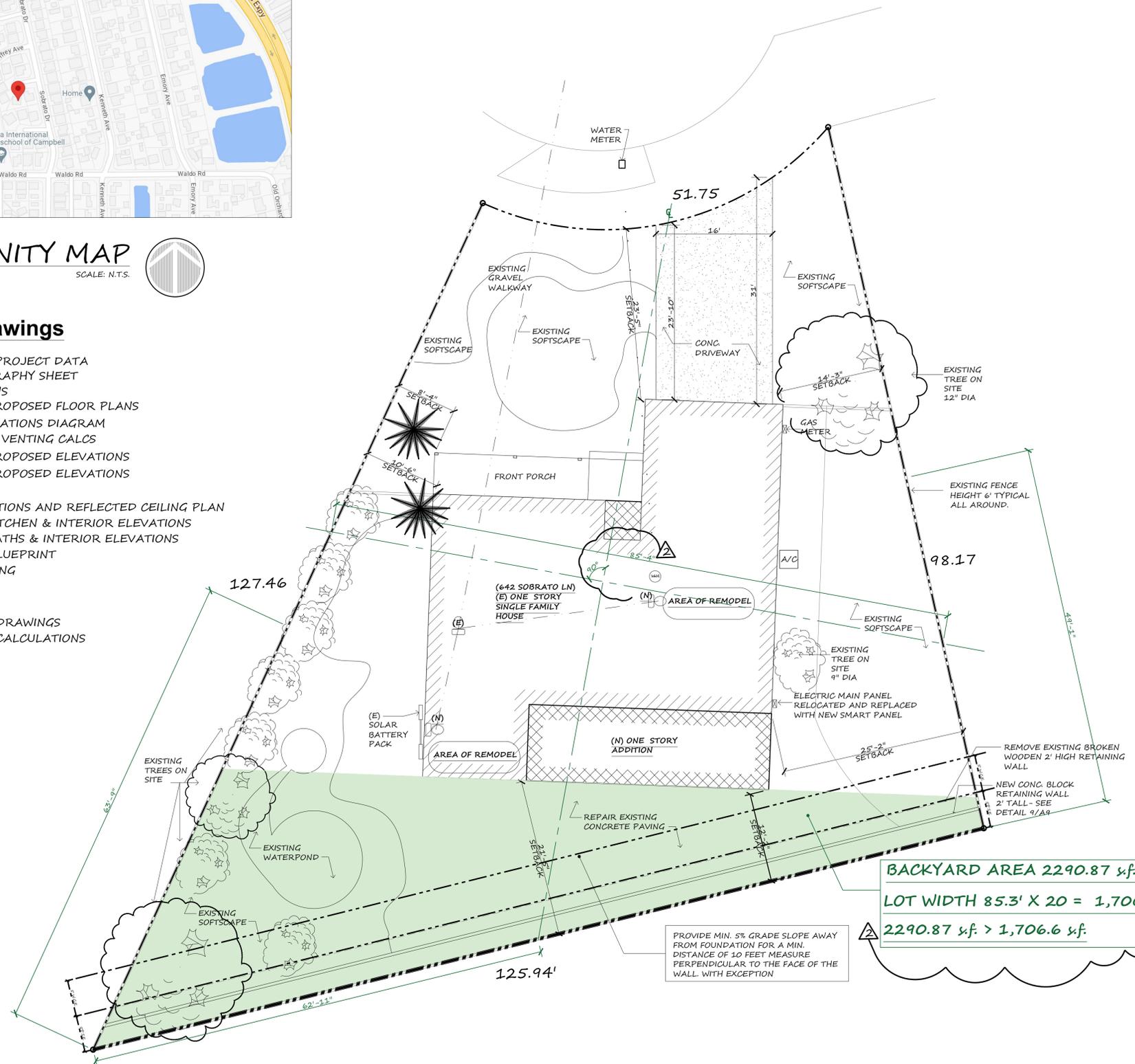
VICINITY MAP

SCALE: N.T.S.



Index Of Drawings

- A1.1 SITE PLAN & PROJECT DATA
- A1.2 SITE PHOTOGRAPHY SHEET
- A2 SPECIFICATIONS
- A3.1 EXISTING & PROPOSED FLOOR PLANS
- A3.2 AREA CALCULATIONS DIAGRAM
- A4 ROOF PLAN & VENTING CALCS
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- A7 BUILDING SECTIONS AND REFLECTED CEILING PLAN
- A8 ENLARGED KITCHEN & INTERIOR ELEVATIONS
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- A11 GREEN BUILDING
- A12 MWELO FORM
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- S-- STRUCTURAL DRAWINGS
- STRUCTURAL CALCULATIONS



PROVIDE MIN. 5% GRADE SLOPE AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL WITH EXCEPTION

SITE PLAN

SCALE: 1/8" = 1'-0"



PROJECT : Rajvi & Vipul Residence
ADDRESS: 642 Sobrato Lane, Campbell, CA

TITLE : SITE PLAN & PROJECT DATA

REVISIONS: Δ 09/12/23 REVISED PER INTERIM BLDG. REVIEW COMMENTS 09/08/23
 Δ 11/02/23 REVISED PER INTERIM BLDG. REVIEW COMMENTS 10/18/23

DESIGN BY: Paulomi

SCALE : 1/8" : 1'

DATE : 05/24/23

A1.1



FRONT PORCH/ENTRANCE



ENTRANCE HALLWAY



KITCHEN&DINING



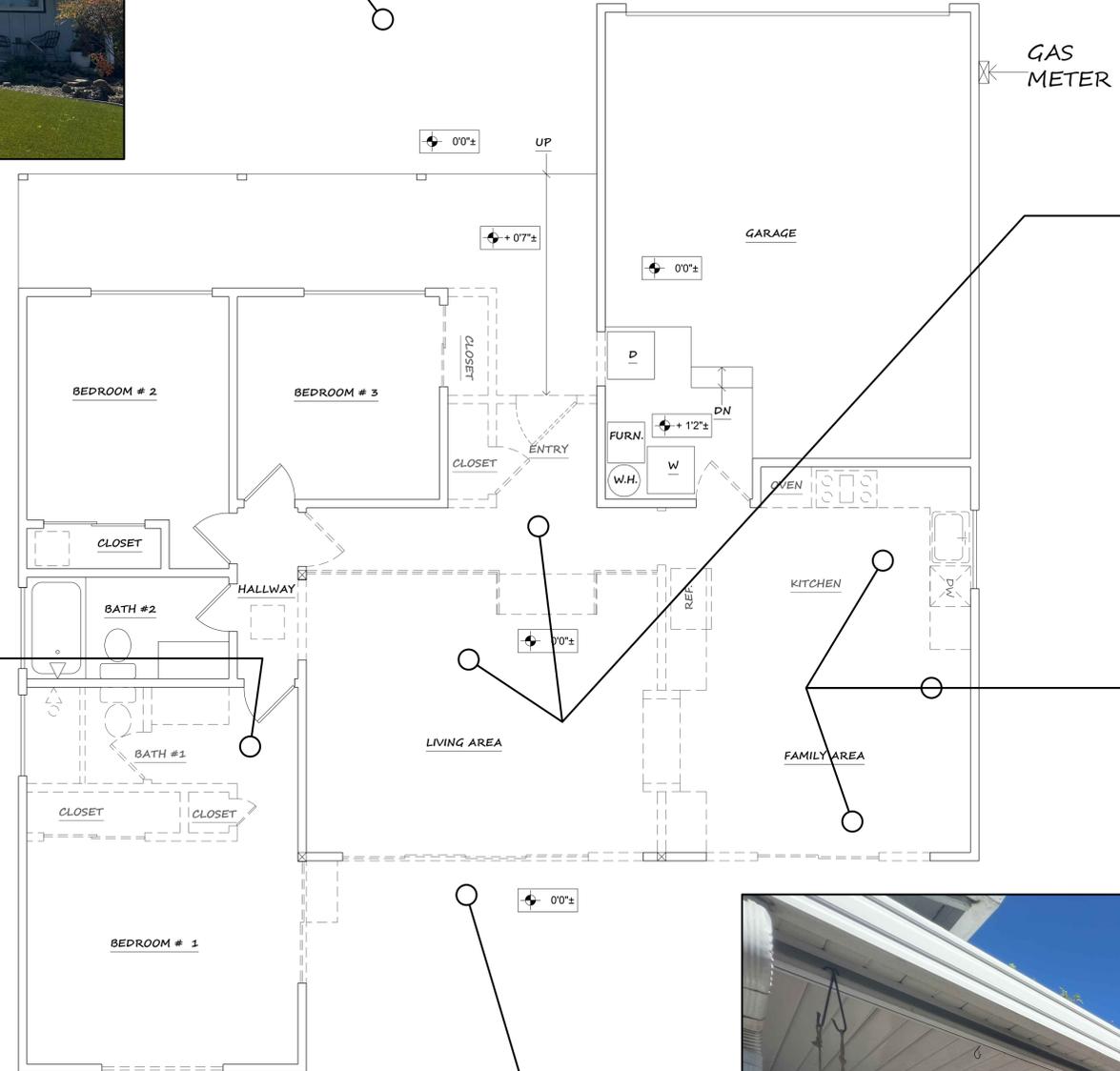
BACK YARD COVERED PORCH



MASTER BATHROOM



SIDE YARD



TITLE : SITE PHOTOS

REVISIONS:

DESIGN BY: *Paulomi*

SCALE :

DATE : 05/24/23

A1.2

GENERAL CONDITIONS

of the Contract between Owner and Contractor

- The Contractor is responsible for coordinating with the Owner (and not the Designer how the Project will be Phased, information regarding specific information not shown on these drawings such as: 1) appliances and fixtures, 2) plumbing costs and considerations, 3) lighting and electrical fixtures and costs and 4) all mechanical changes incurred by this project, 5) kitchen cabinetry coordination. Options available to the Owner and related costs must be shared up front for the Owner's consideration. Contractor is responsible for sharing with the Architect any and all changes in Scope that depart from the original Contract and/or Drawings & Specifications.
- These Drawings show INTENT. They are not considered final if, after initial review, the Contractor is unsure about dimensional relationships as they relate directly to existing conditions at the site. If there are inconsistencies in the drawings, missing dimensions or details that do not add up correctly, or if the structural design does not allow for proper HVAC duct runs without the need for added interior soffits, then the Contractor is OBLIGATED to call the Architect to clarify the situation to the satisfaction of both parties PRIOR to any commencement of construction on the issue or area in question. If work is started on unclear or uncoordinated areas without consultation with the Architect, then the Contractor assumes full responsibility in every way for that area of work, & the extra costs incurred.
- Submittals for Contractor Payment shall be submitted to the Homeowner for payment. The original Contract will be negotiated exclusively with the homeowner, with reference to these drawings and specifications for Scope of Work and Responsibility.
- Before submitting a proposal for this work, the bidder shall visit the site and inform himself as to the conditions existing under which he will be obliged to work. He shall examine the plans and specifications and base his bid upon adherence to them. The homeowner is obliged to pay the Contractor for nothing more than what is contained in these drawings, or specifically described additions or deletions to/from the drawings included in the Contractor's contract with the owner. During construction, no changes from plans or specifications shall be made without written consent of the owner, and discussion with the Architect. Structural changes must be approved by the structural engineer.
- The Owner, without invalidating the Contract, may order extra work or make changes by altering, adding to, or deducting from the work. The contract sum shall be adjusted accordingly and adequate records shall be kept by the Contractor to substantiate additional charges. All such work shall be executed under the conditions of the original Contract Documents. If Scope is added to the Project very late in the construction period (after the hanging of drywall, for instance), the City or County may require a new Permit to be obtained.
- The Contractor is encouraged to call the Architect on questions or issues related to the architectural materials, detailing, substitutions, or structural changes. The Owner should have a clear understanding of which and how many of the above areas of work, materials and products are included in the Contractor's base bid. The Architect bears no responsibility for the Owner's Contract with the Contractor as it relates to these Drawings.
- Unless otherwise provided in the Construction Documents, the Contractor shall obtain and pay for all permits and licenses and shall give all notices. All laws, ordinances, rules and regulations bearing on the conduct of the work drawn and specified shall be complied with in every respect. The Contractor will be held responsible for any violations of same. Should any conflict occur between said drawings and specifications and ordinances, same shall be immediately referred to this office in writing.
- Contractors for this work shall be licensed by the State of California.
- The mechanics of the various trades required to construct and finish the work shown on the plans must all be skilled workmen under the direction of a competent foreman.
- The Contractor shall continuously maintain adequate protection of all his work from damage and shall protect the Owner's property and adjacent property from injury or loss arising in connection with this contract.
- The Owner shall not be liable or responsible for any accident, loss, injury or damages, happening or occurring during the term of the performance of the work and in connection herewith, to persons and/or property. The Contractor shall have in full force and effect, during the life of the Contract, full coverage Workmen's Compensation insurance, which shall comply with the California laws and limits, and shall furnish the Owner with a certificate stating that such insurance will not be cancelled or changed during the term of this Contract without notice being given to the Owner, and shall require all intermediate and sub-contractors to take out and maintain similar policies of insurance. All such policies shall be with insurance companies acceptable to the Owner.
- Unless expressly stated otherwise, the Owner will take out and carry a comprehensive insurance policy including fire, extended coverage, vandalism, and malicious mischief, protecting both his interest and that of the Contractor.
- The Contractor shall, at all times, keep the premises and streets free from accumulations of waste and rubbish caused by his employees or work, and at completion, he shall remove all rubbish, surplus materials and equipment and shall leave his work "broom clean".
- In addition to guarantees called for elsewhere in these specifications, the Contractor shall guarantee all of his work for a period of one (1) year after notice of completion is filed, against defective materials or faulty workmanship that is discovered and reported to him within that period.
- Sales tax shall be paid by the Contractor and included in the bid.
- In general, the drawings will indicate dimensions, position and kind of construction; the specifications, qualities and materials. Any work indicated on the drawings, and not mentioned in the specifications or vice versa, shall be furnished as though fully set forth in both. Work not particularly detailed or specified shall be the same as similar parts that are detailed, marked or specified. The larger the scale of the drawing, the precedent, i.e. 3 inch per foot scale governs 1/4 inch per foot scale. In areas of any question, please call the Architect.
- The Owner may, if he wishes, take out a Performance Bond to be paid for by the Owner.
- Regarding the prefabricated trusses, Contractor is obligated to confirm the lead time for manufacture and delivery, notify the truss company, and ensure that the field dimensions are utilized and double-checked prior to finalizing any purchase order. Truss spacing is to always match the spacing of existing framing (24" o.c. vs. 16" o.c.), and Contractor to verify if the specified design is in keeping with the existing. Notify Architect or manufacturer prior to Truss order if the existing bay spacing does not match the proposed layout.

