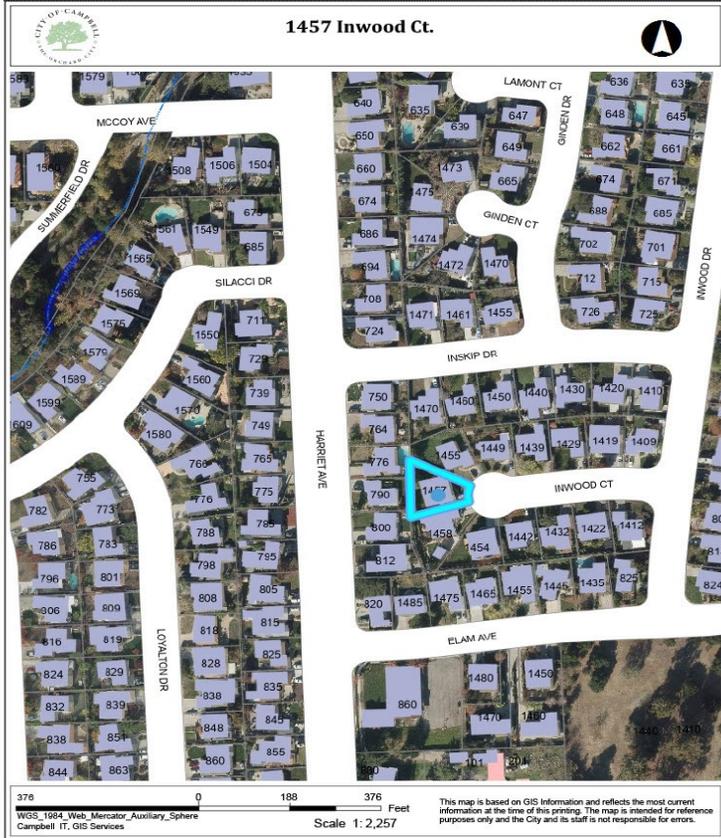
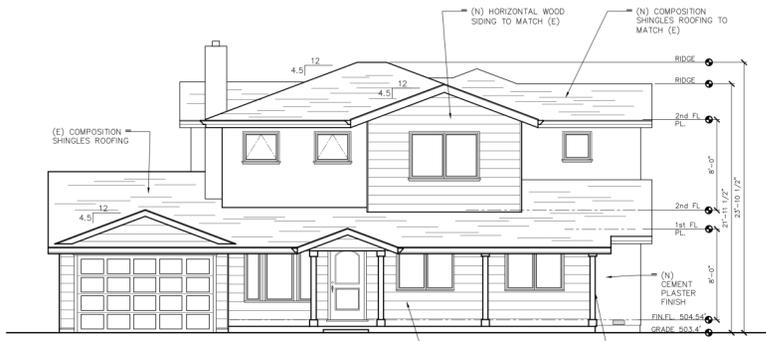


Location of Proposed Project




City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Courtesy Notice

Dear Campbell Resident,

December 8, 2023

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 1457 Inwood Ct.

Zoning | Area Plan: R-1-6 | STANP

Neighborhood Association(s): N/A

Council District: 5

File No: PLN-2023-193

APN: 403-08-033

Applicant: Milano & Associate Architects

Property Owner: Sparry John R and Kelly A Trustee

Application Type: Administrative Site and Architectural Review Permit

Project Planner: Ishwarya, Planning Technician

Email Contact: ishwarya@campbellca.gov

Phone Contact: (408) 866-2163

Project Description:

To allow a 1,104 square-foot addition to an existing single-family dwelling.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

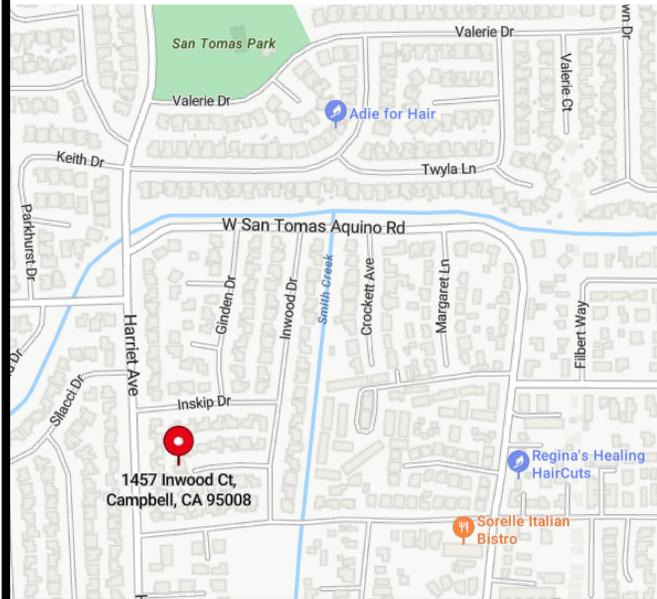
Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



SPARRY RESIDENCE

1457 INWOOD CT, CAMPBELL, CA 95008



VICINITY MAP

6

CITY OF CAMPBELL ZONING REGULATIONS:

ZONING DISTRICT :	R-1-6
TYPE OF CONSTRUCTION :	VB
OCCUPANCY GROUP :	R3/U
A.P.N. :	403-08-033
ALLOWABLE AREA:	
LOT SIZE:	6,462 S.F.
F.A.R. = 45%	2,908 S.F.
LOT COVERAGE = 40%	2,585 S.F.
SETBACKS REQUIRED :	
FRONT :	20 FT.
REAR :	20 FT.
SIDE 1ST FLOOR:	5 FT.
SIDE 2ND FLOOR:	1/2 HT. OF BUILDING WALL
MAX. ALLOWED BUILDING HEIGHT :	28'-0"
PROPOSED BUILDING HEIGHT :	23'-11"
EXISTING CONDITIONED FLOOR AREA	1,455 S.F.
EXISTING GARAGE	344 S.F.
EXISTING FRONT PORCH	158 S.F.
PROPOSED ADDITION FIRST FLOOR:	90 S.F.
PROPOSED NEW CONDITIONED AREA FIRST FLOOR:	1,545 S.F.
PROPOSED NEW CONDITIONED AREA SECOND FLOOR:	1,014 S.F.
PROPOSED TOTAL CONDITIONED FLOOR AREA	2,559 S.F.
PROPOSED NEW REAR PORCH	151 S.F.
TOTAL (N) F.A.R.:	1,889 + 1,014 = 2,903 S.F. (44.9%) (does not incl. porch)
TOTAL (N) LOT COVERAGE:	1,545 + 344 + 158 + 151 = 2,198 S.F. (34%)

BUILDING IS NOT EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM

PROJECT SUMMARY

3

ADDITION AND REMODEL TO INCLUDE:

- NEW SECOND FLOOR WITH 3 BEDROOMS & 2 BATHS
- NEW STAIRCASE TO ACCESS NEW SECOND FLOOR
- NEW REAR PORCH
- RE-BUILD SLAB AT (E) FRONT PORCH
- (E) HOUSE HAS 3 BEDROOMS AND 2 BATHS; REMODELED HOUSE WILL HAVE 6 BEDROOMS AND 4 BATHS

SCOPE OF WORK

5

ARCHITECT
LILI MILANO
MILANO & ASSOCIATES ARCHITECTS
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SAN JOSE, CA 95125
TEL: (650) 271-0538
EMAIL: lili_milano@yahoo.com

LAND SURVEYOR
WILSON LAND SURVEYS
261 CARLTON CT
LOS GATOS, CA 95032
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EMAIL: kenw@wilsonlandsurveys.com

THE DOCUMENTS PREPARED BY THESE CONSULTANTS ARE AN INTEGRAL PART OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS AND SHALL BE INCORPORATED INTO THIS SET BY REFERENCE, I.E. SOILS REPORT, TITLE-24, STRUCTURAL CALCULATIONS, ETC. THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED. THE CONTRACTOR SHALL OBTAIN CURRENT COPIES OF ALL DOCUMENTS, READ, UNDERSTAND AND CONFIRM ANY CONFLICTS OR DISCREPANCIES OR QUESTIONS WITH APPROPRIATE CONSULTANTS.

