



City of Campbell  
70 North First Street  
Campbell, CA 95008 -1423

### Project Image



New proposed garage

# Notice of Decision on Proposed Project

Dear Campbell Resident,

December 8, 2023

The Community Development Director will be rendering a decision on the following project.

**Project Address:** 1451 Van Dusen Lane

**Zoning | Area Plan:** R-1-9 | STANP

**Neighborhood Association(s):** STACC

**File No:** PLN-2023-53

**APN:** 403-19-100

**Applicant:** Heather Harrington Design

**Property Owner:** David and Megan King

**Application Type:** Administrative Site and Architectural Review Permit

**Project Planner:** Tracy Tam, Associate Planner

**Email Contact:** [tracyt@campbellca.gov](mailto:tracyt@campbellca.gov)

**Phone Contact:** (408) 871-5103

## Project Description:

To allow for an approximately 510 square foot addition to add an attached two-car garage to an existing single-family residence.

## Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **December 8, 2023**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **December 18, 2023**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal.  
To view the project plans, please scan the QR code.

\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traducción en Español



**EXISTING FRONT OF HOUSE**



**EXISTING FRONT OF HOUSE FROM STREET**



**EXISTING FRONT OF HOUSE FROM (E)DRIVEWAY**



**EXISTING LEFT SIDE VIEW**



**EXISTING LEFT REAR CORNER VIEW**



**EXISTING LEFT SIDE REAR**



**Waste Management Statement**

Construction wash-out water from concrete, mortar, tile, taping, and painting shall be done in a portable containment pool or in a lined evaporative pit. Wash-out shall not enter the storm water system.

Trash piles shall not be located in the front yard or visible from the street. Trash piles shall not contain: paints, solvents, glues, taping compound, food products, or easily recycle-able discards such as bottles, cans, plastics, or paper. Remaining trash shall be limited to concrete, wood, drywall, roofing, and assorted metals and shall be covered with a waterproof tarp. Trash shall be separated at an approved bay area disposal site such as Guadalupe Recycling. All trash is to be quickly hauled off site. Retain the receipt and keep with the permit documents, proof of recycle and disposal of the job site trash will be checked periodically and prior to final inspection.

Or call West Valley Collection and Recycling (408) 283-9250 will deliver a roll-off debris box and sort the trash off site.

**PROJECT NOTES**

The project shall comply with the submitted "Waste Management Plan".  
 Service Providers: San Jose Water Company, Pacific Gas and Electric, West Valley Sanitation District, and West Valley Collection and Recycling.  
 No Products may be used that exceeds California's maximum limits on Volatile Organic Compounds (VOC).  
 Construction Hours are limited to 8 AM to 5 PM Monday thru Friday and 9am to 4pm Saturday. No constructions Sundays and holidays.  
 No fire sprinklers required.

**PROJECT DESCRIPTION**

The project consists of a garage (523 sq. ft.) addition to the existing house.

**CODES**

2019 California Building Code, Vol 1 & 2  
 2019 California Residential Code  
 2019 California Plumbing Code  
 2019 California Mechanical Code  
 2019 California Electrical Code  
 2019 California Energy Code  
 2019 California Fire Code  
 2019 California Existing Building Code  
 2019 California Historical Building Code  
 2019 California Green Building Standards  
 2019 California Fire Code  
 2019 International Existing Building Code

**DATA**

Documentation of Seismic Zone (D2), Wind Design Speed (100 exposure B), Soil Bearing Capacity (1500 psf min.), Average Winter Design Temp (40-59f), Average Summer Design Temp. (53-86F), Termite Level (Heavy), Floor Load (40/10), Bedroom Floor Level (30/10), and Roof Load (20/10)

**INDEX**

- A1.1 General Notes
- A1.2 Site Plan
- A1.3 Area Plan
- SU1 Civil Survey
- A2.1 Proposed Main Floor Plan (Garage), Elevations
- A2.2 Existing Floor Plan
- A3.1 Elevations
- A3.2 Elevations
- A3.3 Elevations
- A4.1 Roof Plan
- ME Mechanical Electrical

**PROJECT INFO.**

**Owners:**  
 Megan and David King  
 1451 Van Duesen Lane  
 Campbell CA 95008

**Designer:**  
 Heather Harrington  
 15705 Poppy Lane  
 Monte Sereno, California 95030  
 ph: (408) 656-2511

**Structural Engineer:**  
 Robert Steuer  
 R.C.E. 37251  
 1133 Fairview Ave  
 San Jose CA 95125  
 408 981-5844

**Title 24 Documents:**

**PROJECT DATA**

APN# 403-19-100  
 LOT AREA= 7996 SQ. FT.  
 CONSTRUCTION TYPE: V-B  
 OCCUPANCY GROUP: R-1  
 ZONING: R1-9  
 FLOOD PLANE MAP 06085C0238 SHOWS MINIMAL FLOOD HAZARD

1 BEDROOM ADU: 792 SQ. FT.  
 MAIN HOUSE: 2936.5 SQ. FT.  
 PROPOSED GARAGE: 523 SQ. FT.

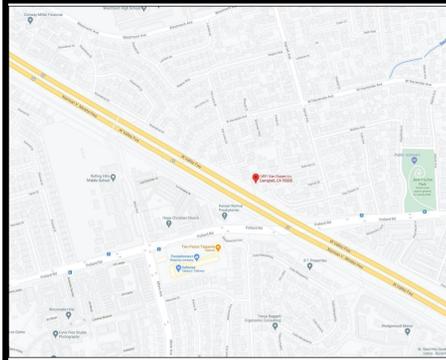
BUILDING COVERAGE: 2585 SQ FT (2799 SQ FT ALLOWABLE)  
 FAR: 3459.5 SQ FT 42.8% (3598 SQ FT ALLOWABLE)  
 LANDSCAPING COVERAGE: 3758 SF 47%  
 PAVING COVERAGE: 18%  
 IMPERVIOUS COVERAGE: 35%  
 PROPOSED GARAGE HEIGHT: 12'-1"  
 PARKING OFF STREET: 3 SPACES

	EXISTING	PROPOSED
MAIN HOUSE:	2936.5	3459.5
1st FLOOR(MAIN HOUSE):	1167.5	1167.5
ATTACHED ADU:	792	792 (NOT COUNTED IN THE FAR)
2ND FLOOR:	824	824
3RD FLOOR (ATTIC)	824	824
LOOKOUT TOWER:	120	120
PROPOSED GARAGE	0	523

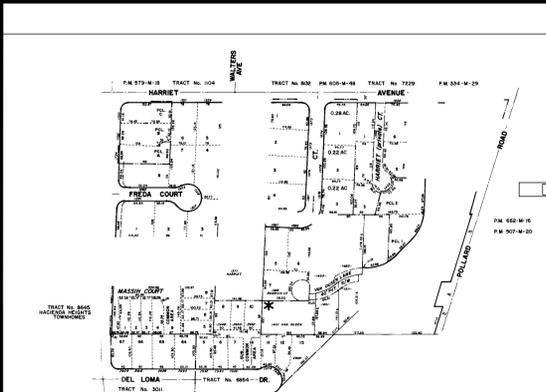
**GENERAL NOTES**

1. The contractor shall furnish all materials, labor and equipment required for the full performance of the work herein, unless specifically noted otherwise. All work shall be performed in a good and workman-like manner and conform to all pertinent regulations and instructions.
2. Before starting any portion of work, the Contractor shall verify any and all existing conditions as shown on the drawings against the actual existing conditions at the site. Any discrepancies shall be brought to the attention of the Designer. If the Contractor proceeds with the work without verifying existing conditions and discovers after the work has started any discrepancies, he shall proceed to perform whatever work is required to correct the discrepancies and bring about the proper execution of the project to the satisfaction of the Designer, at no extra cost to the owner.
3. The Contractor shall be responsible for cutting, fitting and patching as required to make the several parts fit together properly.
4. All work shall be in accordance with all applicable Local or State codes and regulations.
5. All material, equipment and products shall be installed in accordance with the respective manufacturer's latest printed instructions.
6. All dimensions are finish unless otherwise noted.
7. Do not scale the drawings. All dimensional discrepancies shall be brought to the attention of the Designer as soon as they are discovered.
8. No extra compensation shall be allowed for extra work resulting from lack of coordination between trades or failure of the Contractor to verify locations and measurements on the job.
9. The Contractor is responsible for obtaining separate permits for electrical, mechanical, plumbing, grading, or other permits as may be required by the local authorities. Issuance of a building permit based on these Drawings does not constitute granting of these separate permits.
10. The Contractor shall be responsible for coordinating with the Structural Engineer for any site visits or special testing as needed to complete all structural work as directed by the Structural Engineer.
11. The Contractor shall be responsible for forwarding all shop drawings to the designer for review and approval. No fabrication shall commence until both designer and owner have reviewed and approved by signature all shop drawings.

