





City of Campbell  
 70 North First Street  
 Campbell, CA 95008 –1423

## Project Image



# Courtesy Notice

Dear Campbell Resident,

September 28, 2023

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

**Project Address:** 251 Llewellyn Ave  
**Zoning | Area Plan:** MDH | N/A  
**Neighborhood Association(s):** Campbell CC Neighborhood Group  
**Council District:** 3  
**File No.:** PLN-2023-164  
**APN:** 305-17-017  
**Applicant:** Civil Engineering Associates  
**Property Owner:** Uplift Family Services  
**Application Type:** Major Housing Development Project Permit, Tentative Subdivision Map, and Density Bonus  
**Project Planner:** Daniel Fama, Senior Planner  
**Email Contact:** [danielf@campbellca.gov](mailto:danielf@campbellca.gov)  
**Phone Contact:** (408) 866-2193

**Project Description:**

106-unit residential housing development, consisting of 18 detached small-lot single-family homes and 88 townhomes across 12 rows, on a 5 ½ acre property.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal. To view the project plans, please scan the QR code.

\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traducción en Español



# PLANNING PERMIT PACKAGE

# 251 LLEWELLYN AVENUE

## CAMPBELL CALIFORNIA

### BUILDING SUMMARY (TOWNHOMES)

#### TOWNHOME CONDOS | BUILDING 100

Construction: R2, VB  
Sprinkler System: Full13

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL AMOUNT OF UNITS	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL	PORCH TOTAL
PLAN 3	CONDO	2 BED + 2.5 BATH	2 CAR TAND- CAR	3	1678	492	92	11
PLAN 4	CONDO	3 BED + 3.5 BATH	2-CAR	1	2094	447	110	108
PLAN 5	CONDO	3 BED + 3.5 BATH	2-CAR	2	2192	441	122	116

#### TOWNHOME CONDOS | BUILDING 200

Construction: R2, VB  
Sprinkler System: Full13

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL AMOUNT OF UNITS	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL	PORCH TOTAL
PLAN 1	CONDO	2 BED + 2.5 BATH	2 CAR TAND- CAR	1	1433	438	83	0
PLAN 2	CONDO	2 BED + 2.5 BATH	2 CAR TAND- CAR	1	1548	472	96	0
PLAN 3	CONDO	2 BED + 2.5 BATH	2 CAR TAND- CAR	2	1678	492	92	11
PLAN 4	CONDO	3 BED + 3.5 BATH	2-CAR	1	2094	447	110	108
PLAN 5	CONDO	3 BED + 3.5 BATH	2-CAR	1	2192	441	122	116
PLAN 6	CONDO	3 BED + 3.5 BATH	2-CAR	1	2339	444	123	123

#### TOWNHOME CONDOS | BUILDING 300

Construction: R2, VB  
Sprinkler System: Full13

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL AMOUNT OF UNITS	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL	PORCH TOTAL
PLAN 1	CONDO	2 BED + 2.5 BATH	2 CAR TAND- CAR	1	1433	438	83	0
PLAN 2	CONDO	2 BED + 2.5 BATH	2 CAR TAND- CAR	1	1548	472	96	0
PLAN 3	CONDO	2 BED + 2.5 BATH	2 CAR TAND- CAR	3	1678	492	92	11
PLAN 4	CONDO	3 BED + 3.5 BATH	2-CAR	2	2094	447	110	108
PLAN 5	CONDO	3 BED + 3.5 BATH	2-CAR	1	2192	441	122	116

#### TOWNHOME CONDOS | BUILDING 400

Construction: R2, VB  
Sprinkler System: Full13

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL AMOUNT OF UNITS	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL	PORCH TOTAL
PLAN 1	CONDO	2 BED + 2.5 BATH	2 CAR TAND- CAR	2	1433	438	83	0
PLAN 2	CONDO	2 BED + 2.5 BATH	2 CAR TAND- CAR	2	1548	472	96	0
PLAN 3	CONDO	2 BED + 2.5 BATH	2 CAR TAND- CAR	2	1678	492	92	11
PLAN 4	CONDO	3 BED + 3.5 BATH	2-CAR	2	2094	447	110	108
PLAN 6	CONDO	3 BED + 3.5 BATH	2-CAR	1	2339	444	123	123

#### BUILDING AREA SUMMARY

	BUILDING 100	BUILDING 200	BUILDING 300	BUILDING 400
1ST FLOOR	5,142	5,763	6,433	7,121
2ND FLOOR	5,417	6,108	6,803	7,485
3RD FLOOR	5,084	5,655	6,334	6,822
TOTAL	15,643	17,526	19,570	21,428

- Building Area Calculations Are Inclusive of Garages, Utility Cabinets, Patios, and Decks.
- Square Footage May Vary Due To Method Of Calculation.

#### LIVING AREA SUMMARY

	LIVING AREA	BUILDINGS ON SITE	TOTAL
BUILDING 100	11,660	2	23,320
BUILDING 200	13,134	6	78,804
BUILDING 300	14,599	2	29,198
BUILDING 400	16,244	2	32,488
		TOTAL LIVING AREA ON SITE	163,810

- Living Area Calculations Are Exclusive of Garages, Utility Cabinets, Patios and Decks.
- Square Footage May Vary Due To Method of Calculation.

#### BUILDING SUMMARY (SINGLE FAMILY - DETACHED TOWNHOMES)

##### SFD | Plan 1

Construction: R3, VB  
Sprinkler System: 13D

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL AMOUNT OF HOMES	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL
PLAN 1	S.F.D.	4 BED + 3 BATH	2-CAR	4	2548	494	146

##### SFD | Plan 2

Construction: R3, VB  
Sprinkler System: 13D

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL NUMBER OF HOMES	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL
PLAN 2	S.F.D.	4 BED + 3 BATH	2-CAR	14	2567	491	73

#### PROJECT DATA SUMMARY TABLE

- PROPERTY ADDRESS: 251 LLEWELLYN AVENUE, CAMPBELL, CALIFORNIA
- ASSESSOR'S PARCEL NUMBER: 305-17-017
- BASIS OF BEARINGS: THE BEARING NORTH 00°30'02" EAST AS FOUND MONUMENTED ON LLEWELLYN AVENUE, AS SHOWN ON THAT CERTAIN MAP ENTITLED "TRACT NO. 9138" FILED FOR RECORDED IN BOOK 714 OF MAPS AT PAGES 29-30, SANTA CLARA COUNTY RECORDS, WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN ON THIS SURVEY.
- BENCHMARK: CITY OF CAMPBELL NO. 54, NORTHEAST CORNER OF LATIMER AVENUE & LLEWELLYN AVENUE AT EAST END OF CURB RETURN. ELEVATION: 188.867 GENERAL PLAN DESIGNATION: MEDIUM DENSITY RESIDENTIAL
- EXISTING ZONING: P-F (PUBLIC FACILITIES)
- PROPOSED ZONING: MDR (MEDIUM DENSITY RESIDENTIAL)
- FORM BASED ZONING: T4 NEIGHBORHOOD MEDIUM (T4N.M)
- GROSS PROJECT SIZE: 5.56 ACRES
- NET PROJECT SIZE: 5.56 ACRES
- SITE COVERAGE:
  - BUILDING AREA: 97,257 SF 40%
  - ROADWAY/PAVING AREA: 56,873 SF 24%
  - SIDEWALK/HARDSCAPE: 17,509 SF 7%
  - LANDSCAPE: 70,634 SF 29%
  - TOTAL SITE AREA: 242,273 SF 100%
- RESIDENTIAL UNITS: 106 UNITS
- SITE DENSITY: 106 UNITS / 5.56 ACRES = 19 DU/ACRE
- PARKING REQUIREMENTS:
  - MUNICIPAL CODE REQUIREMENTS (PER SECTION 21.28.040 OF MUNICIPAL CODE):
  - 2 1/2 SPACES FOR EACH UNIT, 2 OF WHICH SHALL BE COVERED, PLUS 1/2 SPACE DESIGNATED GUEST PARKING SPACE FOR EACH UNIT.
  - TOTAL PARKING REQUIRED: 265
  - TOTAL PARKING PROVIDED: 265 TOTAL
    - GARAGE PARKING (2 PER UNIT): 212
    - GUEST VEHICLE PARKING STALLS PROVIDED: 52 PARKING STALLS
    - MOTORCYCLE STALLS PROVIDED: 4 PARKING STALLS (1 EQUIVALENT STALLS @ 4:1 RATIO)
- DESIGN SITES: 30 (1 PER BUILDING)
- GROUND FLOOR NON-RESIDENTIAL REQUIRMENT: NOT APPLICABLE
- LARGE SITE: THE SITE IS SUBJECT TO THE LARGE SITE REQUIREMENTS

#### SHEET INDEX

##### CIVIL

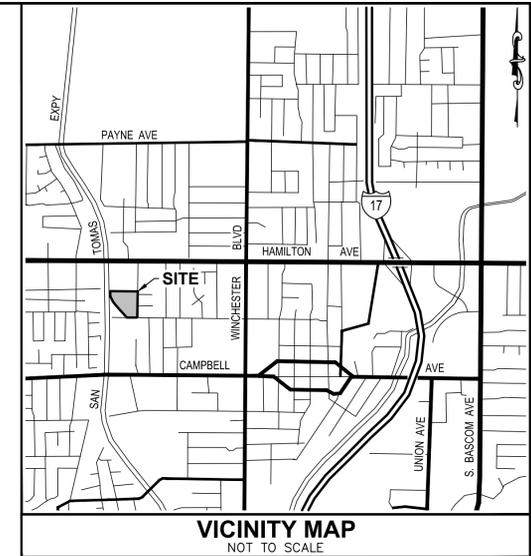
- C1.0 COVER SHEET
- C1.1 LEGEND AND ABBREVIATIONS
- C2.0 WALKABLE NEIGHBORHOOD PLAN
- C2.1 WALKABLE NEIGHBORHOOD PLAN
- C3.0 EXISTING CONDITIONS & DEMOLITION PLAN
- C3.1 SITE PHOTOGRAPHY PLAN
- C4.0 TREE REMOVAL & PROTECTION PLAN
- C5.0 CIVIL SITE PLAN
- C6.0 GRADING & DRAINAGE PLAN
- C7.0 UTILITY PLAN
- C8.0 SITE SECTIONS
- C9.0 STORMWATER SITE PLAN
- C9.1 STORMWATER NOTES AND DETAILS
- C10.0 CIRCULATION AND ACCESS PLAN
- C11.0 EMERGENCY ACCESS PLAN
- C12.0 BELOW MARKET RATE HOUSING PLAN
- TM.0 VESTING TENTATIVE MAP
- TM.1 VESTING TENTATIVE MAP

##### LANDSCAPE

- L1.0 CONCEPTUAL OVERALL LANDSCAPE PLAN
- L1.1 CONCEPTUAL LANDSCAPE CALLOUT PLAN
- L1.2 CONCEPTUAL LANDSCAPE CALLOUT PLAN
- L1.3 CONCEPTUAL LANDSCAPE PARK ENLARGEMENT
- L1.4 MAILBOX PLAN
- L1.5 OPEN SPACE PLAN
- L2.0 CONCEPTUAL LANDSCAPE DETAILS & IMAGERY
- L2.1 CONCEPTUAL LANDSCAPE DETAILS & IMAGERY
- L3.0 CONCEPTUAL OVERALL PLANTING PLAN
- L3.1 CONCEPTUAL TREE & BIORETENTION PALETTE
- L3.2 CONCEPTUAL PLANTING PALETTE
- L3.3 CONCEPTUAL TREE IMAGERY
- L3.4 CONCEPTUAL SHRUB IMAGERY
- L3.5 CONCEPTUAL BIORETENTION PLANTING IMAGERY
- L4.0 CONCEPTUAL IRRIGATION HYDROZONE PLAN

##### ARCHITECTURAL

- A1.0 SFD / TOWNHOME CONDOS
- SS.1 SFD PERSPECTIVE VIEW
- A1.1 PLAN 1 BUILDING FLOOR PLANS
- A1.2 PLAN 1 BUILDING FLOOR PLANS
- A1.3 PLAN 2 BUILDING FLOOR PLANS
- A1.4 PRIVACY FLOOR PLANS
- A1.5 PLAN 2A BUILDING FLOOR PLANS
- A1.6 PLAN 2A BUILDING FLOOR PLANS
- A1.7 CONCEPTUAL SECTIONS
- A1.8 WINDOWS & DETAILS
- A2.1 BUILDING 100 FLOOR PLANS
- A2.2 BUILDING 100 FLOOR PLANS
- A2.3 BUILDING 100 PERSPECTIVE VIEW
- A2.4 BUILDING 100 BUILDING ELEVATIONS
- A2.5 BUILDING 200 FLOOR PLANS
- A2.6 BUILDING 200 FLOOR PLANS
- A2.7 BUILDING 200 PERSPECTIVE VIEW
- A2.8 BUILDING 200 BUILDING ELEVATIONS
- A2.9 BUILDING 300 FLOOR PLANS
- A2.10 BUILDING 300 FLOOR PLANS
- A2.11 BUILDING 300 PERSPECTIVE VIEW
- A2.12 BUILDING 300 BUILDING ELEVATIONS
- A2.13 BUILDING 400 FLOOR PLANS
- A2.14 BUILDING 400 FLOOR PLANS
- A2.15 BUILDING 400 PERSPECTIVE VIEW
- A2.16 BUILDING 400 BUILDING ELEVATIONS
- A2.17 PLAN 1 AND 2 FLOOR PLANS
- A2.18 PLAN 3 AND 4 FLOOR PLANS
- A2.19 PLAN 5 FLOOR PLANS
- A2.20 PLAN 6 FLOOR PLANS
- A2.21 BUILDING SECTIONS
- A2.22 WINDOWS & DETAILS
- A2.23 COLOR SCHEMES
- A2.24 COLOR SCHEMES
- A2.25 COLOR SCHEMES



#### APPLICANT:



4511 WILLOW ROAD, SUITE 8  
PLEASANTON, CALIFORNIA 94588  
PHONE (925) 249-3200

#### CONSULTANTS:

##### CIVIL ENGINEER



28 Railway Avenue  
Campbell, CA 95008  
T: (408) 453-1066

##### ARCHITECTURE



5000 EXECUTIVE PKY, STE 375  
SAN RAMON, CA 94583  
PHONE: (925) 463-1725

##### LANDSCAPE ARCHITECTURE



81 14TH STREET  
SAN FRANCISCO, CA 94103  
PHONE: (415) 864-1921

##### DRY UTILITY CONSULTANT



7901 STONERIDGE DR, STE 200  
PLEASANTON, CA 94588  
PHONE: (925) 682-1114

NO.	DATE	REVISIONS

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**Civil Engineering Associates**  
Civil Engineers • Planners • Surveyors

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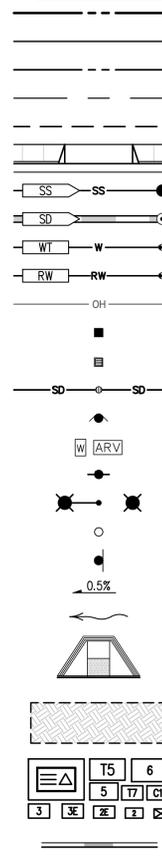
**PutteGroup**

PREPARED FOR:  
PLANNING PERMIT PACKAGE  
CIVIL IMPROVEMENTS COVER SHEET  
CALIFORNIA

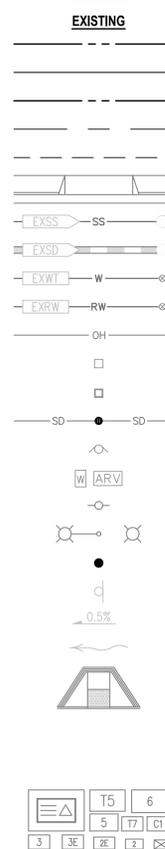
251 LLEWELLYN AVENUE  
CAMPBELL

DATE 09/15/2023  
SCALE SEE PLAN  
DESIGNED ENG  
DRAWN CAD  
JOB NO. 20-150  
SHEET C1.0  
1 OF 68 SHEETS

**TO BE CONSTRUCTED**



**EXISTING**



**DESCRIPTION**

BOUNDARY  
PROPERTY LINE  
RIGHT OF WAY  
CENTER LINE  
EASEMENT LINE  
CURB, GUTTER, SIDEWALK & DRIVEWAY  
SANITARY SEWER PIPE & MANHOLE  
STORM DRAIN PIPE & MANHOLE  
WATER MAIN & VALVE  
RECYCLED WATER MAIN & VALVE  
OVERHEAD LINE  
CURB INLET  
FIELD INLET  
AREA DRAIN PIPE & AREA DRAIN  
FIRE HYDRANT  
WATER METER & AIR RELEASE VALVE  
POWER POLE  
ELECTROLIER  
SURVEY MONUMENT  
SIGN  
DIRECTION OF FLOW & GRADIENT  
DIRECTION OF FLOW  
CURB RAMP  
STORMWATER TREATMENT PLANTER  
UTILITY BOXES & VAULTS  
CURB TRANSITION

**ABBREVIATIONS**

AB	AGGREGATE BASE	HP	HIGH POINT
ABND	ABANDON	IM	IMAGE
AC	ASPHALT CONCRETE	INT	INTERSECTION
AD	AREA DRAIN	INV	INVERT
AP	ANGLE POINT	IP	IRON PIPE
APN	ASSESSORS PARCEL NUMBER	JP	JOINT POLE
ARV	AIR RELEASE VALVE	JT	JOINT TRENCH
ASB	AGGREGATE SUBBASE	LAT	LATERAL
AU	ACCESSIBLE UNIT	LP	LOW POINT
BC	BEGIN CURVE	LS	LANDSCAPE
BK	BOOK	MH	MANHOLE
BW	BOTTOM OF WALL	M	MAPS
B/W	BACK OF WALK	MEAS	MEASURED
BFP	BACK FLOW PREVENTOR	MON	MONUMENT
BOL	BOLLARD	OR	OFFICIAL RECORDS
BLDG	BUILDING	P	PAD
BRK	BRICK	PG	PAGE
BS	BOTTOM OF STEP	PLNT	PLANTER
C&G	CURB & GUTTER	PT	POINT
CB	CATCH BASIN	PIV	POST INDICATOR VALVE
CB	CATCH BASIN	PL	PROPERTY LINE
CEN	CENTER	PP	POWER POLE
CL	CENTERLINE	PS	PROTECTIVE SLOPE
CLF	CHAIN LINK FENCE	PVC	POLYVINYL CHLORIDE PIPE
CO	CLEAN OUT	RC	ROLLED CURB
CONC	CONCRETE	RCE	REGISTERED CIVIL ENGINEER
CONST	CONSTRUCT	RCP	REINFORCED CONCRETE PIPE
COR	CORNER	RE	REEL
CR	CURB RAMP	R&R	REMOVE AND REPLACE
DC	DEPRESSED CURB	RW	RECYCLED WATER
DI	DRAINAGE INLET	R/W	RIGHT OF WAY
DIA	DIAMETER	SD	STORM DRAIN
DIP	DUCTILE IRON PIPE	SER	SERVICE
DBL	DOUBLE	SS	SANITARY SEWER
DS	DOWNSPOUT	SLB	STREET LIGHT BOX
DW	DRIVEWAY	STD	STANDARD
EC	END CURVE	SQ	SQUARE
ESMT	EASEMENT	S/W	SIDEWALK
ELEC	ELECTRICAL	TC	TOP OF CURB
ELECT	ELECTROLIER	TDC	TOP OF DEPRESSED CURB
ENCL	ENCLOSURE	TEL	TELEPHONE
ENCR	ENCROACHING	TG	TOP OF GUTTER
EP	EDGE OF PAVEMENT	TRC	TOP OF ROLLED CURB
ER	END OF RETURN	TS	TOP STEP
EX	EXISTING	TSB	TRAFFIC SIGNAL BOX
FB	FLUSH BAND	TW	TOP OF WALL
FD	FOUND	TYP	TYPICAL
FDC	FIRE DEPARTMENT CONNECTION	UB	UTILITY BOX
FC	FACE OF CURB	UTIL	UTILITY
FEN	FENCE	VCP	VITRIFIED CLAY PIPE
FF	FINISH FLOOR	VL	VAULT
FFG	FINISH FLOOR GARAGE	WB	WATER BOX
FG	FINISH GRADE	WM	WATER METER
FH	FIRE HYDRANT	WT	WATER
FI	FIELD INLET	WV	WATER VALVE
FL	FLOWLINE	WD	WOOD
FS	FIRE SERVICE	XING	CROSSING
F/W	FRONT OF WALK		
GB	GRADE BREAK		
GFF	GARAGE FINISH FLOOR		
GL	GARAGE LIP		
GRT	GRATE		
GV	GAS VALVE		

NO.	DATE	REVISIONS	BY

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**Civil Engineering Associates**  
Civil Engineers • Planners • Surveyors

PREPARED FOR:

**PulteGroup**

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PULTE HOME LIFESOURCE  
PHONE 925-248-3200 FAX 925-488-0281

251 LLEWELLYN AVENUE  
CAMPBELL, CALIFORNIA

PLANNING PERMIT PACKAGE

**CIVIL IMPROVEMENTS  
LEGEND AND ABBREVIATIONS**

DATE 09/15/2023  
SCALE SEE PLAN  
DESIGNED ENG  
DRAWN CAD  
JOB NO. 20-150  
SHEET **C1.1**  
2 OF 68 SHEETS





**LEGEND**

- BLOCK
- - - DESIGN SITE
- LARGE SITE OPEN SPACE
- OPEN SPACE
- TOWNHOUSE T4 NEIGHBORHOOD.MEDIUM
- DETACHED TOWNHOUSE T4 NEIGHBORHOOD.MEDIUM

NO.	DATE	BY

PREPARED FOR:

**PulteGroup**

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 BREA, CA 92621  
 PHONE 925-249-3200 FAX 925-485-0281

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251 LLEWELLYN AVENUE  
 CAMPBELL, CALIFORNIA

PLANNING PERMIT PACKAGE

**WALKABLE NEIGHBORHOOD PLAN  
 PROJECT SITE**

DATE	09/15/2023
SCALE	SEE PLAN
DESIGNED	ENG
DRAWN	CAD
JOB NO.	20-150
SHEET	<b>C2.1</b>
4 OF 68 SHEETS	





1



2



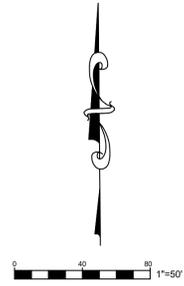
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4



5



NO.	DATE	REVISIONS	BY
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28 Railway Avenue  
Campbell, CA 95008  
T: (408) 453-1066

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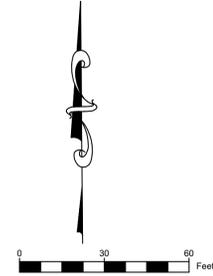
4511 Willow Road, Suite 6488  
San Jose, CA 95135  
Phone: 925-249-3200 Fax: 925-486-0281