SPECIFICATIONS

DIV. 1: GENERAL

- Contractor is responsible for making all work plumb, level, of sound construction, and in compliance with all local building codes.
- Contractor to verify all conditions prior to the execution of the work, and notify the Architect of any inconsistencies which affect the work to be done. Any work executed which does not match the drawings exactly or which has not been mutually reviewed if there are questions or inconsistencies in the drawings prior to the work being done is the responsibility and ownership of the Contractor and not the Designer or Owner.
- General Contractor and all subcontractors are responsible for obtaining permits prior to commencing the work.
- All plan dimensions are to face of stud unless otherwise noted. In areas where dimensions are shown to a counter top, dimension is to edge of counter top.
- Do not scale these drawings for information. Any conflict between architectural and structural information is to be brought to the attention of the Architect before work proceeds.
- All angles are 30, 45 or 90 degrees unless otherwise noted.
- Comply with requirements of 2019 edition of California State Building Code, City building codes and ordinances the 2019 California Plumbing Code(2021 Uniform Plumbing Code), 2019 edition of the California Fire Code (2021 Uniform Fire Code), the 2019 edition of the California Mechanical Code (2021 Uniform Mechanical Code), and the 2019 California Electric Code (2021 National Electric Code).
- Temporary shoring and bracing necessary to support the incomplete structure is the responsibility of the Contractor.
- All exterior wall, exposed floor, and roof construction shall be built to minimize infiltration and comply with the Title 24 Energy Standards.
- Construction Hours are limited to 8 AM to 5 PM Monday through Friday and 9 AM to 4 PM Saturday. No construction on Sundays and holidays

DIV. 2: SITEWORK

- Contractor shall protect all new and existing materials and construction from damage which may occur from construction, demolition, dust, water, etc. and shall leave the premises clean and in an orderly manner.
- A temporary port-a-toilet shall be provided, not visible from street, for Contractor use.
- Contractor determine extent of (E) sub-surface drainage @ both sides of house & rear yard. Per site plan, upgraded for this addition. Site drainage should be provided compliant with local ordinances and general construction standards. If during the initial review of the drawings, or during foundation work, the Contractor sees missing information on drainage which would otherwise be necessary, such as the need for a French drain, he should notify the Architect or the Building Inspector before proceeding with work. Slope all finish grade material abutting the house away from the house to achieve positive drainage, and no ponding adjacent to house. Also, ensure that site drainage is directed toward the street, and NOT toward any adjacent neighboring property.

- This project includes a new below-grade site run-off water outlet to the street gutter/swale, below the sidewalk, which may require a "Temporary encroachment permit" from Public Works. This project also includes an extension of the existing below-grade drainage around the house perimeter, connecting with new rainwater leaders and connecting with the outlet to the street. A pre-bid inspection of the current below-grade existing conditions will be required.
- The front yard requires replacement of several low retaining walls (to be concrete), replacement of a short run of stairs (concrete) and patching or replacement of the existing sidewalk (asphalt replaced by concrete). There is also a pad to support a sitting area (decorative concrete). Much of the new retaining walls (18" high) will have integrated post bases for a new fence installation on top. The fence will require power to light two (perhaps more at Owner's direction) decorative lamp fixtures near the sidewalk.
- This work shall include removal of all debris from the site. A dumpster shall be provided during the length of the project, and it shall not be visible from the street if at all possible. If it is in the driveway, it shall be set back from the street as much as possible, so as not to block sidewalks, and it shall take up only one parking space (not two).
- Any erosion control requirements called for by the governing jurisdiction shall be followed strictly. Requirements for cut and fill & for hauling soil or debris off site in an efficient, orderly manner to be strictly followed, as well as recycling of debris materials. Any work at the Public right of way that shall require permits as required locally for curb cuts, standard sizes and dimensions, integrated drainage and slope of run-off surfaces to be followed strictly.
- There is a large new deck at the rear yard. The rear second-level balcony is to be replaced, sized differently. There is also a potential new outdoor shower located off the rear of the garage, requiring plumbing and drainage connections.

DIV. 3: CONCRETE

- Please see note 6 above (Div. 2: Sitework) for concrete work at the front yard.

DIV. 4: MASONRY

- The existing chimney is to be maintained intact, if the 1st floor hearth can be reduced in size to accommodate a conventional new fireplace. Otherwise, this item to be discussed and coordinated with Owner and Architect for partial or complete removal of brick/masonry stack.

DIV. 5: METALS

- Not used

DIV. 6: ROUGH CARPENTRY (WOOD & PLASTICS)

- Erect wood framing members true to lines and levels. Do not deviate from true alignment more than 1/4" in eight feet.
- Space framing members at 16" O.C. unless otherwise noted. Roof eaves are at 24" o.c.
- See Structural Drawings for complete Nailing Schedule.
- Install furring, blocking, backing, nailers to receive and conceal work of other trades. Install fire blocking per UBC.
- No major structural members shall be cut unless approved in advance in writing by the Engineer or Architect.
- Place floor and roof sheathing with end joints staggered. Place perpendicular to framing members.
- All screws and nails used for attachment of siding, fascia and soffits shall be corrosion resistant, hot dipped galvanized or the equivalent.
- Plywood at ext. walls shall be exterior grade, no less than 1/2" in thickness, and covered by a minimum of 15# building paper. Building paper shall be lapped a min. of 2" at horizontal joints and 6" at vertical joints. Roof sheathing shall be 3/4" C.D. "X" type, with 30# building felt.
- The top plate height(s) is/are to be noted and to be verified prior to construction start. Contractor note there are unique floor to ceiling heights in this project. The Garage has a 10'-7" ceiling height, the Family Room has a 8'-8" min. ceiling height.
- Stair runs must be double-checked when calculating stair stringers. All risers must be as close to equal as possible. Verify run & rise dimensions prior to laying out stringers for stairs and ensure proper (legal) run & rise.
- Roof framing at the addition is to be wood trusses, on order from "T.C. Truss, Inc.," of Salinas, CA. Call 831-863-8787 to confirm/place the order, so lead time is not a concern to the Owner. The design/engineering portion has been completed by T.C. Truss. Note that the bay spacing must be equal to that of the existing house, the eave extensions must follow the eave detail and existing conditions, and the roof planes that are converging where two different truss types join must align perfectly. Field verification prior to truss manufacture will be essential and critical.
- At the existing attic, some reinforcement work may need to be done with regard to adequate framing and shear reinforcement. This scope is to be furnished by the structural engineer upon request.
- All skylight wells are to be flared and not vertical, wherever possible. The opening at the ceiling line is to be as large as practical and possible. If this cannot work out, please notify the Designer. Also, all skylight wells are to have the attic insulation follow up along the walls of the well, full height. This is a code requirement.

DIV. 6: FINISH CARPENTRY (WOOD & PLASTICS)

- Walls & ceilings to be 1/2" gypsum board, except for ceilings where joist spacing exceeds 16" O.C., in which case gypsum board shall be 5/8". "Green board" to be used at all bathroom walls & other wet area walls as required.
- All new baseboard, whether shown or not, shall be installed to match existing baseboard in other similar room types of house, or be selected with Owner's prior approval.
- At bathrooms, Contractor is to coordinate design & location of shower and tub soapdish/cupholder (in C.T. or in stone veneer). This may also apply to the vanity soapdish/cupholder, the T.P. dispenser, and towel bars. These items are to be considered part of a base bid and he is obligated to discuss this with the homeowner prior to the Contract.
- Where new toilets are shown, brand is to be **Toto**. Where new fully recessed medicine cabinets are shown, brand is to be **Robern**. No substitutions unless pre-approved by Owner.
- Where sufficient information is not provided, please call the Architect or gain approval from the Owner before proceeding with assumed dimensions or assumed millwork determinations.
- It is assumed the kitchen cabinetry will be further coordinated with regard to dimensions and layout prior to order and purchase (or custom fabrication). However this design has been fully approved and paid for by the Owner, thus it is to remain the base design in every aspect. It is the Contractor's responsibility to verify all rough & finish dimensions with either a kitchen/bath professional or his own subcontractor who is accustomed to this work. The Architect is available to assist further coordination.
- The kitchen cabinets in this project may or may not show cornice trim where they meet the ceiling or soffit. It is the Contractor's responsibility to provide such trim & coordinate the style choice with the Owner.
- Crown molding, in general, where shown or not shown, must be reviewed with Owner, particularly with regard to extent, style choice and cost implications.
- Kitchen to have new or restored hardwood floor. This must be clarified and included into Contract prior to signing.
- All new or Existing Bathroom(s) to have C.T. or stone veneer floors per interior drawings, & to be coordinated with Owner.
- Existing hardwood floors at existing rooms, where they are affected by this work, are to be patched, sanded & refinished to match new floors at new areas. Coordinate this scope w/ Owner.
- Selection of wood species for finish millwork, cabinetry and the like to be carefully reviewed with Owner for common understanding regarding appearance, finish and cost. Interior drawings depict all new casework, to be followed with any changes pre-approved by Owner.
- No product may be used that exceeds California's maximum limits on Volatile Organic Compounds (VOC)

DIV. 7: THERMAL & MOISTURE PROTECTION

- The entire new roof to be surfaced with a new composition shingle roof. 40 year warranty or equal per owner approval. Installation to be strictly per local governing regulations, and as per recommendations of the manufacturer, including under-layment, attachment and flashing recommendations. Fully remove all existing roofing shingles and paper/felt/nails. At roof over main house (with attic), the plywood sheathing is to remain.
- All roof penetrations to be flashed for positive drainage away from penetration.
- Gutters and downspouts to be fully replaced with new COPPER gutters and downspouts, sloped to drain at 1/16" per foot, and shall be installed to comply with UBC Appendix D. Gutter fasteners shall be non-corrosive and shall not degrade with contact to dissimilar metals. These drawings may not show all new gutters and downspouts. However, they are to be provided throughout, and if there are questions regarding quantity, location or connections, the Architect is to be consulted. Drainage at the roof decks is to be fully understood and positive slopes and proper downspout discharge to be coordinated with Architect if necessary.
- Flashing: Provide flashing at the juncture of roof and vertical surfaces; at intersection of dissimilar roofing materials; and as required to prevent water damage. Secure flashings in place using standard concealed type fasteners. Install flashings to ensure diversion of moisture to exterior. Ensure building paper under-layment is installed under metal flashings. Flashing and counter flashing shall be not less than No. 24 gauge corrosion-resistant metal. Lock flashing seams and end joints. Fit tight in place. Make corners square, surfaces true and straight in planes, and lines accurate to profiles.
- Flat roof areas (roof decks) to be installed according to details provided, and surfaces are to be finished with the following system: Sure-Weld (by Carlisle) mechanically fastened roofing system, .045" thick scrim-reinforced gray TPO membrane. Roofing system to be installed by a Carlisle authorized roof applicator. Slope roof toward scuppers or downspout, as indicated with tapered joists and/or grid brud for 1/2" per foot positive slope.

DIV. 7: INSULATION

- Insulation shall be as follows:

Walls: R-13 fiberglass with integral vapor barrier

Ceiling: see T-24 Report and eave detail.

Floor: see T-24 Report

- Install insulation with factory applied membrane facing warm side of building spaces. Fit tight within framing spaces, except where venting is to occur hold back a minimum of 2". Fit tight behind mechanical or electrical services within the plane of the insulation.
- Install foam sealant to prevent air infiltration around windows and doors, through plate penetrations, at corner joints, and any cracks in the exterior envelope.
- Install new insulation in all new & existing outside walls, or areas of renovation on the exterior envelope. Follow Note 1 above for R-values.
- Insulate all new & existing floor space and ceiling areas (per detail provided), and ventilate adequately to comply with Title 24.

DIV. 8: DOORS AND WINDOWS

- Glass in fixed units, operable units, and glass doors shall be clear, insulated glass unless otherwise noted on drawings. Glass in window or door units 18" off the finish floor or below must be tempered safety glass. Glass at bathrooms shall be obscured glass, after approval from Owner.
- Bedroom egress windows should be identified on these drawings, if applicable. Per 2001 UBC, escape or rescue windows shall have a min. clear openable area of 5.7 s.f. The min. net clear openable width shall be 20 inches and the min. clear openable height dimension 24 inches. When windows are provided as means of escape or rescue, their sill shall be no more than 44 inches off the floor.
- Head heights of new windows and doors to align with existing window and door heights unless otherwise noted on drawings. The Family Room has a transom window over the exterior doors. If there is a question or discrepancy, please call the Architect.
- Unless otherwise shown, doors and windows are to be centered on the openings or rooms into which they are located. If there is a question or inconsistency in the drawings, please call the Architect before proceeding.
- All operable windows to be fitted with screens.
- Contractor is responsible for coordinating windows, and exterior doors with glass in them, with the applicable 2001 UBC requirements for safety glazing. Refer to the provided window/door schedules and reconfirm the list with the homeowner.
- Glass in windows within a 24" arc of the front door shall be tempered safety glass.
- One new skylight is to be framed with its wells flared as much as possible, by Velux (no substitutions). One skylight is existing to remain. Orient the new skylight in the direction shown, and notify Architect if framing does not allow it to land in exact location that the ceiling plan calls for. Flashing and weather-lightness is the responsibility of the Contractor. The Owner shall be consulted regarding size and features of skylights and possible new lighting installed into the skylight well.

DIV. 13: SPECIAL CONSTRUCTION

House electricity will be served by Solar Panels, by others. Solar installer will coordinate separate Permit with County & PG&E.

DIV. 15: HEATING, VENTILATION AND PLUMBING

- These drawings do not show Mechanical Engineering. Therefore it is the Contractor's responsibility to fully review these drawings prior to the work and understand the heating system, coordinate the new system with regard to the furnace location and bring to the attention of the Architect or Engineer any design issues which may hinder the layout and design of the heating system within the limitations of ceilings and walls that the Architect has designed. Clarification drawings will be provided promptly when brought to the attention of the Architect.
- The existing house has electric baseboard heating, which is to be removed. Two new forced air furnaces to be installed, sized per T24 Energy Standards, located in the Attic, one in the (E) Crawlspace. All ductwork runs are new and are to be determined & co-ordinated by the Gen. Contractor.
- We are providing two new tankless water heaters, one at the first floor mounted on the back of the house near the Kitchen, & one at the Attic above the Master Bath. The water heaters are to be Takagi TK1 models, both. Purchase & installation to be in conformance with the Title 24 Report, and with local ordinances. If water service lines to the house are less than 3/4", they may need to be replaced and upgraded for water pressure needs, per manufacturer requirements.
- The existing hot water boiler is to be removed. Owner is considering supplemental option of roof mounted thermal energy collectors + holding tank to be removed. Owner is reviewing of water for use in the domestic water system, but this is to be determined.
- Owner is considering to install a roof-mounted solar panel system, designed for generating power, year-round. This is an electric system (photovoltaic collector panels, electric inverter). Coordination must be done with PG&E for a meter-reversal adjustment, especially at time of transfer of the power source. Interface with PG&E and with rebate sources (Federal Govt. and State of CA) to be accomplished in tandem with Owner.
- All supply and waste piping, new and existing, to be securely fastened and strapped to structure in walls, under-floor and in attic.
- Hot water piping, new and existing, to be insulated.
- Provide hot and cold water shut-off valves for each new and existing area of plumbing.