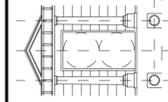
**VACINITY MAP**



**PARCEL MAP**



HEATHER HARRINGTON  
 15705 POPPY LANE  
 MONTE SERENO, CA 95030  
 PH/FAX (408) 656-2511



KING RESIDENCE  
 1451 VAN DUESEN LANE  
 CAMPBELL CA  
 A.P.N. 403-19-100

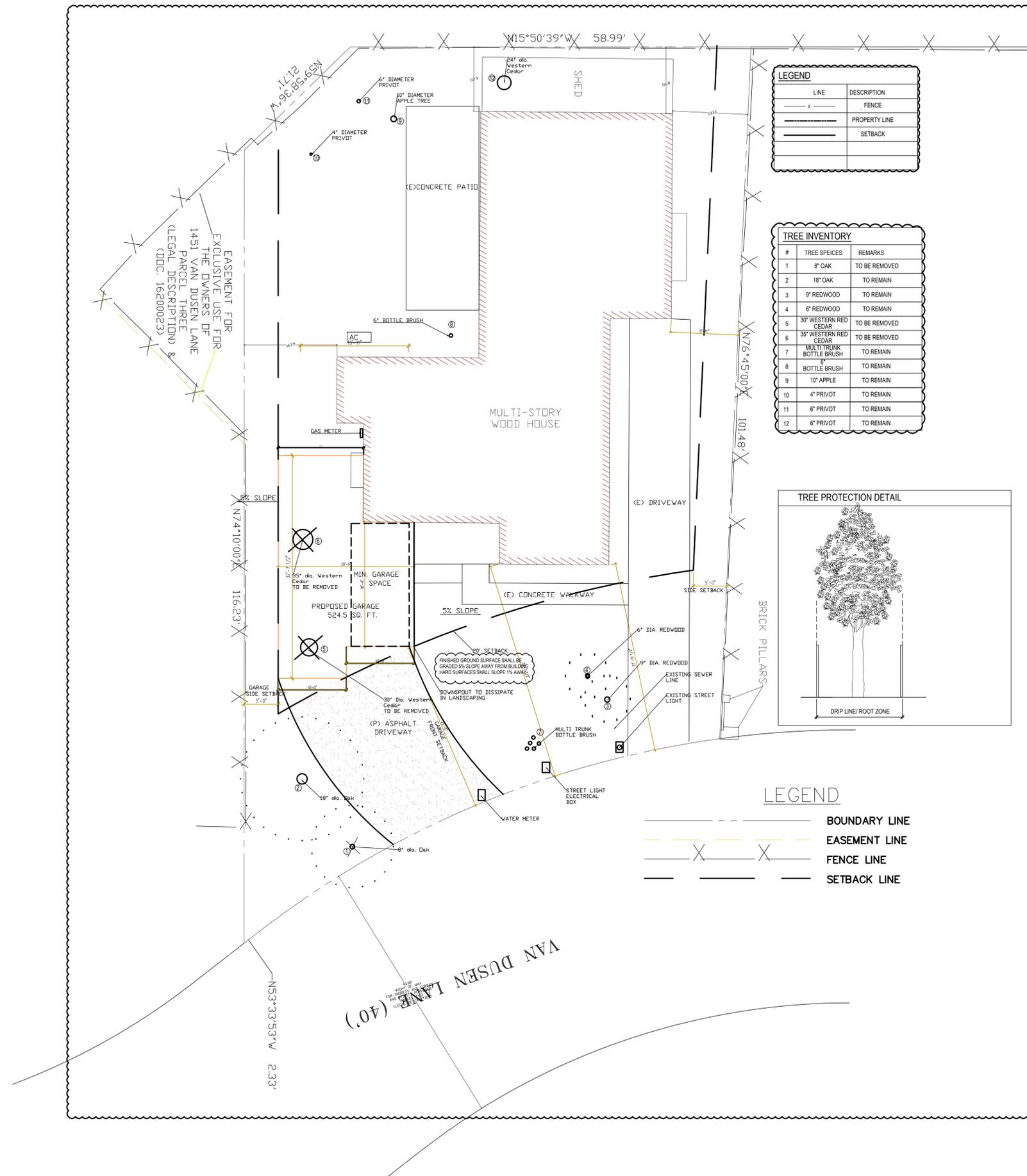
REVISION	BY
1	7/14/23 HH
2	11/6/23 HH

**SITE PLAN GENERAL INFO**

SHEET  
**A1.1**

DATE: 6/8/2021

SITE IMPROVEMENT PLAN 1/8"=1'-0"

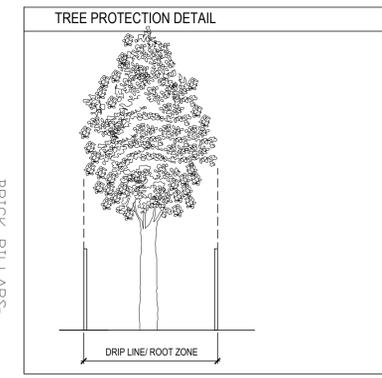


**LEGEND**

LINE	DESCRIPTION
---	FENCE
---	PROPERTY LINE
---	SETBACK

**TREE INVENTORY**

#	TREE SPECIES	REMARKS
1	8" OAK	TO BE REMOVED
2	18" OAK	TO REMAIN
3	9" REDWOOD	TO REMAIN
4	6" REDWOOD	TO REMAIN
5	30" WESTERN RED CEDAR	TO BE REMOVED
6	35" WESTERN RED CEDAR	TO BE REMOVED
7	MULTI TRUNK BOTTLE BRUSH	TO REMAIN
8	BOTTLE BRUSH	TO REMAIN
9	10" APPLE	TO REMAIN
10	4" PRIVOT	TO REMAIN
11	6" PRIVOT	TO REMAIN
12	6" PRIVOT	TO REMAIN



**LEGEND**

---	BOUNDARY LINE
---	EASEMENT LINE
---	FENCE LINE
---	SETBACK LINE

HEATHER HARRINGTON  
 15705 POPPY LANE  
 MONTE SERENO, CA 95030  
 PH/FAX (408) 666-2511

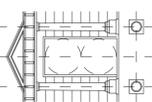
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 1451 VAN DUSEN LANE  
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REVISION	BY
1 7/14/23	HH
2 11/6/23	HH

SITE PLAN

SHEET  
**A1.2**

DATE: 6/8/2021



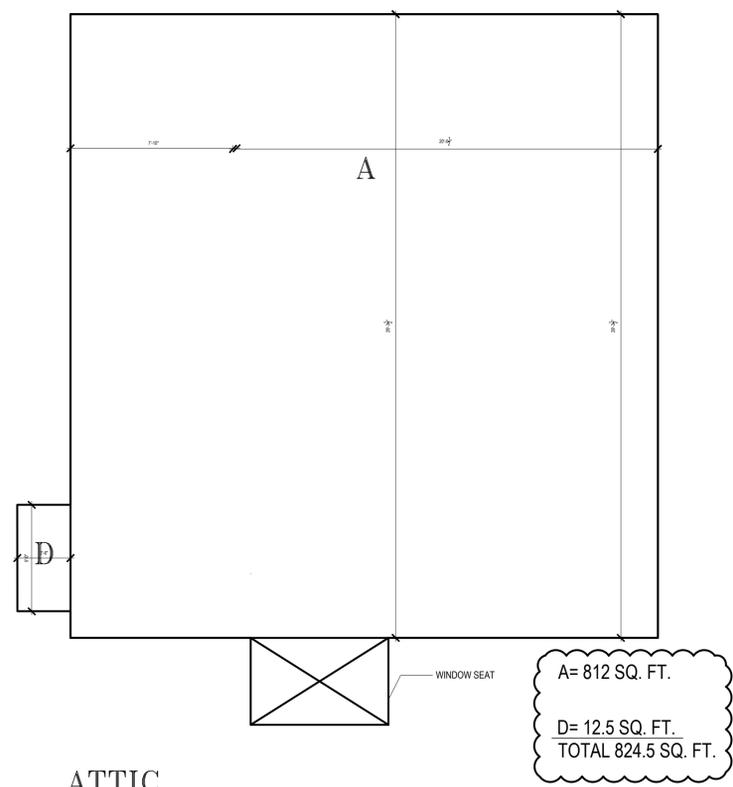
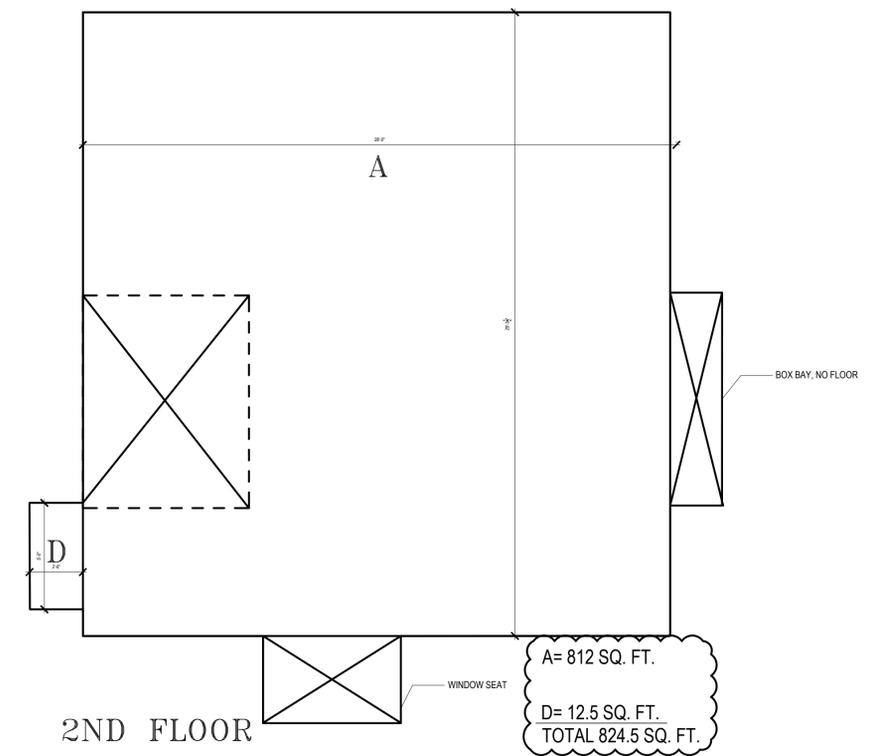
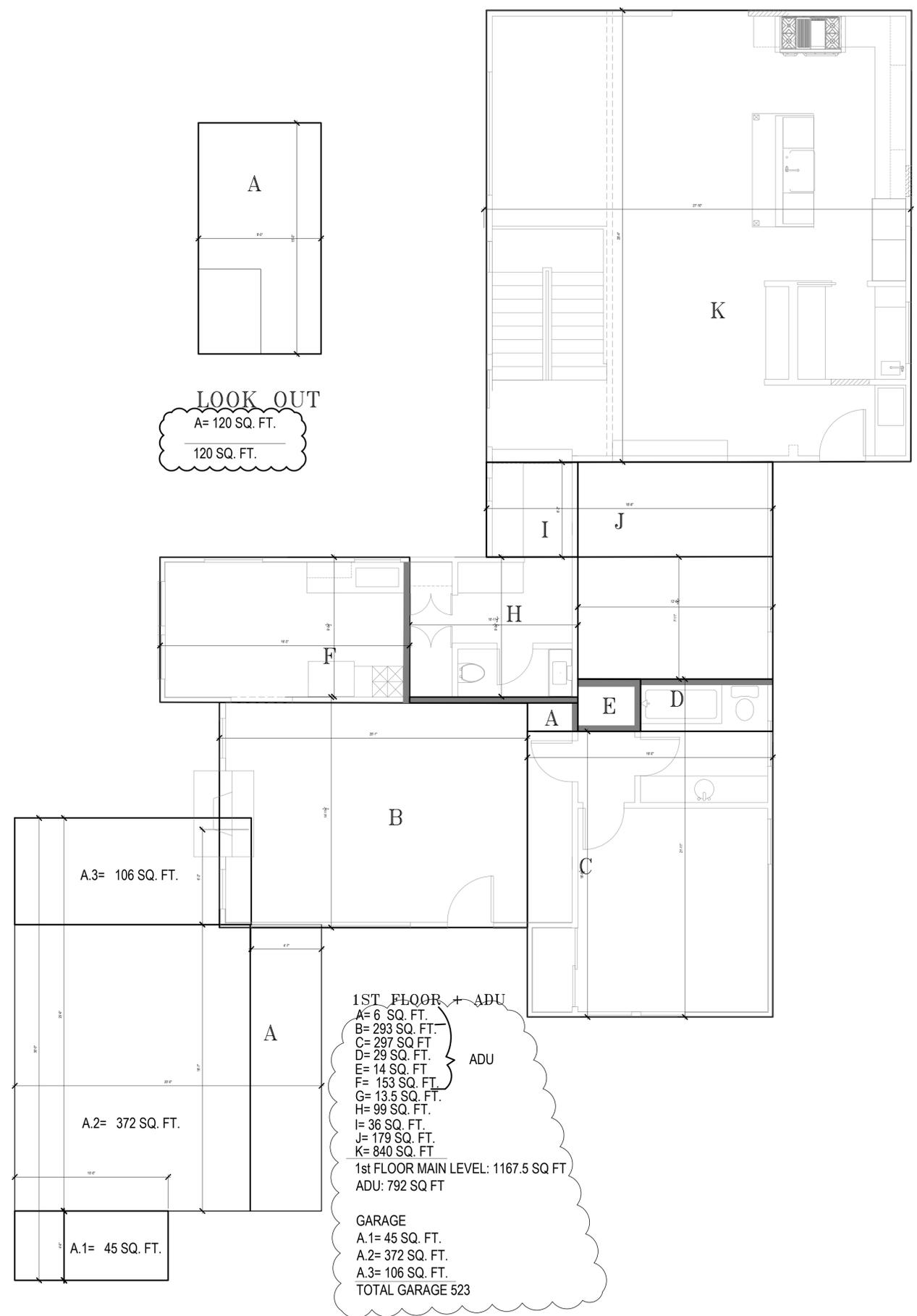
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 CAMPBELL CA  
 A.P.N. 403-19-100