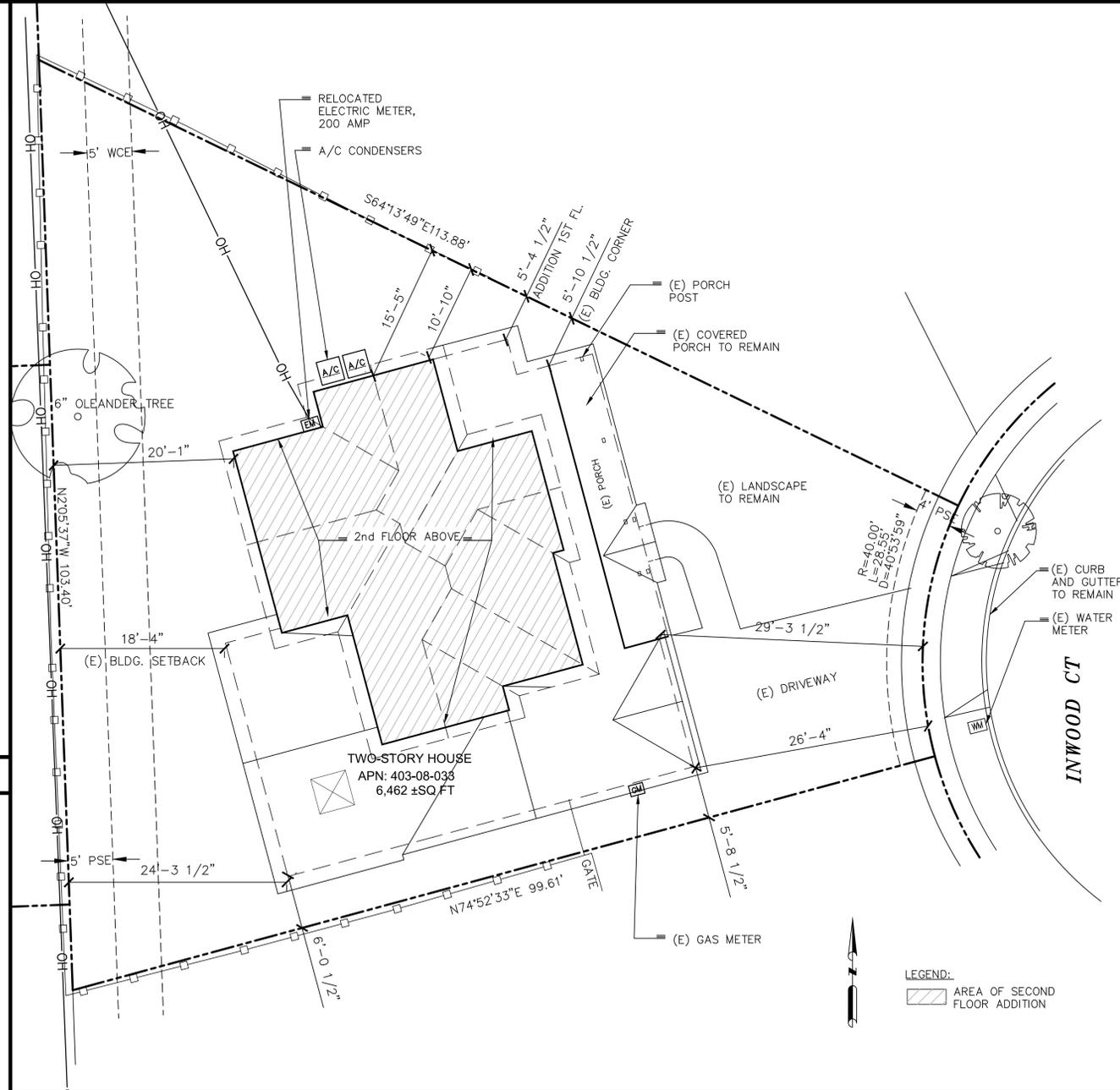
CONSULTANTS

4

SHEET #	DESCRIPTION
A0.0	PROPOSED SITE PLAN, PROJECT SUMMARY, CONSULTANTS, SHEET INDEX, VICINITY MAP
A0.1	SITE PHOTOGRAPHY SHEET
A1.0	EXISTING FLOOR PLAN w/ DEMOLITION NOTES
A2.0	PROPOSED FIRST FLOOR PLAN
A2.1	PROPOSED SECOND FLOOR PLAN
A2.2	PROPOSED ROOF PLAN & CAL-GREEN REQUIREMENTS
A2.3	FLOOR AREA DIAGRAM/ SQ. FT. CALCULATIONS & PRIVACY PLAN
A3.0	(E) & (N) FRONT ELEVATIONS
A3.1	(E) & (N) RIGHT SIDE ELEVATIONS
A3.2	(E) & (N) REAR ELEVATIONS
A3.3	(E) & (N) LEFT SIDE ELEVATIONS

SHEET INDEX

2



PROPOSED SITE PLAN

1/8" = 1'-0"

1

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ADDITION & REMODEL FOR:
JOHN AND KELLY SPARRY
1457 INWOOD CT
CAMPBELL, CA 95008

APN: 403-08-033
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CITY OFFICIAL STAMPS

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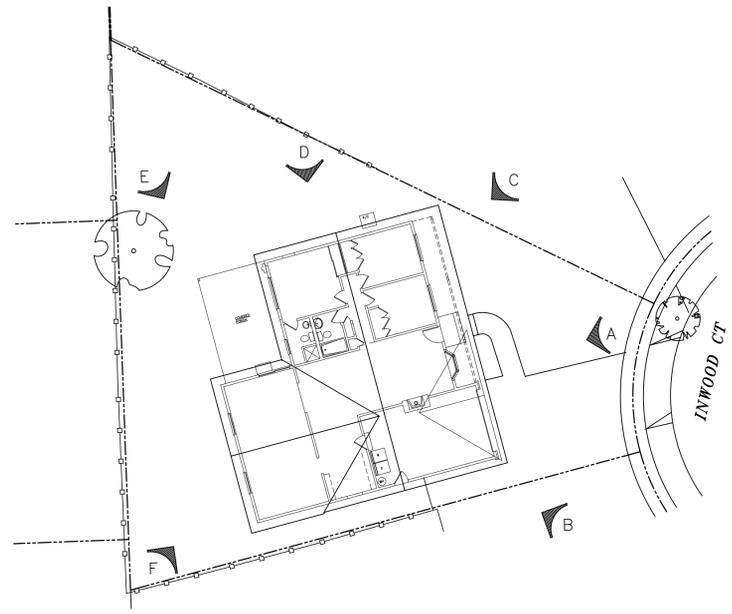
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(A) HOUSE FRONT