**PulteGroup**

251 LLEWELLYN AVENUE  
CAMPBELL, CALIFORNIA

PREPARED FOR:  
**CIVIL IMPROVEMENTS  
SITE PHOTOGRAPHY PLAN**

DATE	09/15/2023
SCALE	SEE PLAN
DESIGNED	ENG
DRAWN	CAD
JOB NO.	20-150
SHEET	<b>C3.1</b>
6 OF 68 SHEETS	



**NOTE:**

1. SEE TREE ASSESSMENT FROM PROJECT ARBORIST REPORT
2. SEE BELOW FOR CITY OF CAMPBELL STANDARDS FOR TREE PROTECTION DURING CONSTRUCTION

**LEGEND**

- TREE 739 EXISTING TREE TO BE REMOVED (NOT PROTECTED OR DEAD/DYING)
- TREE 739 EXISTING TREE TO BE REMOVED (PROTECTED TREE)
- TREE 739 EXISTING TREE TO REMAIN

NOTE: TREE CANOPY SHOWN PER AERIAL SURVEY

**CITY OF CAMPBELL STANDARDS FOR TREE PROTECTION DURING CONSTRUCTION**

CONSTRUCTION OF PRIVATE PROPERTY WHERE PROTECTED TREES ARE DESIGNATED FOR PRESERVATION SHALL BE PROTECTED DURING DEVELOPMENT OF A PROPERTY BY COMPLIANCE WITH THE FOLLOWING:

1. PROTECTIVE FENCING SHALL BE INSTALLED NO CLOSER TO THE TRUNK THAN THE DRIPLINE, AND FAR ENOUGH FROM THE TRUNK TO PROTECT THE INTEGRITY OF THE TREE. PROTECTIVE FENCING SHALL BE INSTALLED AS FOLLOWS:
  - A. THE FENCE SHALL BE A MINIMUM OF SIX FEET IN HEIGHT AND SHALL BE SET SECURELY IN PLACE.
  - B. THE FENCE SHALL BE CHAIN LINK WITHOUT SLATS TO ALLOW VISIBILITY TO THE TRUNK FOR INSPECTIONS AND SAFETY.
  - C. THERE SHALL BE NO STORAGE OF ANY KIND PRIOR TO OR AT SUCH TIME AFTER THE PROTECTIVE FENCING IS INSTALLED.
  - D. THE FENCE MAY BE ADJUSTED AS NECESSARY TO ACCOMMODATE WORK APPROVED WITHIN THE DRIPLINE PROVIDED ANY EXCAVATION IS DONE IN ACCORDANCE WITH INSTRUCTIONS DIRECTED BY A QUALIFIED ARBORIST.
2. THE EXISTING GRADE LEVEL AROUND A TREE SHALL NORMALLY BE MAINTAINED OUT TO THE DRIPLINE OF THE TREE. ALTERNATE GRADE LEVELS MAY BE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR WHEN IT IS REASONABLY DEMONSTRATED THAT THE ALTERNATE GRADE WILL NOT DAMAGE THE HEALTH OF THE TREE.
3. DRAIN WELLS SHALL BE INSTALLED WHENEVER IMPERVIOUS SURFACES WILL BE PLACED OVER THE ROOT SYSTEM OF A PROTECTED TREE (THE ROOT SYSTEM GENERALLY EXTENDS TO THE OUTERMOST EDGES OF THE BRANCHES).
4. TREES THAT HAVE BEEN DAMAGED BY CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH ACCEPTED ARBORICULTURE METHODS.
5. TREES CANNOT BE PRUNED TO ACCOMMODATE GRADING OR CONSTRUCTION WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE CITY. UPON RECEIPT OF WRITTEN APPROVAL, PRUNING OF TREES MUST BE UNDERTAKEN IN ACCORDANCE WITH "PRUNING STANDARDS" OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE AND MUST BE CARRIED OUT BY A LICENSED ARBORIST.
6. SOIL COMPACTION OF THE AREA UNDER THE DRIPLINE OF THE TREE SHALL BE AVOIDED DURING ALL PHASES OF SITE CLEARING AND CONSTRUCTION.
7. NO SOIL STERILANTS OR WEED KILLER THAT WILL INHIBIT OR RESTRICT THE TREE'S GROWTH MAY BE APPLIED IN THE ROOT AREA.
8. NO SIGNS, WIRES OR ANY OTHER OBJECT SHALL BE ATTACHED TO THE TREE.
9. ANY OTHER MEASURES DEEMED NECESSARY BY A QUALIFIED ARBORIST AND SPECIFIED IN ANY REPORT PREPARED FOR DEVELOPMENT PROJECTS WITH CITY REVIEW AND APPROVAL.
10. THE APPLICANT SHALL PROVIDE THE PROJECT PLANNER WITH PHOTOS OF THE INSTALLED PROTECTIVE FENCING PRIOR TO ISSUANCE OF A BUILDING PERMIT.

APN 305-7-017  
RECORD OF SURVEY  
245 M 36  
LANDS OF HOUSTON

TRACT 6698  
450 M 11

TRACT 9138  
714 M 29

KINGS COURT

TRACT 3547  
167 M 11

QUEENS COURT

TRACT 3547  
167 M 11

LATIMER AVENUE

LLEWELLYN AVENUE

BY	
REVISIONS	
NO.	DATE
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△	△
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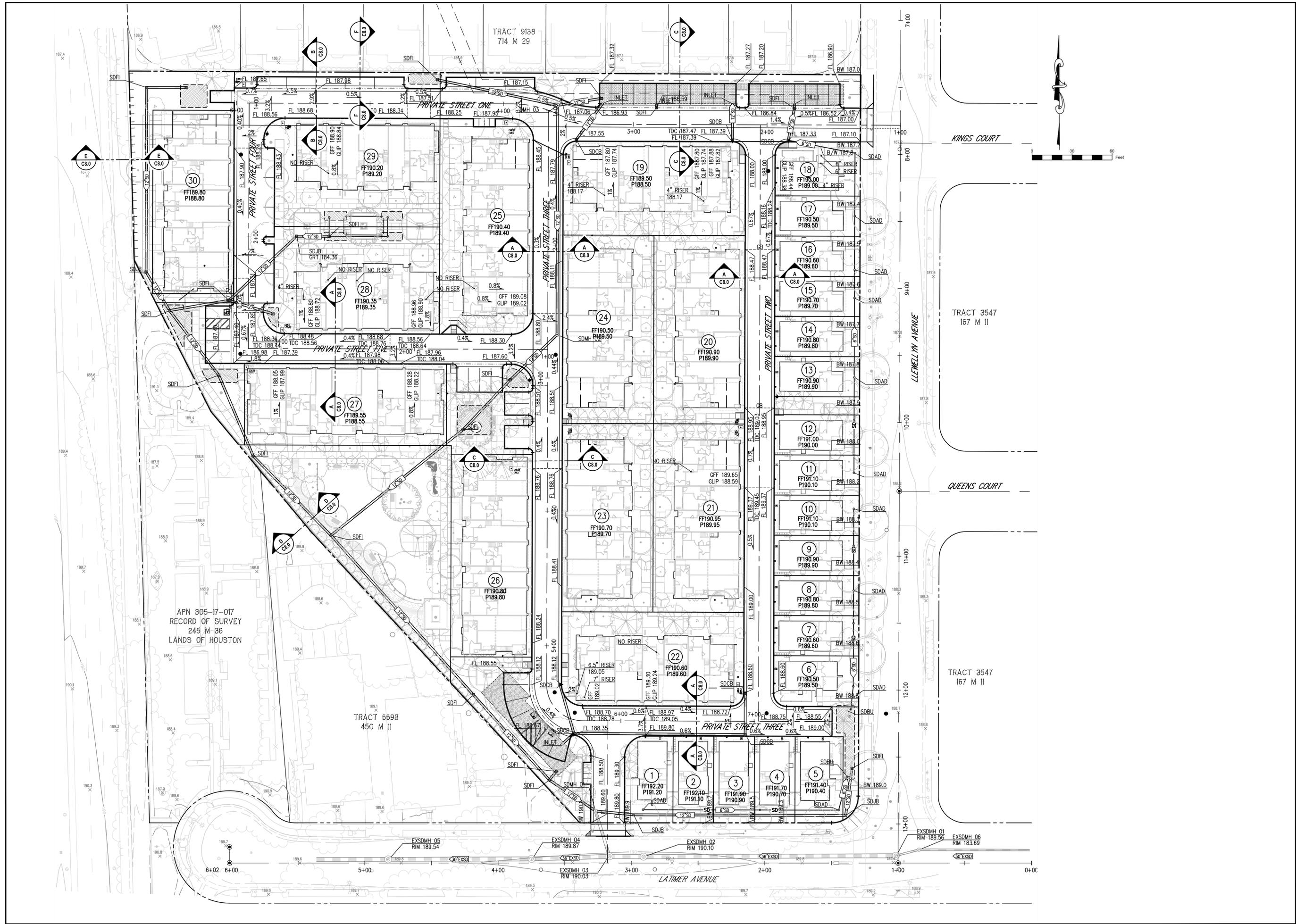
**PulteGroup**

PREPARED FOR:  
251 LLEWELLYN AVENUE  
CAMPBELL, CALIFORNIA

PLANNING PERMIT PACKAGE  
**CIVIL IMPROVEMENT PLANS  
TREE REMOVAL & PROTECTION PLAN**

DATE 09/15/2023  
SCALE SEE PLAN  
DESIGNED ENG  
DRAWN CAD  
JOB NO. 20-150  
SHEET **C4.0**  
7 OF 68 SHEETS

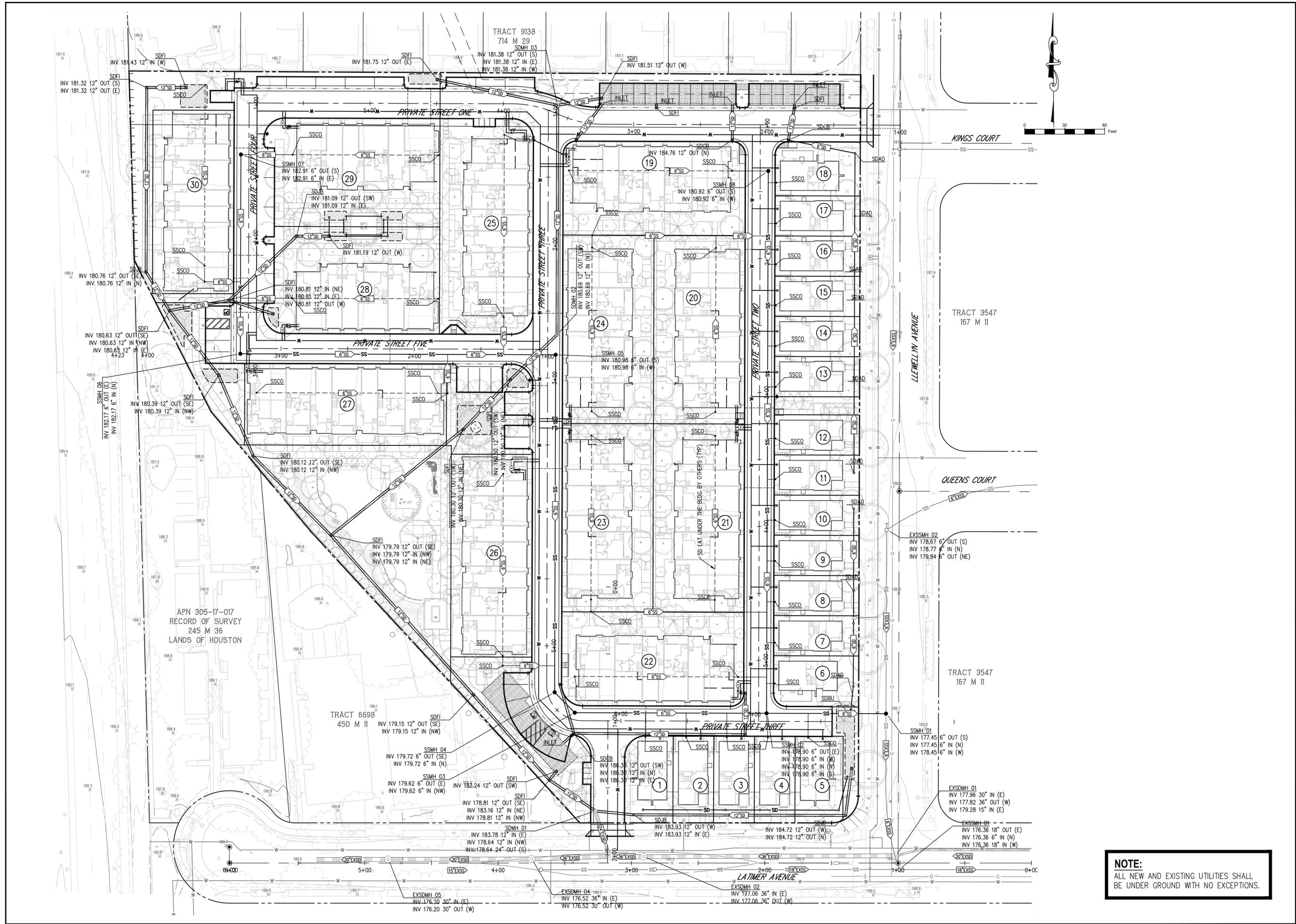




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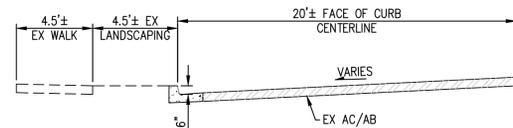
  

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<p>4514 WILLOW ROAD, SUITE 8488 SEASIDE, CA 92138 PHONE 925-438-3200 FAX 925-488-0281</p> <p><b>PulteGroup</b></p>
<p>PREPARED FOR:</p> <p>251 LLEWELLYN AVENUE CAMPBELL, CALIFORNIA</p> <p>PLANNING PERMIT PACKAGE</p> <p><b>CIVIL IMPROVEMENTS GRADING &amp; DRAINAGE PLAN</b></p>
<p>DATE 09/15/2023</p> <p>SCALE SEE PLAN</p> <p>DESIGNED ENG</p> <p>DRAWN CAD</p> <p>JOB NO. 20-150</p> <p>SHEET</p> <p><b>C6.0</b></p> <p>9 OF 68 SHEETS</p>

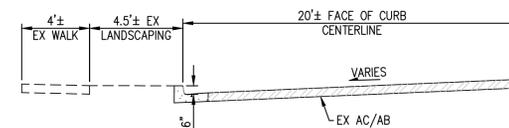


**NOTE:**  
 ALL NEW AND EXISTING UTILITIES SHALL  
 BE UNDER GROUND WITH NO EXCEPTIONS.

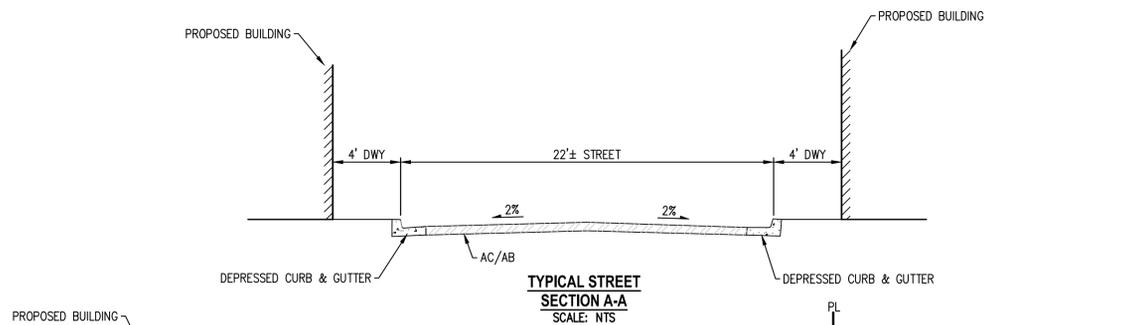
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<p>PREPARED FOR:</p> <p>251 LLEWELLYN AVENUE        CIVIL IMPROVEMENTS        UTILITY PLAN        CALIFORNIA</p>	
<p>1511 WILLOW ROAD, SUITE 6488        PULTE GROUP        PHONE 925-948-3200 FAX 925-485-0281</p>	
DATE	09/15/2023
SCALE	SEE PLAN
DESIGNED	ENG
DRAWN	CAD
JOB NO.	20-150
SHEET	<b>C7.0</b>
	10 OF 68 SHEETS



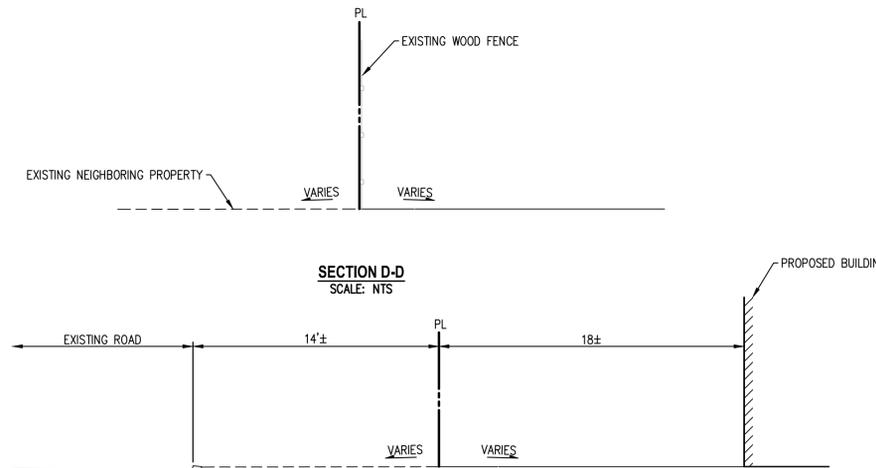
**LATIMER AVE - (TYPICAL)**  
SCALE: NTS



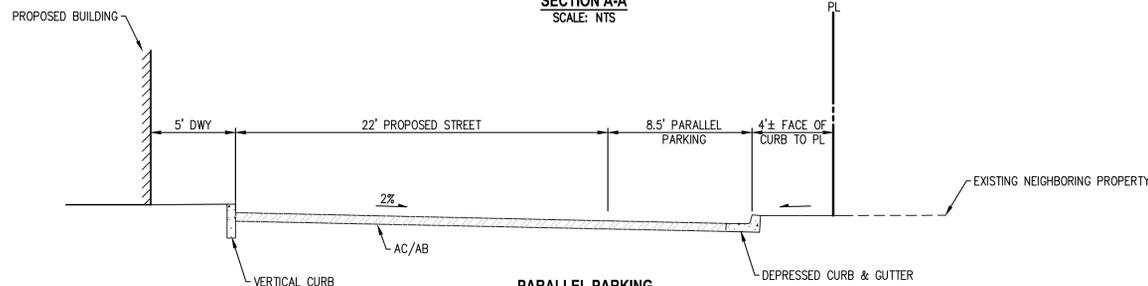
**LLEWELLYN AVE - (TYPICAL)**  
SCALE: NTS



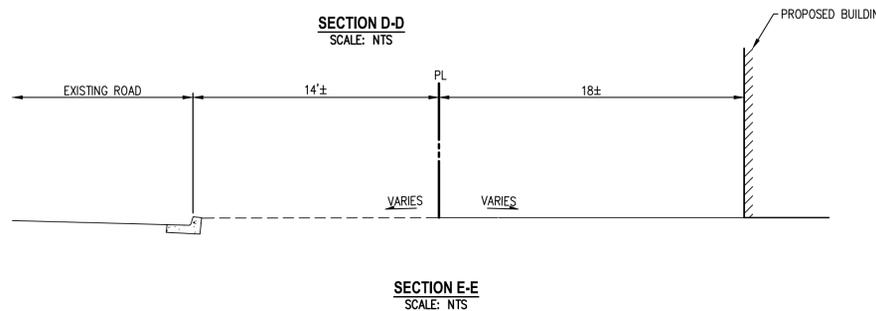
**TYPICAL STREET SECTION A-A**  
SCALE: NTS



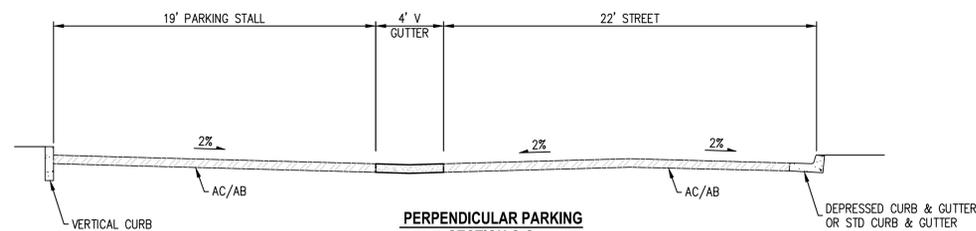
**SECTION D-D**  
SCALE: NTS



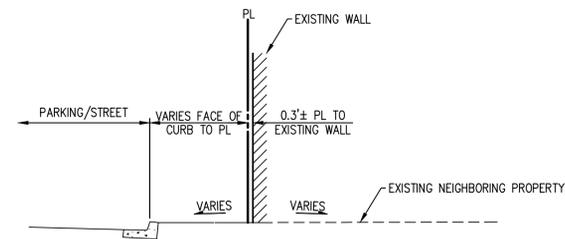
**PARALLEL PARKING SECTION B-B**  
SCALE: NTS