- Attic areas shall be ventilated by openings into the eaves and gable end, as shown on elevations. Such openings shall have a net area of not less than 1 sq. foot for each 150 sq. feet of under-floor area. Openings shall be located as close to corners as practical and shall provide cross-ventilation. The required area of such openings shall be equally distributed along the length of at least two opposite sides. Vent openings shall be covered with wire-mesh, at minimum, and must be corrosion resistant, with openings of 1/4" dimension.

- Exhaust fans over toilets to be Panasonic "Whisper"; select their highest performance model. Exhaust fans in bath and/or laundry room and through-wall dryer moisture air duct must connect directly to the outside and must provide 5 air changes per hour. They must terminate 3 feet from any openings into the building, be a maximum of 14 feet in length, and be provided with back draft dampers. The dryer moisture air duct may vent through the roof, with a weathertight seal and appropriate flashing for penetrations through roofs.

- Furnace enclosure, or Mechanical Room, if there is one, to provide combustion air at a rate of 1 sq. inch of vent opening per 1000 BTU. The vent(s) shall never be less than 100 sq. inches total.

- Contractor is to ensure that existing crawlspace vents are in proper working order and is to supplement existing vents with new 6x14 vents, if deemed necessary. Wherever shown on the drawings, there are to be new or existing vents provided which comply with Note 8 directly above, and with information provided on these drawings.

- Gas service extensions - relocate existing gas line in kitchen and ensure gas service to second floor fireplace and both Tankless water heaters. Provide gas service extension to front yard as shown on Site Plan. There is existing gas service to the first floor fireplace (to remain).

- Provide new hose bibbs as shown on plans and at areas of new expansion/excavation, note relocation of underground sprinkler system. Backflow preventors to be installed on all exterior hose bibbs.

- Upper existing roof to have a new solar powered attic fan by Attic Aire or equal (Air Vent, Inc.), model SP8WW (800 CFM). Roof mount solar panel accompanies actual vent.

- There is a new outdoor shower located off the rear of the garage, requiring plumbing and drainage connections.

- Note the extension of the existing underground drainage system around the house perimeter.

- Note that any existing underground lawn sprinkler system will need to be partially removed in advance of earthwork and re-laid out at conclusion of project.

- Interior water heater or boiler relief valve drain line shall terminate in accordance with CPC SEC. 6085

- All new drain waste & vent pipes shall be of materials compliant with CPC SEC. 701.1.2. In this project, all new waste lines from 2nd floor toilets down, to be of cast iron.

DIV. 16: ELECTRICAL AND LIGHTING

- Prior to submitting final contract bid for signature, Contractor is to review the lighting plan, to obtain Owner's sign-off regarding scope of work to be provided by Contractor. Architect assumes no responsibility for coordination of this information or work.
- Upgrade power supply to house to 200 Amps.
- Verify all wiring within existing house & new addition is per current code : with grounded receptacles, G.F.C.I.'s at all kitchen, baths, garage and exterior locations, 3-prong outlets throughout & Arc-Fault circuit interrupters at Bedrooms.
- Add receptacles throughout so that every room has 6' spacing between receptacles.
- Ensure a minimum of two 20 Amp. small appliance circuits in the Kitchen.
- Hardwired smoke alarms are required with battery backup at Bedrooms, Hallways outside Bedrooms, top and bottom of Stairs, Kitchen & Garage so that one alarm activated will sound all alarms.
- Recessed can lights at insulated attic spaces, new & existing, are to be I.C. rated.
- Choice of timers or dimmers on switches to be reviewed with Homeowner before electrical work begins.
- Provision of light fixtures to be purchased by Homeowner and those to be provided by Contractor must be clarified prior to Contract.
- General lighting in Kitchen and Baths shall be LED and operated by the primary switch as one enters the room.
- Any existing electrical receptacles, boxes, panels or other wall-fastened equipment that are found to be loose or non-compliant are to be first brought to the attention of the Owner (for purposes of consent for additional payment), and secured in a suitable and code compliant manner.
- All new and existing electrical loads to be balanced.
- All motor loads in kitchen to be on separate dedicated circuits.

CONTRACTOR NOTES:

- These drawings are Contract Documents. The Contractor is legally bound to conform to every part of the Drawings, General Conditions and Specifications, Soils Report (if one is included) and Title 24 Energy Report, unless a letter signed by both Owner and Contractor (and approved by the Designer) excuses the Contractor from any of the obligations contained herein. The Designer is responsible for the content of the originally approved Permit Drawings, and any clarification information provided by his office upon request, but not responsible for the execution of the project (Construction Administration). The construction and completion of this work is the exclusive domain of the Contractor and Owner, to the satisfaction of the governing Building Inspector in complete accordance with these drawings. If field conditions vary from what is shown on the drawings, it is the Contractor's responsibility to bring those differences to the attention of the Designer or Structural Engineer for determinations related to constructability, construction standards, safety or code compliance. This design is the exclusive property of, and may not be used in any form without the consent of Yavi Design Solutions LLC. Copies of these drawings may only be provided by the office of Yavi Design Solutions LLC.
- In the spirit of ensuring the project is built as it is intended by the homeowner and designer, the Designer requests a minimum of one (1) site meeting at the project address during or before layout of the addition bounds. We will mutually review the intentions of the project limits with regard to a review of the dimensions provided in the drawings, we will review and note any information not fully provided, (such as fireplace/chimney design, or crawlspace access, or new vs. existing footings, etc.). If this is the ONLY visit to the project site by the Designer, it will satisfactorily eliminate conflicts caused by an absence of contact by the Contractor with the Designer during the construction phase. The Architect can be reached at 650-575-1014

WASTE MANAGEMENT PLAN

- CONSTRUCTION HOURS SHALL BE 8-5 M-F, 9-4 SATURDAYS, NO WORK SUNDAY OR HOLIDAYS) AND A NOTATION FOR THE SIZE AND PLACEMENT OF ADDRESS MARKINGS. ALSO BE SURE TO LEAVE AN AREA FOR AGENCY APPROVAL STAMPS
- ALL GREEN REQUIRES EVERY PROJECT TO HAVE A WASTE MANAGEMENT PLAN AND THAT NORMAL TRASH CREATION IS REDUCE 65% THROUGH BETTER EFFICIENCIES, YIELD, AND RECYCLING POLICIES
- CONSTRUCTION WASH-OUT WATER FROM CONCRETE, MORTAR, TILE, TAPING, AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL OR IN A LINED EVAPORATIVE PIT. WASH-OUT SHALL NOT ENTER THE STORM WATER SYSTEM. TRASH PILES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PILES SHALL NOT CONTAIN PAINTS, SOLVENTS, GLUES, TAPING COLUMPUND, FOOD PRODUCTS, OR EASILY RECYCLE-ABLE DISCARDS SUCH AS BOTTLES, CANS, PLASTICS, OR PAPER. REMAINING TRASH SHALL BE LIMITED TO CONCRETE, WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE COVERED WITH A WATERPROOF TRAP. TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING. ALL TRASH IS TO BE QUICKLY HAULED OFF SITE. RETAIN THE RECEIPT AND KEEP WITH THE PERMIT DOCUMENTS. PROOF OF RECYCLE AND DISPOSAL OF THE JOB SITE TRASH WILL BE CHECKED PERIODICALLY AND PRIOR TO FINAL INSPECTION. OR CALL WEST VALLEY COLLECTION AND RECYCLING (408)283-9250 WILL DELIVER A ROLL-OFF DEBRIS BOX AND SORT THE TRASH OFF SITE



Info@navisdbm.com

PROJECT : Rajvi & Vipul Residence
ADDRESS: 642 Sobrato Lane, Campbell, CA

TITLE : SPECIFICATIONS

REVISIONS:

DESIGN BY:

Paulomi

SCALE : 1/8" = 1'

DATE : 05/24/23

A2

DOOR SCHEDULE - D#						WINDOW SCHEDULE - W#					
(VERIFY SIZES)						(VERIFY SIZES)					
NO.	SIZE	TYPE	STYLE	MATERIAL	REMARKS	NO.	(W X H) SIZE	TYPE	MATERIAL	REMARKS	
D1	PAIR 3'-0"X6'-8"	SWING	PANEL	MTL/WOOD	ETERNAL	W1	4'-0"X 3'-0"	SLIDER	VINYL CLAD	ALL WINDOWS SHOULD HAVE A MAXIMUM U-VALUE OF 0.32 AND MUST BE NFRC RATED & LABELED PER STATE ENERGY CODE (CAC 10-103(a)2A)	
D2	2'-8"X6'-8"	SWING	PANEL	MTL/WOOD	1 HR RATED	W2	2'-0"X 3'-0"	SINGLE HUNG TOP	" "		
D3	4'-0"X6'-8"	BI-FOLD	PANEL	WOOD/VINYL		W3	2'-0"X 3'-0"	SINGLE HUNG TOP	" "		
D4	2'-4"X6'-8"	SWING	PANEL	WOOD/VINYL		W4	6'-0"X 6'-8"	FIXED	" "		
D5	2'-6"X6'-8"	SWING	PANEL	WOOD/VINYL		W5	3'-0"X 2'-0"	SLIDER	" "		
D6	2'-4"X6'-8"	POCKET	PANEL	WOOD/VINYL		W6	4'-0"X 5'-0"	SINGLE HUNG TOP	EGRESS		
D7	2'-4"X6'-8"	POCKET	PANEL	WOOD/VINYL							
D8	6'-0"X6'-8"	SLIDER	PANEL	MTL/GLASS							

CONTRACTOR NOTE:

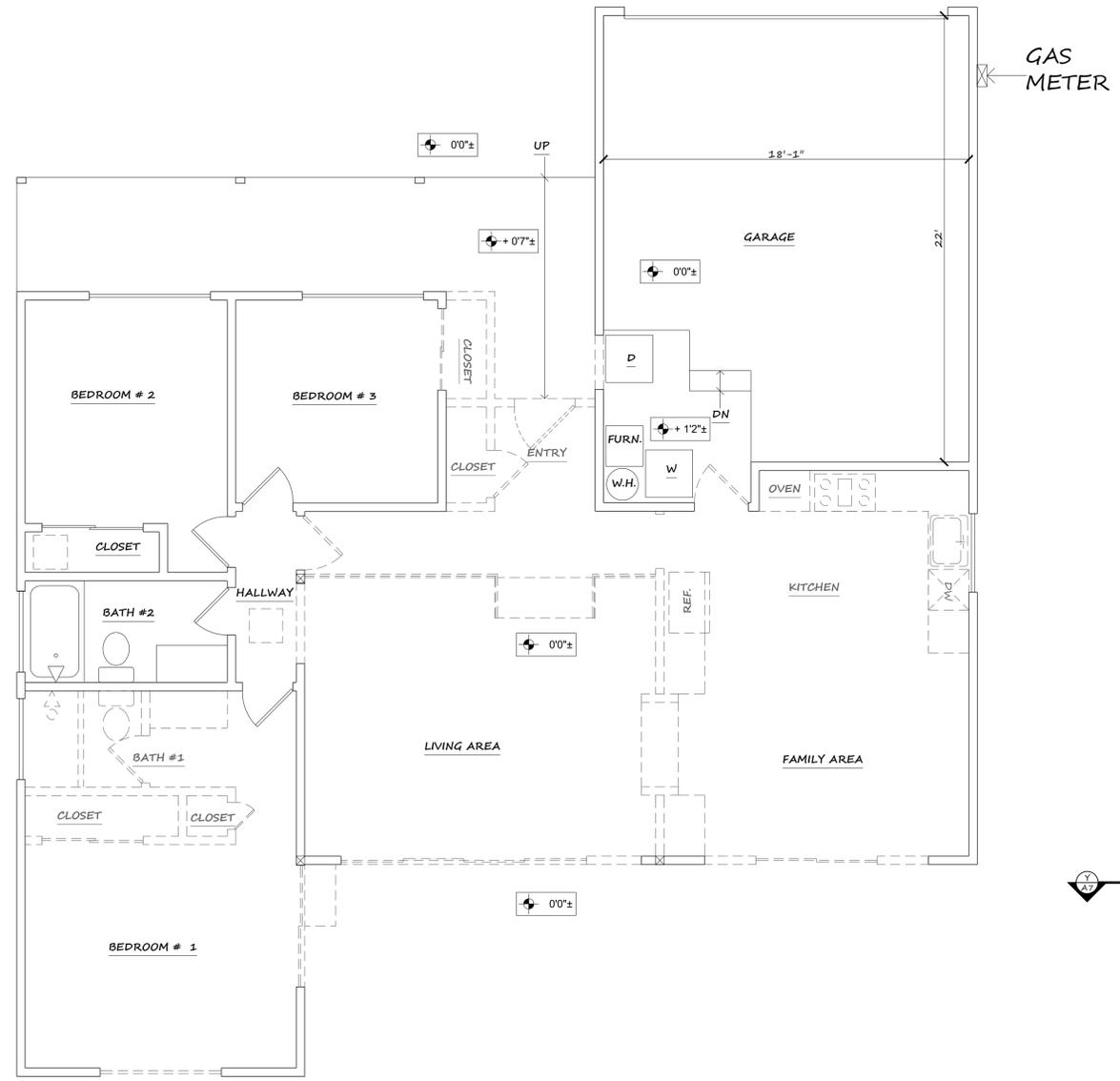
ALL (E) WINDOWS WHICH ARE NOT DUAL PANE VINYL SHALL BE REPLACED WITH (N) DUAL PANE VINYL WINDOWS.

CONTRACTOR IS NOT TO WASH THE WINDOWS OR REMOVE LABELS PRIOR TO INSPECTION AND VERIFICATION OF U&SHGC PROPERTIES.