NO	REVISION	BY
1	7/14/23	HH
2	11/6/23	HH

AREA PLAN

SHEET

1.3





LEA & BRAZE ENGINEERING,  
 INC. ENGINEERS • LAND SURVEYORS  
 REGIONAL OFFICES:  
 SACRAMENTO, CALIFORNIA  
 SAN JOSE, CALIFORNIA  
 (510) 887-4086  
 WWW.LEABRAZE.COM

1451 VAN DUSEN LANE  
 CAMPBELL  
 CALIFORNIA  
 SANTA CLARA COUNTY  
 APN: 403-19-100

BOUNDARY AND  
 HOUSE LOCATION  
 SURVEY

ADDED SET MONS	MT
6-8-20	
REVISIONS	BY
JOB NO: 2200548	
DATE: 6-3-20	
SCALE: 1"=10'	
FIELD BY: DR	
DRAWN BY: MT	
SHEET NO:	

SU1  
 1 OF 1 SHEETS

**EASEMENT NOTE**

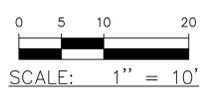
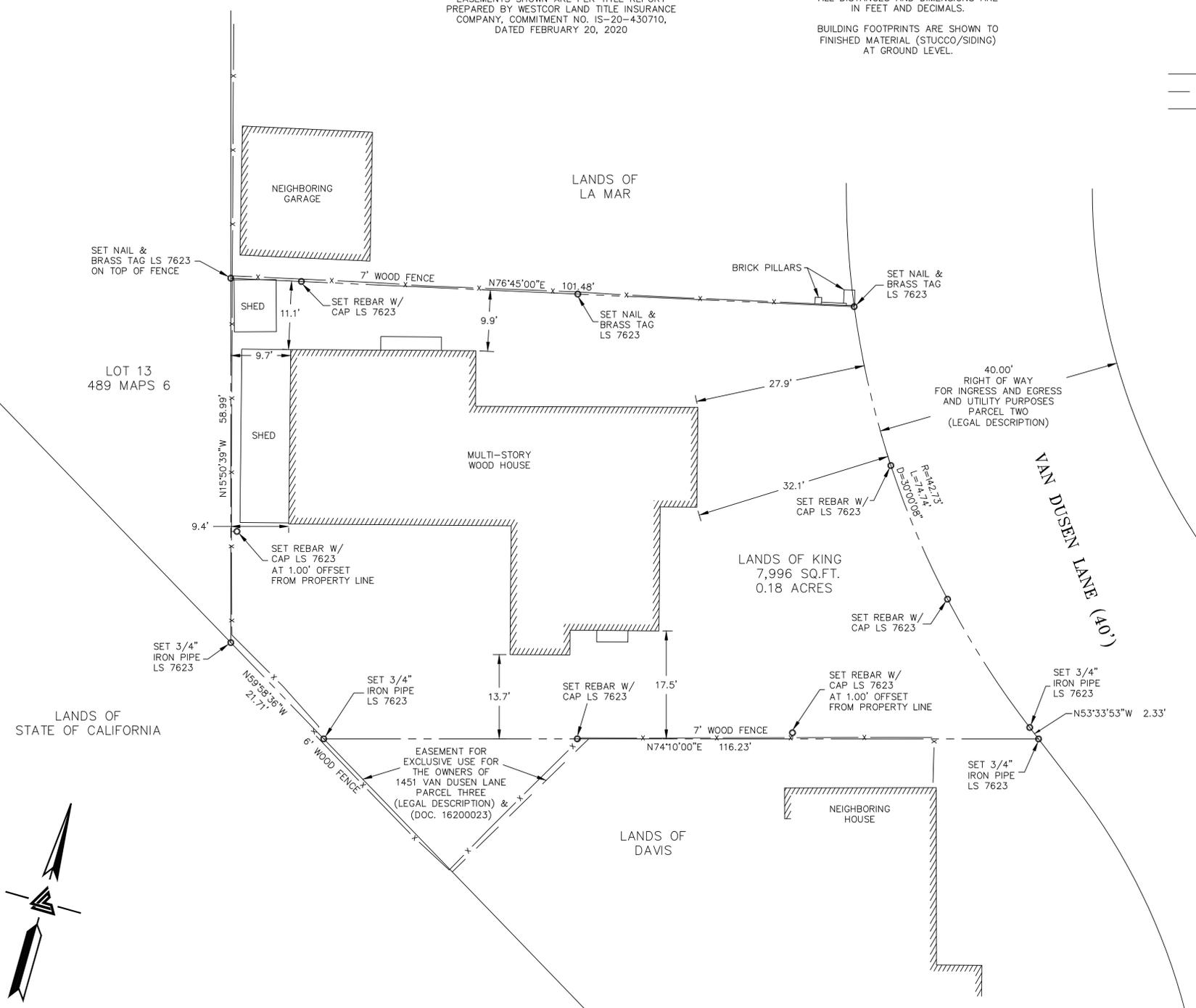
EASEMENTS SHOWN ARE PER TITLE REPORT  
 PREPARED BY WESTCOR LAND TITLE INSURANCE  
 COMPANY, COMMITMENT NO. IS-20-430710,  
 DATED FEBRUARY 20, 2020

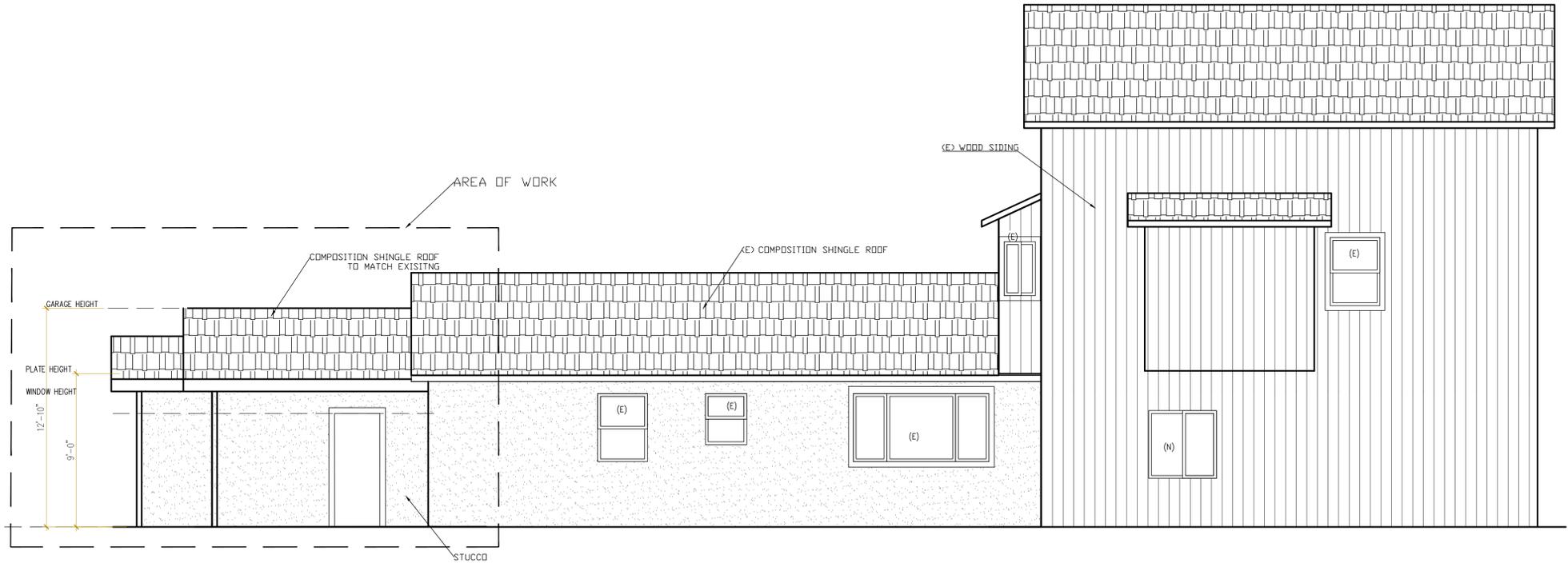
**NOTES**

ALL DISTANCES AND DIMENSIONS ARE  
 IN FEET AND DECIMALS.  
 BUILDING FOOTPRINTS ARE SHOWN TO  
 FINISHED MATERIAL (STUCCO/SIDING)  
 AT GROUND LEVEL.