**SECTION E-E**  
SCALE: NTS



**PERPENDICULAR PARKING SECTION C-C**  
SCALE: NTS



**SECTION F-F**  
SCALE: NTS

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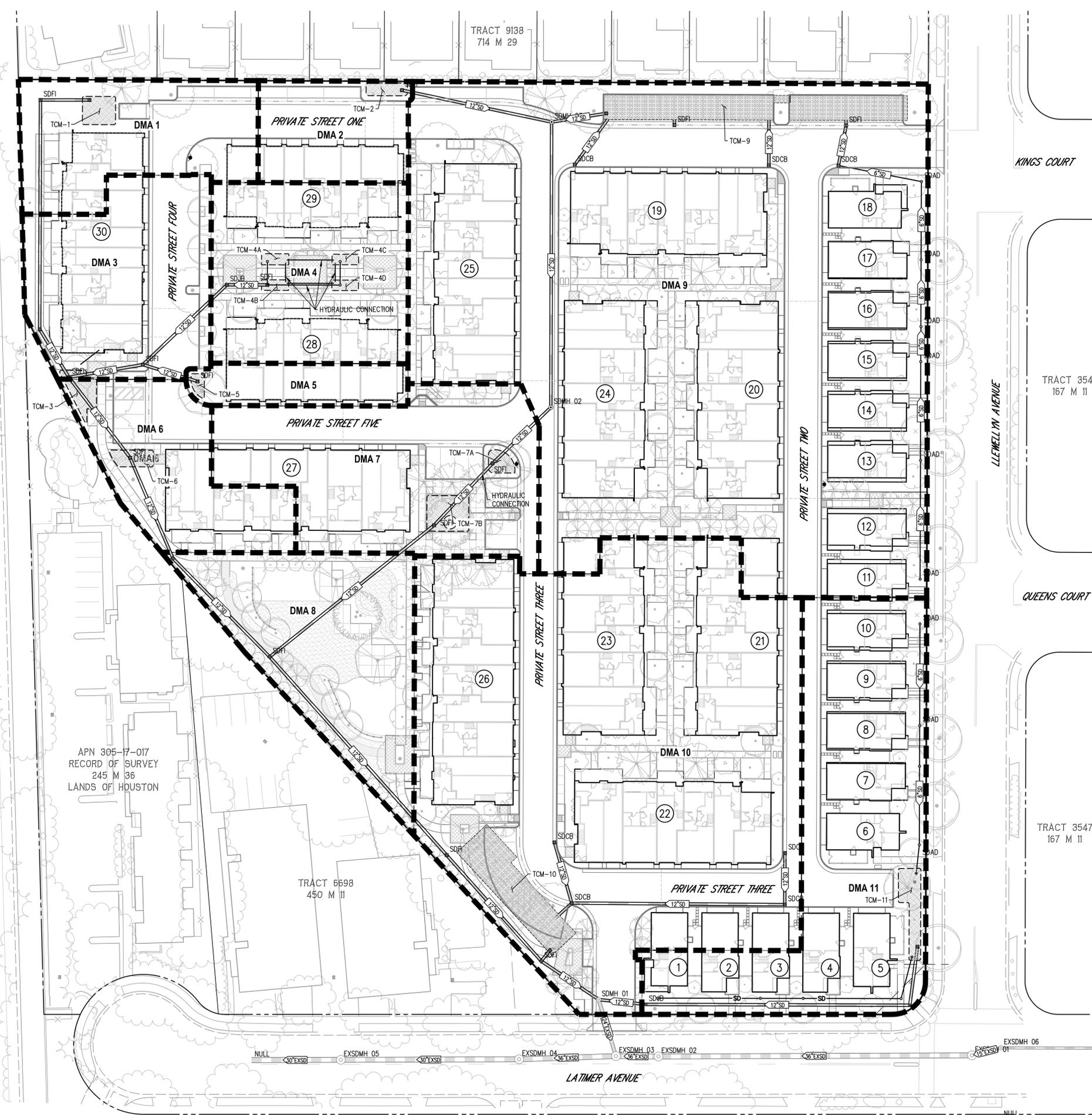
**PREPARED FOR:**

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PULTE GROUP  
PHONE 925-248-3200 FAX 925-488-0981

251 LLEWELLYN AVENUE  
PLANNING PERMIT PACKAGE  
CALIFORNIA

**CIVIL IMPROVEMENTS SITE SECTIONS**

DATE	09/15/2023
SCALE	SEE PLAN
DESIGNED	ENG
DRAWN	CAD
JOB NO.	20-150
SHEET	<b>C8.0</b>
	11 OF 68 SHEETS



APN 305-17-017  
RECORD OF SURVEY  
245 M 36  
LANDS OF HOUSTON

**NOTES**

- PROPERTY INFORMATION  
251 LLEWELLYN AVENUE, CAMPBELL CA  
APN No. 305-17-017  
SITE AREA = 242,273 SF (5.56 AC)
- EXISTING ONSITE IMPERVIOUS AREA = 142,008 SF (3.26 AC)
- EXISTING ONSITE PERVIOUS AREA = 100,265 SF (2.30 AC)
- PROPOSED ONSITE IMPERVIOUS AREA = 171,639 SF (3.94 AC)
- PROPOSED ONSITE PERVIOUS AREA = 70,634 SF (1.62 AC)
- THERE IS A 21% INCREASE (29,310 SF) IN IMPERVIOUS SURFACE FOR THIS PROJECT
- THIS PROJECT IS WITHIN THE PURPLE SHADED AREA OF THE HYDRO MODIFICATION PLAN (HMP) APPLICABILITY MAP FOR THE CITY OF CAMPBELL. THIS COLOR INDICATE CATCHMENTS THAT DRAIN TO HARDENED CHANNELS THAT EXTEND CONTINUOUSLY TO THE BAY OR TO TIDALLY INFLUENCED SECTIONS OF CREEK. THE HM STANDARD AND ASSOCIATED REQUIREMENTS DO NOT APPLY TO PROJECTS IN THIS AREA.
- RECEIVING SYSTEM FOR THE STORM WATER: CAMPBELL PUBLIC STORM COLLECTION SYSTEM AND ULTIMATELY TO SAN TOMAS AQUINO CREEK.
- POLLUTANTS THAT MAY BE PRESENT AT THIS SITE AS A RESULT OF THIS DEVELOPMENT INCLUDE: SEDIMENTS, METALS, NUTRIENTS, BACTERIA, OIL, GREASE, AND ORGANIC COMPOUNDS. THE MAJORITY OF THE POLLUTANT SOURCES WILL BE STREETS, DRIVEWAYS AND LANDSCAPE AREAS. RUNOFF FROM THESE AREAS WILL BE DIRECTED TO EITHER VEGETATED BIOTRETMENT BASINS, UNDERGROUND SILVA CELL SYSTEMS, OR SURROUNDING LANDSCAPE FOR SELF-RETAINING TREATMENT.
- THE FOLLOWING SOURCE CONTROL MEASURES WILL BE IMPLEMENTED WITHIN THE PROJECT SITE TO LIMIT THE GENERATION, DISCHARGE AND RUNOFF OF POLLUTANTS INTO THE STORM COLLECTION SYSTEM.
  - ALL STORM INLETS WILL BE MARKED WITH THE WORDS "NO DUMPING - FLOW TO THE BAY".
  - ALL ROOF DRAINS WILL BE DIRECTED TO DISCHARGE ONTO SPLASHBLOCKS AND AWAY FROM THE BUILDING FOUNDATION TO AN UNPAVED AREA WHEREVER PRACTICAL.
  - SIDEWALKS, DRIVEWAYS AND STREETS AREAS SHALL BE SWEEP REGULARLY TO MINIMIZE THE ACCUMULATION OF LITTER AND DEBRIS.

**LEGEND**

- SILVA CELL BIOTRETMENT AREAS
- BIO-RETENTION BASINS
- WATERSHED BOUNDARY

BY	
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NO.	DATE
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251 LLEWELLYN AVENUE  
PLANNING PERMIT PACKAGE  
STORMWATER MANAGEMENT PLAN  
STORMWATER SITE PLAN  
CAMPBELL CALIFORNIA

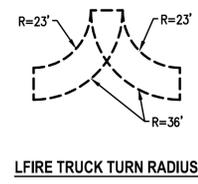
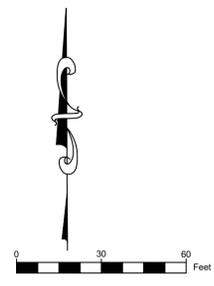
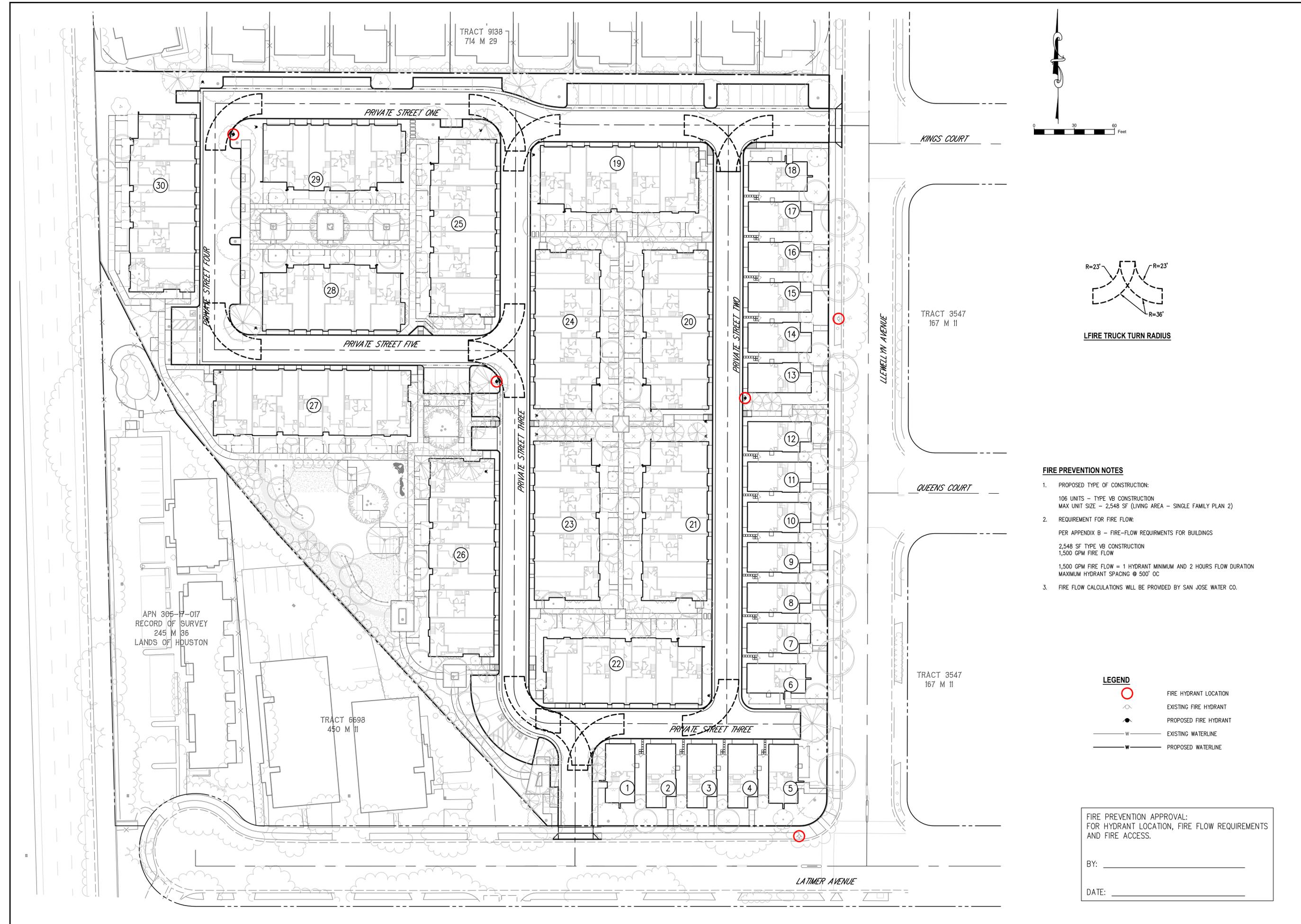
DATE 09/15/2023  
SCALE SEE PLAN  
DESIGNED ENG  
DRAWN CAD  
JOB NO. 20-150  
SHEET C9.0  
12 OF 68 SHEETS

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PHONE 925-948-3200 FAX 925-488-0281  
**PulteGroup**







**FIRE PREVENTION NOTES**

- PROPOSED TYPE OF CONSTRUCTION:  
106 UNITS - TYPE VB CONSTRUCTION  
MAX UNIT SIZE - 2,548 SF (LIVING AREA - SINGLE FAMILY PLAN 2)
- REQUIREMENT FOR FIRE FLOW:  
PER APPENDIX B - FIRE-FLOW REQUIREMENTS FOR BUILDINGS  
2,548 SF TYPE VB CONSTRUCTION  
1,500 GPM FIRE FLOW  
1,500 GPM FIRE FLOW = 1 HYDRANT MINIMUM AND 2 HOURS FLOW DURATION  
MAXIMUM HYDRANT SPACING @ 500' OC
- FIRE FLOW CALCULATIONS WILL BE PROVIDED BY SAN JOSE WATER CO.

**LEGEND**

- FIRE HYDRANT LOCATION
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATERLINE
- PROPOSED WATERLINE

FIRE PREVENTION APPROVAL:  
FOR HYDRANT LOCATION, FIRE FLOW REQUIREMENTS  
AND FIRE ACCESS.

BY: \_\_\_\_\_

DATE: \_\_\_\_\_

NO.	DATE	BY

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PREPARED FOR:

251 LLEWELLYN AVENUE  
CAMPBELL, CALIFORNIA

PLANNING PERMIT PACKAGE

**CIVIL IMPROVEMENTS  
EMERGENCY ACCESS PLAN**

DATE	09/15/2023
SCALE	SEE PLAN
DESIGNED	ENG
DRAWN	CAD
JOB NO.	20-150
SHEET	<b>C11.0</b>
15 OF 68 SHEETS	



APN 395-7-017  
RECORD OF SURVEY  
245 M 36  
LANDS OF HOUSTON

TRACT 6698  
450 M 11

TRACT 9188  
714 M 29

KINGS COURT

TRACT 3547  
167 M 11

QUEENS COURT

TRACT 3547  
167 M 11

LATIMER AVENUE

**LEGEND**

⑭ BUILDING NUMBER

1 UNIT NUMBER

■ BELOW MARKET RATE UNIT

**BELOW MARKET RATE HOUSING NOTE:**

THE BELOW MARKET RATE (BMR) UNITS MUST BE REASONABLY DISPERSED THROUGHOUT THE RESIDENTIAL PROJECT AND SHALL BE COMPARABLE TO THE DESIGN OF THE MARKET RATE UNITS IN TERMS OF DISTRIBUTION OF MODEL TYPES, NUMBER OF BEDROOMS, APPEARANCE, MATERIALS AND FINISHED QUALITY OF THE MARKET RATE UNITS IN THE DEVELOPMENT. THERE SHALL NOT BE SIGNIFICANT IDENTIFIABLE DIFFERENCES BETWEEN BMR AND MARKET RATE UNITS VISIBLE FROM THE EXTERIOR, AND THE SIZE AND DESIGN OF THE TARGET UNITS SHALL BE REASONABLY CONSISTENT WITH THE MARKET-RATE UNITS IN THE DEVELOPMENT. THE BMR UNITS SHALL HAVE THE SAME ACCESS TO PROJECT AMENITIES AND RECREATIONAL FACILITIES AS MARKET RATE UNITS.

106	TOTAL UNITS
16	BMR UNITS
15	BMR %

CONDO PLAN TYPE	TOTAL UNITS	% OF TOTAL	BMR UNITS
PLAN 1	12	11%	1
PLAN 2	12	11%	1
PLAN 3	28	26%	7
PLAN 4	16	15%	3
PLAN 5	12	11%	1
PLAN 6	8	8%	1
SFD TOTAL UNITS	% OF TOTAL	BMR UNITS	
PLAN 1	4	4%	0
PLAN 2	14	8%	2
<b>TOTAL</b>	<b>106</b>		<b>16</b>

BY

REVISIONS

NO. DATE

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REDAWOOD CITY, CA 94588  
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PLANNING PERMIT PACKAGE  
**CIVIL IMPROVEMENTS**  
**BELOW MARKET RATE HOUSING PLAN**  
CALIFORNIA  
CAMPBELL

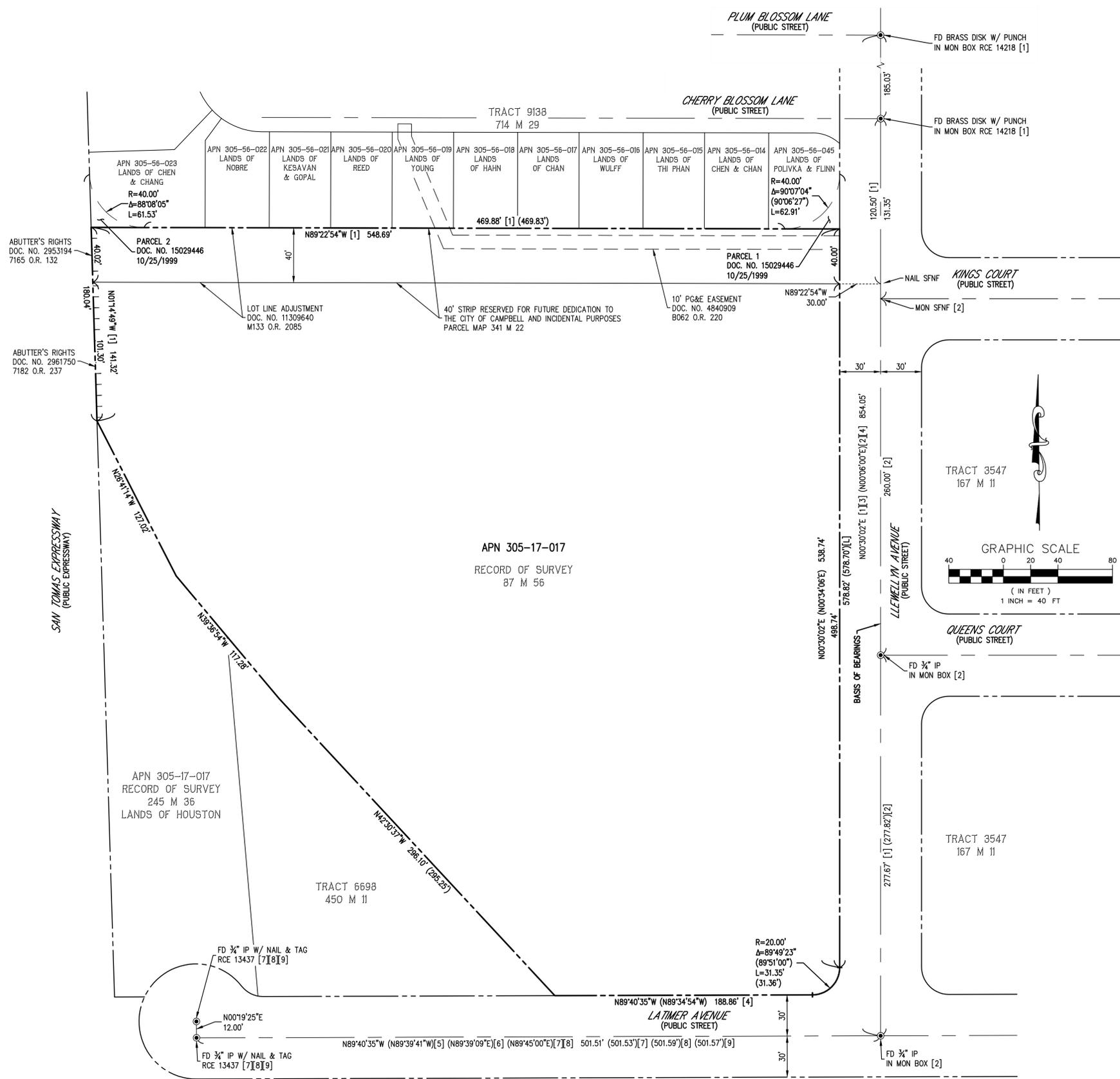
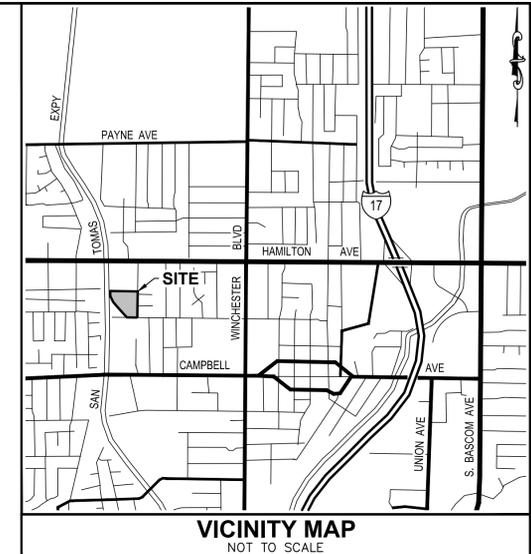
DATE 09/15/2023  
SCALE SEE PLAN  
DESIGNED ENG  
DRAWN CAD  
JOB NO. 20-150  
SHEET

**C12.0**  
16 OF 68 SHEETS

# VESTING TENTATIVE MAP 251 LLEWELLYN AVENUE

CAMPBELL

CALIFORNIA



**OWNER**  
UPLIFT FAMILY SERVICES  
251 LLEWELLYN AVENUE  
CAMPBELL, CA 95008  
(916) 388-6327

**DEVELOPER**  
PULTE HOMES  
4511 WILLOW ROAD, SUITE 8  
PLEASANTON, CALIFORNIA 94588  
(925) 249-3200

**ENGINEER**  
CIVIL ENGINEERING ASSOCIATES, INC.  
28 RAILWAY AVENUE  
CAMPBELL, CA 95008  
(408) 453-1066

**BASIS OF BEARINGS**

THE BEARING NORTH 00°30'02" EAST AS FOUND MONUMENTED ON LLEWELLYN AVENUE, AS SHOWN ON THAT CERTAIN MAP ENTITLED "TRACT NO. 9138" FILED FOR RECORDED IN BOOK 714 OF MAPS AT PAGES 29-30, SANTA CLARA COUNTY RECORDS, WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN ON THIS SURVEY.

**BENCHMARK**

CITY OF CAMPBELL NO. 54, NORTHEAST CORNER OF LATIMER AVENUE & LLEWELLYN AVENUE AT EAST END OF CURB RETURN. ELEVATION: 188.867

**NOTES**

1. THERE ARE NO EXISTING WELLS ON SITE
2. ALL EXISTING BUILDINGS WILL BE REMOVED PRIOR TO THE RECORDATION OF THE FINAL MAP
3. ASSESSORS PARCEL NUMBER: 305-17-017
4. EXISTING USE: INSTRUCTIONAL
5. PROPOSED USE: 18 SINGLE FAMILY & 86 RESIDENTIAL UNITS
6. EXISTING ZONING: P-F (PLANNED FACILITIES)
7. PROPOSED ZONING: P-D (PLANNED DEVELOPMENT)
8. GENERAL PLAN DESIGNATION: INSTRUCTIONAL
9. SANITARY SEWER: WEST VALLEY SANITATION DISTRICT
10. STORM CONDUIT: CITY OF CAMPBELL
11. WATER SYSTEM: SAN JOSE WATER COMPANY
12. NUMBER OF LOTS: 46
13. TOTAL AREA: 5.562 ACRES
14. STREET NAMES TO BE DETERMINED PRIOR TO FINAL MAP.
15. LOTS 1 THROUGH 18 ARE SINGLE FAMILY RESIDENTIAL LOTS.
16. LOTS 19 THROUGH 30 ARE TOWNHOME RESIDENTIAL LOTS.
17. LOT A THROUGH D ARE PRIVATE STREETS (1.25 ACRES).
18. LOTS E THROUGH M ARE COMMON OPEN SPACE (0.85 ACRES).
19. THIS SUBDIVISION WILL CONFORM TO THE STREET TREE PLAN OF THE CITY OF CAMPBELL.