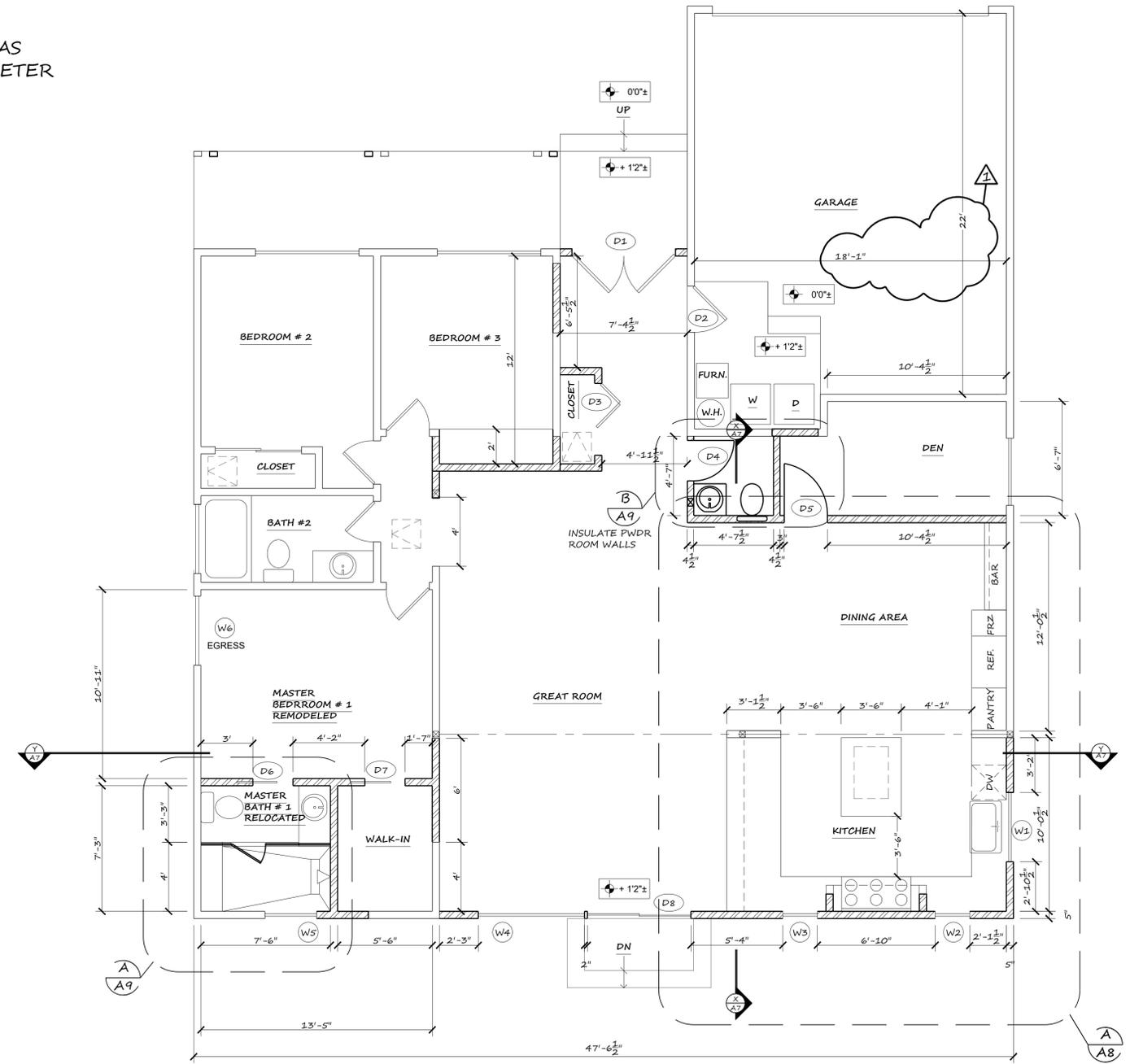
CONTRACTOR NOTE:

- ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
- PAINTS, STAINS & OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.
- DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
- ALL (E) WINDOWS WHICH ARE NOT DUAL PANE VINYL SHALL BE REPLACED WITH (N) DUAL PANE VINYL WINDOWS.
- CONTRACTOR TO VERIFY EXISTING WINDOWS U-VALUE & REPLACE THEM PER CITY REQUIREMENT
- CONTRACTOR IS NOT TO WASH THE WINDOWS OR REMOVE LABELS PRIOR TO INSPECTION AND VERIFICATION OF U&SHGC PROPERTIES.
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
- 50% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS LOW-EMITTING MATERIALS LIST OR CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE FLOORSORE PROGRAM.
- PARTICLE BOARD, MEDIUM FIBER BOARD & HARDWOOD PLYWOOD USED IN INTERIOR OR EXTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STDS.
- ALL WALLS REMOVED OR WALLS CUT FOR PENETRATIONS WILL BE FIELD VERIFIED AS NON-BEARING, NON-BRACED, AND NON-SHEAR WALLS.

LEGEND	
	NEW WALL
	EXISTING WALL
	DEMO WALL
	DETAIL NO. OF SHT. & LOCATION, DIRECTION OF CUT VIEW
	WINDOW NOS.
	DOOR NOS.
	EXISTING



EXISTING FLOOR PLAN (DEMO)
SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



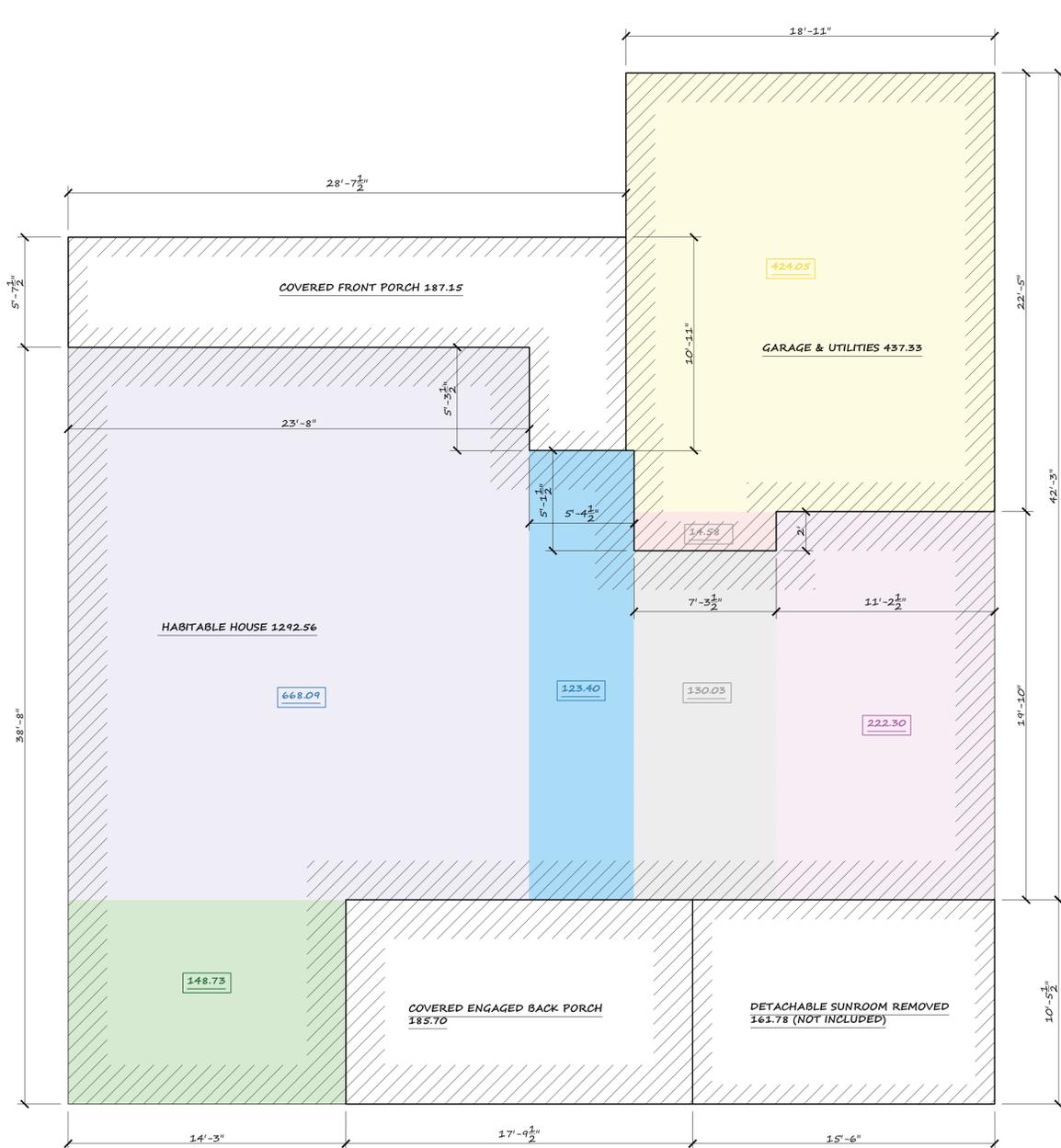
TITLE : EXISTING & PROPOSED FLOOR PLANS

PROJECT : Rajvi & Vipul Residence
ADDRESS : 642 Sobrato Lane, Campbell, CA

DESIGN BY:
Paulomi

SCALE : 1/4" : 1'
DATE : 05/24/23

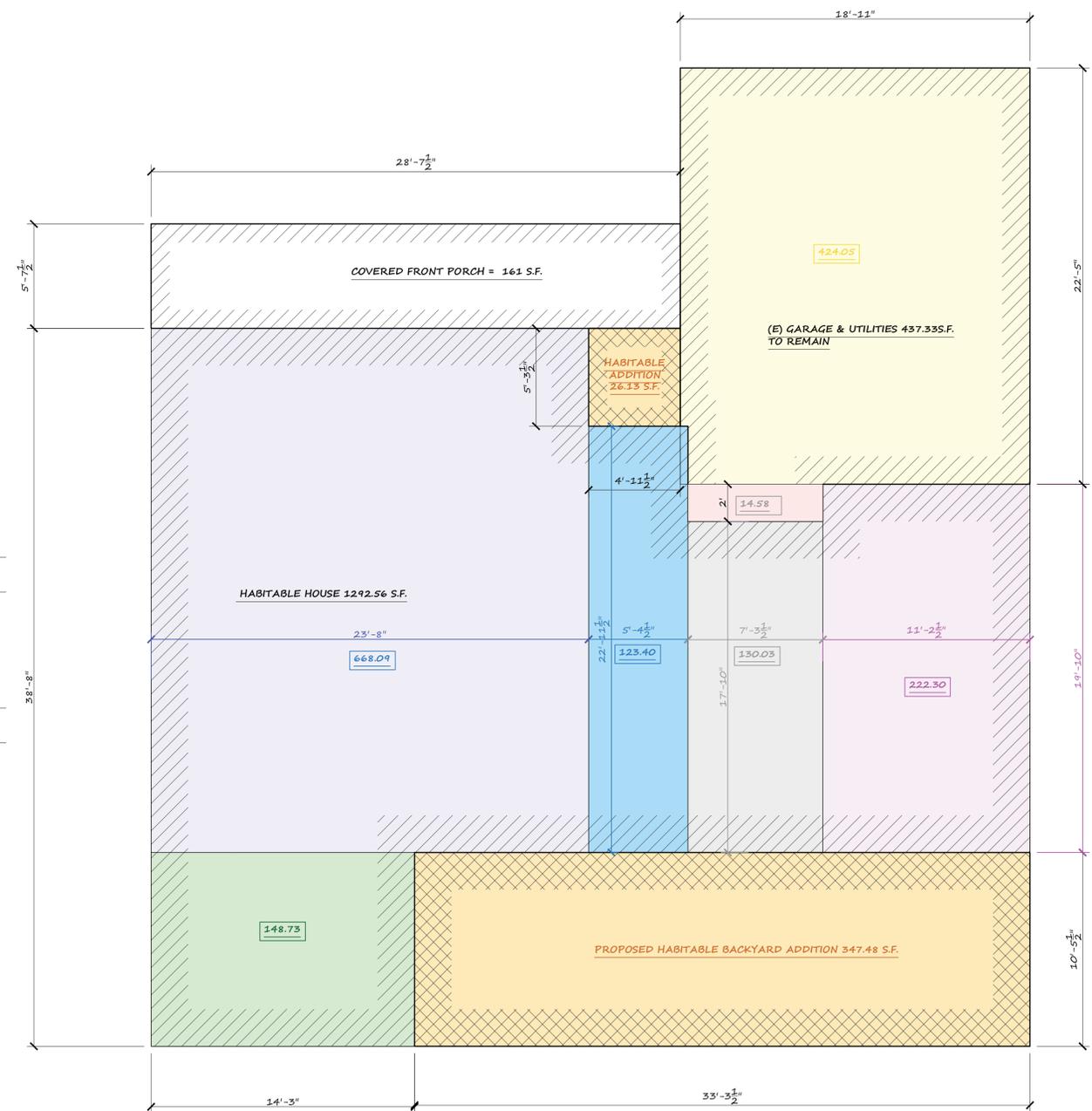
REVISIONS:
A3.1



EXISTING AREA CALCULATIONS

SCALE: 1/4" = 1'-0"

EXISTING BUILDING :	
	668.09
	123.40
	130.03
	222.30
	148.73
	14.58
	424.05
<hr/>	
(E) FRONT PORCH	187.15
(E) BACK PORCH	185.70
SUN ROOM	161.78
<hr/>	
(E) TOTAL	2,165.81
PROPOSED ADDED BUILDING :	
	347.48
	26.13
<hr/>	
ADDED TOTAL	373.61
NEW TOTAL BUILDING	
2,165.81 + 373.61 = 2,539.42 S.F.	