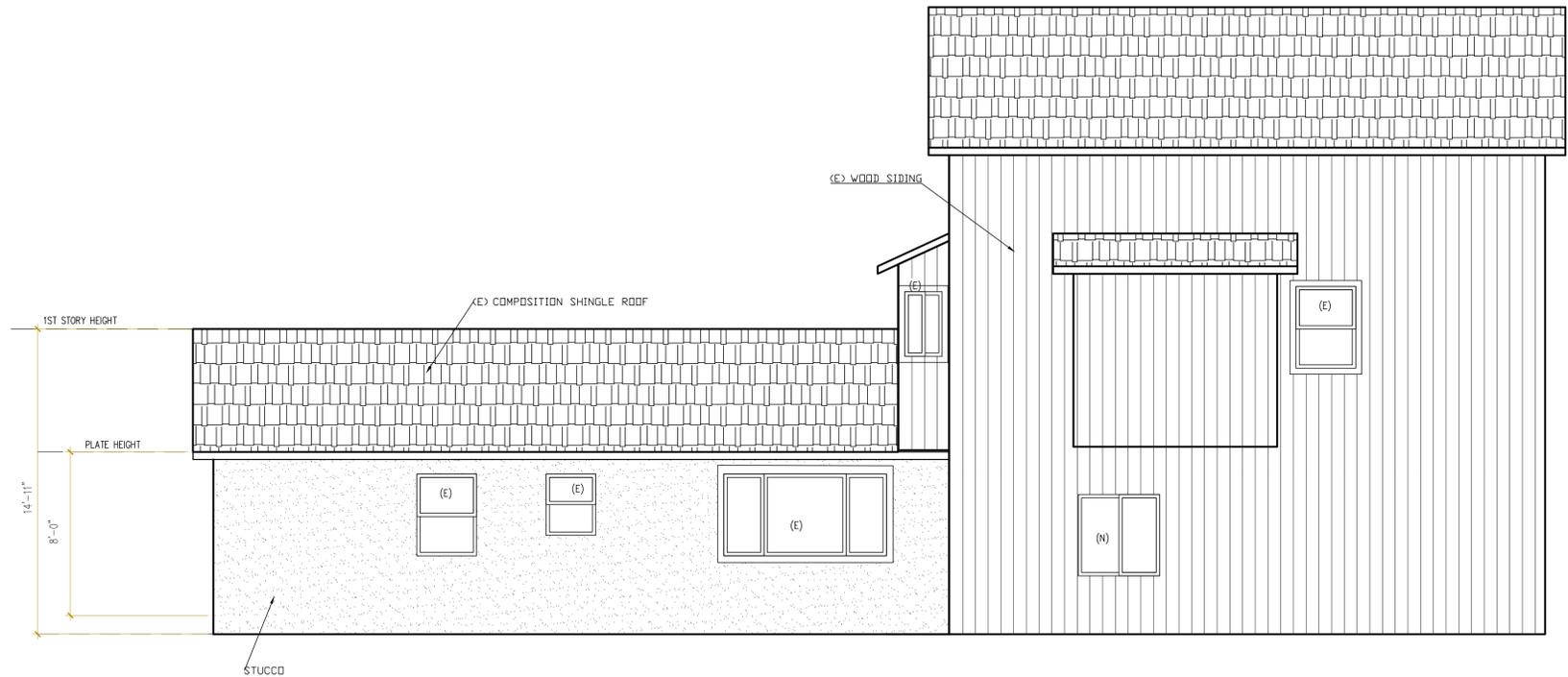
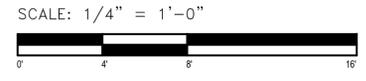
**LEGEND**

- BOUNDARY LINE
- - - EASEMENT LINE
- x - x - FENCE LINE
- o SET MONUMENT AS NOTED

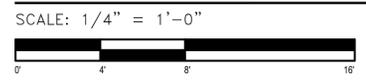




**PROPOSED RIGHT SIDE ELEVATION**



**EXISTING RIGHT SIDE ELEVATION**



AEROSOL ADHESIVES, SMALLER DRY SIZE OF ADHESIVES AND SEALANT OR CAULKING COMPOUNDS THAT DO NOT WEIGH MORE THAN 1 POUND OR CONSIST OF MORE THAN 16 FLUID OUNCES SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS.

ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH THE VOC LIMITS SHOWN IN TABLE 4.504.3.

AEROSOL PAINTS AND COATINGS SHALL COMPLY WITH THE VOC LIMITS SHOWN IN TABLE 1 OF THE BAY AREA MANAGEMENT DISTRICT REGULATIONS, RULE 9.

VERIFICATION OF COMPLIANCE WITH THE VOC LIMITS SHALL BE PROVIDED TO THE CITY THAT MAY INCLUDE BUT IS NOT LIMITED TO THE MANUFACTURER'S PRODUCT SPECIFICATIONS OR ON-SITE PRODUCT CONTAINERS.

PAINTS AND COATINGS SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE BY AMOUNT AND DATE AS ESTABLISHED IN TABLE 4.504.6.

DOCUMENTATION OF COMPLIANCE SHALL BE BY ONE OF THE FOLLOWING:

1. PRODUCT CERTIFICATION AND SPECIFICATIONS.
2. THIRD-PARTY CERTIFICATIONS.
3. OTHER METHODS ACCEPTABLE TO THE CITY.

RECYCLE AND OR SALVAGE FOR REUSE A MINIMUM OF 60% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS WILL BE RECYCLED AND OR SALVAGED FOR REUSE IN ACCORDANCE WITH SECTIONS 4.06.2, 4.06.3 OR SHOW COMPLIANCE TO LOCAL ORDINANCE (WHICHEVER IS STRICTER); CGSBC SECTION 4.06.1

ADD NEW LANDING WITH ONE STEP - 4" TALL LEADING FROM HOUSE TO P.

THE LANDING SHALL NOT BE MORE THAN 1'0" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1" AT DOORS SWINGING OVER THE LANDING.

LANDING LENGTH NEED NOT EXCEED 3'0" CGSBC 1008.1.6, WITH A WIDTH EQUAL TO THAT OF THE ADJACENT OPENING.

TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. OF 3' FT. FROM ANY OPENINGS INTO THE BUILDING.

ALL MECHANICAL, PLUMBING, ELECTRICAL AND SIMILAR PENETRATIONS OF THE FLOOR OR TOP PLATES SHALL BE CALKED WITH A RESIDENTIAL RATED FIRE CALK WITH AN ASTM E1308 OR EB14 RATING.

A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.

BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED.

WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED BY THE FOLLOWING:

1. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE- TYPE OR CONTACT- TYPE MOISTURE METER.
2. MOISTURE READINGS SHALL BE TAKEN BETWEEN 2 AND 4 FEET FROM THE GRADE STAMPED END OF EACH PIECE VERIFIED.
3. AT LEAST 3 RANDOM MOISTURE READINGS SHALL BE PERFORMED IN WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE CITY PROVIDED AT THE TIME ACF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.

INSULATION PRODUCTS THAT ARE VISIBLY WET OR HAVE MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE OF THE WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURER'S DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

ALL ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CALKES SHALL COMPLY WITH THE VOC LIMITS SHOWN IN TABLES 4.504.1 AND 2 OR LIMITS ESTABLISHED BY THE BAY AREA AIR QUALITY DISTRICT, WHICHEVER IS MORE RESTRICTIVE.

FOR CLASS A ASSEMBLIES, CLASS B CHAKES AND SHINGLES SHALL BE APPLIED OVER 1/2" DRYS-DECK (A GLASS-FACED OPTIMUM ROOF BOARD), OR A MIN. APPROVED AND LISTED 7/8" MINERAL SURFACE FIBERGLASS CAP SHEET. COMPOSITE WITH A MIN. 1/2" MINERAL SURFACE FIBERGLASS SHEETING AS DESCRIBED FOR CLASS BA AND C. THE DRY-DECK SHALL BE FASTENED WITH A MINIMUM FOUR FASTENERS PER BOARD AND THE CAP SHEET SHALL BE INSTALLED WITH A 2 INCH OVERLAP ON SIDES AND ENDS. THE USE OF THE CLASS A ASSEMBLY IS SUBJECT TO THE FINAL APPROVAL OF THE AUTHORITY HAVING JURISDICTION.

ROOF VALLEYS SHALL HAVE NOT LESS THAN 26 GA. SHEET METAL INSTALLED OVER A MIN. 3/4" WIDE UNDERLAYMENT OF NO. 22 CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. CGSBC SEC. R337.3.3.

GUTTER GUARDS SHALL BE PROVIDED TO PREVENT DEBRIS FROM ACCUMULATION. CGSBC 302.4.

ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS, MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC. ALL EXTERIOR DOWNSPOUTS SHALL REMAIN IN CONTACT AND AT THE SAME LOCATIONS SEE ROOF PLAN FOR ALL NEW DOWNSPOUT LOCATIONS.

ROOF TO BE CLASS A COMPOSITION SHINGLES TO MATCH EXISTING HOUSE.

PROVIDE REQUIRED ATIC VENTILATION. VENTILATION TO BE NO LESS THAN 1/150 OF THE ENTIRE AREA TO BE VENTILED. SIZE OF REQUIRED VENTILATION SHALL BE LOCATED AT LEAST 3' ABOVE EAVES OR CORNICE VENTS WITH THE REMAINING VENTILATION IN THE EAVE OR CORNICE. OPENING FOR VENTILATION SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH OPENINGS OF 1/8" MAX. PER 1203.3 CGSBC.

1/150TH OF AREA VENTILATED SPACE= 1/150 X 216 SQ. FT. = 1.44 SQ. FT. = 207 SQ INCHES / 2" DIA. HOLES PER STUD BAY = 9.5 SQ. IN. 103.5/ 9.5= PROVIDE 11 BAYS OF VENTILATION

HEATHER HARRINGTON

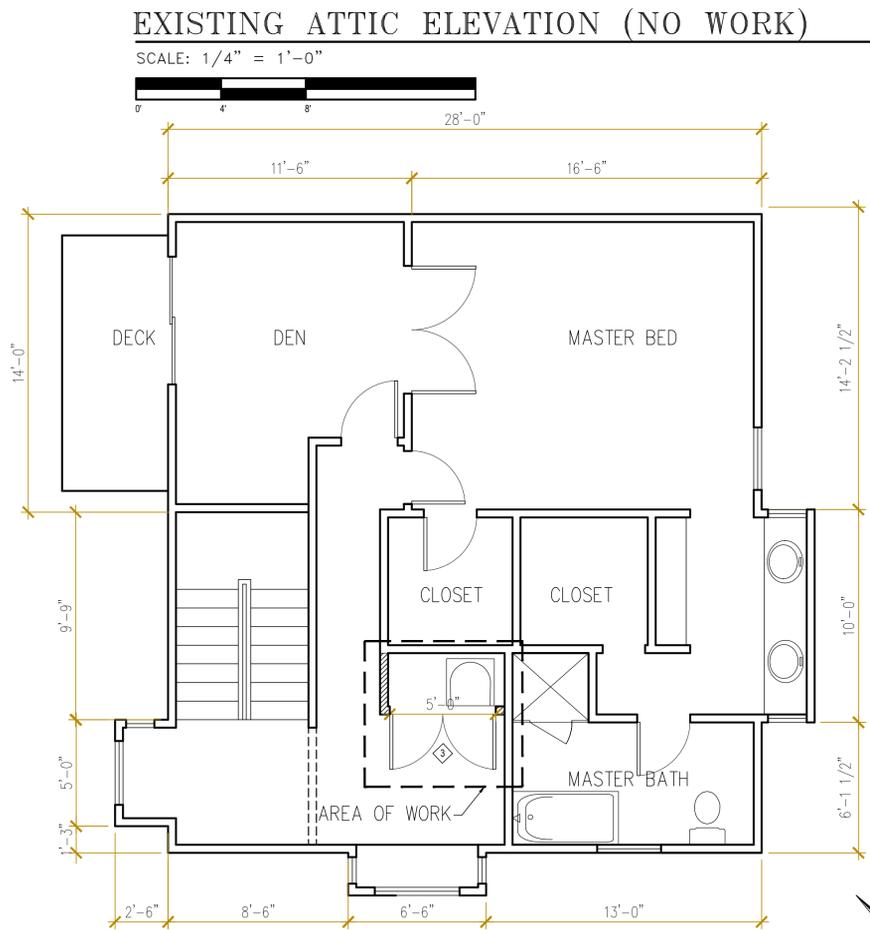
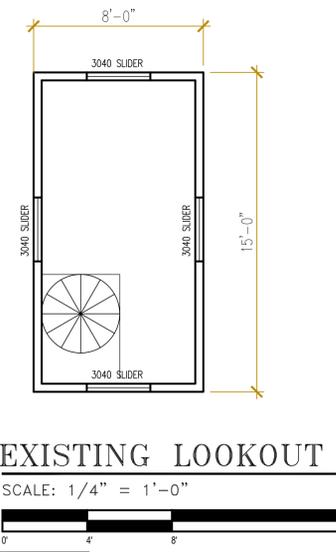
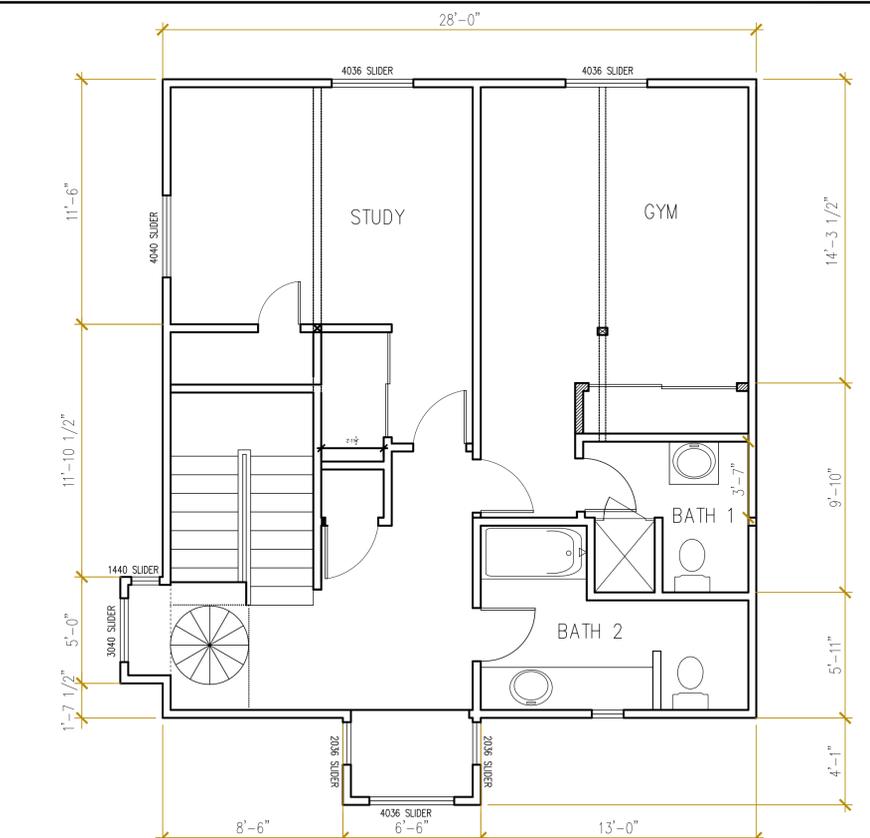
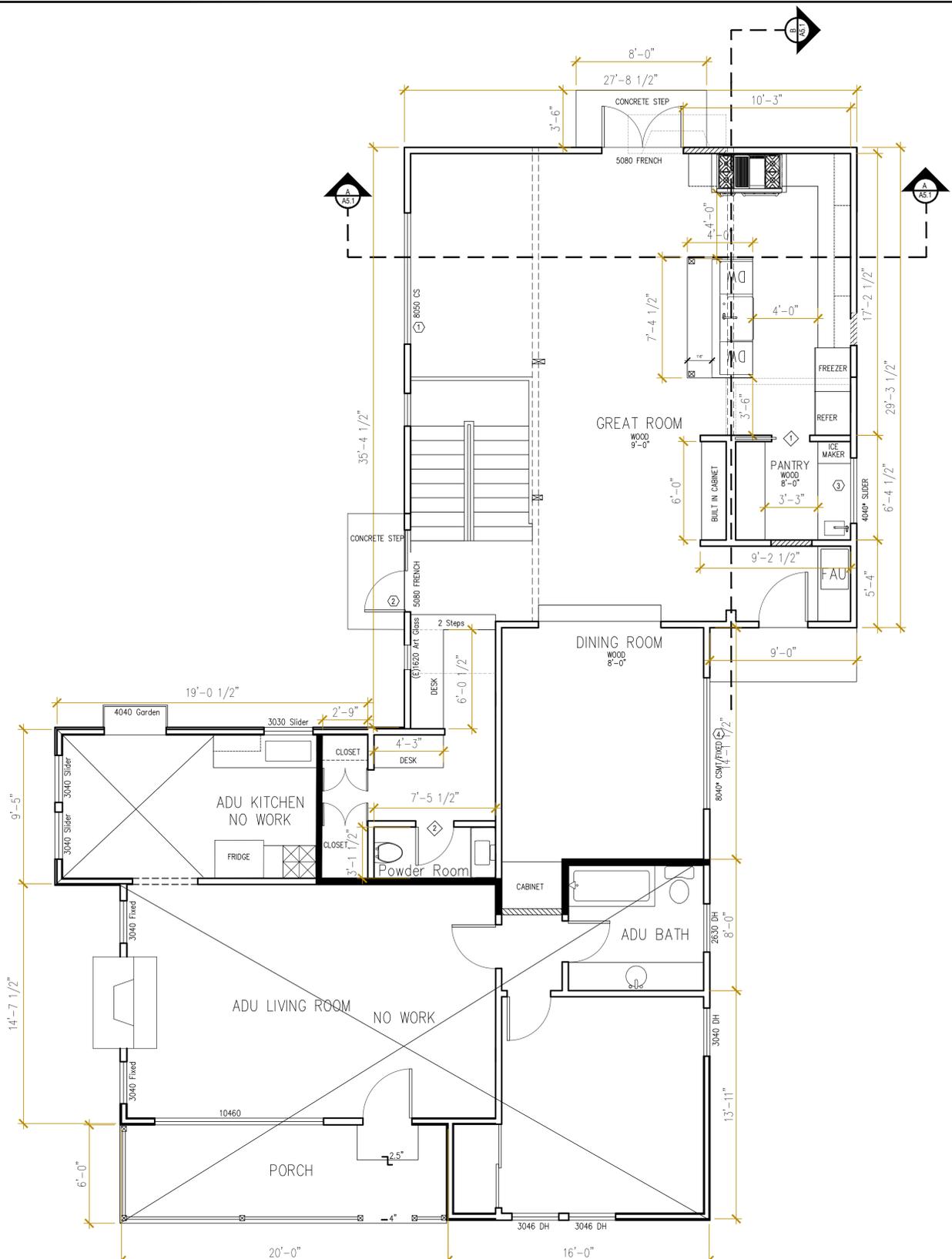
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NO	REVISION	BY
1	7/14/23	HH
2	11/6/23	HH