(B) HOUSE LEFT SIDE- FRONT



(C) HOUSE RIGHT SIDE FRONT



(D) HOUSE SIDE VIEW OF REAR PORCH

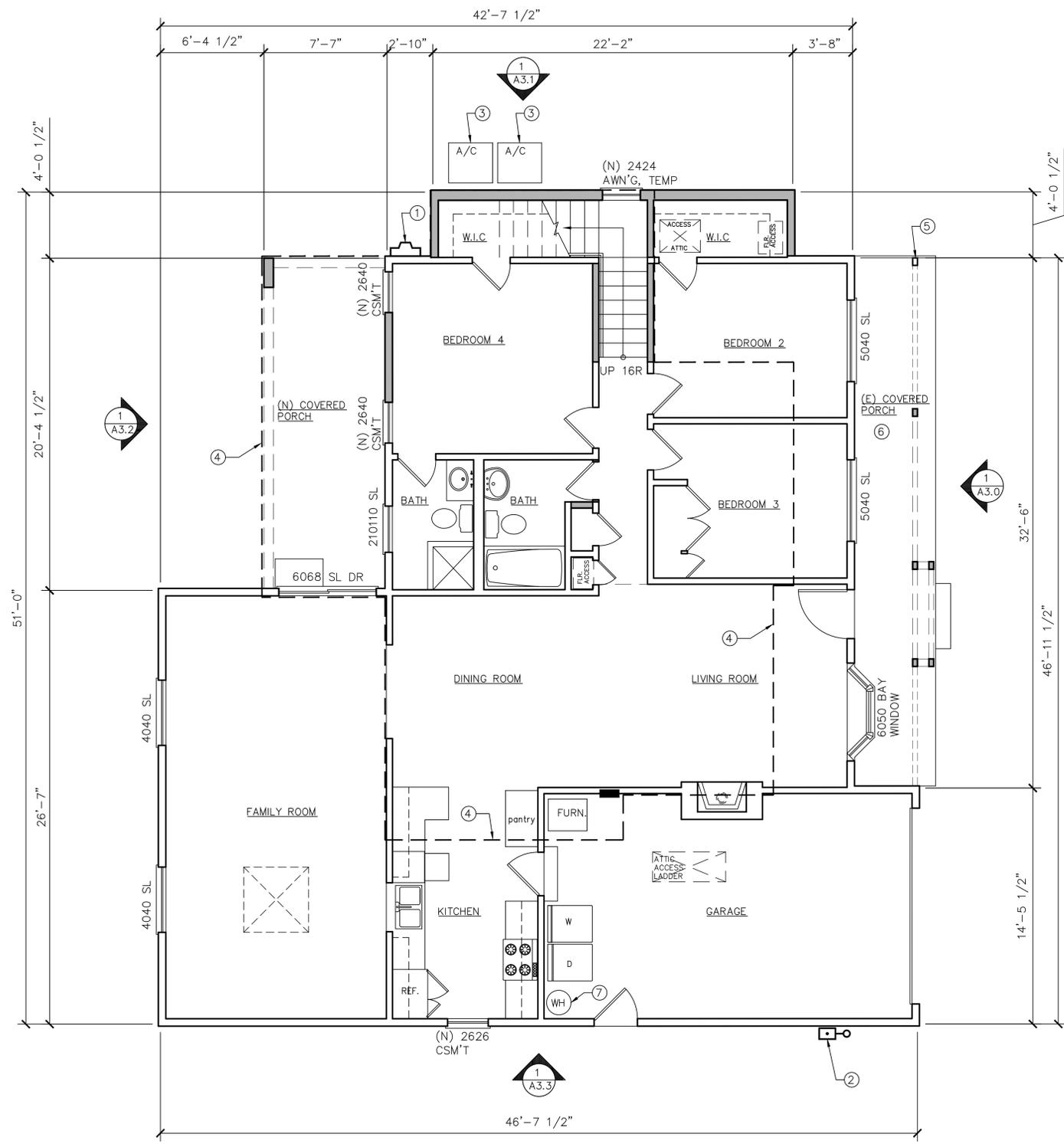


(E) HOUSE REAR VIEW OF PORCH/FAMILY ROOM



(F) HOUSE REAR VIEW OF FAMILY ROOM

SITE PHOTOGRAPHY SHEET



GENERAL NOTES:

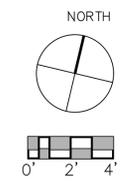
ALL DIMENSIONS ARE TO FACE OF STUD, EDGE OF FOUNDATION OR TO CENTERLINE OF DOOR OR WINDOW, TYP. U.N.O.

KEY NOTES:

- ① RELOCATED ELECTRICAL METER. UPGRADE METER TO 200 amp
- ② (E) GAS METER
- ③ AIR CONDITIONER CONDENSER ON CONCRETE PAD
- ④ EDGE OF 2ND FLOOR ABOVE
- ⑤ (E) PORCH POST
- ⑥ (E) COVERED PORCH, RE-BUILD FLOOR SLAB
- ⑦ (E) WATER HEATER

LEGEND:

- (E) 2x4 STUD WALLS
- (N) 2x4 STUD WALLS
- LINE OF 2ND FLOOR ABOVE
- 2x6 STUDS @ PLUMBING WALLS
- * INDICATES EGRESS WINDOW (BOTTOM OF CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR)
- TEMP INDICATES TEMPERED GLASS



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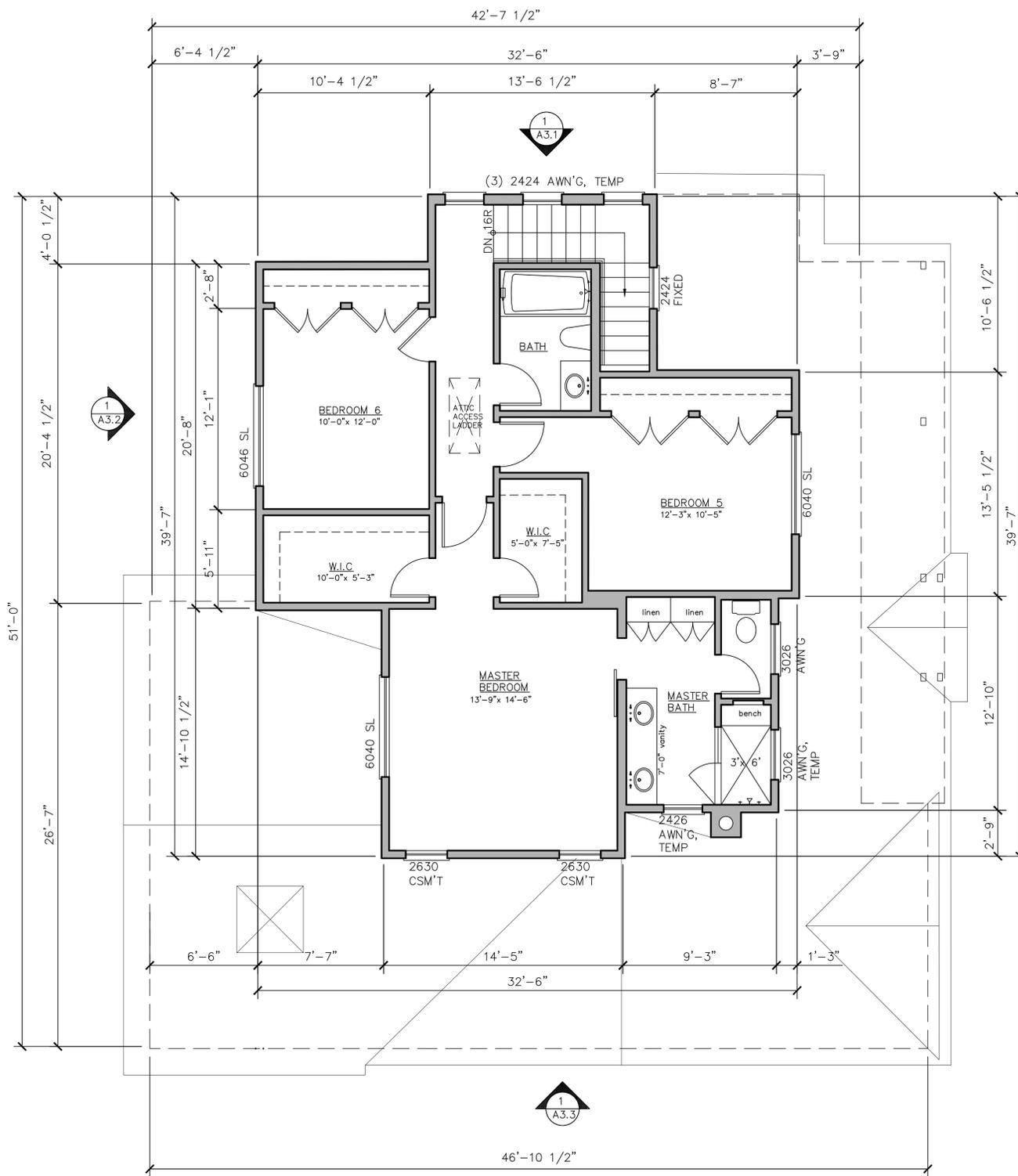
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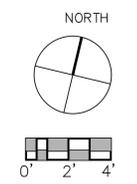
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PROPOSED FIRST FLOOR PLAN



LEGEND:

- (E) 2x4 STUD WALLS
- (N) 2x4 STUD WALLS
- 2x6 STUDS @ PLUMBING WALLS
- * INDICATES EGRESS WINDOW (BOTTOM OF CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR)
- TEMP INDICATES TEMPERED GLASS