PROPOSED AREA CALCULATIONS

SCALE: 1/4" = 1'-0"

TITLE : AREA CALCULATIONS DIAGRAM

PROJECT : Rajvi & Vipul Residence
ADDRESS : 642 Sobrato Lane, Campbell, CA

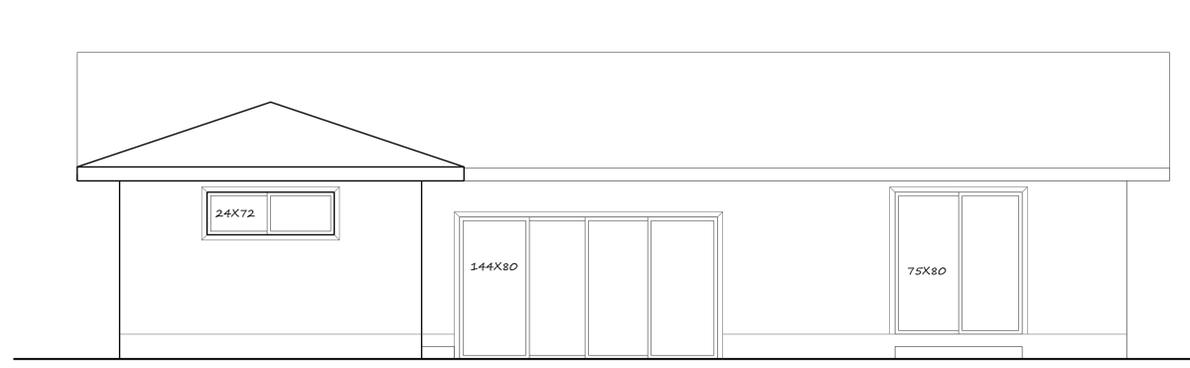
REVISIONS:  07/21/23
REVISED PER INTERIM
BLDG. REVIEW
COMMENTS 06/16/23

DESIGN BY:
Paulomi

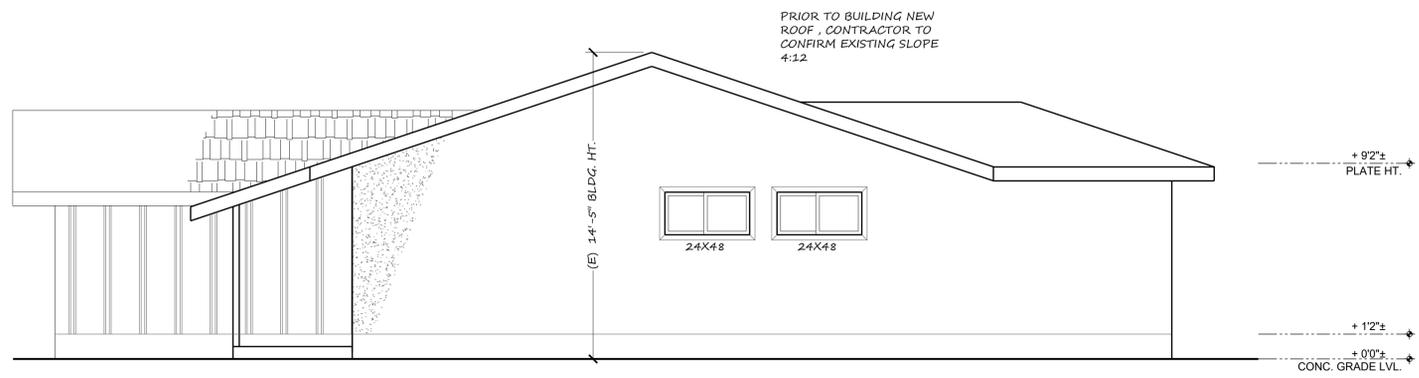
SCALE : 1/4" : 1'

DATE : 05/24/23

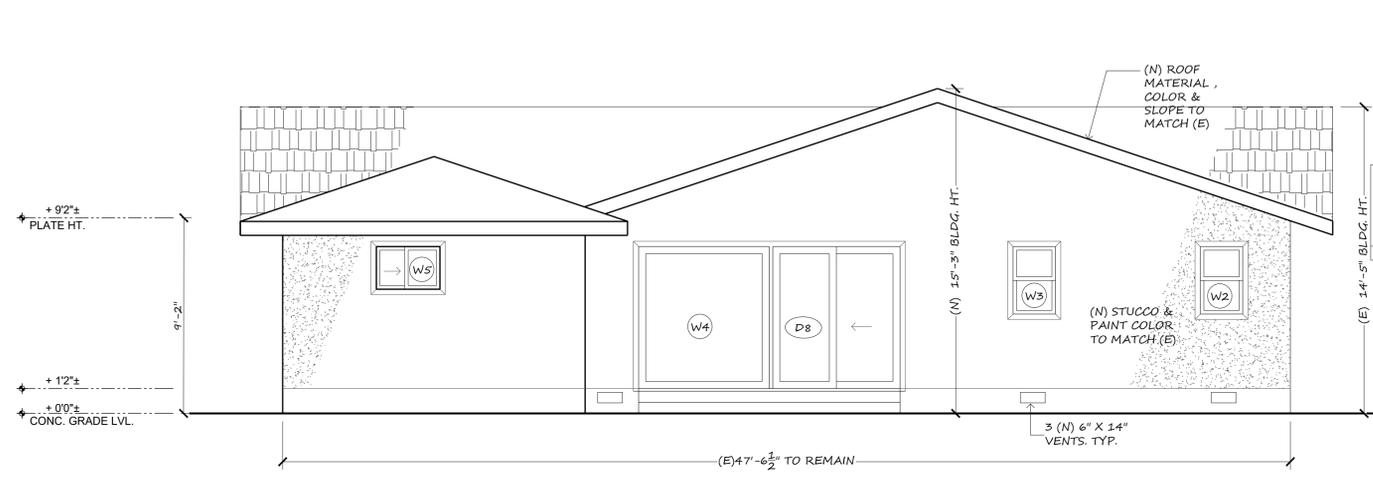
A3.2



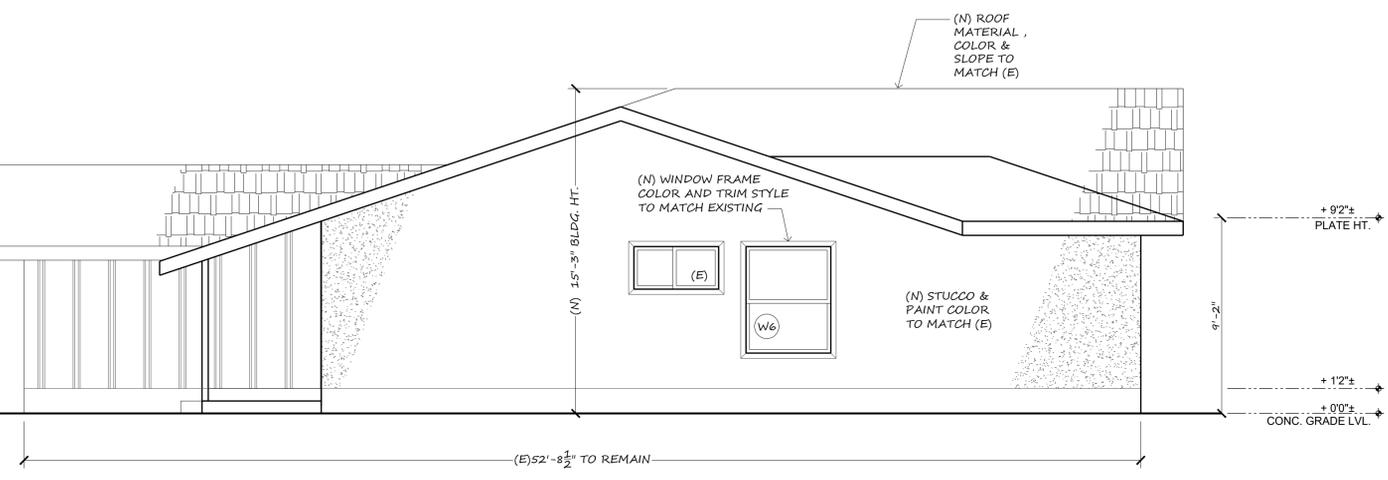
EXISTING SOUTH ELEVATION
SCALE: 1/4" : 1'-0"



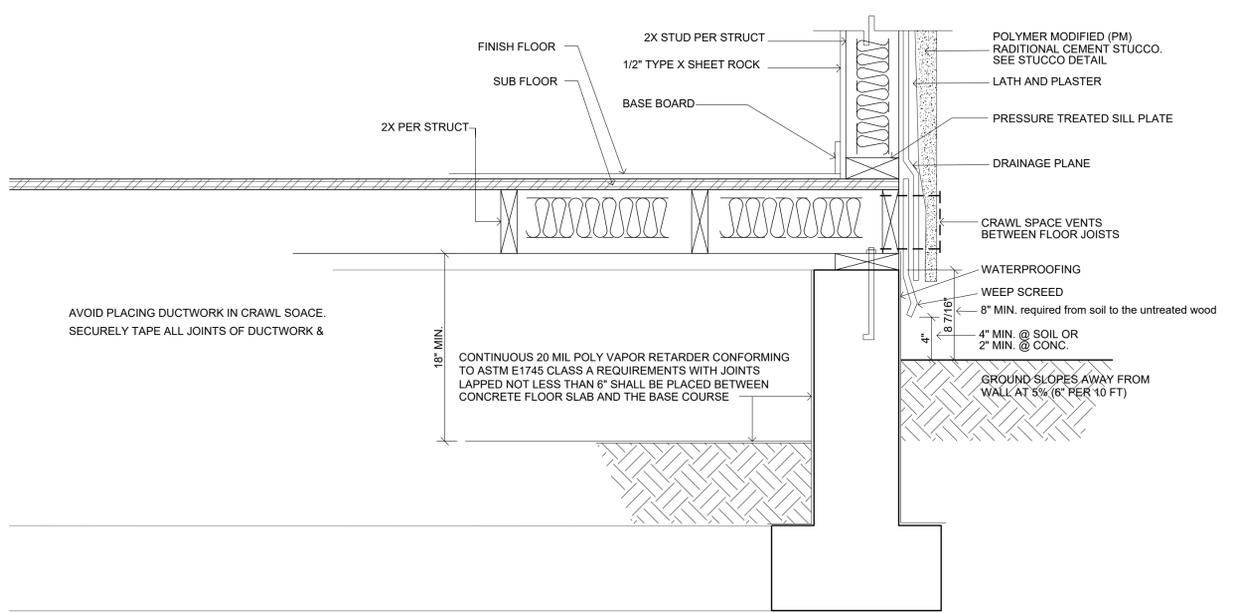
EXISTING WEST ELEVATION
SCALE: 1/4" : 1'-0"



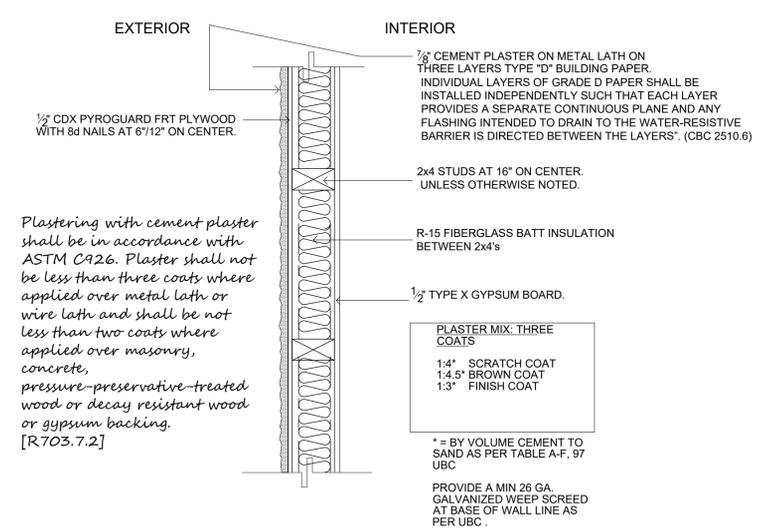
PROPOSED SOUTH ELEVATION
SCALE: 1/4" : 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/4" : 1'-0"



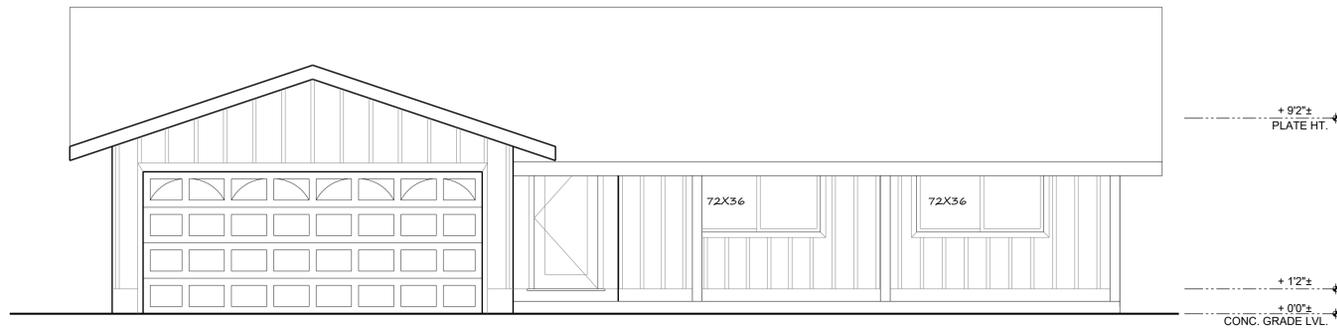
4 WEEP SCREED DETAIL
SCALE: N.T.S.