ELEVATIONS  
SHEET  
A3.1

DATE: 6/8/2021



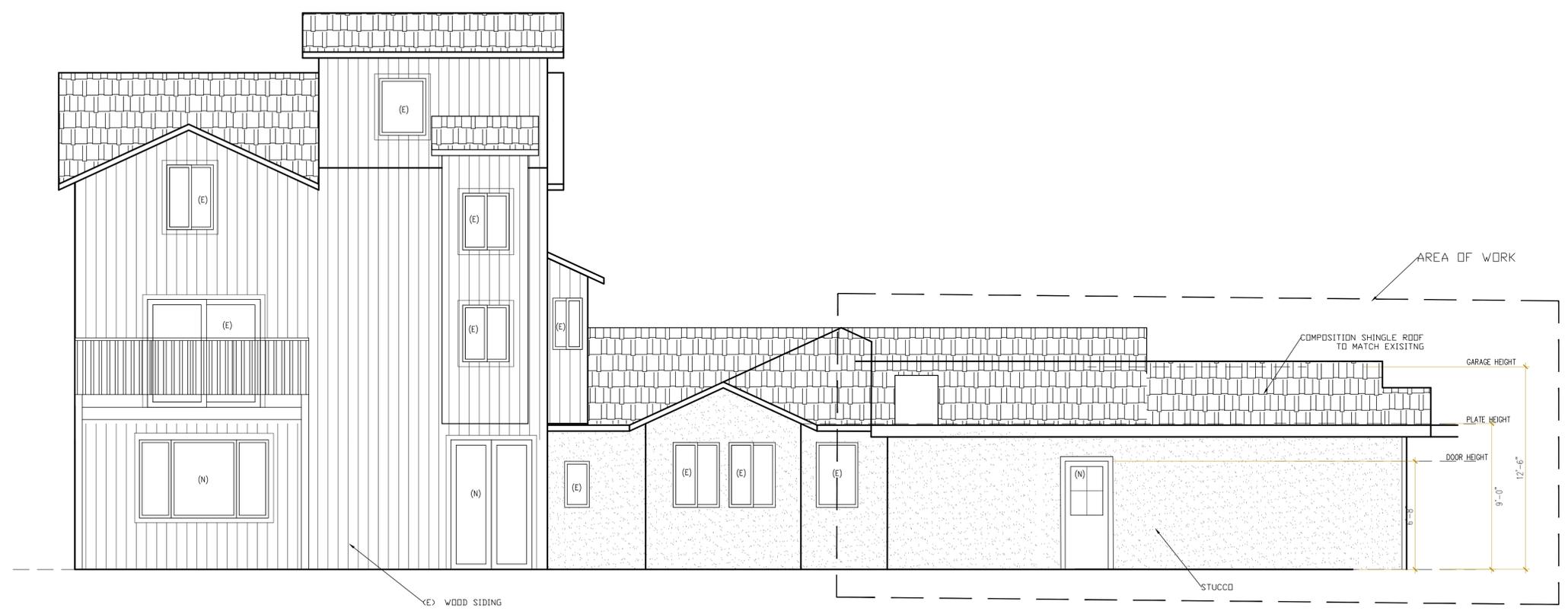
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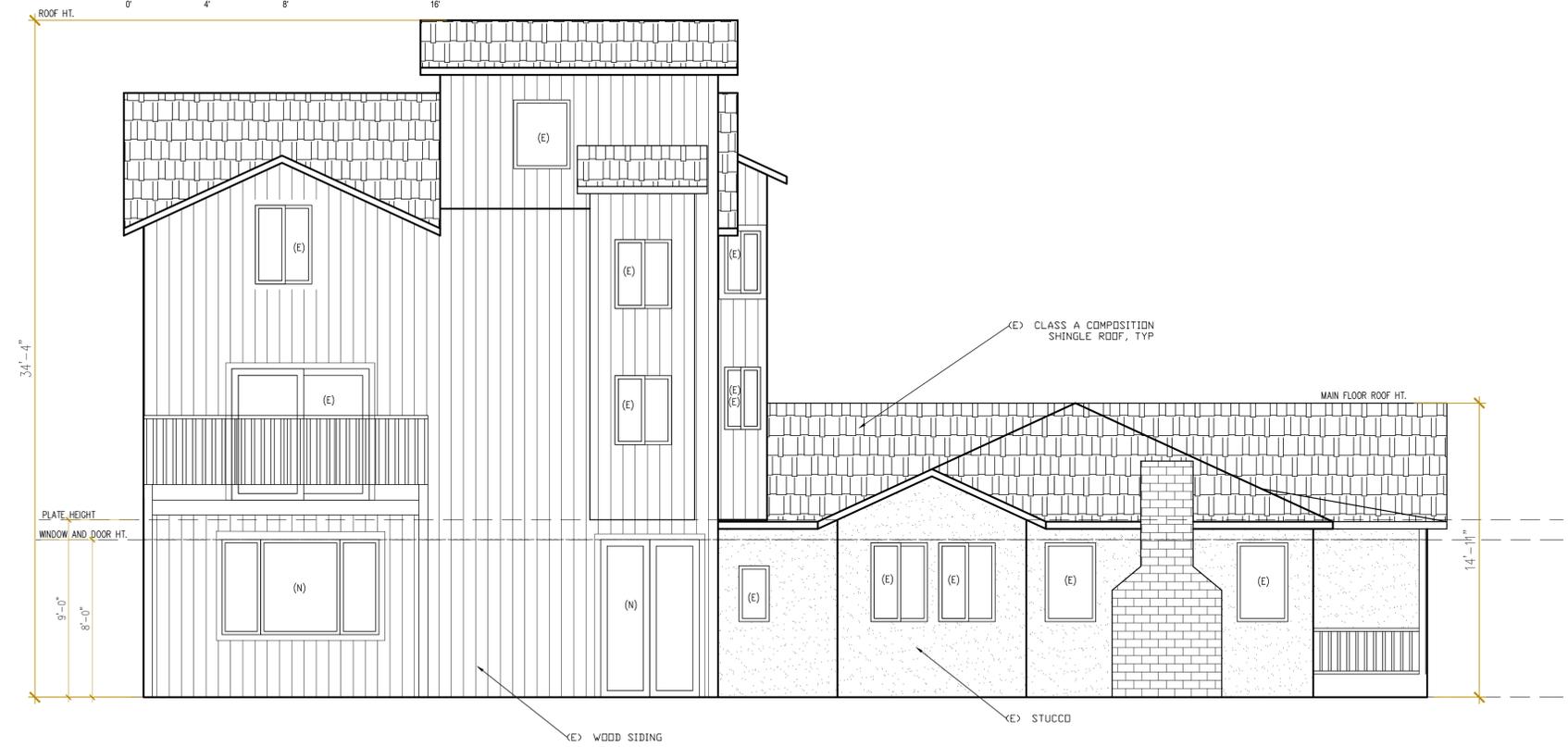
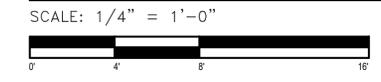
REVISION	BY
1 7/14/23	HH
2 11/6/23	HH

**EXISTING PLAN**  
 SHEET  
**A2.2**  
 DATE: 7-14-23

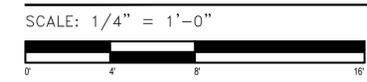
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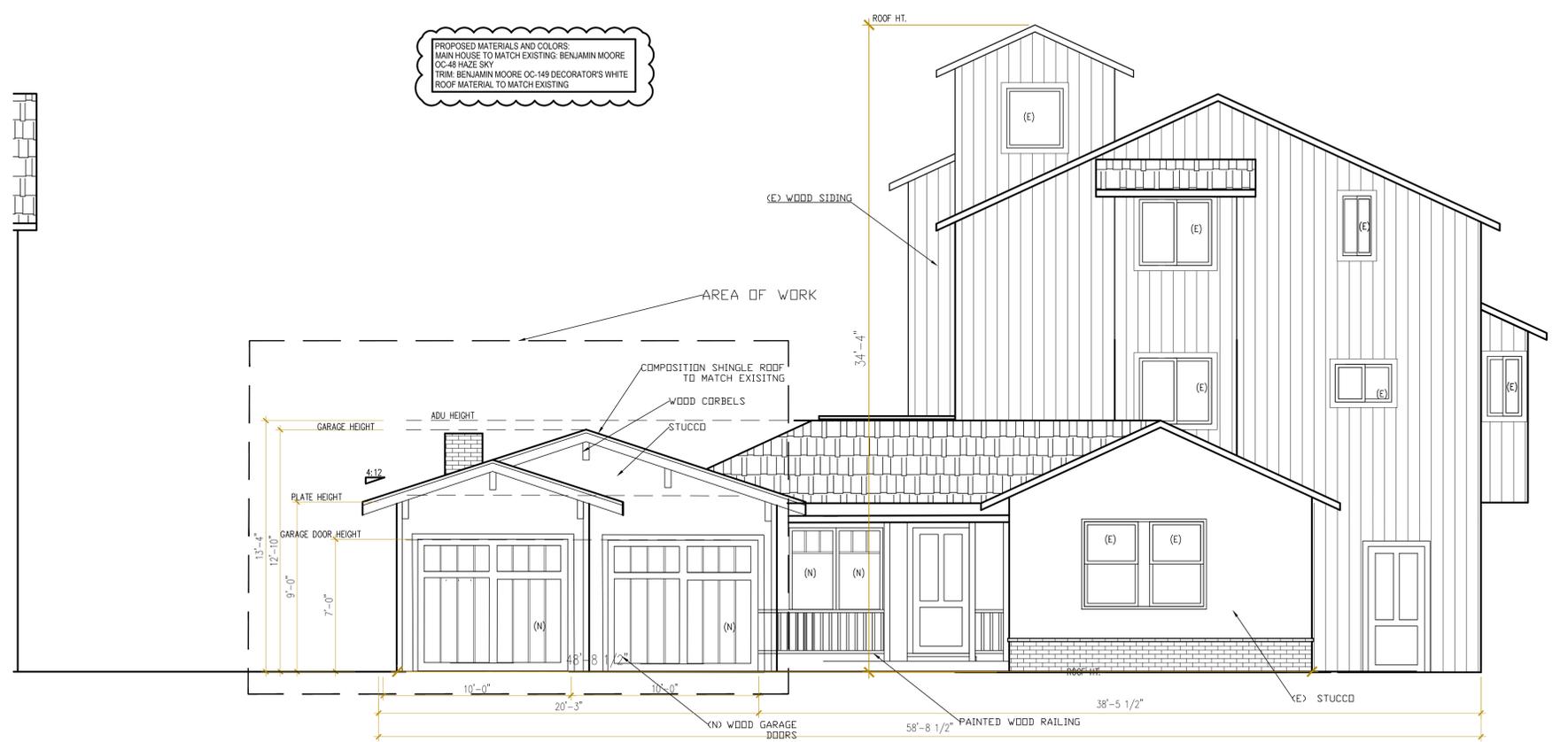
**PROPOSED LEFT SIDE ELEVATION**