**ABBREVIATIONS**

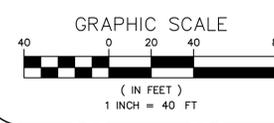
APN	ASSESSORS PARCEL NUMBER
FD	FOUND
IP	IRON PIPE
MON	MONUMENT
O.R.	OFFICIAL RECORDS
SFNF	SEARCHED FOR NOT FOUND

**LEGEND**

	BOUNDARY LINE
	RIGHT-OF-WAY
	EXISTING LOT LINE
	LOT LINE
	CENTER LINE
	EXISTING EASEMENT LINE
	EASEMENT LINE
	BOUNDARY TIE
	FOUND MONUMENT (AS NOTED)
	RECORD DATA
	REFERENCE NUMBER
	RADIAL

**MAP REFERENCES**

- [1] TRACT 9138 - 714 M 29
- [2] TRACT 3547 - 167 M 11
- [3] PARCEL MAP - 341 M 22
- [4] RECORD OF SURVEY - 87 M 56
- [5] RECORD OF SURVEY - 175 M 29
- [6] RECORD OF SURVEY - 245 M 36
- [7] RECORD OF SURVEY - 450 M 1
- [8] TRACT 9744 - 800 M 18
- [9] TRACT 5216 - 305 M 53



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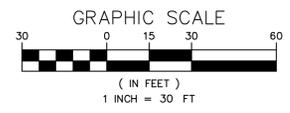
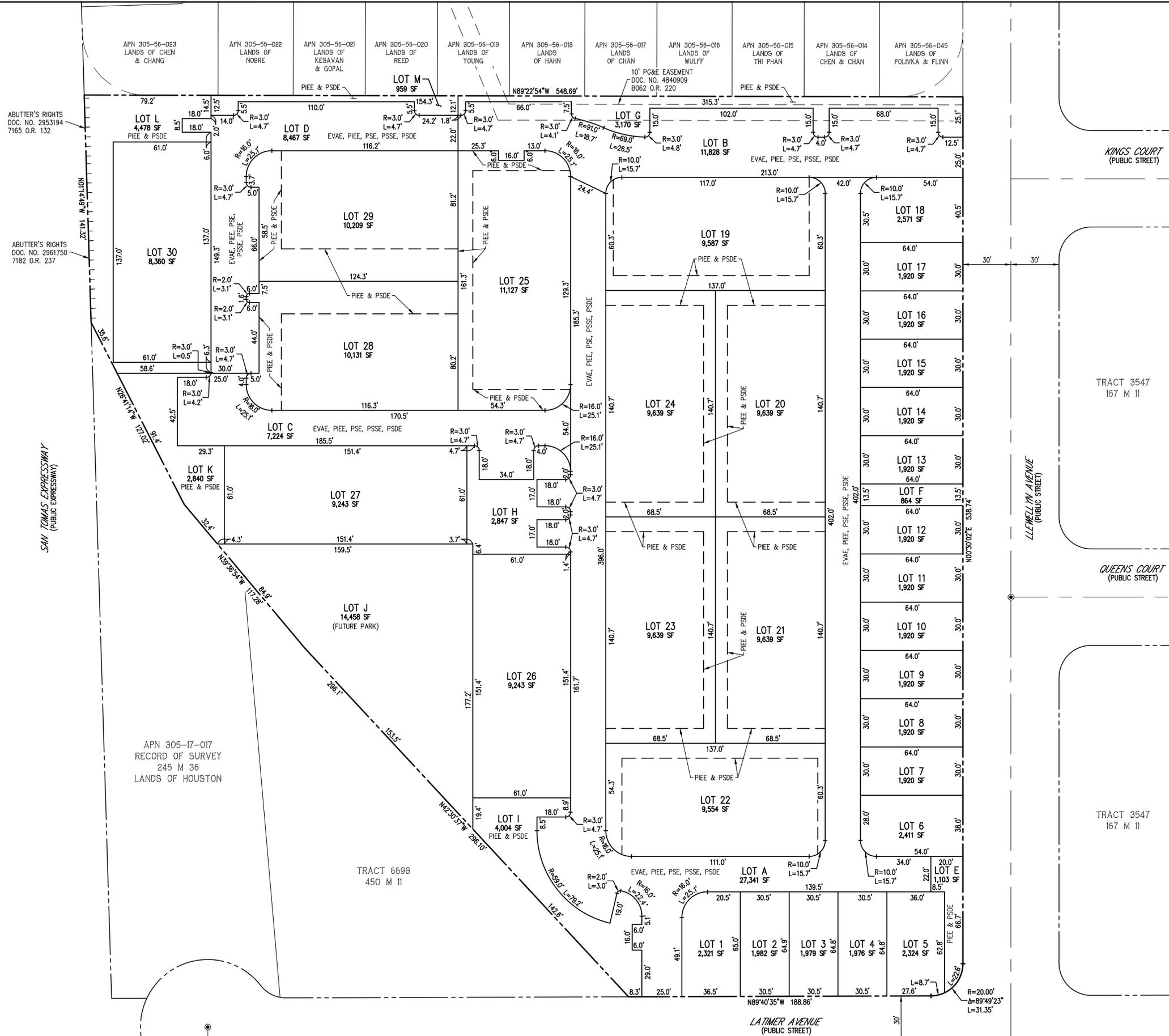
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251 LLEWELLYN AVENUE  
PLANNING PERMIT PACKAGE  
VESTING TENTATIVE MAP  
COVER SHEET  
CALIFORNIA  
CAMPBELL

DATE	09/15/2023
SCALE	SEE PLAN
DESIGNED	ENG
DRAWN	CAD
JOB NO.	20-150
SHEET	TM1.0
	17 OF 68 SHEETS



**ABBREVIATIONS**

- EVAE EMERGENCY VEHICLE ACCESS EASEMENT
- O.R. OFFICIAL RECORDS
- PIEE PRIVATE INGRESS AND EGRESS EASEMENT
- PSDE PRIVATE STORM DRAIN EASEMENT
- PSSE PRIVATE SANITARY SEWER EASEMENT
- PSE PUBLIC SERVICE EASEMENT
- SF SQUARE FEET

**LEGEND**

- BOUNDARY LINE
- - - RIGHT-OF-WAY
- EXISTING LOT LINE
- LOT LINE
- CENTER LINE
- - - EXISTING EASEMENT LINE
- EASEMENT LINE
- BOUNDARY TIE
- FOUND MONUMENT (AS NOTED)
- (23.23') RECORD DATA
- [1] REFERENCE NUMBER
- (R) RADIAL

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251 LLEWELLYN AVENUE	PLANNING PERMIT PACKAGE	CAMPBELL
<b>VESTING TENTATIVE MAP</b>		
DATE	09/15/2023	
SCALE	SEE PLAN	
DESIGNED	ENG	
DRAWN	CAD	
JOB NO.	20-150	
SHEET	<b>TM1.1</b>	
	18 OF 68 SHEETS	



EXISTING WALL ON ADJACENT PROPERTIES TO REMAIN

SOUND ATTENUATION WALL AS REQUIRED BY SOUND MITIGATION REPORT

6' TALL WOOD FENCE, TYP. SEE DETAIL G, SHEET L2.0

SAN TOMAS EXWY

PARK ENLARGEMENT AREA SEE SHEET L1.3

DECORATIVE PAVING, TYP.

PEDESTRIAN CONNECTION ON W. LATIMER AVE

W LATIMER AVENUE

LARGE CANOPY SHADE TREE, TYP.

PEDESTRIAN CONNECTION ON LLEWELLYN

EXISTING TREE TO REMAIN WHERE FEASIBLE, TYP.

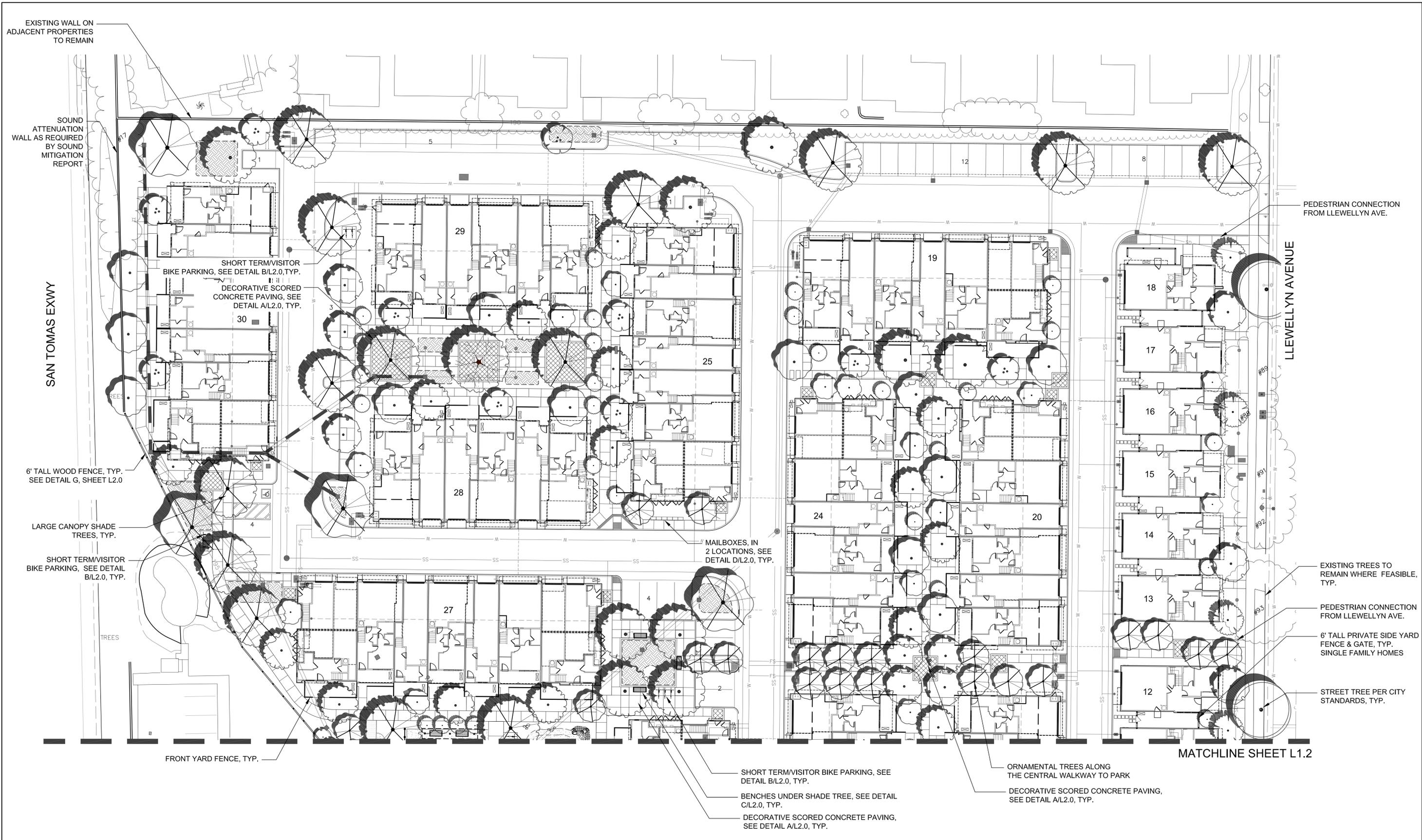
LLEWELLYN AVENUE

PEDESTRIAN CONNECTION ON LLEWELLYN

STREET TREES, PER CITY STANDARDS, TYP.

6' TALL WOOD SIDEYARD FENCE & GATE, TYP.





EXISTING WALL ON ADJACENT PROPERTIES TO REMAIN

SOUND ATTENUATION WALL AS REQUIRED BY SOUND MITIGATION REPORT

SAN TOMAS EXWY

6' TALL WOOD FENCE, TYP. SEE DETAIL G, SHEET L2.0

LARGE CANOPY SHADE TREES, TYP.

SHORT TERM/VISITOR BIKE PARKING, SEE DETAIL B/L2.0, TYP.

TREES

FRONT YARD FENCE, TYP.

SHORT TERM/VISITOR BIKE PARKING, SEE DETAIL B/L2.0, TYP.  
DECORATIVE SCORED CONCRETE PAVING, SEE DETAIL A/L2.0, TYP.

MAILBOXES, IN 2 LOCATIONS, SEE DETAIL D/L2.0, TYP.

SHORT TERM/VISITOR BIKE PARKING, SEE DETAIL B/L2.0, TYP.  
BENCHES UNDER SHADE TREE, SEE DETAIL C/L2.0, TYP.  
DECORATIVE SCORED CONCRETE PAVING, SEE DETAIL A/L2.0, TYP.

ORNAMENTAL TREES ALONG THE CENTRAL WALKWAY TO PARK  
DECORATIVE SCORED CONCRETE PAVING, SEE DETAIL A/L2.0, TYP.

PEDESTRIAN CONNECTION FROM LLEWELLYN AVE.

LLEWELLYN AVENUE

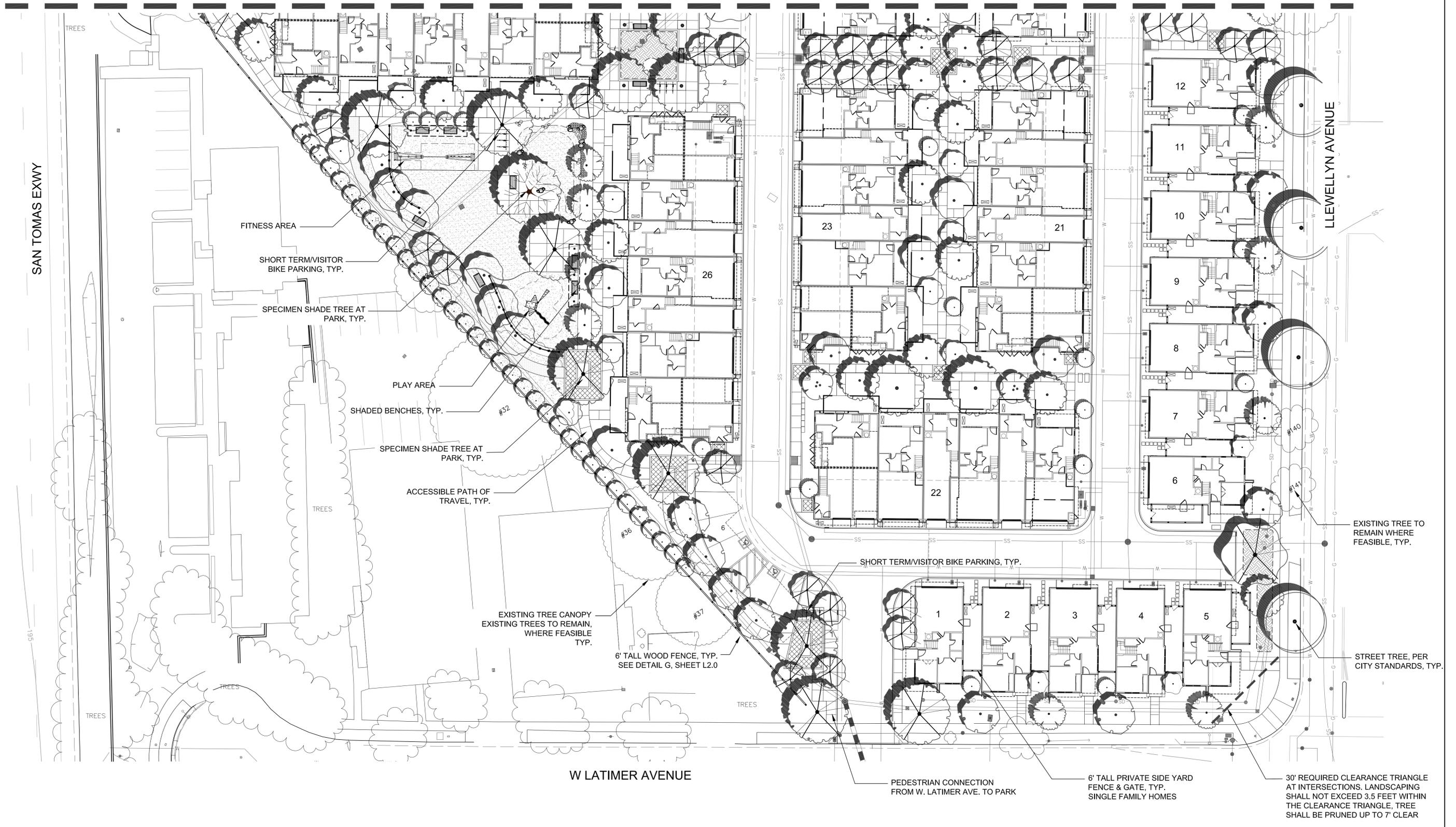
EXISTING TREES TO REMAIN WHERE FEASIBLE, TYP.

PEDESTRIAN CONNECTION FROM LLEWELLYN AVE.

6' TALL PRIVATE SIDE YARD FENCE & GATE, TYP. SINGLE FAMILY HOMES

STREET TREE PER CITY STANDARDS, TYP.

MATCHLINE SHEET L1.2





CROSS-FIT TRAINER SYSTEM BY KOMPAN OR SIMILAR



LARGE CANOPY SHADE TREES, TYP.



WALKING PATH



OPEN LAWN AREA



SHADED BENCHES



CLIMBING PLAY STRUCTURE, PIVO BY KOMPAN OR SIMILAR



VISITOR/SHORT TERM BIKE RACKS



LAWN OR BIO-RETENTION AREA



ORNAMENTAL FLOWERING TREES



COLUMNAR EVERGREEN SCREEN TREES ALONG PL

SAN TOMAS EXWY

LLEWELLYN AVENUE

W LATIMER AVENUE



MAILBOXES LOCATION 2

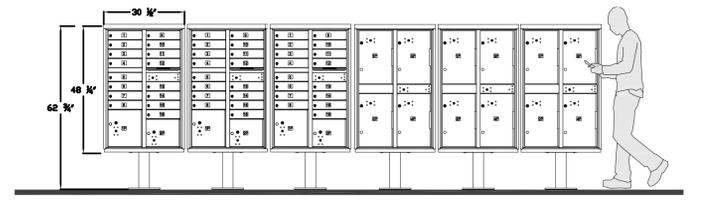
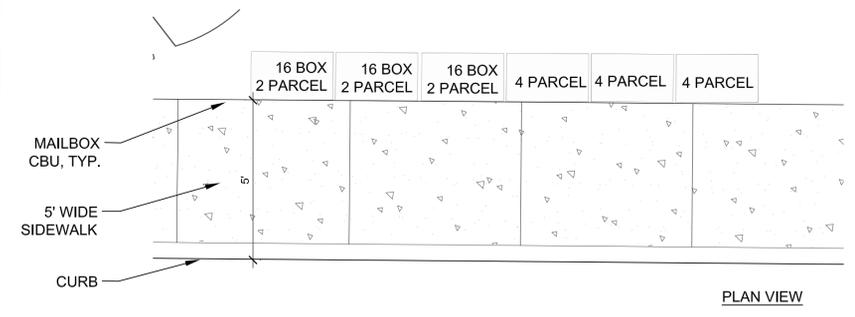
MAILBOXES LOCATION 1

TOTAL NUMBER OF DWELLING UNITS:  
104

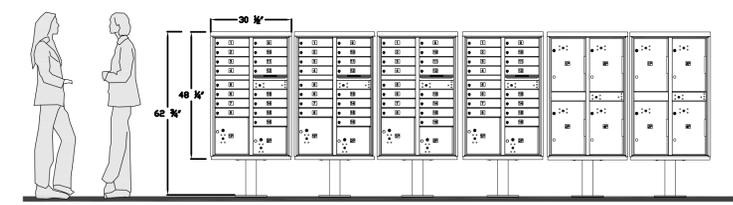
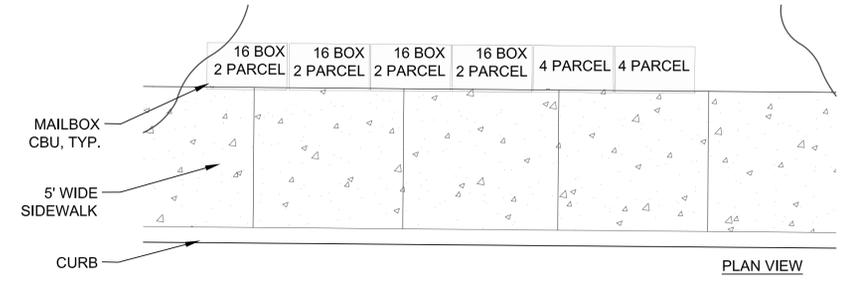
TOTAL NUMBER OF MAILBOXES PROVIDED:  
112 PRIVATE MAILBOXES  
34 PARCEL BOXES

TOTAL NUMBER OF CBUs:  
(7) 16 MAILBOX w/ 2 PARCEL BOX CBUS  
(5) 4 PARCEL BOX CBUS

TOTAL LOCATIONS:  
2 LOCATIONS w/ 6 CBUS IN EACH



**A** MAILBOXES LOCATION 1  
3/8" = 1'-0"

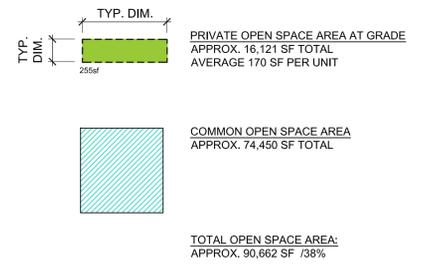


**B** MAILBOXES LOCATION 2  
3/8" = 1'-0"

SAN TOMAS EXHWY

LLEWELLYN AVENUE

W LATIMER AVENUE





**A** DECORATIVE SCORED CONCRETE PAVING  
NTS



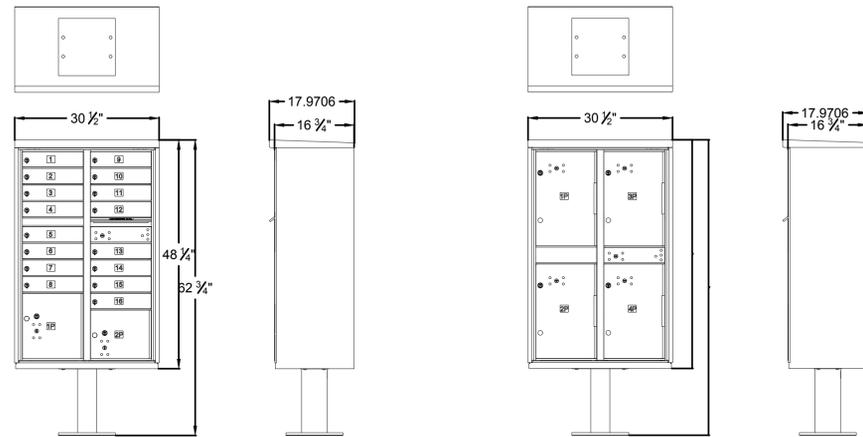
CAPITOL BIKE RACK BY FORMS + SURFACES OR SIMILAR  
QTY: 15 RACKS/ ACCOMMODATES 30 BIKES