5 STUCCO DETAIL
SCALE: N.T.S.

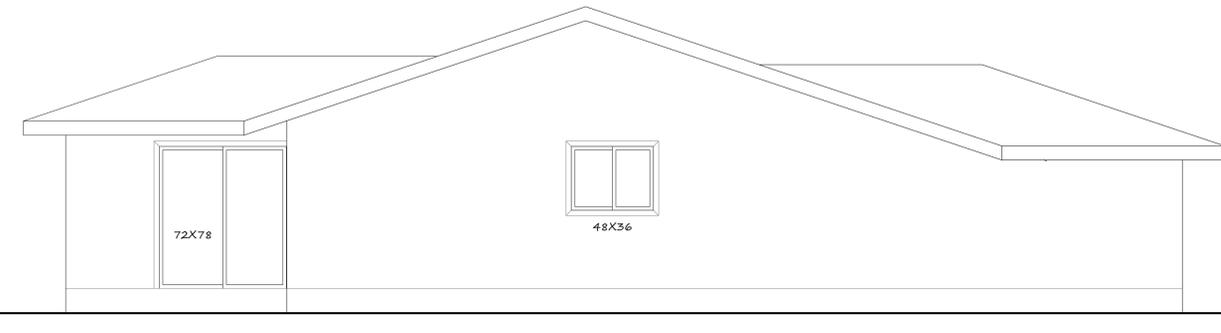
TYPICAL EXTERIOR ELEVATION NOTES:

- Contractor to note the following:
- A. Gutters and downspouts may not be shown, but they are required, and are to be copper & be approved homeowner prior to Contract. If unsure of layout or quantities, please request more information from the Designer. Gutters shall have a min. 1/16" per foot slope and all rainwater shall have a directed course away from the house and out to street (absolutely not to another property).
 - B. Proper venting is required, at soffits and at underside of bays and at crawlspaces. The existing conditions should be inspected for adequacy and the new design is required to show proper venting, according to Code, as indicated in these Specifications.
 - C. Eaves are to be detailed to match the existing condition. If the detail(s) provided do not indicate a complete match, the Designer is to be notified prior to work start.
 - D. Extent of window surround (casing) detailing at new windows/doors and/or upgrading around the house shall be clarified with homeowner prior to Contract.
 - E. Note that hose bibbs, irrigation controls, utility connections, crawlspace access and vents are all potentially affected around the house with the addition. Ensure that inventory of the same is completed prior to Contract.
 - F. Designer will provide clarification or details if requested. Please call the Designer if there are questions. Paulomi: 650-575-1014



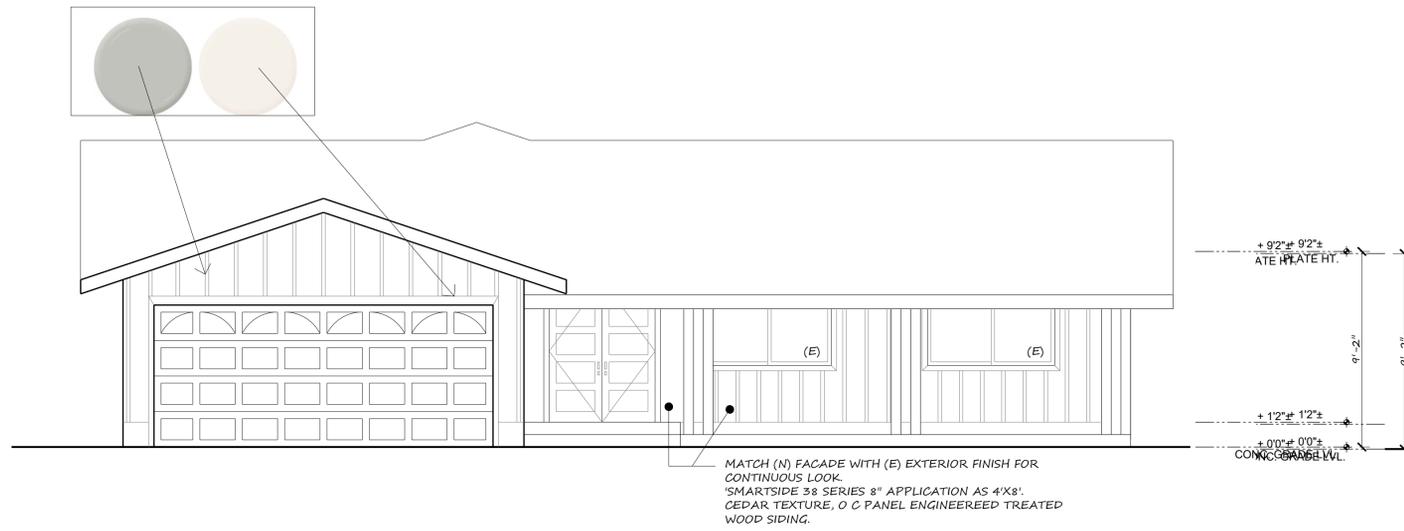
EXISTING NORTH ELEVATION

SCALE: 1/4" : 1'-0"



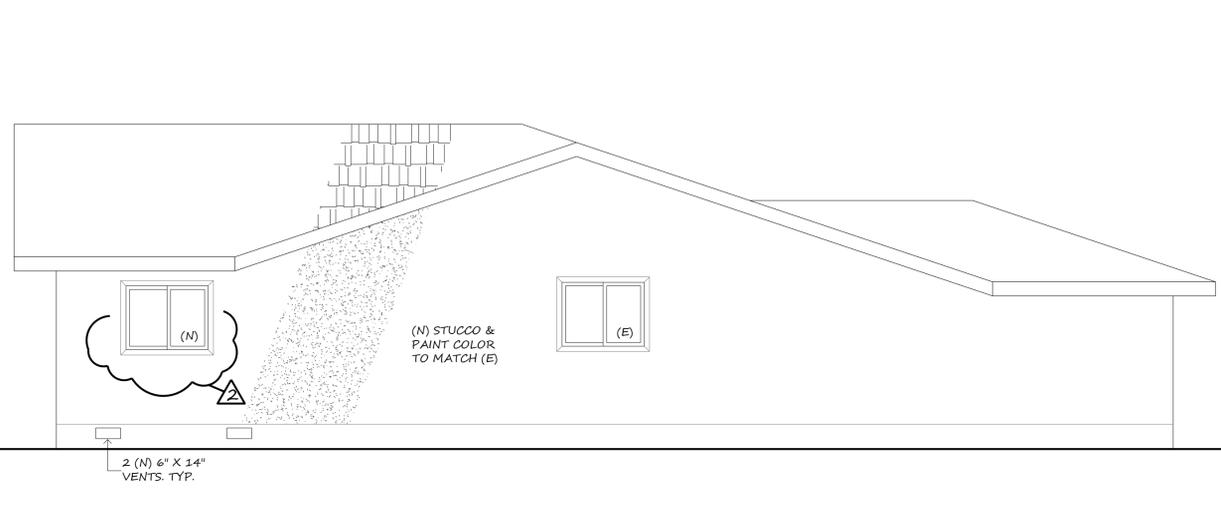
EXISTING EAST ELEVATION

SCALE: 1/4" : 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/4" : 1'-0"



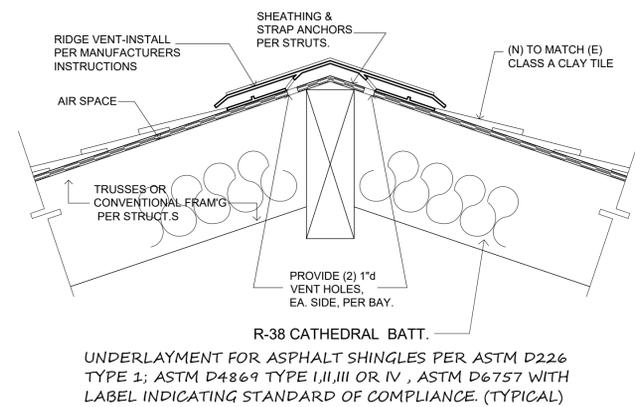
PROPOSED EAST ELEVATION

SCALE: 1/4" : 1'-0"

TYPICAL EXTERIOR ELEVATION NOTES:

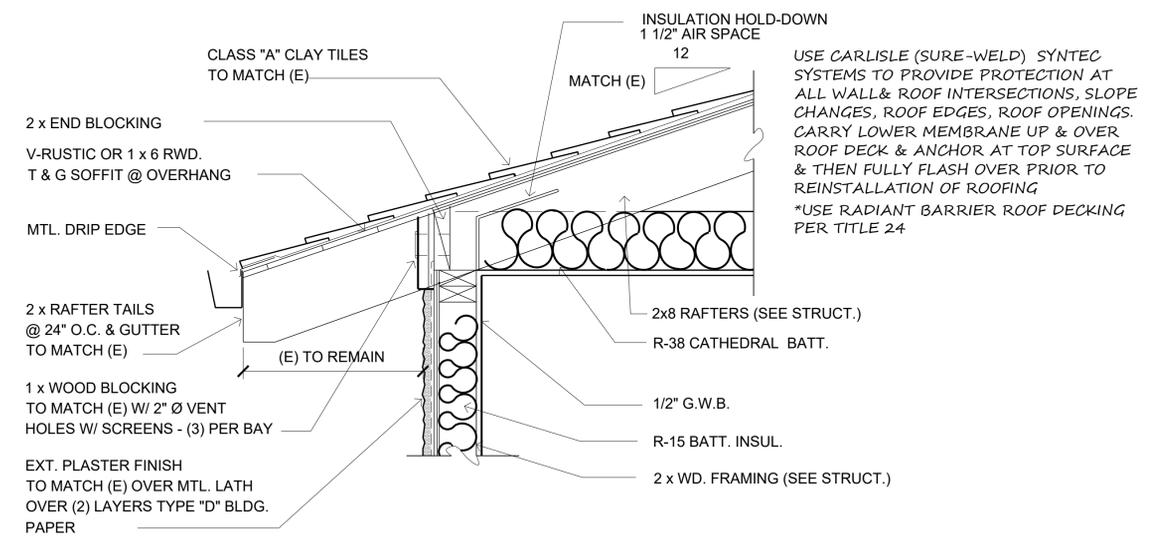
Contractor to note the following:

- A. Gutters and downspouts may not be shown, but they are required, and are to be copper & be approved homeowner prior to Contract. If unsure of layout or quantities, please request more information from the Designer. Gutters shall have a min. 1/16" per foot slope and all rainwater shall have a directed course away from the house and out to street (absolutely not to another property).
- B. Proper venting is required, at soffits and at underside of bays and at crawlspaces. The existing conditions should be inspected for adequacy and the new design is required to show proper venting, according to Code, as indicated in these Specifications.
- C. Eaves are to be detailed to match the existing condition. If the detail(s) provided do not indicate a complete match, the Designer is to be notified prior to work start.
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- F. Designer will provide clarification or details if requested. Please call the Designer if there are questions. Paulomi: 650-575-1014



1 RIDGE VENT DETAIL

SCALE: N.T.S.



2 EAVE DETAIL

SCALE: N.T.S.

TITLE : EXISTING & PROPOSED ELEVATIONS

PROJECT : Rajvi & Vipul Residence
ADDRESS : 642 Sobrato Lane, Campbell, CA

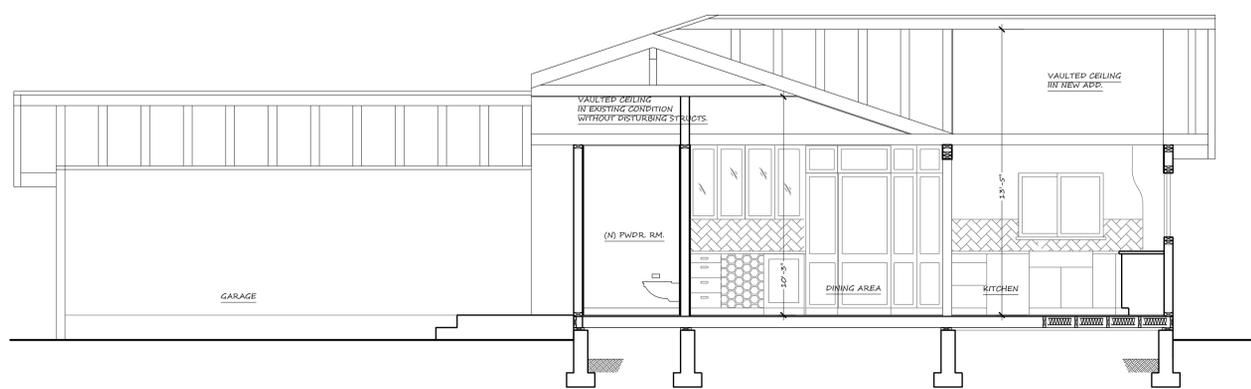
REVISIONS:

DESIGN BY:
Paulomi

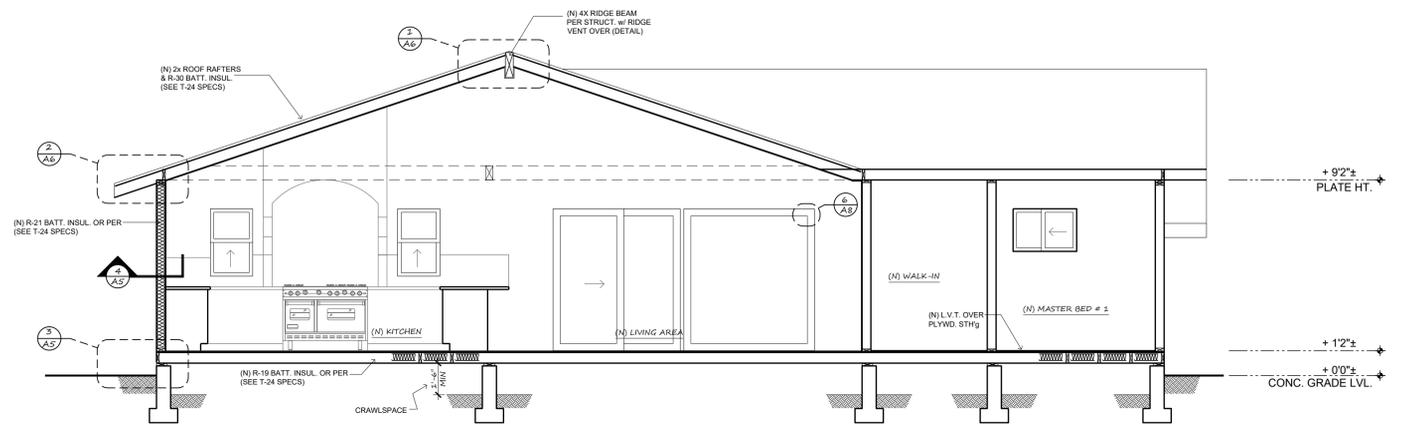
SCALE : 1/4" : 1'

DATE : 05/24/23

A6



BUILDING SECTION X-X
SCALE: 1/4" = 1'-0"



BUILDING SECTION Y-Y
SCALE: 1/4" = 1'-0"

NEW EXTENDED LINES FROM CRAWLSPACE

	= NEW (GASLINE)
	= EXISTING (GASLINE)
	= HOT
	= COLD

ELECTRICAL LEGEND

	DUPLEX OUTLET ABOVE COUNTER
	EXTERIOR DUPLEX OUTLET
	DUPLEX OUTLET, WALL SWITCH CONTROLLED
	220V OUTLET OR CONNECTION
	DUPLEX OUTLET, GROUND FAULT CIRCUIT INTERRUPTED
	DUPLEX OUTLET (GROUND TYPE)
	GARBAGE DISPOSAL
	DOOR CHIME
	ETHERNET (CAT6)
	TELEPHONE OUTLET
	TV OUTLET
	SINGLE POLE WALL SWITCH
	THREE WAY WALL SWITCH
	MOTION SENSOR SWITCH
	6" Ø RECESSED DIRECTIONAL CEILING LIGHT FIXTURE
	6" Ø RECESSED CEILING LIGHT FIXTURE
	SUSPENDED CEILING MOUNTED LIGHT FIXTURE
	SUSPENDED CEILING MOUNTED LIGHT & FAN FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE WITH ON/OFF CONTROL
	RECESSED CEILING FAN
	RECESSED CEILING LIGHT / FAN COMBINATION
	RECESSED CEILING LIGHT FOR WET AREA (DAMP LOCATIONS)
	SMOKE ALARM
	LED LIGHTBAR UNDER CABINET
	CARBON MONOXIDE ALARM