**EXISTING LEFT SIDE ELEVATION**



PROPOSED MATERIALS AND COLORS:  
 MAIN HOUSE TO MATCH EXISTING: BENJAMIN MOORE  
 OC-48 HAZE SKY  
 TRIM: BENJAMIN MOORE OC-149 DECORATOR'S WHITE  
 ROOF MATERIAL TO MATCH EXISTING



**PROPOSED FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**EXISTING FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



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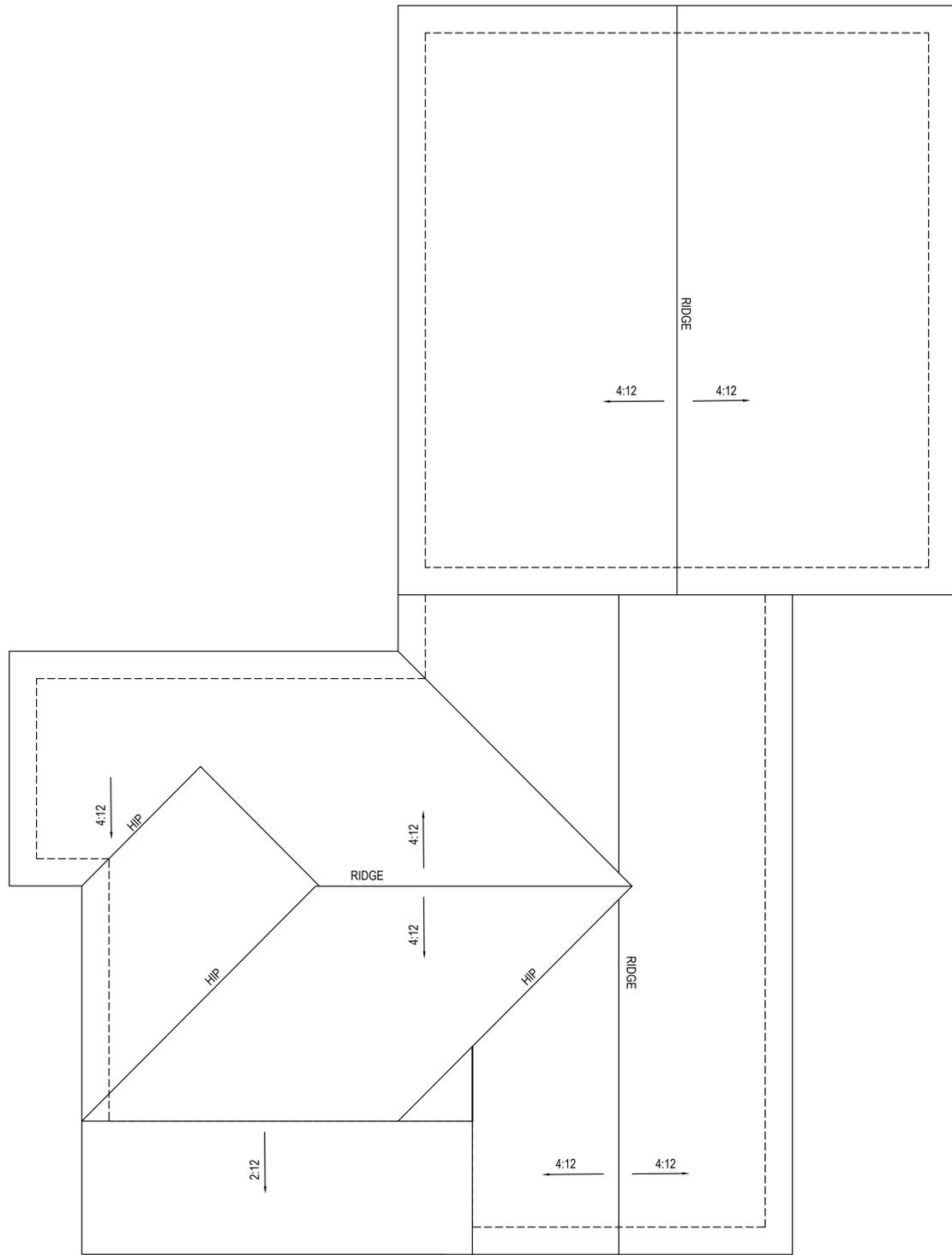
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1	7/14/23	HH
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E AND P  
 ELEVATION

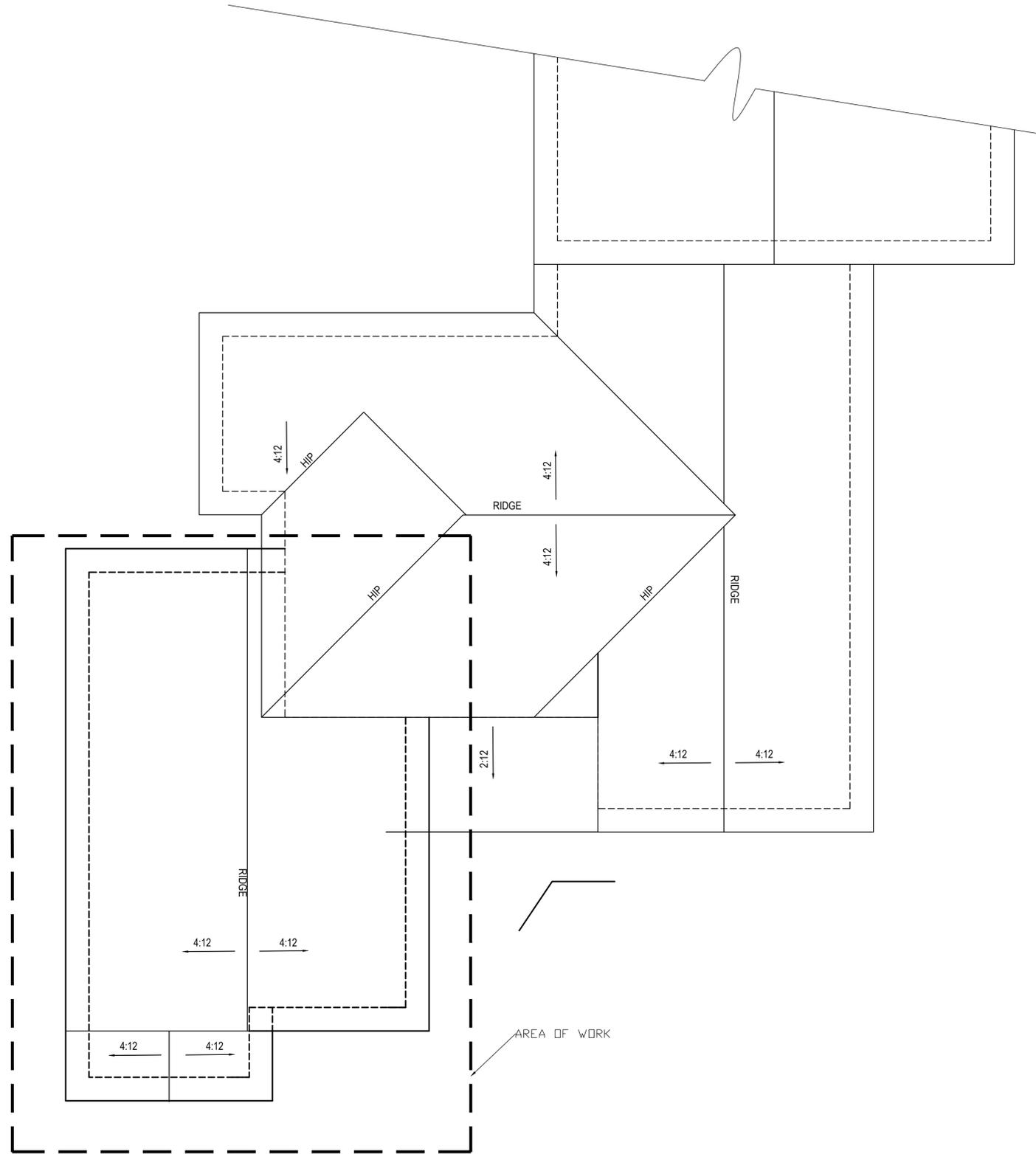
SHEET  
**A3.3**

DATE: 7-14-23



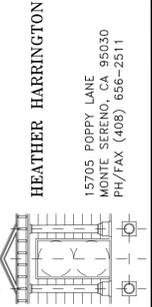
EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