PROPOSED SECOND FLOOR PLAN

1/4 = 1'-0" **1**

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LICENSED ARCHITECT
LILIA MILANO
C28629
EXPIRES 07-31-25
STATE OF CALIFORNIA

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INDOOR WATER USE (4.303):
PLUMBING FIXTURES: PER CA CIVIL CODE ARTICLE 1101.4 AND CALGreen SEC. 303.1 FOR 20% REDUCTION OF WATER USE, FIXTURE FLOW RATES IN THE ENTIRE HOUSE SHALL BE AS FOLLOWS:

- (N) WATER CLOSETS MAX. 1.28 GPM/FLUSH
- (N) SHOWER HEADS MAX. 1.8 GPM @ 80 PSI
- (N) LAVATORY FAUCET MAX. 1.2 GPM @ 60 PSI
- (N) KITCHEN FAUCET MAX. 1.8 GPM @ 60 PSI

OUTDOOR WATER USE (4.304):
 AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED

JOINTS & OPENINGS (4.406):
 ANNULAR SPACES AROUND PIPED, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD

CONSTRUCTION WASTE REDUCTION, DISPOSAL & RECYCLING (4.408):
 A MINIMUM OF 75 PERCENT OF THE CONSTRUCTION WASTE GENERATD AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE

BUILDING MAINTENANCE AND OPERATION (4.410):
 OPERATION AND MAINTANCE MANUAL SHALL BE PROVIDED TO BUILDING OCCUPANT OR OWNER

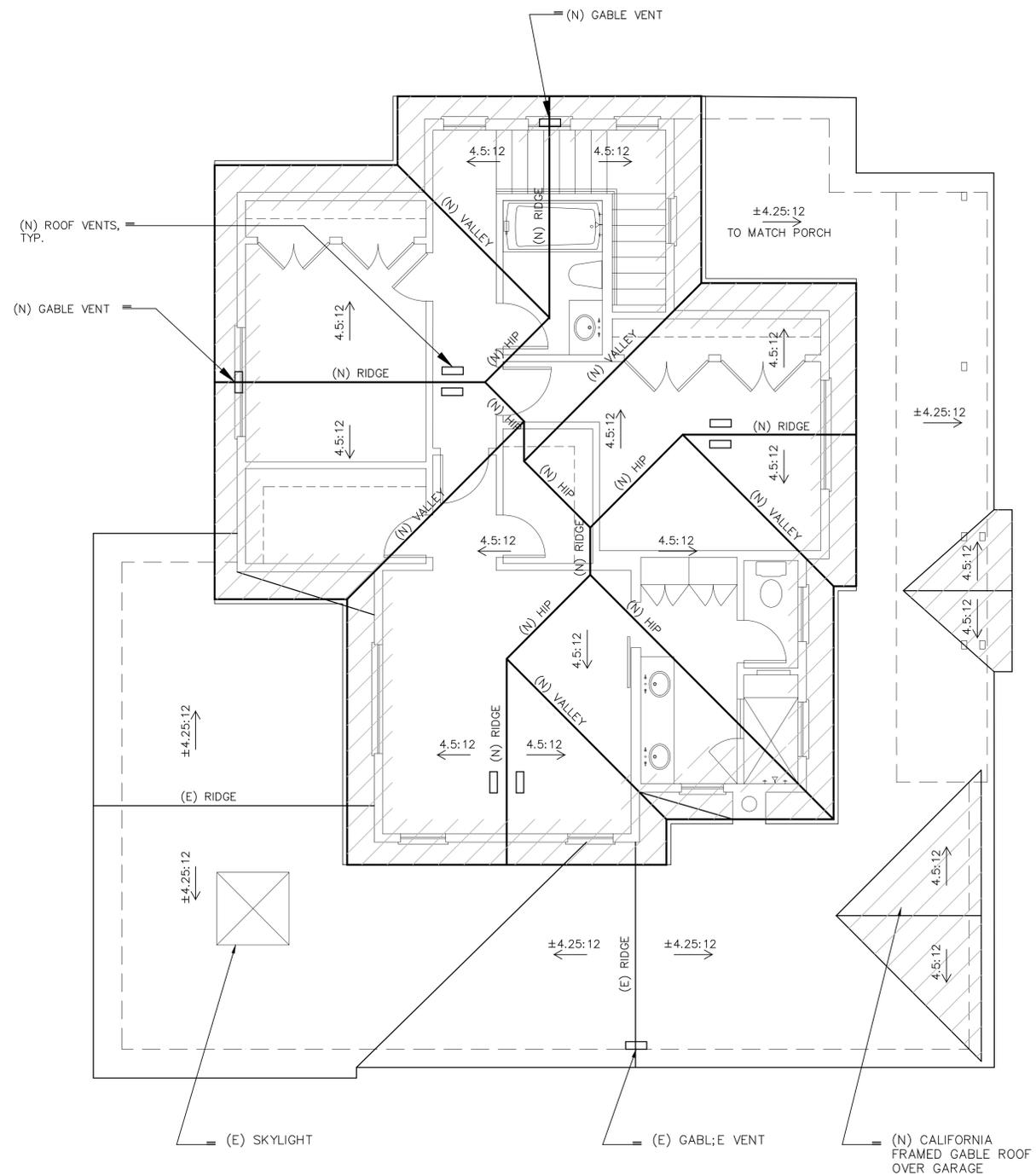
POLLUTANT CONTROL (4.504):
 - DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION
 - ADHESIVES, SEALANTS AND COULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS
 - PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS
 - AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEGHTED MIR LIMITS FOR ROC & OTHER TOXIC COMPOUNDS
 - CARPET SHALL BE COMPLIANT WITH VOC LIMITS
 - 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING, SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE CHPS LOW-EMITTING MATERIAL LIST OR BE CERTIFIED UNDER RCFI
 - PARTICLEBOARD, MEDIUM FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS

INTERIOR MOISTURE CONTROL (4.505):
 - VAPOR RETARDER & CAPILLARY BREAK AT SLAB ON GRADE FOUNDATIONS
 - MOISTURE CONTENT OF FLOORS AND WALLS CHECKED BEFORE ENCLOSURE

INDOOR AIR QUALITY & EXHAUST (4.506):
 - EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND:
 1- ENERGY STAR COMPLIANT & DUCTED TO OUTSIDE
 2- CONTROLLED BY A HUMIDITY CONTROL, UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM
 - GAS FIREPLACES SHALL BE DIRECT VENT SEALED-COMBUSTION

ENVIRONMENTAL CONTROL (4.507):
 - WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS (R-4.2 VALUE) WHICH CLOSE WHEN THE FAN IS OFF
 - DUCT SYSTEM ARE SIZED AND DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING:
 1- ESTABLISHED HEAT LOSS AND GAIN ACCORDING TO ANSI/ACCA MANUAL J
 2- DUCT SYSTEMS ARE SIZED ACORDING TO ANSI/ACCA MANUAL D-2009
 3- SELECT HEATIG AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA MANUAL S-2004