**B** BIKE RACK (VISITOR/SHORT TERM BIKE PARKING)  
NTS



FLOAT BENCH BY FORMS + SURFACES OR SIMILAR  
QTY: 10

**C** BENCH  
NTS



TOTAL NUMBER OF DWELLING UNITS:  
104

TOTAL NUMBER OF MAILBOXES PROVIDED:  
112 PRIVATE MAILBOXES  
34 PARCEL BOXES

TOTAL NUMBER OF CBU's:  
(7) 16 MAILBOX w/ 2 PARCEL BOX CBU's  
(5) 4 PARCEL BOX CBU's

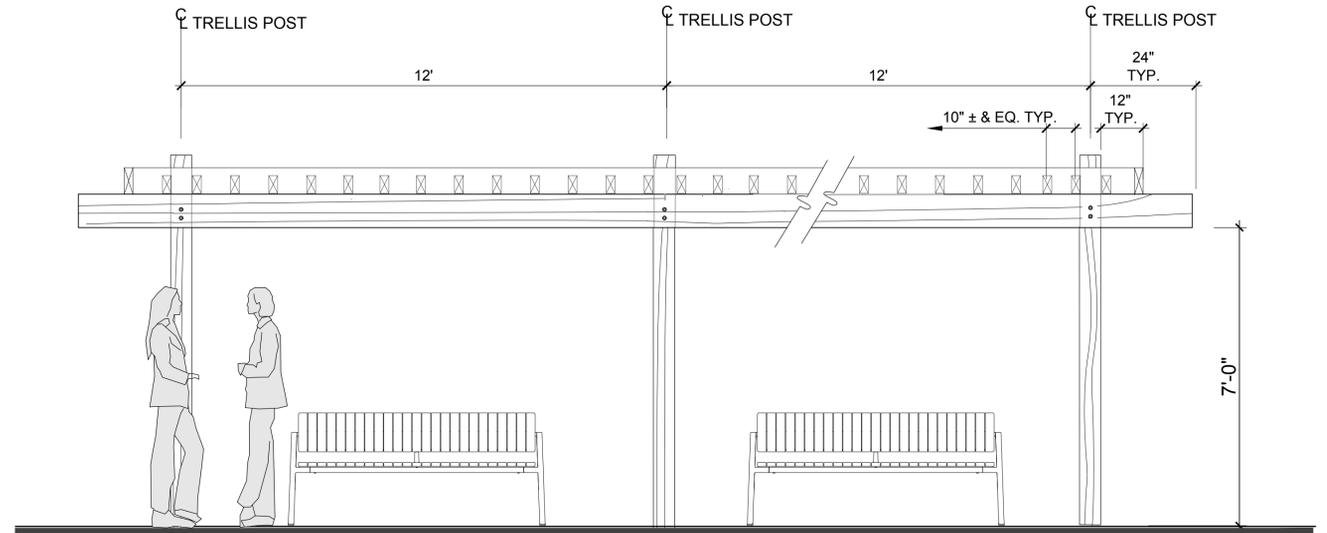
12 TOTAL CBU's. 6 IN TWO LOCATIONS:

16/2P 16/2P 16/2P 16/2P 4P 4P

4 (16 BOX) & 2 (4) PARCEL = 64 BOXES  
16 PARCELS

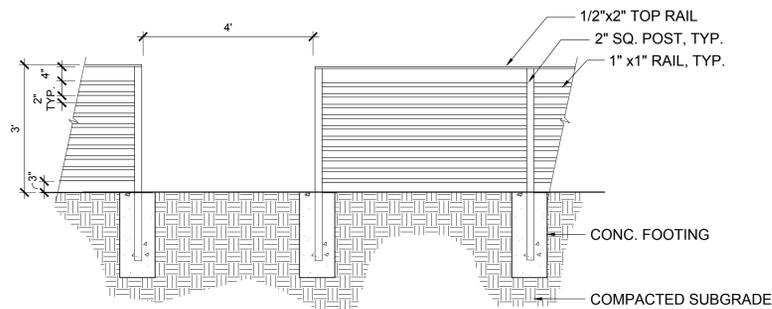
16/2P 16/2P 16/2P 4P 4P 4P

3 (16 BOX) & 3 (4) PARCELS = 48 BOXES  
18 PARCELS



**E** SHADE TRELLIS w/ BENCHES IN PARK  
1/2" - 1'-0"

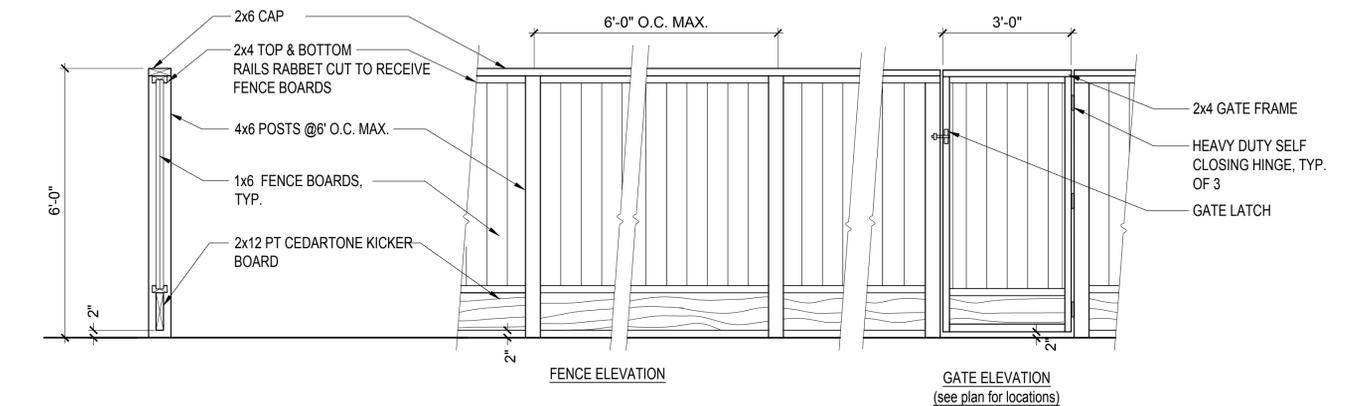
**D** MAILBOX & PARCEL BOXES  
NTS



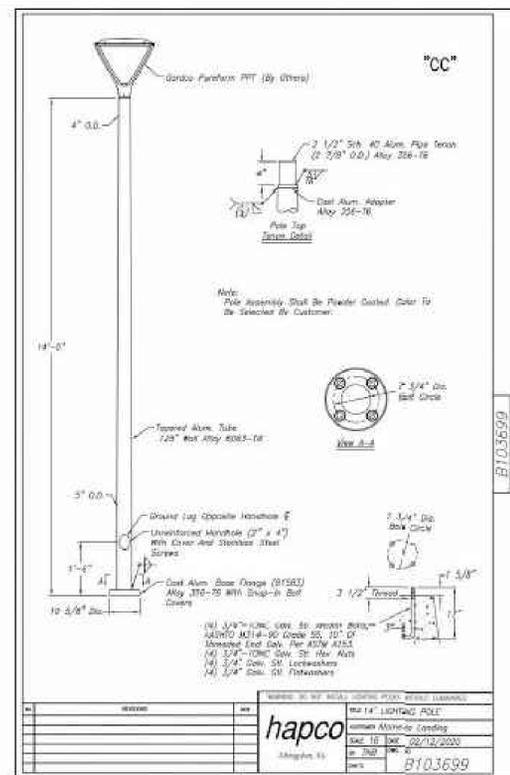
NOTES:

- METAL RAIL FENCE BE SHOP PRIMED & PAINTED W/ ZINC RICH-PRIMER & 2 COATS EXTERIOR ENAMEL PAINT - COLOR TO MATCH ARCHITECTURAL BALCONY RAILS.

**F** 3' TALL PRIVATE PATIO METAL RAIL FENCE  
1/2" - 1'-0"



**G** 6' TALL WOOD FENCE & GATE  
1/2" - 1'-0"



**GARDCO** Site & Area  
by @Lignify

PureForm  
PPT post top with 1000000 lumens

Gardco PureForm LED post top features a sleek, low profile design. Comfort 10500 lumens designed to provide a clean, bright light output. Type I, 2, 3, and 5 optical distributions are available with lumens output up to 10000 lumens. A full range of custom options provides additional energy savings. Customized integral emergency battery backup is available for just-in-time installation.

Ordering guide

PPT	14L	1150	WW-02	2	UNV
PPT	14L	1150	WW-02	2	UNV

happco  
14' TALL LIGHTING POLE  
Standard Aluminum Coating  
DATE: 10/02/2020  
BY: JMB  
REV: 01

**GARDCO** Site & Area  
by @Lignify

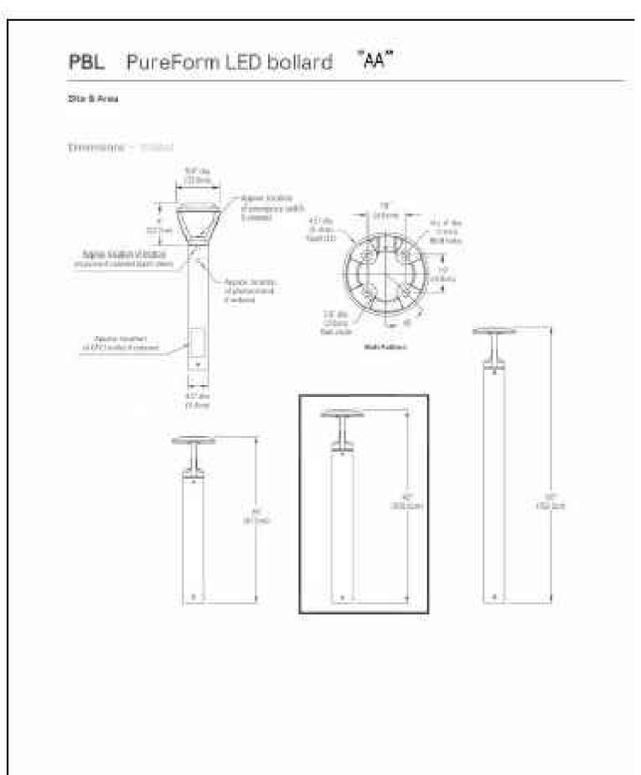
PureForm  
PBL bollard

Gardco PureForm LED bollard PBL integrates a sleek, low profile design, extraordinary light output, and energy savings into an innovative protection, vandal resistant, PureForm bollard system. A high performance optical system designed to achieve wide spacing, good cut-off performance. These heights are suitable for a controlled space. IP64 optical bollard is suitable with lower interference with performance.

Ordering guide

PBL	42	14L	100	WW-02	3	UNV
PBL	42	14L	100	WW-02	3	UNV

happco  
PBL Bollard  
DATE: 10/02/2020  
BY: JMB  
REV: 01

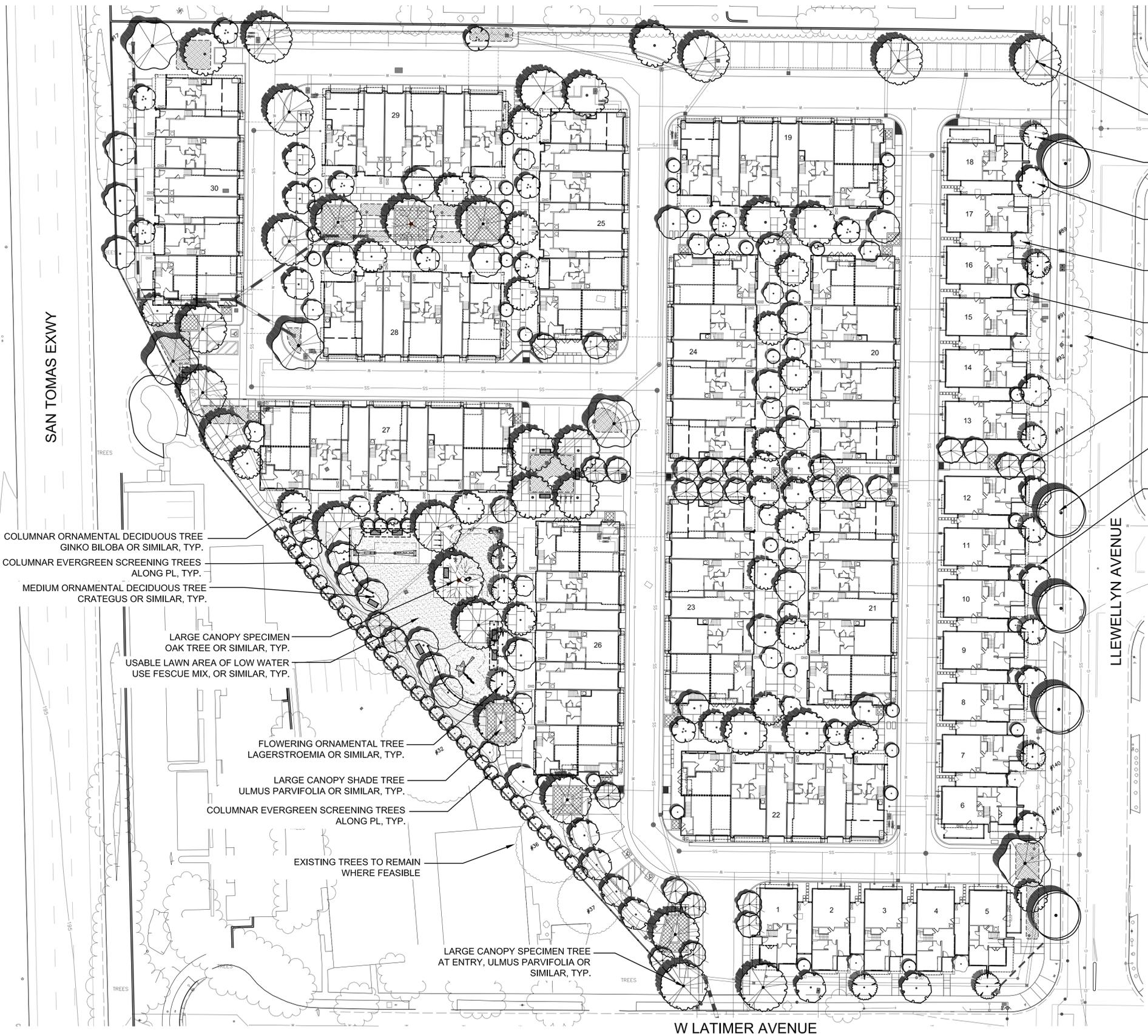


NOTES:  
POLE LIGHT: "PUREFORM" BY GARDCO, OR SIMILAR  
SEE JT PLANS FOR LIGHTING LAYOUT AND DETAILS

**A** POLE LIGHT  
NTS

NOTES:  
BOLLARD LIGHT: "PUREFORM" BY GARDCO, OR SIMILAR  
SEE JT PLANS FOR LIGHTING LAYOUT AND DETAILS

**B** BOLLARD LIGHT  
NTS



COLUMNAR ORNAMENTAL DECIDUOUS TREE  
GINKGO BILOBA OR SIMILAR, TYP.

COLUMNAR EVERGREEN SCREENING TREES  
ALONG PL, TYP.

MEDIUM ORNAMENTAL DECIDUOUS TREE  
CRATEGUS OR SIMILAR, TYP.

LARGE CANOPY SPECIMEN  
OAK TREE OR SIMILAR, TYP.

USABLE LAWN AREA OF LOW WATER  
USE FESCUE MIX, OR SIMILAR, TYP.

FLOWERING ORNAMENTAL TREE  
LAGERSTROEMIA OR SIMILAR, TYP.

LARGE CANOPY SHADE TREE  
ULMUS PARVIFOLIA OR SIMILAR, TYP.

COLUMNAR EVERGREEN SCREENING TREES  
ALONG PL, TYP.

EXISTING TREES TO REMAIN  
WHERE FEASIBLE

LARGE CANOPY SPECIMEN TREE  
AT ENTRY, ULMUS PARVIFOLIA OR  
SIMILAR, TYP.

LARGE CANOPY SHADE TREE  
ULMUS PARVIFOLIA OR SIMILAR, TYP.

FLOWERING ORNAMENTAL TREE  
LAGERSTROEMIA OR SIMILAR, TYP.

MEDIUM ORNAMENTAL DECIDUOUS TREE  
CRATEGUS OR SIMILAR, TYP.

SMALL FLOWERING EVERGREEN TREE  
MAGNOLIA LITTLE GEM OR SIMILAR, TYP.

COLUMNAR FLOWERING TREE  
PRUNUS 'AMANOGAWA' OR SIMILAR, TYP.

EXISTING TREES TO REMAIN WHERE FEASIBLE, TYP.

COLUMNAR ORNAMENTAL DECIDUOUS TREE  
ACER RUBRUM 'ARMSTRONG' OR SIMILAR, TYP.

STREET TREES, PER CITY STANDARDS, TYP.

LOW WATER USE SHRUBS AND GROUNDCOVER, TYP.

### PLANTING DESIGN INTENT STATEMENT

1. THE PLANTING DESIGN INCORPORATES PRINCIPLES INCLUDED IN THE "BAY FRIENDLY LANDSCAPE GUIDELINES".
2. PLANT SELECTION INCLUDES NATIVE AND DROUGHT TOLERANT SPECIES IN CONFORMANCE WITH STATE, COUNTY AND CITY WATER EFFICIENT LANDSCAPE GUIDELINES AND AS CLASSIFIED PER WUCOLS.
2. THE PLANTING DESIGN UTILIZES PRIMARILY (80%) LOW WATER USE & NATIVE PLANT SPECIES. RECREATIONAL LAWN AREA WILL BE A LOW WATER USE FESCUE GRASS MIX SOD.
3. ALL LANDSCAPE PLANTING AND IRRIGATION DESIGN WILL COMPLY WITH THE STATE OF CALIFORNIA'S WATER EFFICIENCY REQUIREMENTS AND MEETS OR EXCEEDS THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA).
4. SELECTED TREES HAVE BEEN CHOSEN TO PROVIDE A VARIATION OF HEIGHTS, WIDTHS, COLORS, TEXTURES, AND CHARACTER. TREE LOCATION AND ORIENTATION HAVE BEEN DESIGNED FOR MAXIMUM AESTHETIC EFFECT AND PASSIVE SOLAR BENEFITS.
5. THE PLANTS HAVE BEEN SELECTED UTILIZING THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE PLANT LIST, WUCOLS. NO PLANTS ARE USED THAT ARE CONSIDERED INVASIVE IN THE THE REGION AS LISTED BY THE CAL-IPC.
6. LANDSCAPE WITHIN STORMWATER TREATMENT AREAS COMPLY WITH APPENDIX D OF SANTA CLARA VALLEY C.3 HANDBOOK.
7. SEE CIVIL ENGINEER PLANS FOR ADDITIONAL INFORMATION ON STORMWATER/C-3 TREATMENT MEASURES.

## TREE PALETTE

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT	QTY	REMARKS
	ACE ARM	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	24"BOX	23	M 40' H X 15' W
	ARB MAR	ARBUTUS X 'MARINA'	MARINA STRAWBERRY TREE STANDARD	24"BOX	24	L 20-30' H X 25'-35' W
	CER WES	CERCIS OCCIDENTALIS	MULTI-TRUNK WESTERN REDBUD	24" BOX MULTI	11	VL 10-15' H X 10-15' W - NATIVE
	CER OCC	CERCIS OCCIDENTALIS	WESTERN REDBUD	24"BOX	22	VL - 10-18'H X 10'18'W -- NATIVE
	CRA PHA	CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORN	24"BOX	18	M 25' H X 20' W
	GIN PRI	GINKGO BILOBA 'PRINCETON SENTRY'	GINKGO PRINCETON SENTRY	24"BOX	22	M -14-16' H X 10'-20' W
	LAG NAT	LAGERSTROEMIA X 'NATCHEZ'	CRAPE MYRTLE	24"BOX	14	L-20-25' H 10-15' W
	MAG LIT	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM DWARF SOUTHERN MAGNOLIA	24"BOX	7	M 18'-22' H X 10'-12' W
	PRU CAR	PRUNUS CAROLINIANA 'BRIGHT N TIGHT'	BRIGHT 'N TIGHT CAROLINA LAUREL CHERRY	24"BOX	34	M 8'-10' H X 6' W
	PRU AMA	PRUNUS SERRULATA 'AMANOGAWA'	JAPANESE FLOWERING CHERRY	15 GAL	19	M 20'H X 8' W
	QUE AGI	QUERCUS AGRIFOLIA	COAST LIVE OAK	60"BOX	3	VL-20-70' H X 20-70' W-- NATIVE
	ROB PUR	ROBINIA X AMBIGUA 'PURPLE ROBE'	PINK FLOWERING LOCUST	15 GAL	6	L 30'-40' H X 20'-30' W
	ULM PAR	ULMUS PARVIFOLIA EMERALD GREEN	EMERALD GREEN ELM	24"BOX	17	M 30' H X 30' W
	CHI PIN	X CHITALPA TASHKENTENSIS 'PINK DAWN'	PINK DAWN CHITALPA	36"BOX	12	L 25' H X 25' W

## BIORETENTION TREE, SHRUB, GRASSES, GROUNDCOVER PALETTE

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT	REMARKS
	ACE ARM	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	24"BOX	M 40' H X 15' W
	ARB MAR	ARBUTUS X 'MARINA'	MARINA STRAWBERRY TREE STANDARD	24"BOX	L 20-30' H X 25'-35' W
	CER WES	CERCIS OCCIDENTALIS	MULTI-TRUNK WESTERN REDBUD	24" BOX MULTI	VL 10-15' H X 10-15' W
	GIN PRI	GINKGO BILOBA 'PRINCETON SENTRY'	GINKGO PRINCETON SENTRY	24"BOX	M -14-16' H X 10'-20' W
	LAG NAT	LAGERSTROEMIA X 'NATCHEZ'	CRAPE MYRTLE	24"BOX	L-20-25' H 10-15' W
	ULM PAR	ULMUS PARVIFOLIA EMERALD GREEN	EMERALD GREEN ELM	24"BOX	M 30' H X 30' W

BIORETENTION PLANTS	CODE	BOTANICAL NAME	COMMON NAME	CONT	REMARKS
	ANI YE2	ANIGOZANTHOS X 'YELLOW GEM'	YELLOW GEM KANGAROO PAW	1 GAL	L 2' H X 1.5' W
	CAR DIV	CAREX DIVULSA	EUROPEAN GREY SEDGE	1 GAL	L 1.5H X 1.5 W
	CAR ELA	CAREX ELATA 'BOWLES GOLDEN'	BOWLES GOLDEN SEDGE	5 GAL	L - 1-2' H X 2' W
	CAR PA2	CAREX PANSA	SANDDUNE SEDGE	1 GAL	L 1'H X 1'W
	CHO TEC	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	L 2-3' H X 3-4' W
	DIE IRI	DIETES IRIDIODES	FORTNIGHT LILY	5 GAL	L 3' H X 3.5' W
	EPI SCH	EPILOBIUM CANUM SCHIEFFELINS	CALIFORNIA FUCHSIA	5 GAL	L 6" H X 3' W BIRDS, BEES, BUTTERFLIES
	ERI KA2	ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	1 GAL	L 1'H X 2.5' W
	FES ID3	FESTUCA IDAHOENSIS	IDAHO FESCUE	1 GAL	L 1' H X 1'W
	FES MOL	FESTUCA RUBRA 'MOLATE'	MOLATE FESCUE	1 GAL	M 12-18" HX 2'W
	JUN PAT	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL	L 1-2' H X 1-2' W NATIVE BUTTERFLY
	MIM AU2	MIMULUS AURANTIACUS	STICKY MONKEY FLOWER	5 GAL	3-4'H X 3-4'H
	MUH RI2	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	M 4-5'H X 3-5'W
	RHA EVE	RHAMNUS CALIFORNICA 'EVE CASE'	CALIFORNIA COFFEEBERRY	5 GAL	L 3-6H-4-6'W NATVIE BUTTERFLY, BIRDS, BEES
	ROS CAL	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	5 GAL	L 4-8' H X 4-8' W NATIVE - BUTTERFLY, BIRD, BEE