TYPICAL NOTE: ALL OUTLETS ARE AFCI, UNLESS NOTED AS GFCI

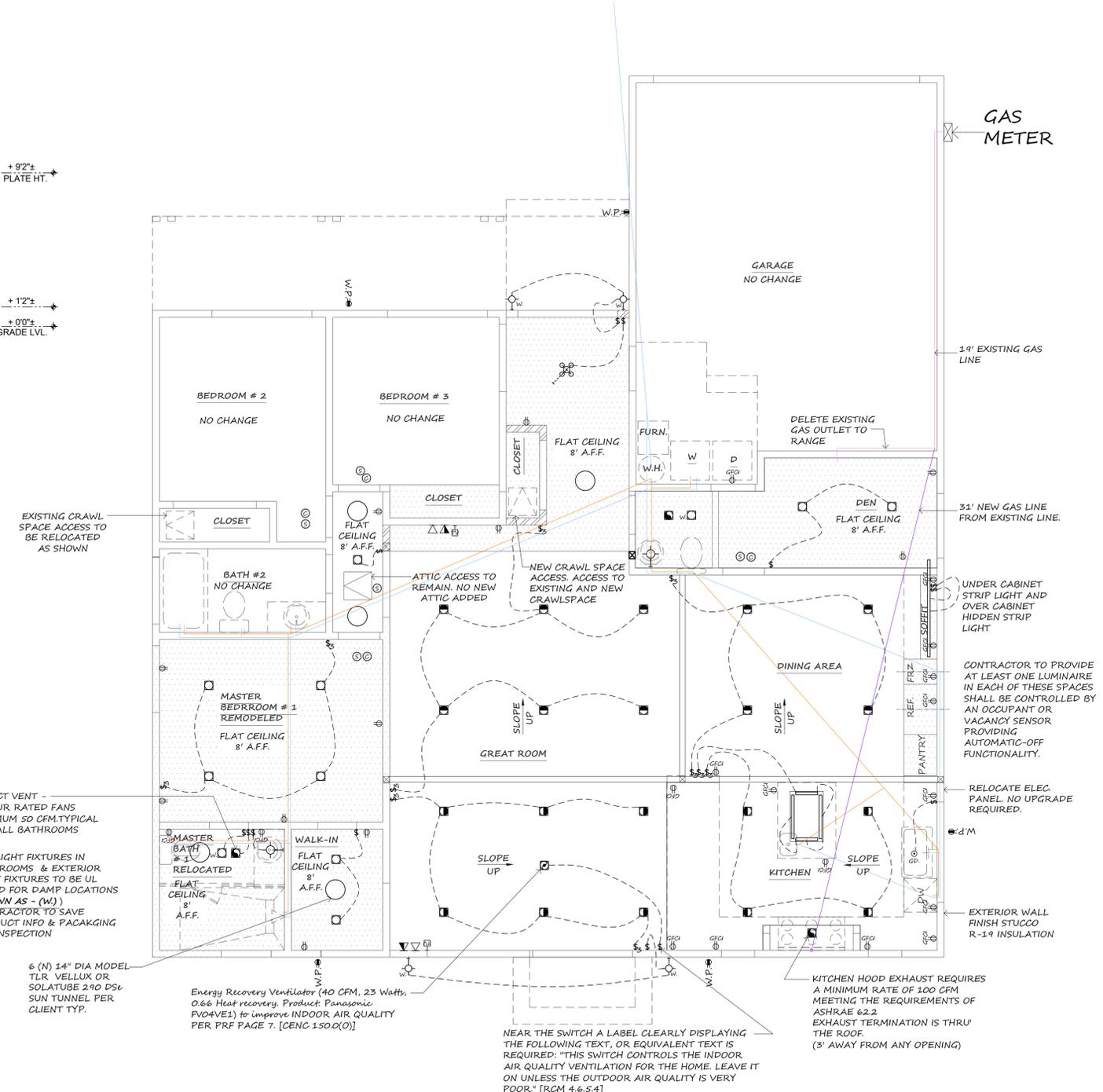
ELECTRICAL NOTES

- SERVICE TO BE UPGRADED TO 200A IN PHASE 1 PROJECT.
- GARAGE: CHECK ALL 125 VOLT, SINGLE PHASE, 15 & 20 AMP RECEPTACLES INSTALLED IN GARAGE NOT DEDICATED TO A SINGLE DEVICE OR APPLIANCE SHALL BE GFCI PROTECTED PER CEC ARTICLE 210.8
- EXTERIOR: ALL EXTERIOR OUTLETS TO BE ON GFCI & WP PER CEC ARTICLE 210.8
- ALL KITCHEN OUTLETS TO BE G.F.C.I. (TYP)
- KITCHEN SKYLIGHT IS ELECTRIC POWERED VENTING.

CONTRACTOR NOTE:

- ANNULAR SPACES AROUND PIPED, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONC. MASONRY.
- ALL (E) DUCT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
- EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM
- WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS AND LOUVERS SHALL HAVE MINIMUM INSULATION VALUE OF R-4.2
- DUCT SYSTEMS ARE SIZED, DESIGNED & EQUIPMENT IS SELECTED USING THE METHODS DESCRIBED IN 4.507.2 OF A9.

(E) SMOKE DETECTORS, TYP.
CLIENT / CONTRACTOR NOTE: VERIFY ON FIELD
TYPICAL EXISTING SMOKE ALARMS AND CARBON MONOXIDE ALARM. IF THE SMOKE ALARMS CURRENTLY INSTALLED IN THE RESIDENCE ARE MORE THAN 10 YEARS OLD (10 YEARS FROM THE DATE OF INSTALLATION) THEY ARE REQUIRED TO BE REPLACED WITH NEW SMOKE ALARMS IN ACCORDANCE WITH THE CITY OF PALO ALTO MUNICIPAL CODE



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

TITLE: REFLECTED CEILING PLAN & BUILDING SECTION

PROJECT: Rajvi & Vipul Residence
ADDRESS: 642 Sobrato Lane, Campbell, CA

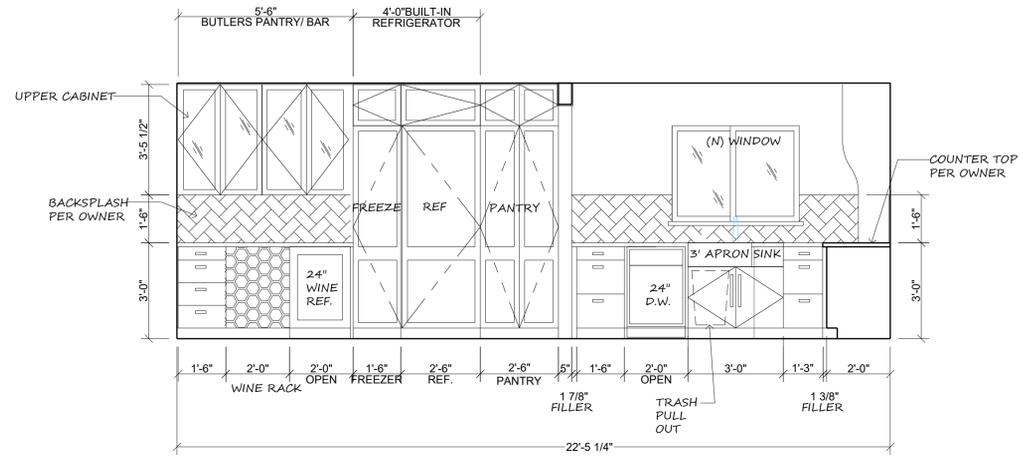
REVISIONS:

DESIGN BY: Paulomi

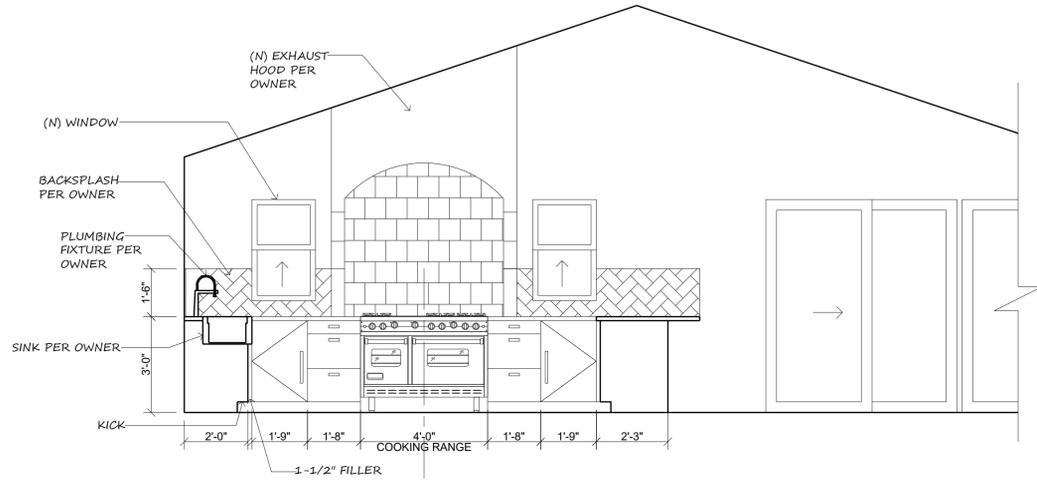
SCALE: 1/4" = 1'

DATE: 05/24/23

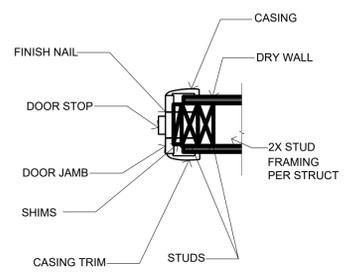
A7



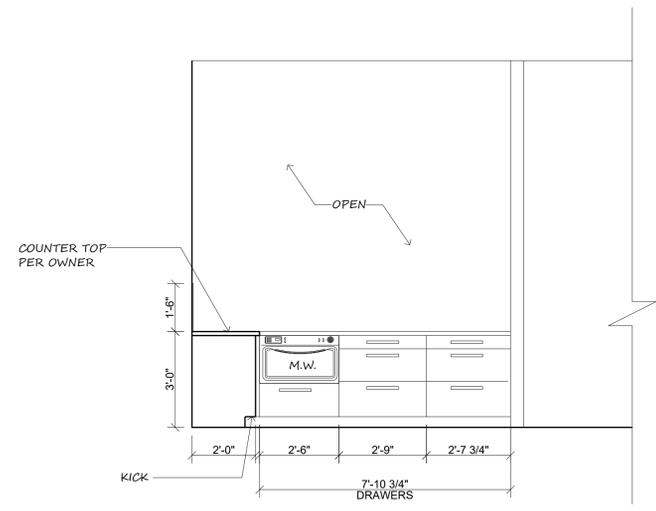
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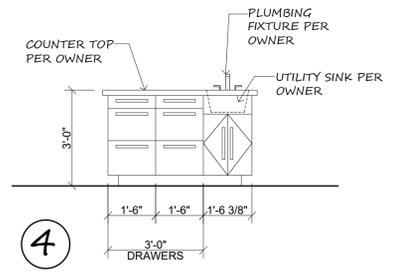
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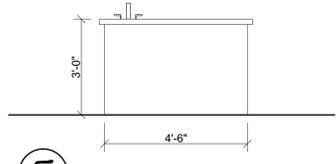
6 INDOOR DOOR TRIM DETAIL
SCALE: N.T.S.