INSTALLER QUALIFICATIONS (702):
 - HVAC ISTALLERS TRAINED AND CERTIFIED



LEGEND:
 [Hatched Box] AREA OF NEW ROOF

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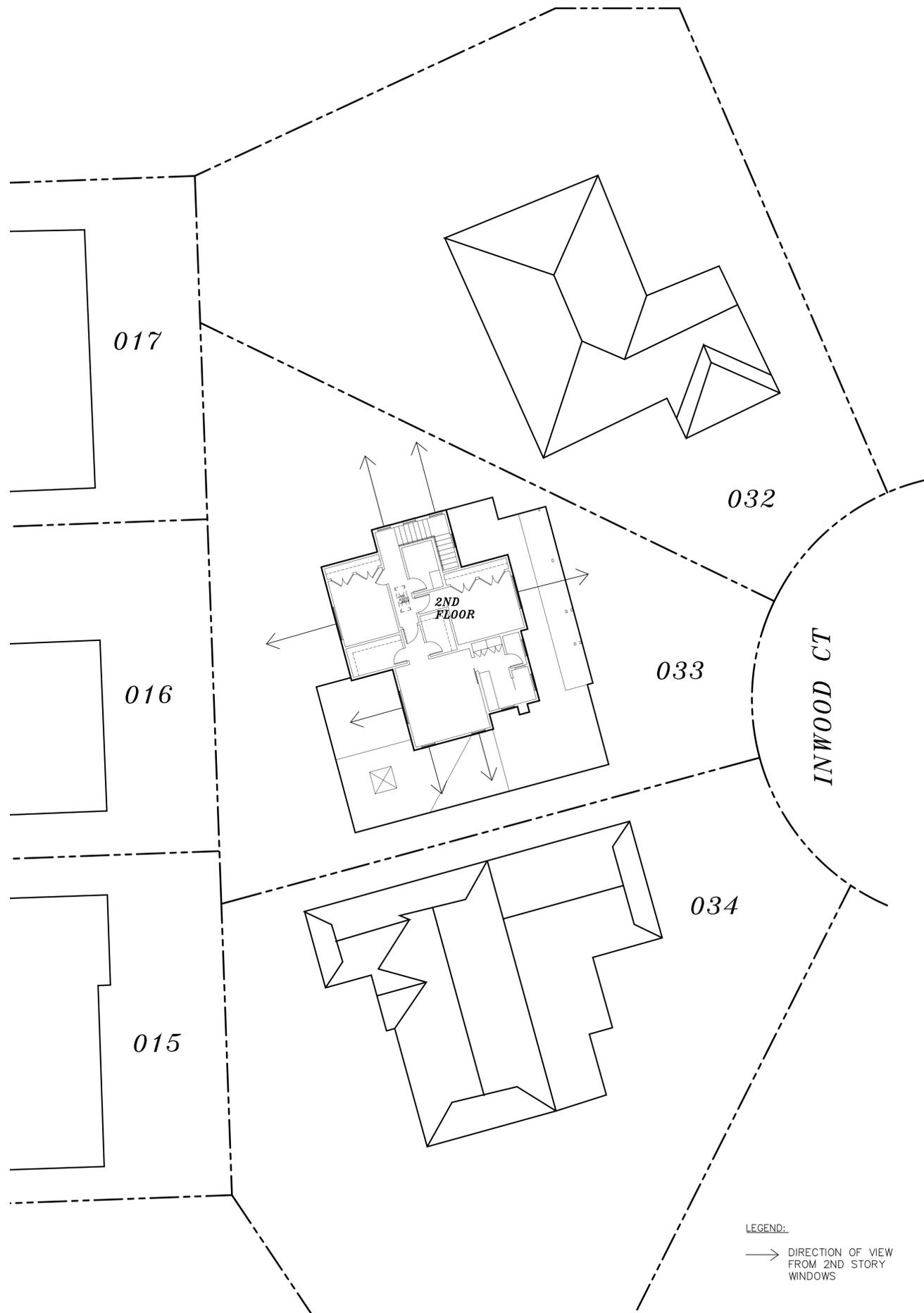
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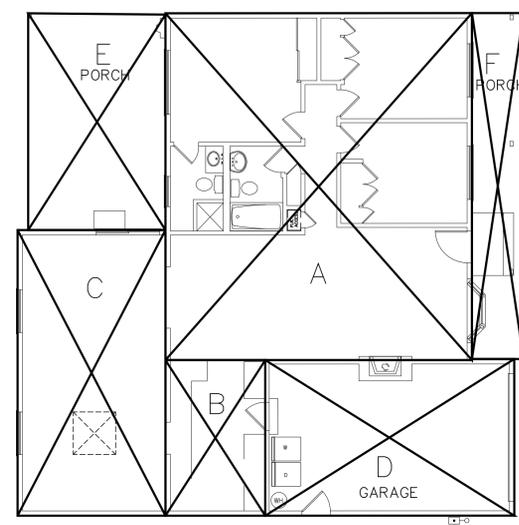
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LEGEND:
 → DIRECTION OF VIEW FROM 2ND STORY WINDOWS

PRIVACY PLAN

3/32" = 1'-0" 2



GENERAL NOTES:
 ALL DIMENSIONS ARE TO FACE OF EXTERIOR WALL FINISH

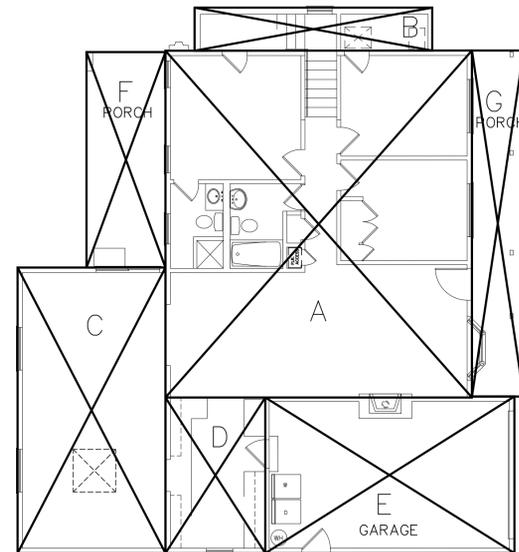
EXISTING FIRST FLOOR

SECTION	DIMENSION / AREA SF
A	28'-11" X 32'-7" = 942.1 SF
B	9'-5" X 14'-7.5" = 138 SF
C	13'-11.5" X 26'-10" = 374.5 SF

TOTAL CONDITIONED AREA (A-C) = 1,455 SF
 TOTAL FIRST FLOOR F.A.R. (A thru C + D) = 1,799 SF

EXISTING UNCONDITIONED FLOOR AREA

D (garage)	23'-6" x 14'-7.5" = 344 SF
E (rear porch)	12'-11.5" x 20'-3" = 263 SF
F (front porch)	4'-10" x 32'-6" = 158.4 SF



PROPOSED FIRST FLOOR

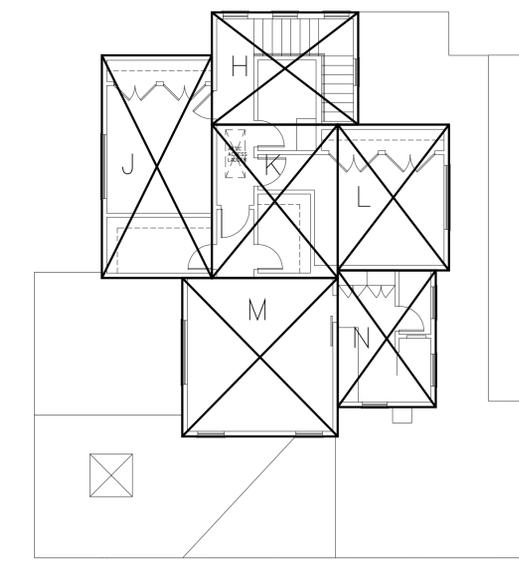
SECTION	DIMENSION / AREA SF
A	28'-11" X 32'-7" = 942.1 SF
B	22'-5" X 4'-0.5" = 90.4 SF
C	13'-11.5" X 26'-10" = 374.5 SF
D	9'-5" X 14'-7.5" = 137.7 SF

TOTAL FIRST FLOOR CONDITIONED AREA (A-D) = 1,544.7 SF
 TOTAL FIRST FLOOR F.A.R. (A thru D + E) = 1,888.7 SF

UNCONDITIONED FLOOR AREA

E (garage)	23'-6" x 14'-7.5" = 344 SF
F (rear porch)	7'-5.5" x 20'-3" = 150.9 SF
G (front porch)	4'-10" x 32'-6" = 158.4 SF

TOTAL LOT COVERAGE (A-G) = 2,198 SF



PROPOSED SECOND FLOOR

SECTION	DIMENSION / AREA SF
H	13'-9.5" X 10'-6.5" = 145.5 SF
J	10'-4.5" X 20'-11" = 216.9 SF
K	11'-10.5" X 14'-5" = 171.1 SF
L	10'-6" X 13'-8" = 143.7 SF
M	14'-8" X 14'-10.5" = 218.2 SF
N	9'-3" X 12'-10" = 118.7 SF

TOTAL SECOND FLOOR = 1,014 SF

TOTAL CONDITIONED FLOOR AREA (BOTH FLOORS) =	1,545 + 1,014 = 2,559 SF
TOTAL F.A.R (BOTH FLOORS) =	1,888.7 + 1,014 = 2,903 SF
TOTAL LOT COVERAGE (A-G) =	2,198 SF