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NO	REVISION	BY
1	7/14/23	HH
2	11/6/23	HH

ROOF PLAN

SHEET

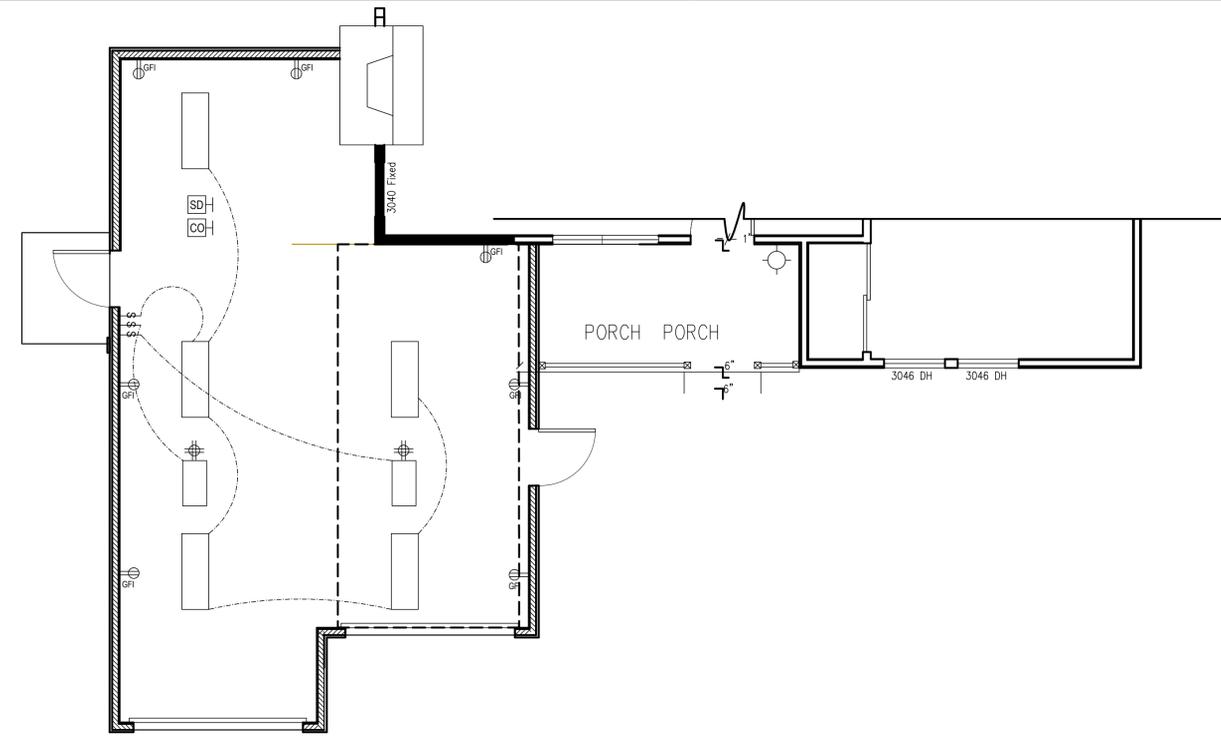
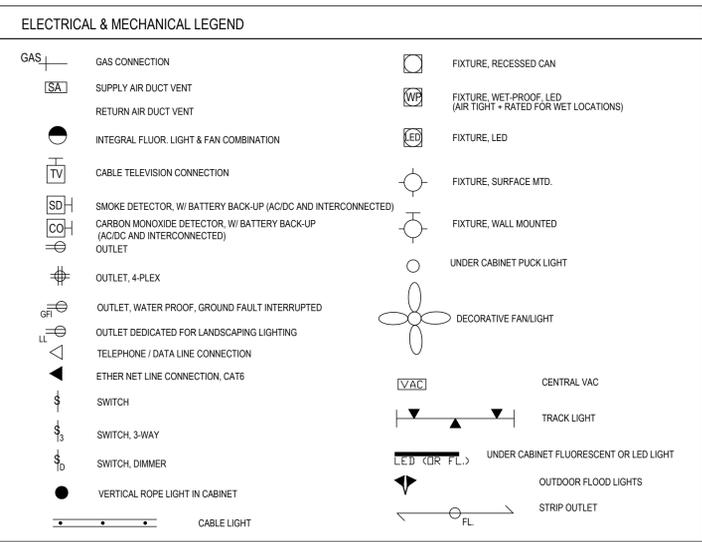
A4.1

DATE: 7/14/2023

NO	REVISION	BY
1	7/14/23	HH
2	11/6/23	HH

SECTIONS  
 SHEET  
 ME

- GENERAL ELECTRICAL NOTES:**
1. Electrical plans is a suggested layout. Consult with owner for specially electrical features such as central vacuum system, intercom, security system, outlets, cable television, phone outlets, special lighting, etc. prior to construction.
  2. Exterior receptacles must be within 6'-6" of grade.
  3. A dedicated 20 amp circuit shall be provided to serve the required bathroom outlets. This circuit cannot supply any other receptacles, lights, fans, etc.
  4. Exterior outlets shall be G.F.C.I. and waterproof.
  5. Ceiling mounted smoke detectors shall be 110v, hardwired with battery backup, as required by U.B.C. 310.9.1.4 Smoke detectors shall be interconnected as per NFOA 72, so that one alarm activated will sound all alarms in the dwelling unit.
  6. All electrical outlets shall be located with a dimension to the bottom of the box unless noted otherwise. All electrical outlets shall be 12" abv. the sub floor.
  7. All electrical and mechanical fixtures to be installed according to manufacturers specifications.
  8. Outlets located over counters shall be 2" above the height of the splash to the bottom of the box mounted horiz. typ., or 6" where splash is to used unless otherwise noted.
  9. Provide G.F.I. for all outlets installed in bathrooms, garages, outdoors, and areas where water may be present.
  10. Provide min. one separate circuit to laundry appliance per N.E.C. 220-4(B).
  11. Provide min. two separate 20 amp/ circuits for small kitchen appliances per N.E.C. 220-4(B).
  12. Under cabinet fluorescent lights shall be switched together.
  13. A mechanical ventilation system capable of providing five air changes per hour shall be provided in the master bath toilet room and the powder room, as per U.B.C. 1203.3.
  14. Installation instruction for all listed equipment shall be provided to the field at time of inspection.
  15. Provide smooth metal duct for dryer exhaust extending to outside with back draft damper.
  16. Conductor wires with an insulated neutral and four-prong outlet are required for dryers and cooking units.
  17. Water heater temperature/pressure relief valve shall be attached to a pipe which runs outside the building with the end of the pipe between 6 and 24 inches abv. grade and pointed down.
  18. Water heater shall be secured to resist earthquakes with one strap at the lower one-third of vertical dimension with the lower strap a min. of 6" abv. the controls.
  19. All lighting as high efficacy (i.e. pin based CFL, pulse start MH, HPS, GU-24 sockets other than LEDs, LED luminaires with integral source, etc.), CEC Table 150.0-A
  20. Permanently installed light fixtures must contain crew based "JA" (Joint Appendix B) compliant lamp. "JA" compliant light sources must be marked as "JAS-2016-E" ("JAS-2016-E" luminaires are deemed appropriate for use in enclosed luminaires), CES 150.0(K)G
  21. All JAS compliant light sources in the following locations are controlled by vacancy sensors or dimmers (Exception closets less than 70 sq. ft. and hallways), CEC150.0(K)(2K):
    - A. Ceiling recessed downlight luminaires.
    - B. LED luminaires with integral sources.
    - C. Pin-based LED lamps (i.e. MR16, AR-111, etc.)
    - D. GU-24 based LED light sources.
  22. At least one fixture in each bathroom controlled by a vacancy sensor.
    - A. Photo control and motion sensor.
    - B. Photo control and automatic time switch control.
    - C. Astronomical time switch control.
    - D. Energy Management Control Systems.
  23. All outdoor lighting as high efficacy with manual on/off switch and ONE of the following in accordance with CEC 150.0(K)3:
    - A. Photo control and motion sensor.
    - B. Photo control and automatic time switch control.
    - C. Astronomical time switch control.
    - D. Energy Management Control Systems.
  24. All recessed luminaires, in insulated ceilings, must be approved for zero-clearance insulation cover and must be certified airtight (Can lights to be IC, AT Rated).
  25. Lighting in garages, laundry rooms, and utility rooms must all meet the same requirements as apply to bathrooms.
  26. Recessed can lights to be UL listed and approved, IC and AT Rated.
  27. Provide separate circuit for disposal, dishwasher, FAU, (2) 20 amp small appliances, 20 amp for bath and 20 amp for laundry rooms, for Jacuzzi motor.
  28. All bedrooms to have combo type arch fault protection as required by article 210.12 CEC.



120V ELECTRICAL RECEPTACLE LOCATED WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS.

ARC-FAULT CIRCUIT INTERRUPTER (NEW) SECTION 210.12 and 210.8 ARC FAULT (AFCI) REQUIRED IN FAMILY RMS, DINING RMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUN ROOMS, REC. RMS, CLOSETS AND HALLWAYS AND LIGHTING.

15-AMP AND 20-AMP DWELLING UNIT RECEPTACLES OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES, CEC-ARTICLE 406.12

ALL NEW LIGHTING SHALL BE HIGH EFFICACY COMPLIANT TO TABLE 150.0A CEC. SCREW-BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JAS (JOINT APPENDIX B) COMPLIANT LAMPS. JAS COMPLIANT LIGHT SOURCES IN CEILING RECESSED DOWNLIGHTS AND LEDS ARE TO BE CONTROLLED BY VACANCY SENSORS OR DIMMERS.

GROUNDFAULT (GFCI) IS REQUIRED IN BATHROOMS, GARAGES, ACCESSORY AREAS, EXTERIOR, CRAWLSPACES, BASEMENTS, DISHWASHERS, AND DISPOSALS. COMBINATION AFCI GFCI IS REQUIRED IN KITCHENS, AND LAUNDRY AREAS.