# SHRUB, GRASSES, GROUNDCOVER PALETTE

SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	REMARKS						
	ACH MIL	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	L 2'HX3'W NATIVE BUTTERFLY BEES		LAV ASS	LAVATERA ASSURGENTIFLORA	MALLOW	5 GAL	L 5-10' H X 5-10' W
	ANI YEL	ANIGOZANTHOS X 'YELLOW GEM'	YELLOW GEM KANGAROO PAW	5 GAL	L 2' H X 1.5' W		LAV THU	LAVATERA THURINGIACA BARNSELEY	TREE MALLOW	5 GAL	L 6-8' H X 6' W
	ANI BUS	ANIGOZANTHOS X 'BUSH GOLD'	KANGAROO PAW	5 GAL	L 2-3' H X 1-2' W		LEU ORX	LEUCADENDRON X 'HAWAII MAGIC'	ROYAL HAWAIIAN MAGIC CONEBUSH	5 GAL	L 3-4' H X 4-5' W
	ARC EME	ARCTOSTAPHYLOS X 'EMERALD CARPET'	EMERALD CARPET MANAZANITA	5 GAL	L 2-3' H X 4-8' W NATIVE		LIM PER	LIMONIUM PEREZII	STATICE	5 GAL	L 2-3' H X 2-3' W
	ART AFS	ARTEMISIA X 'CALIFORNICA'	CALIFORNIA ARTEMISIA	5 GAL	L		LIR GIG	LIRIOPE GIGANTEA	GIANT LIRIOPE	5 GAL	
	BAC TWI	BACCHARIS PILULARIS 'TWIN PEAKS #2'	TWIN PEAKS COYOTE BRUSH	5 GAL	L 2-3' H X 5-7' W		LIR SUN	LIRIOPE MUSCARI 'SILVERY SUNPROOF'	SILVERY SUNPROOF LILYTURF	5 GAL	
	CAL GVM	CALLISTEMON VIMINALIS 'LITTLE JOHN'	GREEN JOHN WEEPING BOTTLEBRUSH	5 GAL	L 2-4' H X 2-3' W		LOR IPM	LOROPETALUM CHINENSE 'SHANG-WHITE' TM	EMERALD SNOW LOROPETALUM	5 GAL	L
	CAR CAL	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	M 5-7' HX 4-6'W NATIVE BUTTERFLY, BEES		MIS PUR	MISCANTHUS SINENSIS 'PURPURESCENS'	FLAME GRASS	5 GAL	
	CEA TAS	CEANOTHUS X 'TASSAJARA BLUE'	TASSAJARA BLUE WILD LILAC	5 GAL	L 3H X 5' W NATIVE BUTTERFLY, BEES		MUH RIG	MUHLENBERGIA RIGENS	DEERGRASS	5 GAL	L 4-5' H X 4-6' W NATIVE BUTTERFLY
	CIS LAD	CISTUS LADANIFER	CRIMSON-SPOT ROCKROSE	5 GAL	L 3.5' H X 3.5' W		MYR DWA	MYRTUS COMMUNIS 'COMPACTA'	DWARF COMMON MYRTLE	5 GAL	L
	DIE GRA	DIETES GRANDIFLORA 'VARIEGATA'	STRIPED FORTNIGHT LILY	5 GAL	L 3-4' H X 2-3' W		OLE LIT	OLEA EUROPAEA 'LITTLE OLLIE'	LITTLE OLLIE DWARF OLIVE	5 GAL	VL 6-8' H X 4-5' W
	DIE VEG	DIETES VEGETA	AFRICAN IRIS	5 GAL	L 3-4' H X 2-3' W		PEN MOU	PENNISETUM ALOPECUROIDES 'MOUDRY'	MOUDRY FOUNTAIN GRASS	5 GAL	L 2' H X 3' W
	EPI CNL	EPILOBIUM CANUM 'CATALINA'	CATALINA CALIFORNIA FUCHSIA	5 GAL	L 3-4' H X 4-5' W NATIVE BIRDS BUTTERFLYS		PEN NO3	PENSTEMON BARBATUS 'NOVAPENPUR' TM	ROCK CANDY PURPLE PENSTEMON	5 GAL	L
	ERI WAY	ERIGERON GLAUCUS 'WAYNE RODERICK'	SEASIDE DAISY	1 GAL	L 1' H X 1-2' W NATIVE BUTTERFLY, BEES		PEN APP	PENSTEMON GLOXINIODES 'APPLE BLOSSOM'	APPLE BLOSSOM BORDER PENSTEMON	5 GAL	L 2-3' H X 2-3' W
	ERI KAR	ERIGERON KARVINSKIANUS	FLEABANE	1 GAL	L 1' H X 2.5' W		PEN XFI	PENSTEMON X 'FIRECRACKER'	ALICE HINDLEY BEARDTONGUE	5 GAL	
	ERI GRA	ERIOGONUM GRANDE RUBESCENS	RED BUCKWHEAT	5 GAL	L 1-2' H X 2-3' W NATIVE BUTTERFLY, BEE, BIRD		PER FIL	PEROVSKIA ATRIPLICIFOLIA 'FILIGRAN'	FILIGRAN RUSSIAN SAGE	5 GAL	L
	ERY BOW	ERYSIMUM X 'BOWLES' MAUVE'	BOWLES' MAUVE WALLFLOWER	5 GAL			PHO AMR	PHORMIUM X 'AMAZING RED'	AMAZING RED NEW ZEALAND FLAX	5 GAL	L 18-24" H X 18"-24" W
	ERY APR	ERYSIMUM X 'APRICOT TWIST'	APRICOT TWIST WALLFLOWER	5 GAL	L		PHO YEL	PHORMIUM X 'YELLOW WAVE'	NEW ZEALAND FLAX	5 GAL	L 3-4' H X 3-4' W
	EUP GLA	EUPHORBIA CHARACIAS 'GLACIER BLUE'	GLACIER BLUE EVERGREEN SPURGE	5 GAL	L 3' H X 3' W		PIT W14	PITTOSPORUM TOBIRA 'WHEELER'S DWARF'	WHEELER'S DWARF PITTOSPORUM	5 GAL	L 2-3' H X 4-5' W
	FES CAL	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	5 GAL	L 1-2' H X 2-3' W NATIVE - BUTTERFLY		PIT CM	PITTOSPORUM TOBIRA 'CREAM DE MINT' TM	CREAM DE MINT DWARF MOCK ORANGE	5 GAL	L 2-2.5' H X 2-2.5' W
	FES ID2	FESTUCA IDAHOENSIS	IDAHO FESCUE	5 GAL	L 1-2'HX 1'W NATIVE BUTTERFLY		POL MUN	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	5 GAL	M 3-6' H X 3-6' W NATIVE BUTTERFLY
	FES MAI	FESTUCA MAIREI	ATLAS FESCUE	5 GAL	L 2-3' H X 2-3' W		ROS TUS	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	5 GAL	L
	FES OVI	FESTUCA OVINA GLAUCA	BLUE FESCUE	1 GAL	M 1' H X 1-2' W		SAL CLE	SALVIA CLEVELANDII	CLEVELAND SAGE	5 GAL	L
	GAL SPE	GALVEZIA SPECIOSA	ISLAND SNAPDRAGON	5 GAL	L 3-4' H X 4-5' W NATIVE BUTTERFLY, BIRDS		SAL AL9	SALVIA GREGGII 'ALBA'	WHITE TEXAS SAGE	5 GAL	L
	GAU LIN	GAURA LINDHEIMERI	GAURA	5 GAL	M 2-4' H X 2-3' W		STI GIG	STIPA GIGANTEA	GIANT FEATHER GRASS	5 GAL	
	GRE NOE	GREVILLEA HYBRID 'NOELLII'	GREVILLEA	5 GAL	L 3-4' H X 3'-4' W		TEU CHA	TEUCRIUM CHAMAEDRYIS	GERMANDER	5 GAL	L 1-2' H X 2-3' W
	GRE COA	GREVILLEA LANIGERA 'COASTAL GEM'	COASTAL GEM GREVILLEA	5 GAL	L		WES WOY	WESTRINGIA FRUTICOSA 'GRAY BOX'	DWARF COAST ROSEMARY	5 GAL	L 2-3' H X 2-3' W
	HEB COE	HEBE X 'COED'	COED HEBE	5 GAL	M 2-3' H X 2-3' W		WES MOR	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	MORNING LIGHT COAST ROSEMARY	5 GAL	L 3-4' H X 3-4' W
	HEM YLO	HEMEROCALLIS X 'YELLOW'	YELLOW DAYLILY	5 GAL	M		ZAU CA9	ZAUSCHNERIA CALIFORNICA	CALIFORNIA FUCHSIA	5 GAL	
	HEU MAX	HEUCHERA MAXIMA	ISLAND ALUM ROOT	5 GAL	M 1' H X 1-2' W						
	JUN SK2	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	15 GAL	L 12-18' H X 4-6' W						
	KEC WSD	KECKIELLA CORYMBOSA	REDWOOD KECKIELLA	5 GAL	L 3' H X 2' W - NATIVE BUTTERFLY						
	KNI FLA	KNIPHOFIA X 'FLAMENCO'	ORANGE RED HOT POKER	5 GAL	L 3' H X 3' W						
	LAU RAG	LAURUS NOBILIS 'LITTLE RAGU'	LITTLE RAGU SWEET BAY	5 GAL	L 6-8' H X 6-8' W						



Acer rubrum Armstrong



Arbutus marina



Ulmus parvifolia



Quercus agrifolia



Prunus caroliniana Bright n Tight



x Chitalpa



Ginkgo Princeton Sentry



Robinia Purple Robe



Robinia Purple Robe flowering



Lagerstroemia



Cercis occidentalis



Magnolia Little Gem



Prunus serrulata Amanogawa



Crataegus phaenopyrum



Anigozanthos Yellow Gem



Anigozanthos Bush Gold



Arctostaphylos Emerald Carpet



Achillea millefolium



Erysium Bowles Mauve



Grevillea noelli



Grevillea noellii flower



Cistus ladanifer



Euphoria 'Glacier Blue'



Ceanothus



Baccharis pilularis 'Twin Peaks'



Hebe-coed



Diets



Galvezia speciosa



Miscanthus sinensis



Gaura lindheimeri



Lavatera thuringiaca



Little Ollie



Leucadendron



Carpenteria californica



Epilobum canum



Callistemon viminalis Little John



Limonium perezii



Loropetalum chinensis



Erigeron glaucus 'Wayne Roderick'



Erigeron karvinskianus



Salvia clevelandii



Westringia Grey Box



Muhlenbergia



Kniphofia uvaria



Liriope gigantea



Liriope muscari Silvery Sunproof



Phormium



Pittosporum Wheelers Dwarf



Festuca ovina glauca



Teucrium chamaedrys



Pittosporum tobira Creme de Mint



Phoriumum Duet



Robinia Purple Robe



Cercis occidentalis multi



Festuca ovina Elijahs Blue



Anigozanthos Yellow Gem



Muhlenbergia rigens



Epilobium canum



Arbutus marina



Ginkgo Princeton Sentry



mimulus aurantiacus



Diets iridioides



Carex divulsa



Rosa californica flowers



Festuca-mairei



Kniphofia uvaria



Juncus patens



Carex pansa



Lagerstroemia



Festuca idahoensis



Rhamnus californica Eves Case



Erigeron karvinskianus



Chondropetalum tectorum



Epilobium schiefelins

# IRRIGATION DESIGN INTENT STATEMENT

THE IRRIGATION HAS BEEN DESIGNED FOR MAXIMUM EFFICIENCY AND WATER CONSERVATION:

- SMART WEATHER (E.T.) BASED IRRIGATION CONTROLLERS WITH AUTOMATIC DAILY WATERING SCHEDULE ADJUSTMENTS BASED UPON LOCAL CLIMATIC CONDITIONS AT THE PROJECT SITE.
- RAIN SHUTOFF DEVICES.
- LOW VOLUME DRIP EMITTERS AT TREE, SHRUB AND GROUND COVER PLANTING AREAS.
- HIGH EFFICIENCY "WATER SMART" PRECISION SPRAY HEADS AT TURF AREAS FOR OPTIMUM WATER APPLICATION.
- FLOW SENSOR WITH AUTOMATIC IRRIGATION MAIN LINE WATER SHUT OFF IN THE EVENT OF A LINE BREAK.
- THE SHRUB AND GROUND COVER AREAS PLANTING AREAS PRIMARILY UTILIZE WATER CONSERVING LOW WATER USE PLANT MATERIALS. MEDIUM WATER USE PLANT MATERIALS ARE UTILIZED IN THE SHADY AREAS.
- TREES ARE A MIX OF LOW AND MEDIUM WATER USE SPECIES.
- TREES AND SHRUB/GROUND COVER AREAS ARE ON SEPARATE HYDROZONE VALVE CIRCUITS. BIO-TREATMENT AREAS ARE ALSO ON SEPARATE HYDROZONE VALVE CIRCUITS.
- HYDROZONE VALVE CIRCUITS WITH DIFFERING WATER USE REQUIREMENTS (LOW, MEDIUM) ARE ON SEPARATE VALVE CIRCUITS.
- IRRIGATION SYSTEM COMPLIES WITH THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (WELO).

HYDROZONE 1: LOW WATER USE PLANTING AREAS, WITH DRIP IRRIGATION

HYDROZONE 2: MEDIUM WATER USE PLANTING AREAS, WITH DRIP IRRIGATION

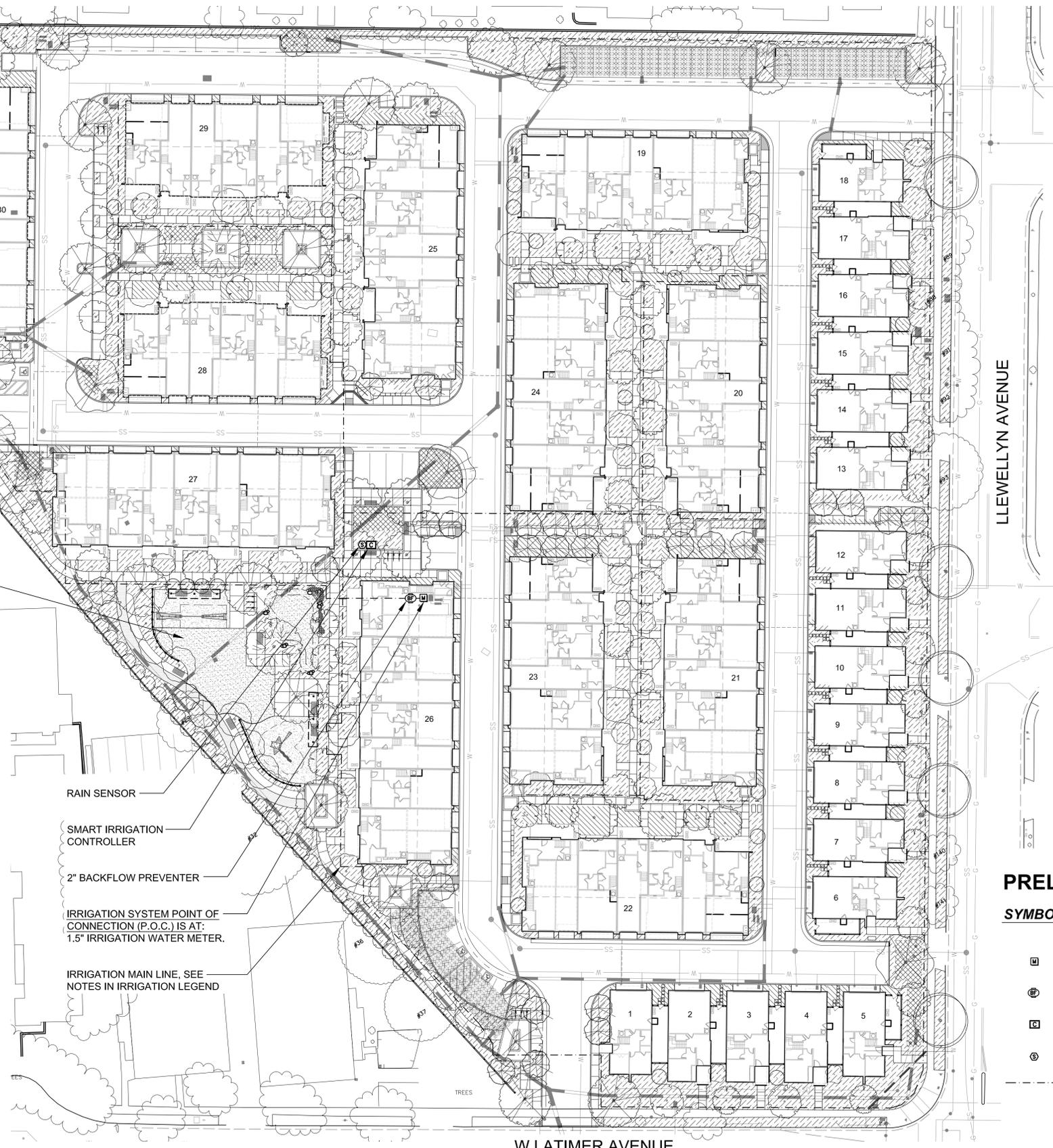
HYDROZONE 3: LOW WATER USE BIOTREATMENT PLANTING AREAS, WITH DRIP

HYDROZONE 5: MEDIUM WATER USE TREES, WITH DRIP IRRIGATION

HYDROZONE 4: LOW WATER USE FESCUE SOD MIX TURF AREAS WITH SPRAY IRRIGATION

## IRRIGATION HYDROZONE AREA CHART

SYMBOL	HYDROZONE TYPE	HYDROZONE AREA
	HYDROZONE 1: LOW WATER USE PLANTING AREAS, WITH DRIP IRRIGATION	45,875 SF
	HYDROZONE 2: MEDIUM WATER USE PLANTING AREAS, WITH DRIP IRRIGATION	3,320 SF
	HYDROZONE 3: LOW WATER USE BIOTREATMENT PLANTING AREAS, WITH DRIP IRRIGATION	7,671 SF
	HYDROZONE 4: LOW WATER USE FESCUE MIX SOD TURF AREAS, WITH SPRAY IRRIGATION	2,797 SF
	HYDROZONE 5: MEDIUM WATER USE TREES, WITH DRIP IRRIGATION	2,520 SF
<b>TOTAL LANDSCAPE AREA:</b>		<b>62,183 SF</b>
<b>PERCENTAGE LANDSCAPE AREA:</b>		<b>26%</b>

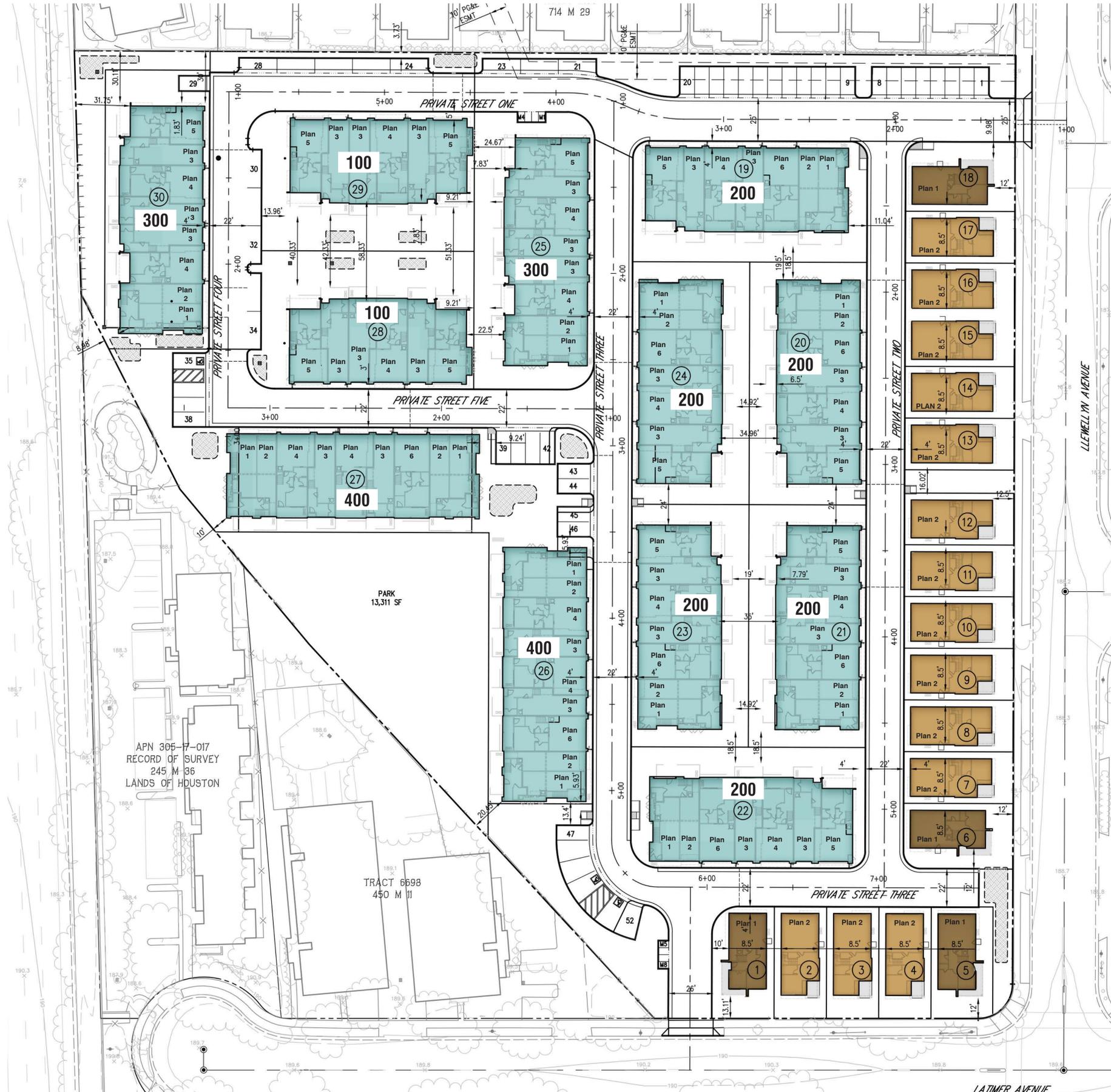


## PRELIMINARY IRRIGATION LEGEND

SYMBOL	DESCRIPTION
	1.5" IRRIGATION WATER METER
	2" REDUCED PRESSURE BACKFLOW PREVENTER
	SMART IRRIGATION CONTROLLER
	RAIN SENSOR SENSOR
	IRRIGATION MAIN LINE

NOTE: MAIN LINE LAYOUT IS PRELIMINARY AND IS DIAGRAMMATIC, SLEEVES AND OTHER CONDUITS, VALVES, ETC, NOT SHOWN FOR CLARITY.