FLOOR AREA DIAGRAM/ SQUARE FOOTAGE CALCULATIONS

1/8" = 1'-0" 1

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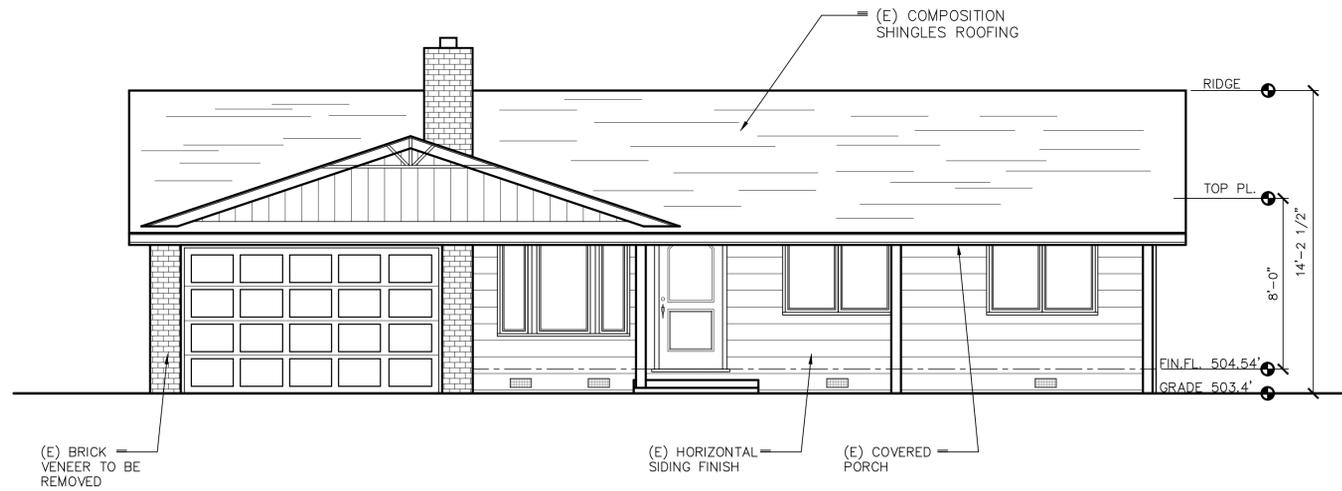
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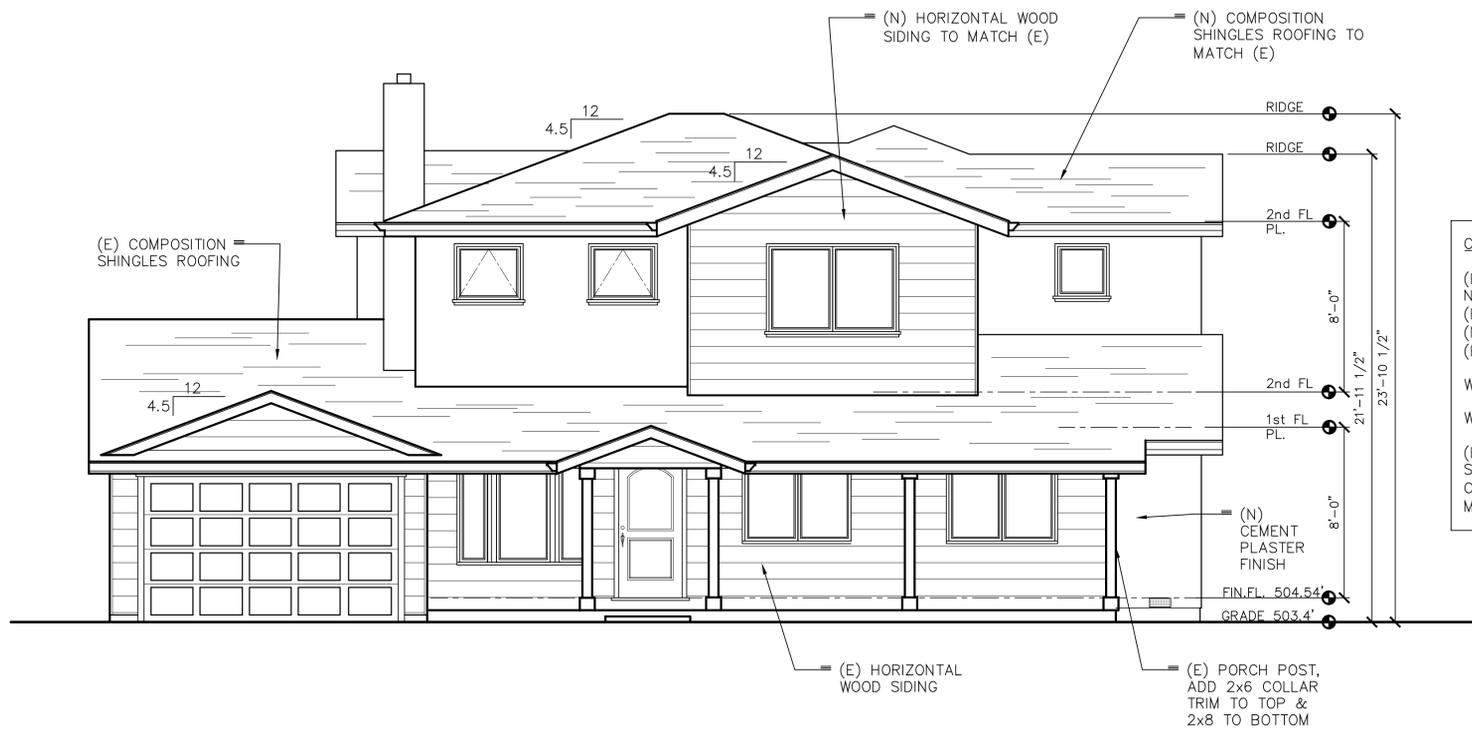
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 TEL: (650) 271-0938
 EMAIL: illi_milano@yahoo.com



EXISTING FRONT ELEVATION (EAST)

1/4" = 1'-0" **2**



COLOR PALETTE:
 (E) HOUSE PAINT COLOR:
 NEW YORK STATE OF MIND
 (BLUE) BY BENJAMIN MOORE.
 (N) PAINT COLOR TO MATCH
 (E)
 WINDOW TRIM: WHITE COLOR
 WINDOW FRAME: WHITE COLOR
 (E) COMPOSITION ASPHALT
 SHINGLES ROOF: COLOR
 CHARCOAL. (N) ROOF TO
 MATCH (E)

PROPOSED FRONT ELEVATION (EAST)