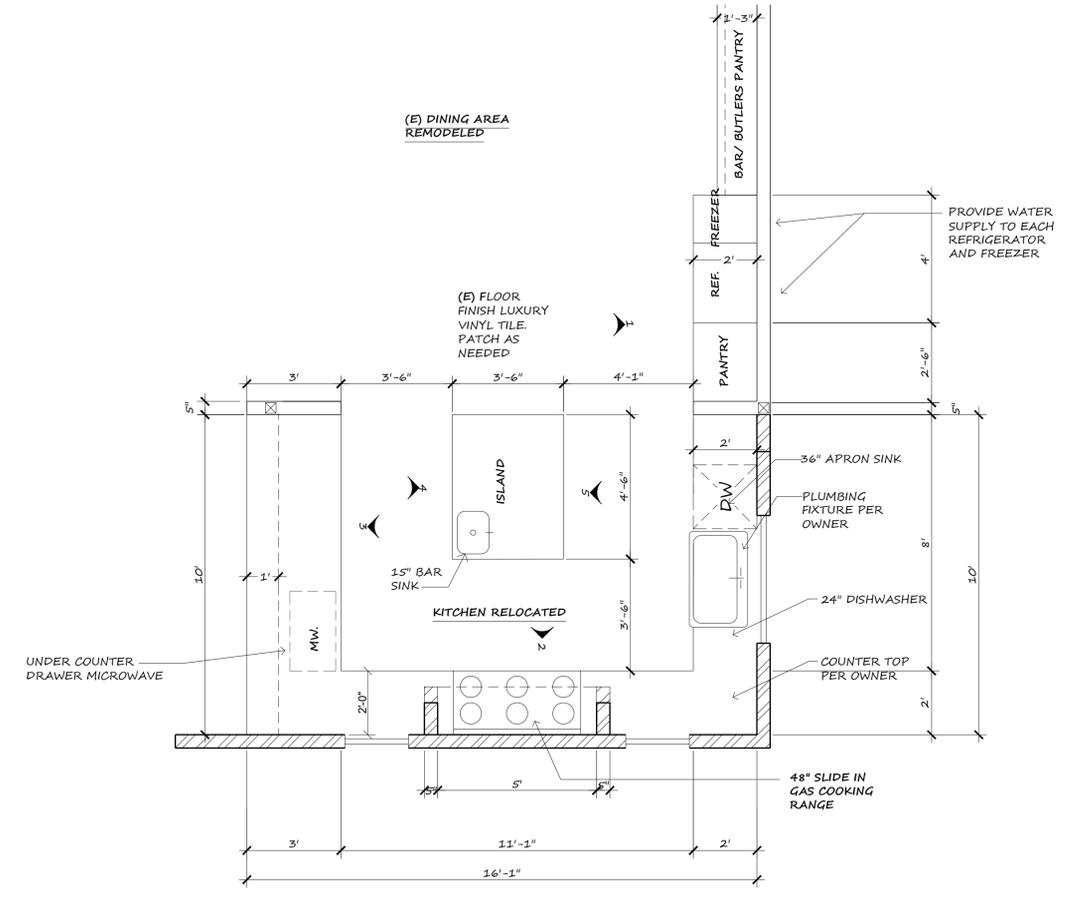
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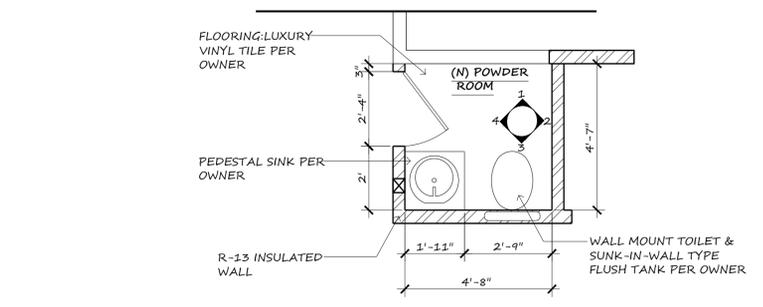
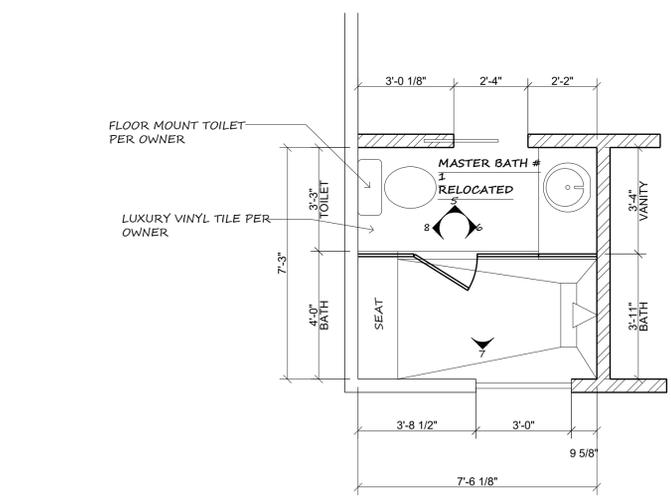
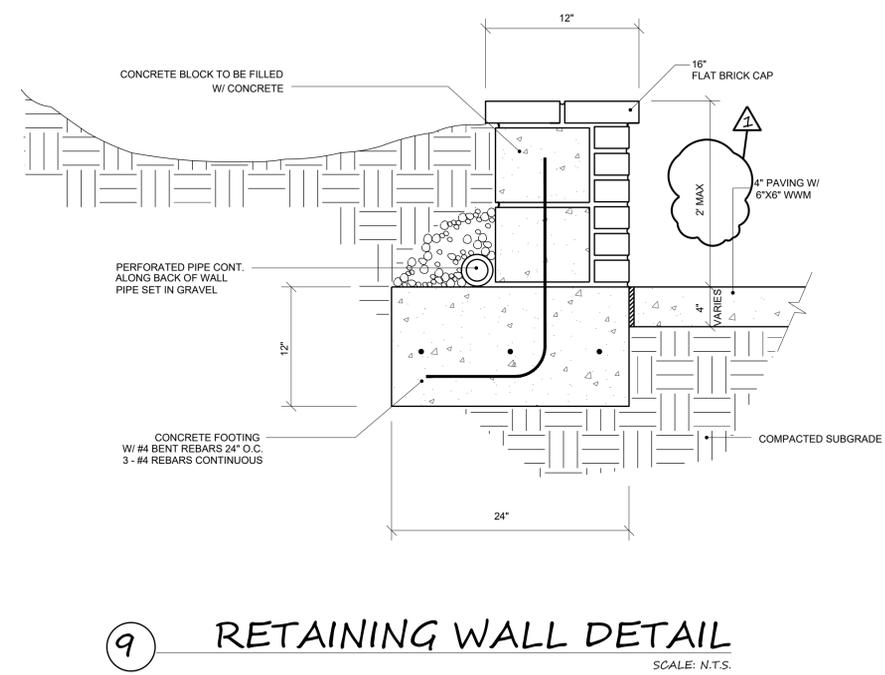
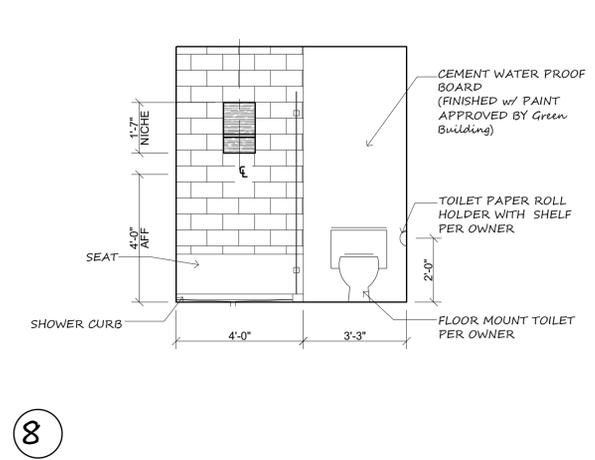
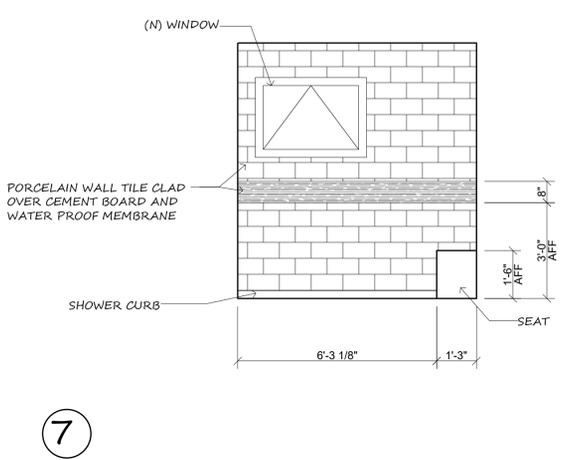
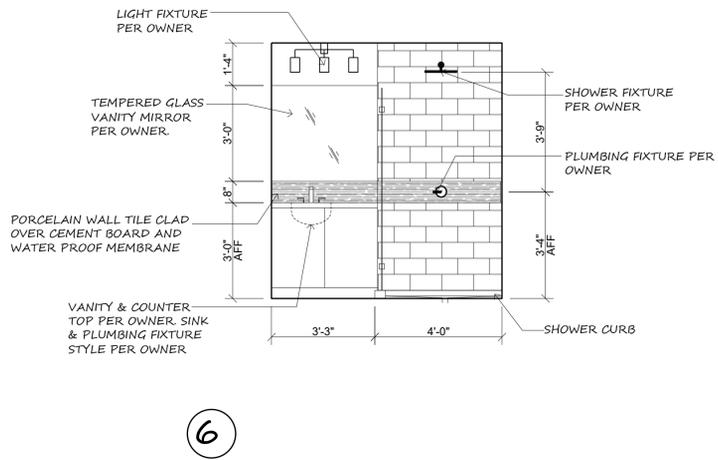
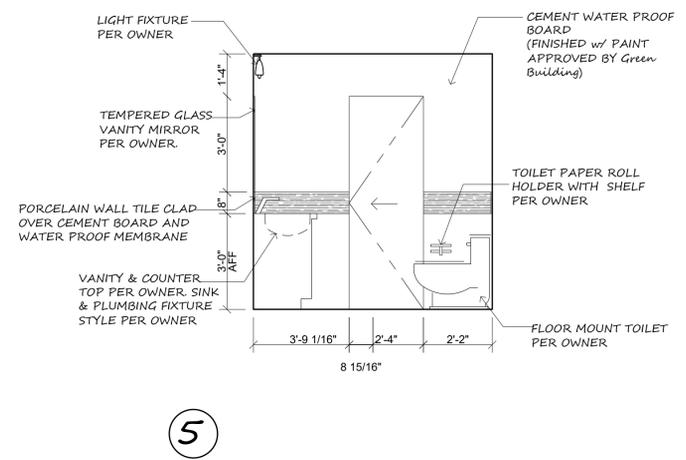
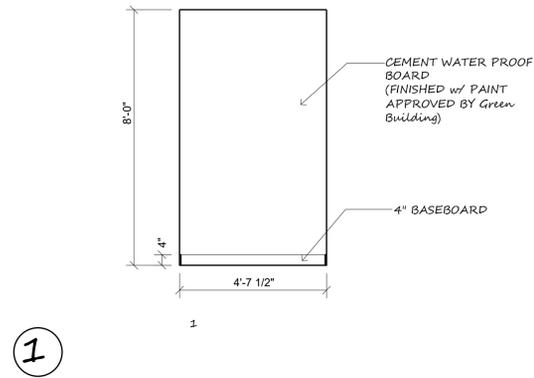
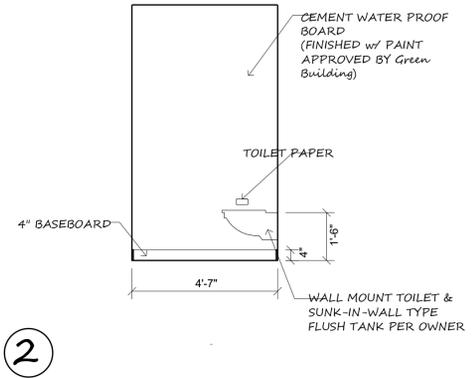
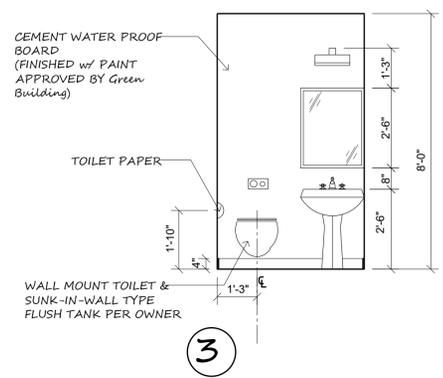
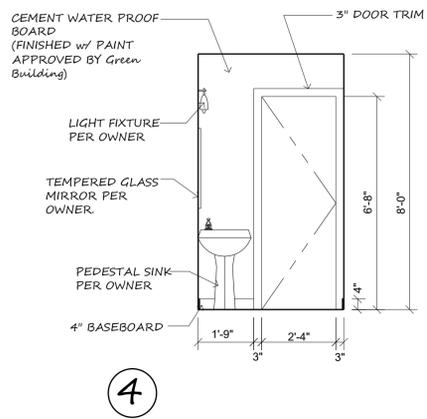
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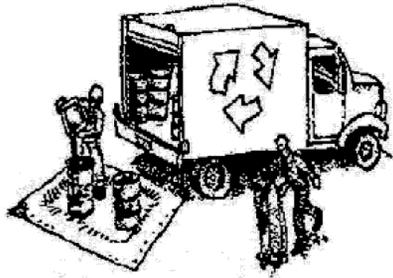
A ENLARGED KITCHEN PLAN
SCALE: 3/8" = 1'-0"



Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- Use (but don't overuse) reclaimed water for dust control.
- Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Keep site free of litter (e.g. lunch items, cigarette butts).
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



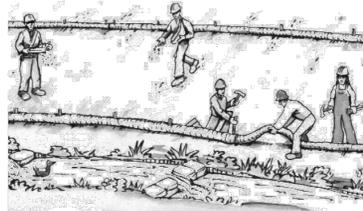
Maintenance and Parking

- Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

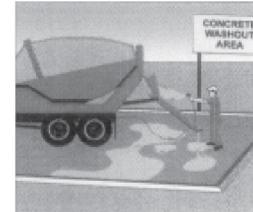
Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.
- If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Management

- Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



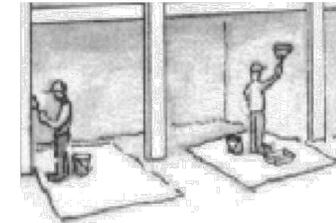
Paving

- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- Protect storm drain inlets during saw cutting.
- If saw cut slurry enters a catch basin, clean it up immediately.
- Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



**Santa Clara Valley
Urban Runoff
Pollution Prevention Program**

TITLE : CONSTRUCTION BEST MANAGEMENT PRACTICES

PROJECT : Rajvi & Vipul Residence
ADDRESS : 642 Sobrato Lane, Campbell, CA

REVISIONS:

DESIGN BY:
Paulomi

SCALE : N.T.S.

DATE : 05/24/23

A10

Storm drain polluters may be liable for fines of up to \$10,000 per day!

**MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELo)
SHORT FORM PRESCRIPTIVE COMPLIANCE**

Applicant Information:

Name: _____

Phone: _____

Address: _____

Email: _____

Project

Site Address: _____

Project Type (*new dwelling, commercial, or rehab*): _____

This project does incorporate landscaping equal to or less than 2500 sq ft and will be using this form to identify prescriptive requirements which will be included as part of the landscape project. (Please provide the information below specific to the landscape area and identify the location on the plans each design measure can be found using the LANDSCAPE WATER-EFFICIENCY (MWELo) APPENDIX – D CHECKLIST on page two):

Total Landscape Area (sq. ft.): _____ Turf Area (sq. ft.): _____

Non-Turf Plan Area (sq. ft.): _____ Special Landscape Area (sq. ft.): _____

Water Type (*potable, recycled, well*): _____ Name of water purveyor (*If not served by private well*): _____

Signature

I certify the above information is correct and agree to comply with the requirements of the MWELo.

Signature of property owner or authorized representative Date

LANDSCAPE WATER-EFFICIENCY (MWELo) APPENDIX – D CHECKLIST (Can only be used when aggregate landscape areas are 2,500 square feet or less)

Landscape Parameter	Design Measures	Location on Plans

Compost	Incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).	
Plant Water Use	<u>Residential</u> : Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water. <u>Non-residential</u> : Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water.	
Mulch	A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.	
Turf	Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects.	
	Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width.	
	Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.	
Irrigation System	Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor.	
	Irrigation controller programming data will not be lost due to an interruption in the primary power source.	
	Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff.	
	A private landscape submeter is installed at non-residential landscape areas of 1,000 sq. ft. or more.	

Signature

I agree to comply with the requirements of the prescriptive compliance option of the MWELo per Appendix D.

Signature of property owner or authorized representative Date

Note

For the purposes of this for landscape area includes all the planting areas, turf areas, and water features in a landscape design plan subject to the Maximum Applied Water Allowance calculation. The landscape area does not include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios, gravel or stone walks, other pervious or non-pervious hardscapes, and other non-irrigated areas designated for non-development (e.g., open spaces and existing native vegetation).



PROJECT : Rajvi & Vipul Residence
ADDRESS: 642 Sobrato Lane, Campbell, CA

TITLE : MWELo FORM

DESIGN BY: *Paulomi*

SCALE : N.T.S.

DATE : 05/24/23

A12