**SFD**  
**Townhome Condos**  
**Total**

**18 Dwelling Units**  
**88 Units**  
**106 Units**

**Townhome Condos**

**BUILDING AREA SUMMARY**

	BUILDING 100	BUILDING 200	BUILDING 300	BUILDING 400
1ST FLOOR	5,142	5,763	6,433	7,121
2ND FLOOR	5,417	6,108	6,803	7,485
3RD FLOOR	5,084	5,655	6,334	6,822
TOTAL	15,643	17,526	19,570	21,428

1. Building Area Calculations Are Inclusive of Garages, Utility Cabinets, Patios, and Decks.
2. Square Footage May Vary Due To Method Of Calculation.

**LIVING AREA SUMMARY**

	LIVING AREA	BUILDINGS ON SITE	TOTAL
BUILDING 100	11,660	2	23,320
BUILDING 200	13,134	6	78,804
BUILDING 300	14,599	2	29,198
BUILDING 400	16,244	2	32,488
		TOTAL LIVING AREA ON SITE	163,810

1. Living Area Calculations Are Exclusive of Garages, Utility Cabinets, Patios and Decks.
2. Square Footage May Vary Due To Method of Calculation.

**SFD** **18 Dwelling Units**

ALLOWABLE NUMBER OF STORIES: 3 (C.R.C.301.2.2.7)

SFD | Plan 1 Construction: R3, VB Sprinkler System: 13D

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL AMOUNT OF HOMES	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL
PLAN 1	S.F.D.	4 BED + 3 BATH	2-CAR	4	2548	494	146

SFD | Plan 2 Construction: R3, VB Sprinkler System: 13D

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL NUMBER OF HOMES	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL
PLAN 2	S.F.D.	4 BED + 3 BATH	2-CAR	14	2567	491	73

1. SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

**Townhome Condos** **88 Dwelling Units**

ALLOWABLE NUMBER OF STORIES: 3 (C.B.C. TABLE 504.4)

ALLOWABLE BUILDING HEIGHT: 60' (C.B.C. TABLE 504.3) 30' To Eave for Fire Access

ALLOWABLE BUILDING AREA: (C.B.C. TABLE 506.2)

R2, VB: 21,000 SF/STORY | U, VB: 16,500 SF/STORY  
 (FIRE WALLS ARE NOT REQUIRED, AS AREA LIMITATIONS WITHIN EACH BUILDING ARE WITHIN CODE ALLOWANCES. LOCATIONS OF POTENTIAL FIRE WALLS FOR THE PURPOSES OF COMBINING BUILDINGS ON THE SAME LOT ARE TO BE EVALUATED DURING THE CONSTRUCTION DOCUMENT PHASE)

**TOWNHOME CONDOS | BUILDING 100** Construction: R2, VB Sprinkler System: Full13

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL AMOUNT OF UNITS	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL	PORCH TOTAL
PLAN 3	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM2-CAR	3	1678	492	92	11
PLAN 4	CONDO	3 BED + 3.5 BATH	2-CAR	1	2094	447	110	108
PLAN 5	CONDO	3 BED + 3.5 BATH	2-CAR	2	2192	441	122	116

**TOWNHOME CONDOS | BUILDING 200** Construction: R2, VB Sprinkler System: Full13

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL AMOUNT OF UNITS	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL	PORCH TOTAL
PLAN 1	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM	1	1433	438	63	0
PLAN 2	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM2-CAR	1	1548	472	56	0
PLAN 3	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM2-CAR	2	1678	492	92	11
PLAN 4	CONDO	3 BED + 3.5 BATH	2-CAR	1	2094	447	110	108
PLAN 5	CONDO	3 BED + 3.5 BATH	2-CAR	1	2192	441	122	116
PLAN 6	CONDO	3 BED + 3.5 BATH	2-CAR	1	2339	444	123	123

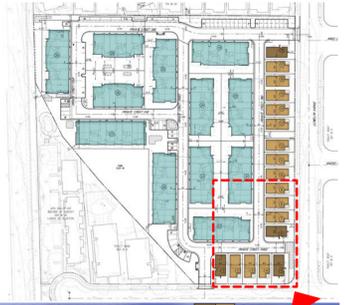
**TOWNHOME CONDOS | BUILDING 300** Construction: R2, VB Sprinkler System: Full13

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL AMOUNT OF UNITS	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL	PORCH TOTAL
PLAN 1	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM	1	1433	438	63	0
PLAN 2	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM2-CAR	1	1548	472	56	0
PLAN 3	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM2-CAR	3	1678	492	92	11
PLAN 4	CONDO	3 BED + 3.5 BATH	2-CAR	2	2094	447	110	108
PLAN 5	CONDO	3 BED + 3.5 BATH	2-CAR	1	2192	441	122	116

**TOWNHOME CONDOS | BUILDING 400** Construction: R2, VB Sprinkler System: Full13

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL AMOUNT OF UNITS	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL	PORCH TOTAL
PLAN 1	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM	2	1433	438	63	0
PLAN 2	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM2-CAR	2	1548	472	56	0
PLAN 3	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM2-CAR	2	1678	492	92	11
PLAN 4	CONDO	3 BED + 3.5 BATH	2-CAR	2	2094	447	110	108
PLAN 6	CONDO	3 BED + 3.5 BATH	2-CAR	1	2339	444	123	123

1. SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.



PROJECT KEY MAP SFD



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**251 LLEWELLYN AVE.**  
CAMPBELL, CALIFORNIA

SEPTEMBER 06, 2023

SFD

SFD PERSPECTIVE VIEW

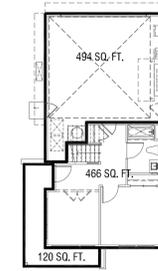
SS.1



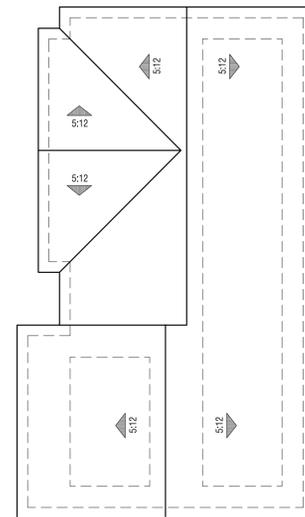
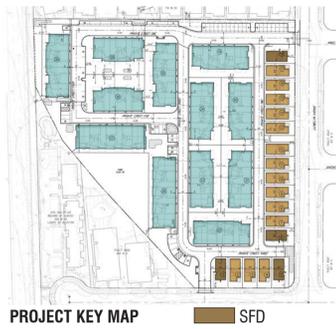
Floor Area Diagram  
3rd Floor 1,047 Sq.Ft.



Floor Area Diagram  
2nd Floor 1,035 Sq.Ft.  
Deck 130 Sq.Ft  
Balcony 16 Sq.Ft.

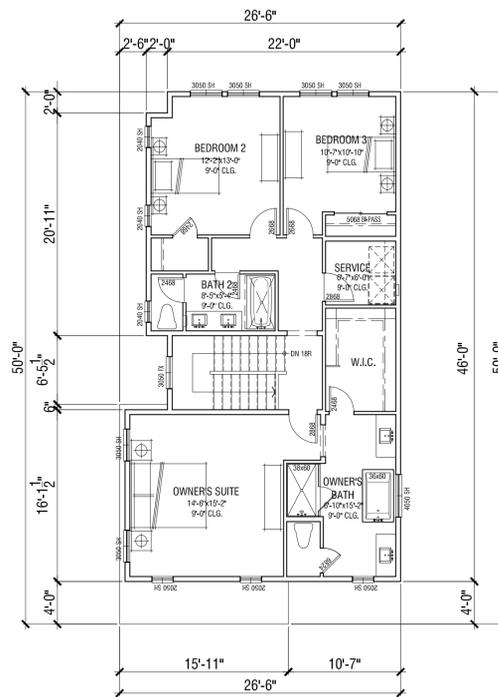


Floor Area Diagram  
1st Floor 466 Sq.Ft.  
Garage 494 Sq.Ft  
Porch 120 Sq.Ft.

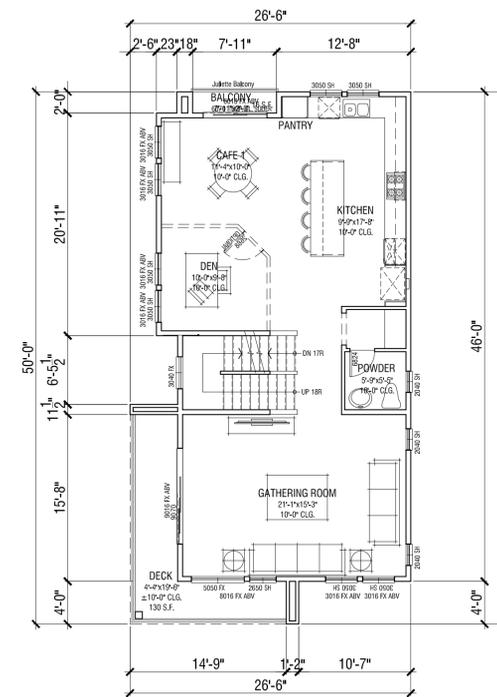


Note: PV area is to be provided by others at a later date based on T-24 calculations.

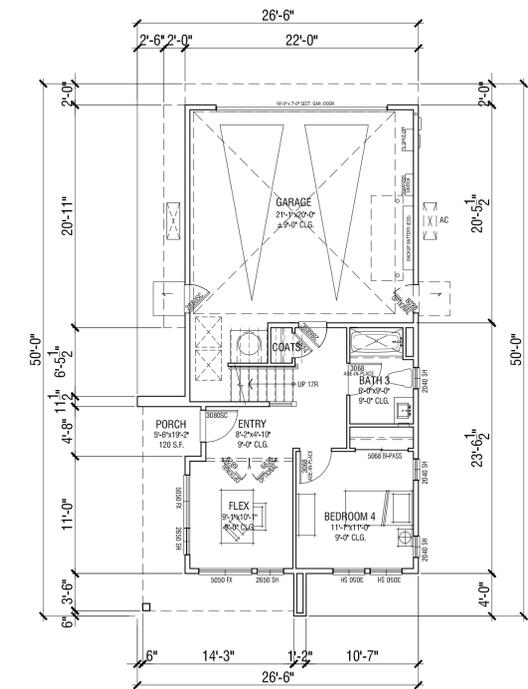
Roof Plan



Third Floor



Second Floor



First Floor

Construction: R3, VB  
Sprinkler System: 13D

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL AMOUNT OF HOMES	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL
PLAN 1	S.F.D.	4 BED + 3 BATH	2-CAR	4	2548	494	146

1. SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

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Note: Square Footage may vary due to method of calculation

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**251 LLEWELLYN AVE.**  
CAMPBELL, CALIFORNIA

PLAN 1

SEPTEMBER 15, 2023

SFD

BUILDING FLOOR PLANS

1.1



PROJECT KEY MAP SFD



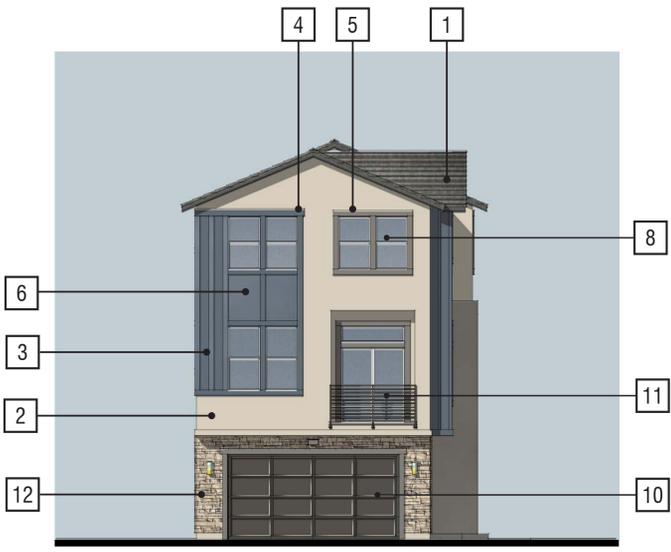
REAR VIEW



FRONT VIEW

**COLOR APPLICATION:**

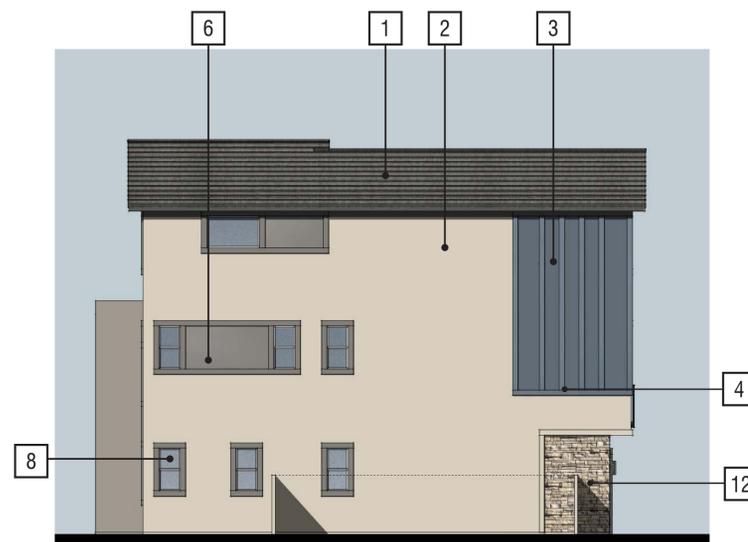
- Primary Color = 50 % of Facade
- Secondary Color No more than 45 %
- Tertiary Color No more than 20 %
- Accent Color Front Door



REAR



LEFT



RIGHT



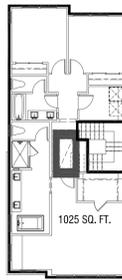
FRONT

**MATERIAL LEGEND:**

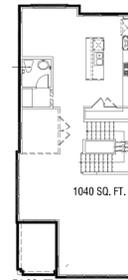
1. Concrete Tile Roof
2. Stucco / Stucco Accent
3. Board & Batt Siding
4. Fiber Cement Trim
5. Smooth Stucco Trim
6. Fiber Cement Panel
7. Inset Siding at Trim
8. Vinyl Window
9. Entry Door
10. Garage Door
11. Railing: Metal
12. Veneer: Stone
13. Wood Post

0 2 4 8  
1'-0" = 3/16" SCALE

**PLAN 1B**



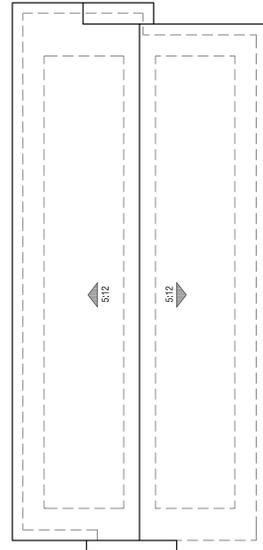
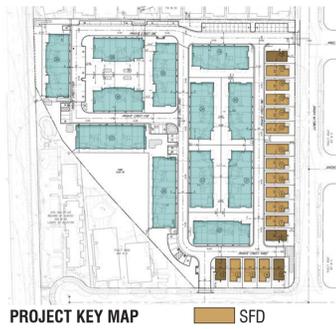
Floor Area Diagram  
3rd Floor 1,025 Sq.Ft.



Floor Area Diagram  
2nd Floor 1,040 Sq.Ft.  
Deck 71 Sq.Ft

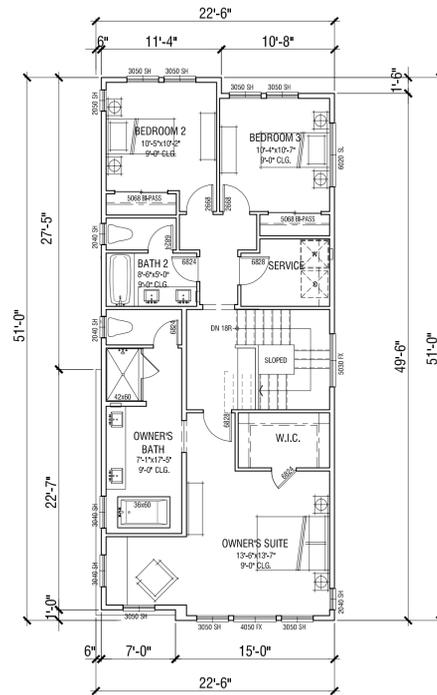


Floor Area Diagram  
1st Floor 502 Sq.Ft.  
Garage 491 Sq.Ft  
Porch 64 Sq.Ft.

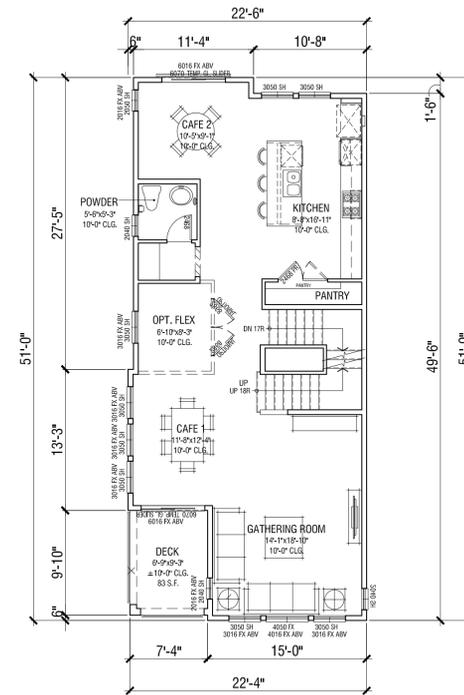


Note: PV area is to be provided by others at a later date based on T-24 calculations.

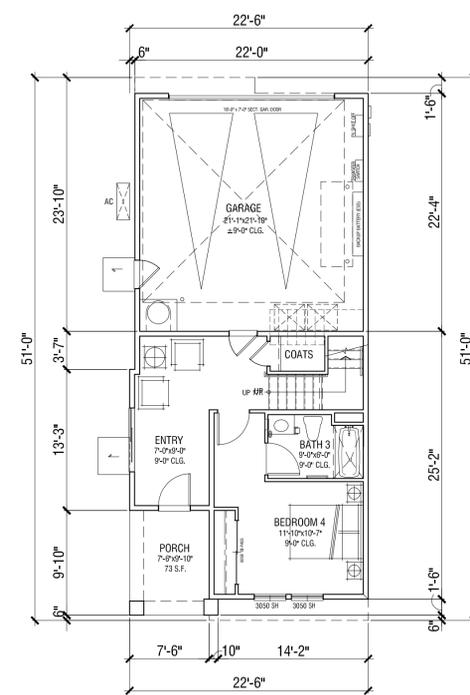
Roof Plan



Third Floor



Second Floor



First Floor

Construction: R3, VB  
Sprinkler System: 13D

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL NUMBER OF HOMES	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL
PLAN 2	S.F.D.	4 BED + 3 BATH	2-CAR	14	2567	491	73

1. SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

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Note: Square Footage may vary due to method of calculation



251 LLEWELLYN AVE.  
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PLAN 2

SEPTEMBER 15, 2023

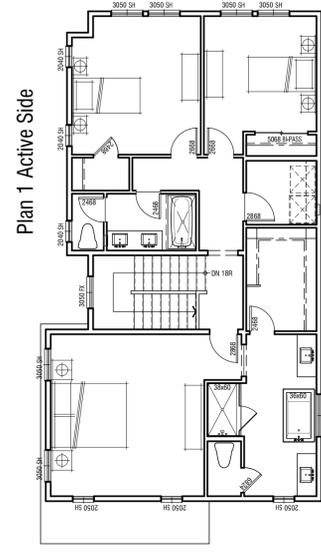
SFD

PLAN 2  
BUILDING FLOOR PLANS

1.3

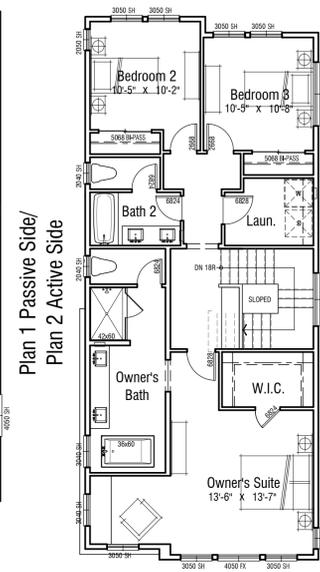


PROJECT KEY MAP SFD



Plan 1 Active Side

Plan 1

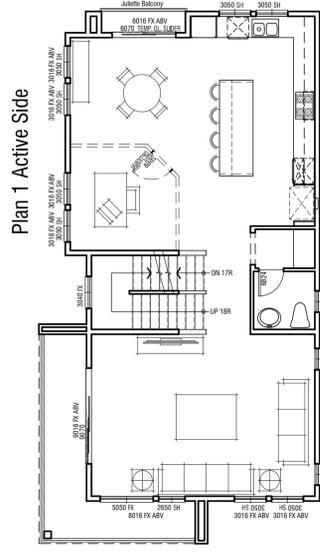


Plan 1 Passive Side/  
Plan 2 Active Side

Plan 2

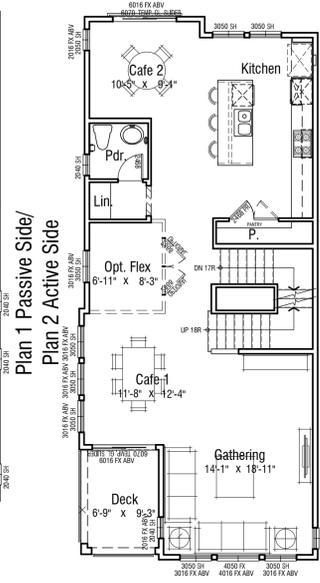
Plan 2 Passive Side

Third Floor



Plan 1 Active Side

Plan 1

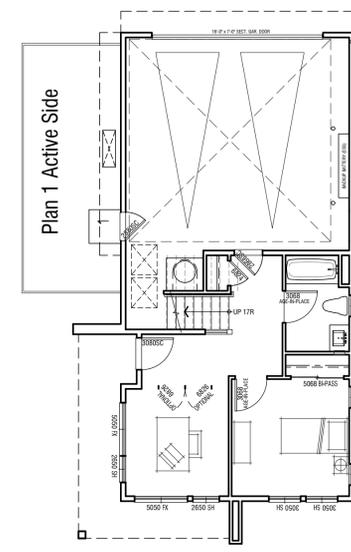


Plan 1 Passive Side/  
Plan 2 Active Side

Plan 2

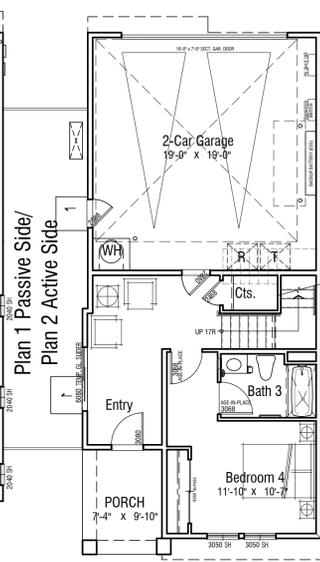
Plan 2 Passive Side

Second Floor



Plan 1 Active Side

Plan 1



Plan 1 Passive Side/  
Plan 2 Active Side

Plan 2

Plan 2 Passive Side

First Floor



PROJECT KEY MAP SFD



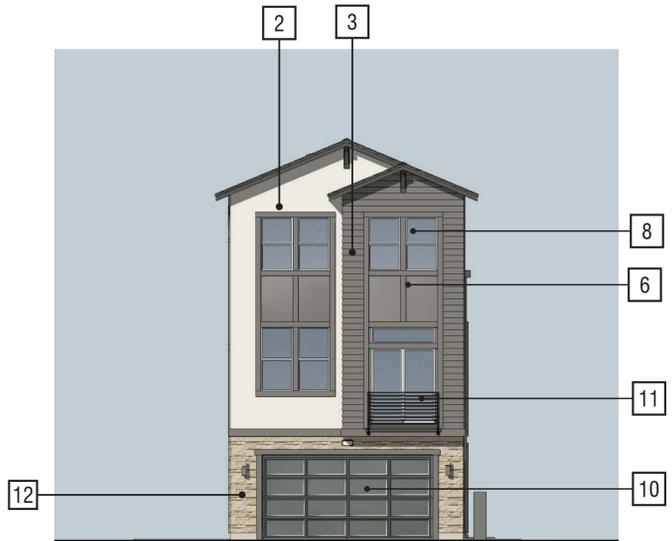
REAR VIEW



FRONT VIEW

**COLOR APPLICATION:**

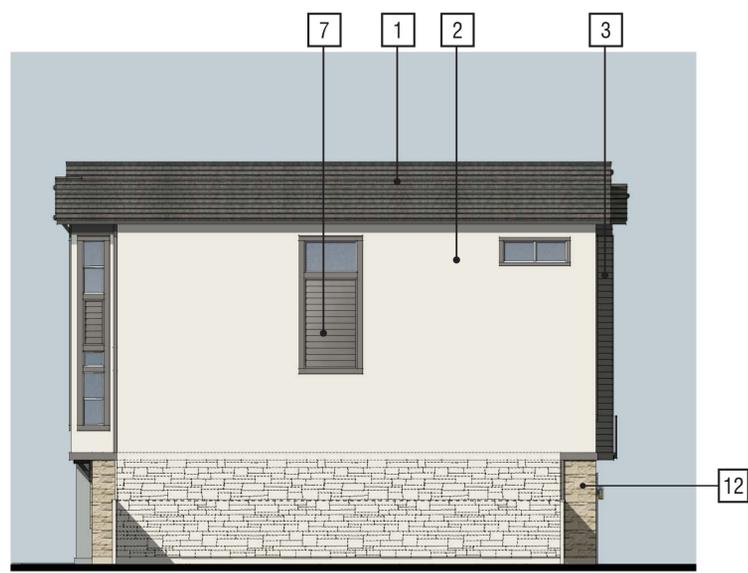
- Primary Color = 50 % of Facade
- Secondary Color No more than 45 %
- Tertiary Color No more than 20 %
- Accent Color Front Door