1/4" = 1'-0" **1**

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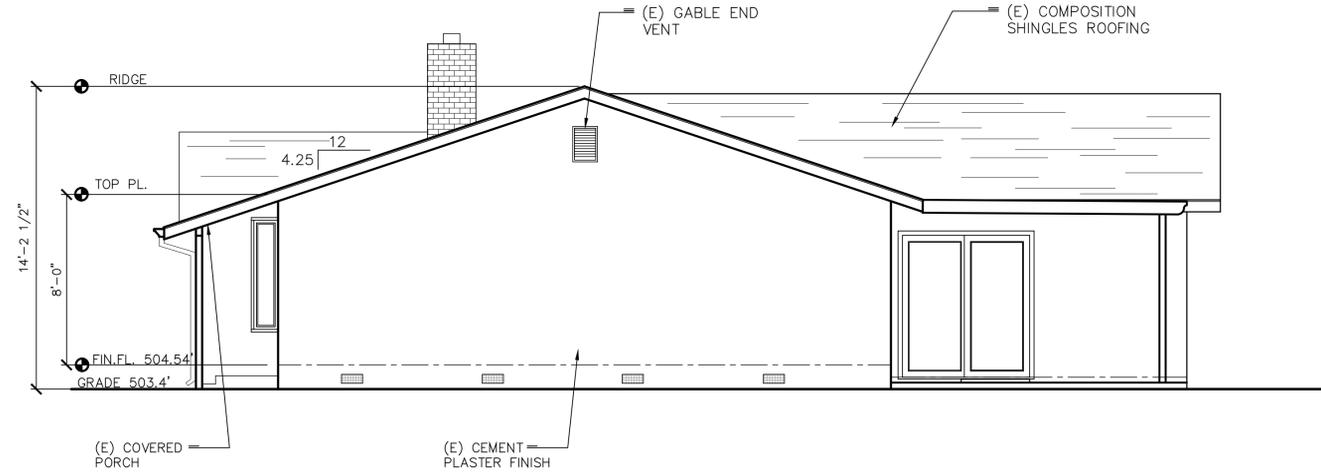
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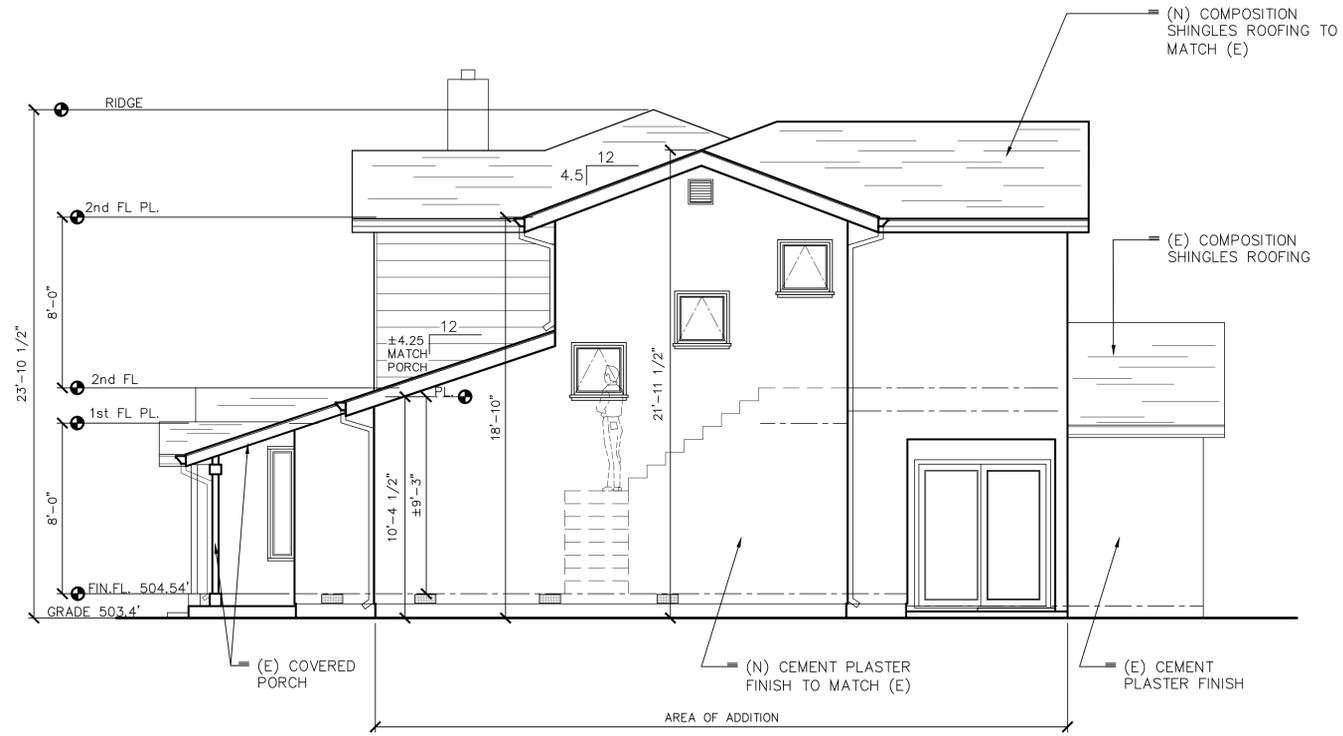
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EXISTING RIGHT SIDE ELEVATION (NORTH)

1/4" = 1'-0" 2



PROPOSED RIGHT SIDE ELEVATION (NORTH)

1/4" = 1'-0" 1

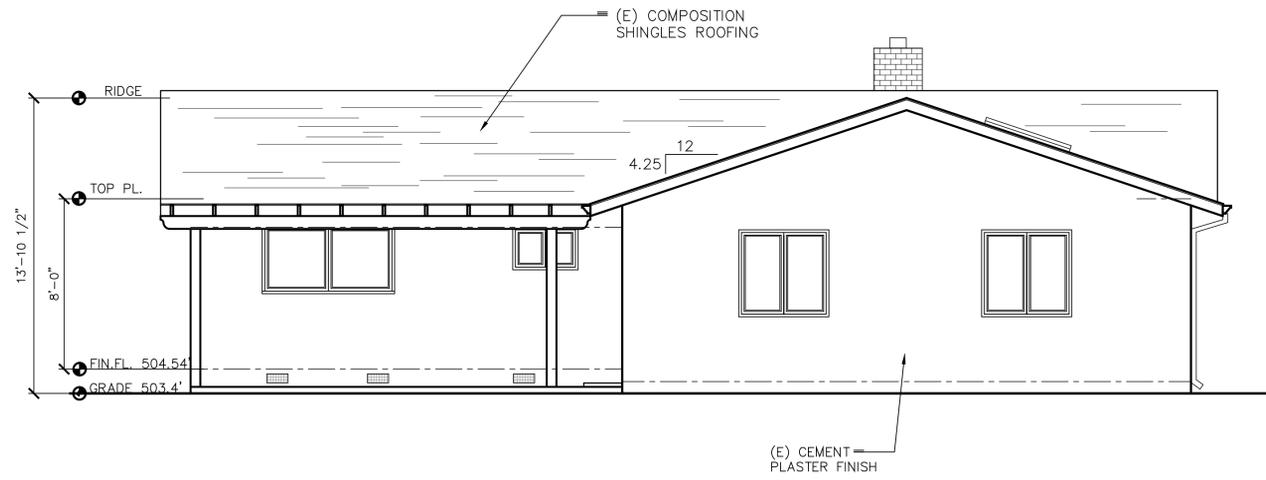
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 DATE 11/29/23
 SCALE AS NOTED
 JOB NO. SPARRY
 SHEET

A3.1
 OF - SHEETS

REVISIONS	BY

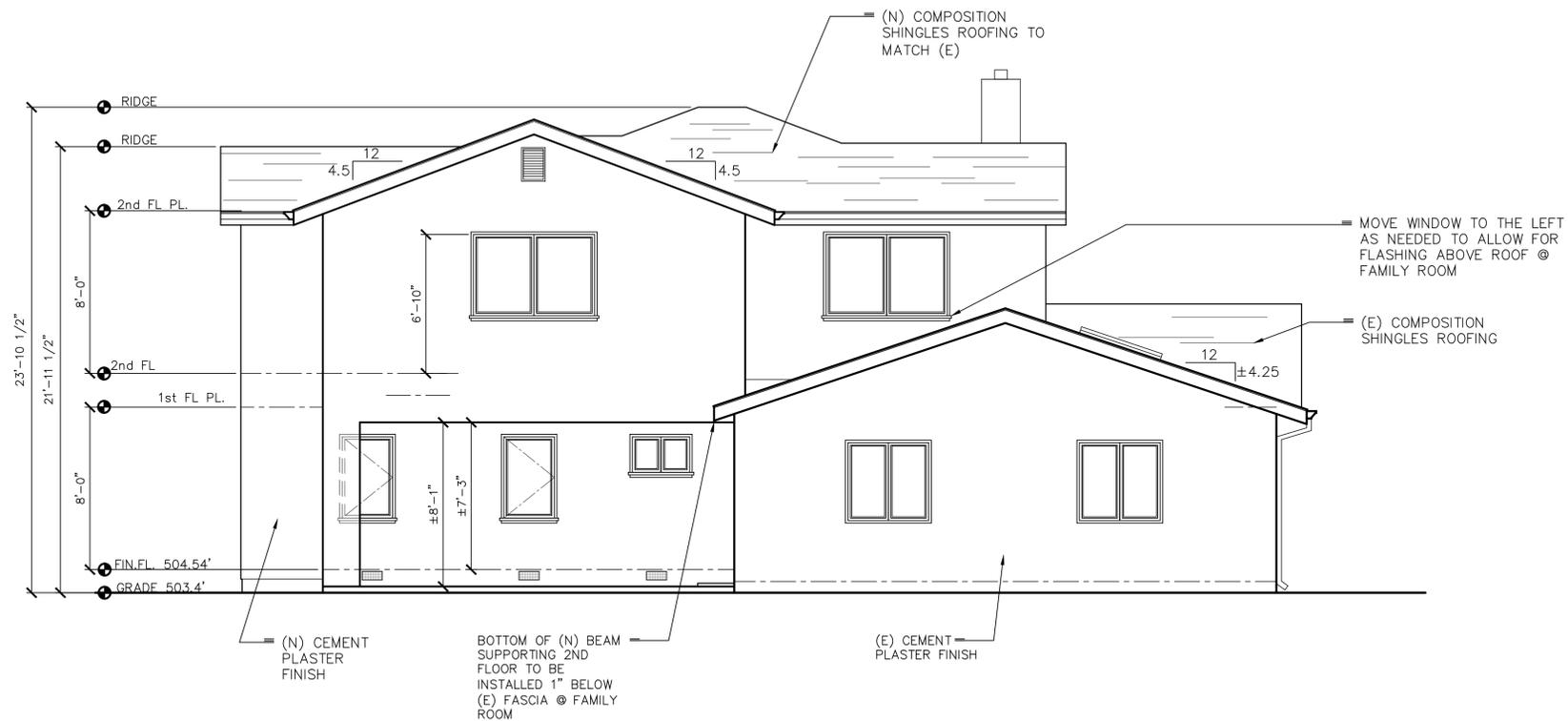
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EXISTING REAR ELEVATION (WEST)

1/4" = 1'-0"

2



PROPOSED REAR ELEVATION (WEST)

1/4" = 1'-0"

1

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 EMAIL: lili.milano@yahoo.com



ADDITION & REMODEL FOR:
JOHN AND KELLY SPARRY
1457 INWOOD CT
CAMPBELL, CA 95008

APN: 403-08-033

DRAWN	LM
CHECKED	LM
DATE	11/29/23
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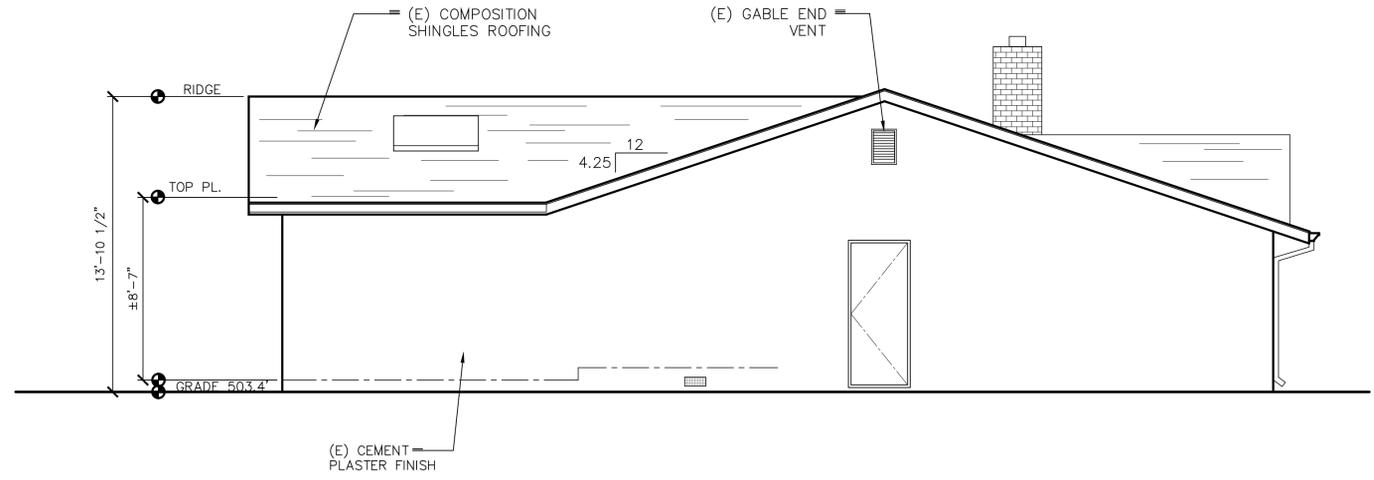
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OF - SHEETS

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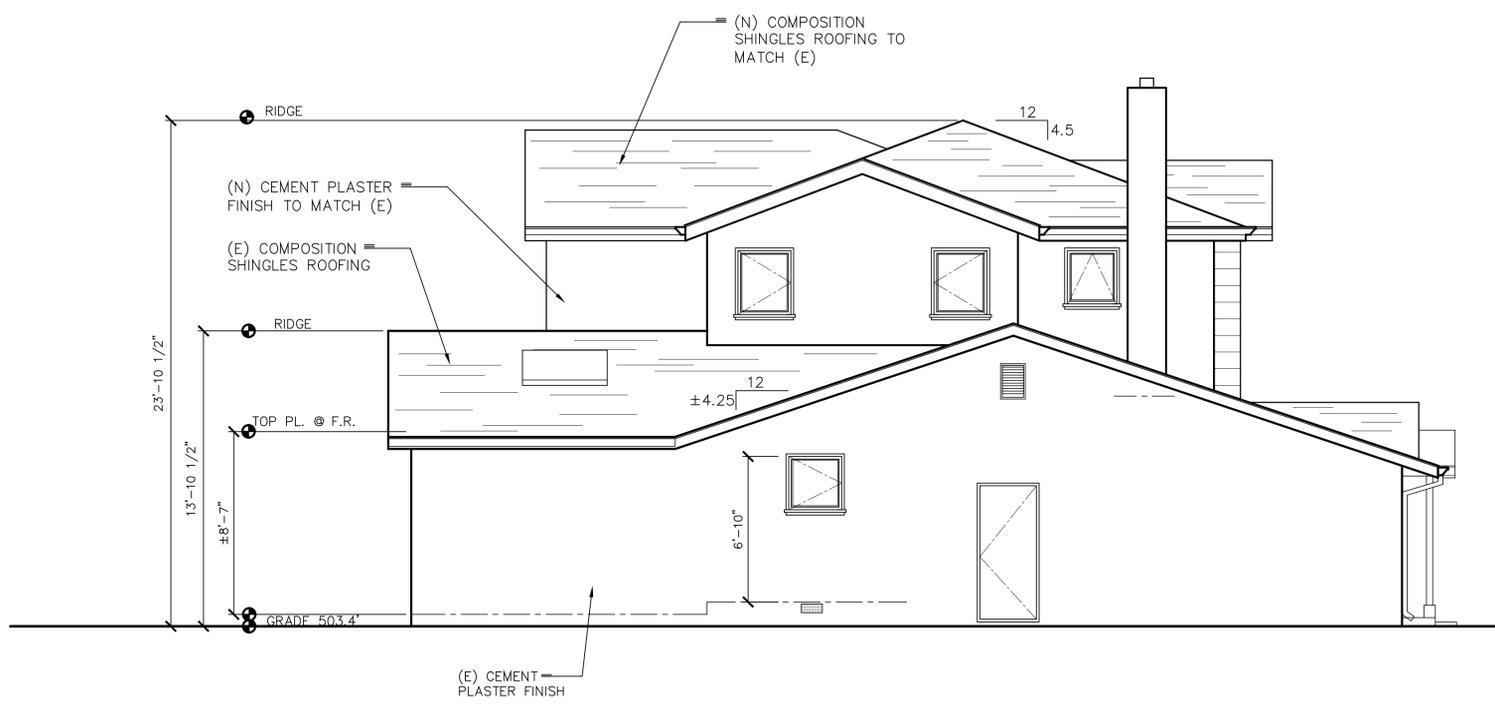
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EXISTING LEFT SIDE ELEVATION (SOUTH)

1/4" = 1'-0" **2**



PROPOSED LEFT SIDE ELEVATION (SOUTH)

1/4" = 1'-0" **1**

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SHEET	

A3.3