REAR



LEFT



RIGHT

PLAN 2A



FRONT

FG. VARIES PER CIVIL

**MATERIAL LEGEND:**

1. Concrete Tile Roof
2. Stucco
3. Board & Batt Siding
4. Fiber Cement Trim
5. Smooth Stucco Trim
6. Fiber Cement Panel
7. Inset Siding at Trim
8. Vinyl Window
9. Entry Door
10. Garage Door
11. Railing: Metal
12. Veneer: Stone
13. Wood Post

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SFD

1.5

PLAN 2A  
BUILDING FLOOR PLANS



PROJECT KEY MAP SFD



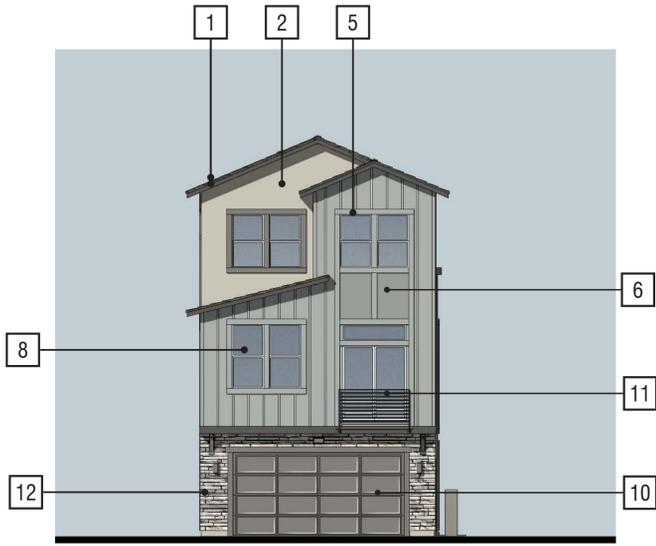
REAR VIEW



FRONT VIEW

**COLOR APPLICATION:**

- Primary Color = 50 % of Facade
- Secondary Color No more than 45 %
- Tertiary Color No more than 20 %
- Accent Color Front Door



REAR



LEFT



RIGHT



FRONT

**MATERIAL LEGEND:**

1. Concrete Tile Roof
2. Stucco / Stucco Accent
3. Board & Batt Siding
4. Fiber Cement Trim
5. Smooth Stucco Trim
6. Fiber Cement Panel
7. Inset Siding at Trim
8. Vinyl Window
9. Entry Door
10. Garage Door
11. Railing: Metal
12. Veneer: Stone
13. Wood Post

PLAN 2B

0 2 4 8  
1'-0" = 3/16" SCALE

FG. VARIES PER CIVIL

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**251 LLEWELLYN AVE.**  
CAMPBELL, CALIFORNIA

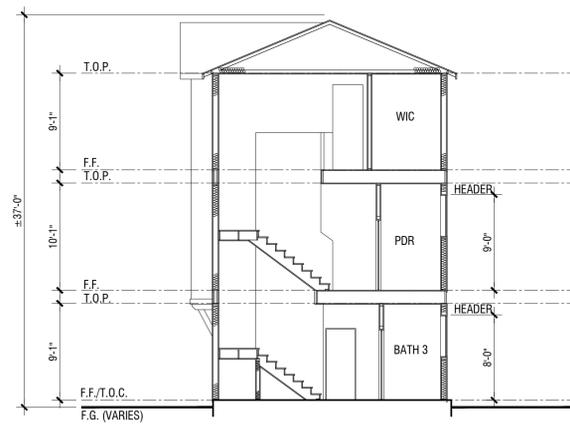
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PLAN 2B.  
BUILDING FLOOR PLANS

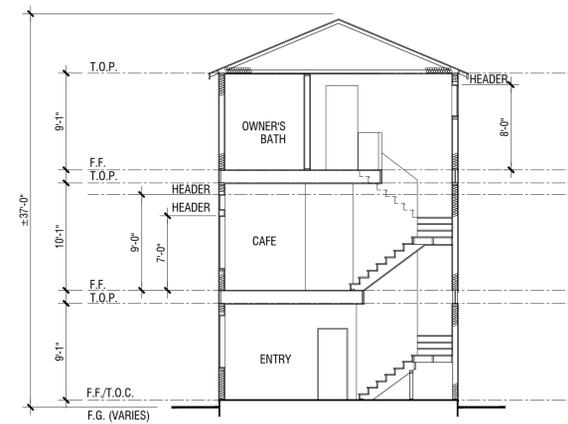
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PROJECT KEY MAP SFD

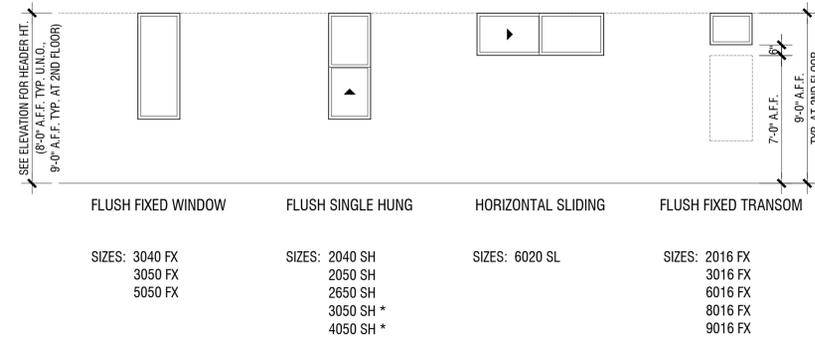
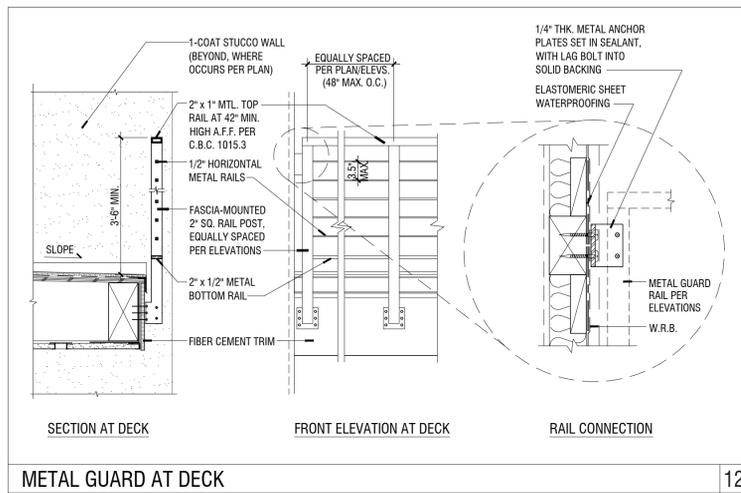


PLAN 1A



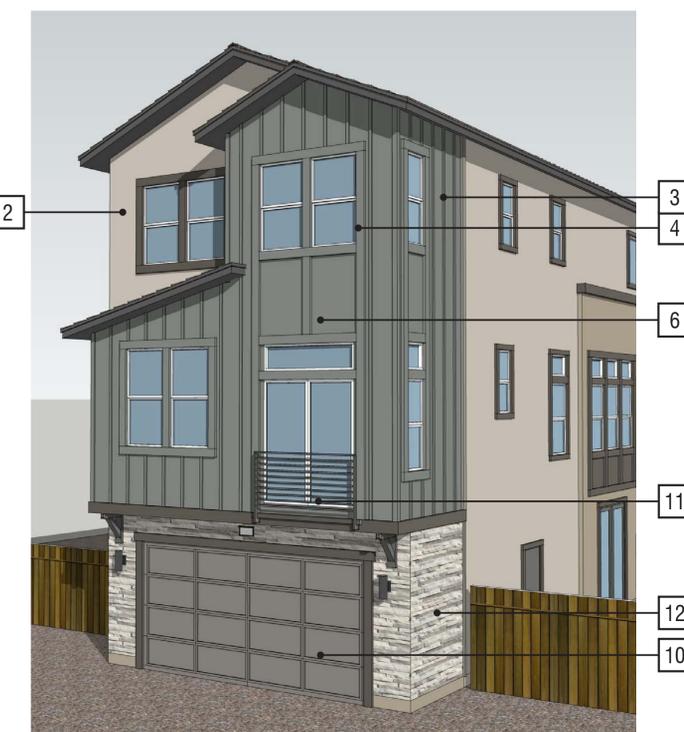
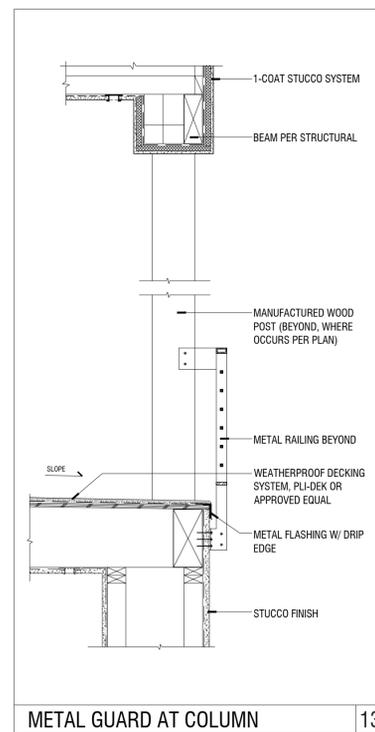
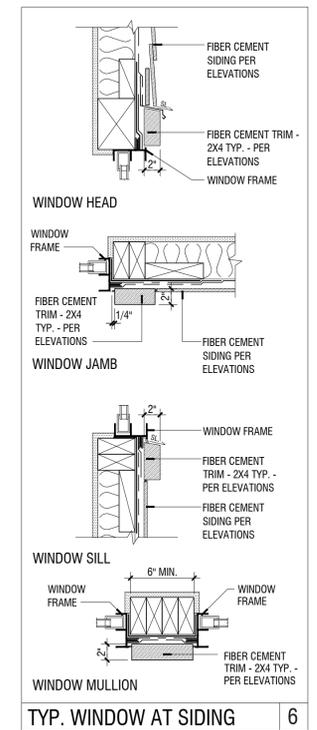
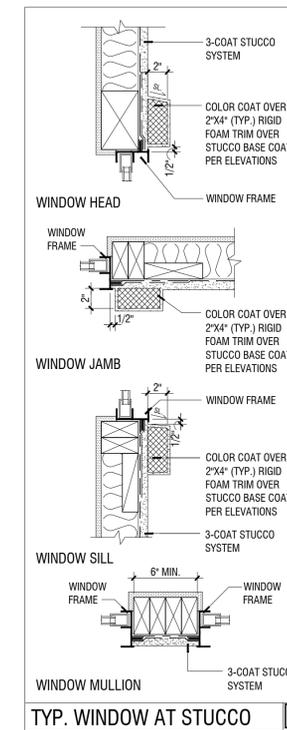
PLAN 2B

SFD | Conceptual Sections



**NOTES:**

1. WINDOW GRIDS MAY OCCUR - REFER TO EXTERIOR ELEVATIONS FOR GRID PATTERN/STYLE.
2. WINDOWS SHALL BE VINYL WINDOWS; COLOR SHALL BE WHITE. MILGARD OR CLIENT APPROVED EQUAL.
3. (\*) DENOTES WINDOW SIZING THAT COMPLIES WITH CRC SECTION 310.2.1 EMERGENCY ESCAPE AND RESCUE OPENINGS REQUIREMENTS, WHERE REQUIRED.



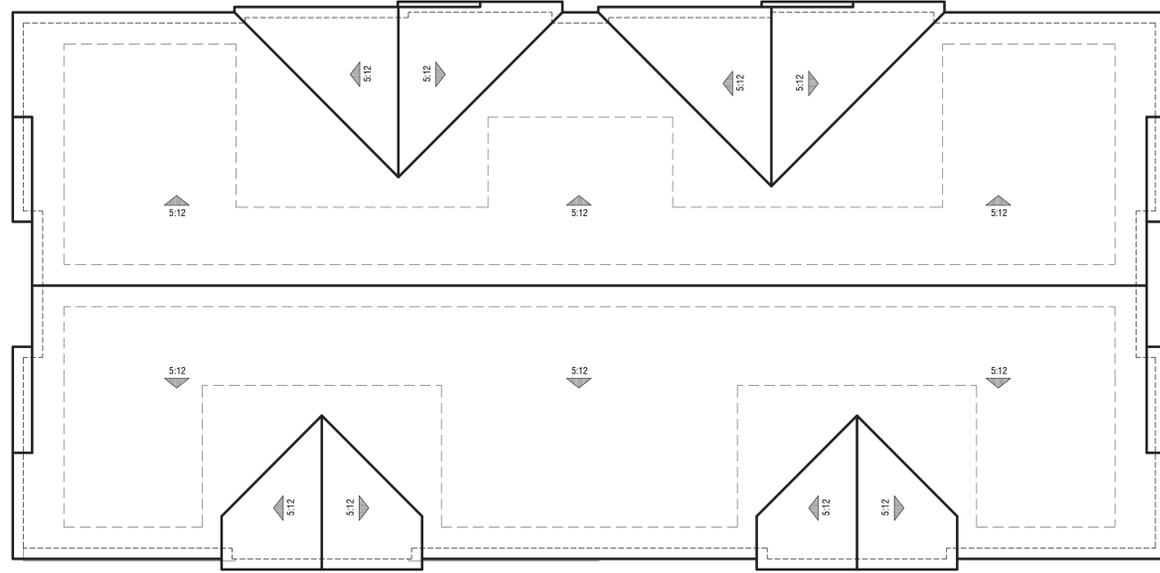
**MATERIAL LEGEND:**

1. Concrete Tile Roof
2. Stucco / Stucco Accent
3. Board & Batt Siding
4. Fiber Cement Trim
5. Smooth Stucco Trim
6. Fiber Cement Panel
7. Inset Siding at Trim
8. Vinyl Window
9. Entry Door
10. Garage Door
11. Railing: Metal
12. Veneer: Stone
13. Wood Post



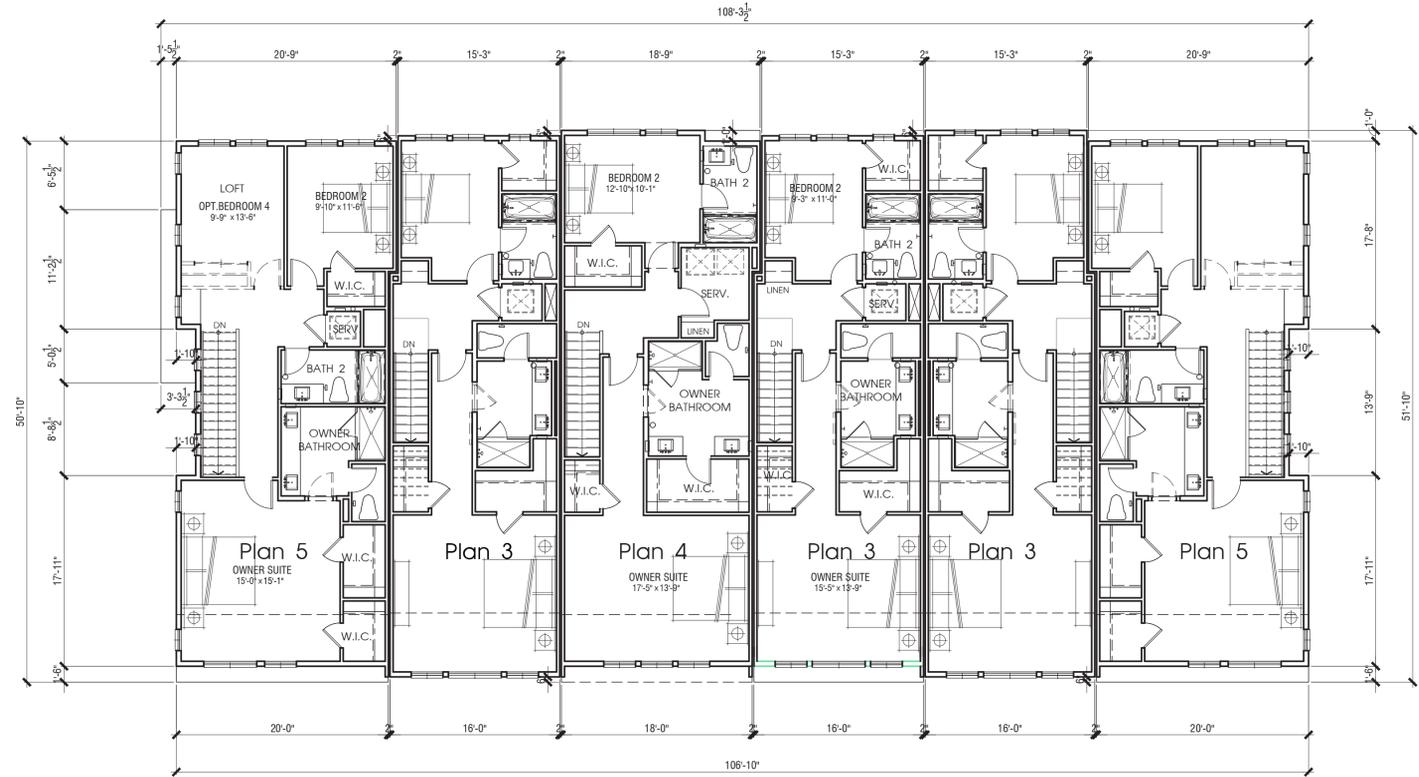


PROJECT KEY MAP TOWNHOME CONDOS



Note: PV area is to be provided by others at a later date based on T-24 calculations.

Roof Plan



Third Floor

Construction: R2, VB  
Sprinkler System: Full13



REAR VIEW



FRONT VIEW

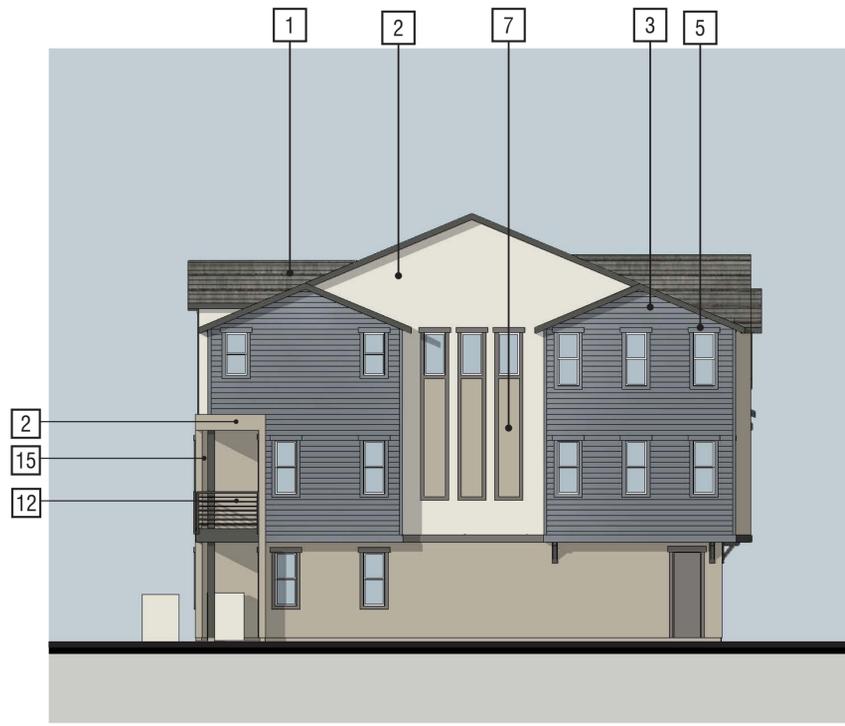
**BUILDING 100**



PROJECT KEY MAP TOWNHOME CONDOS



PROJECT KEY MAP TOWNHOME CONDOS



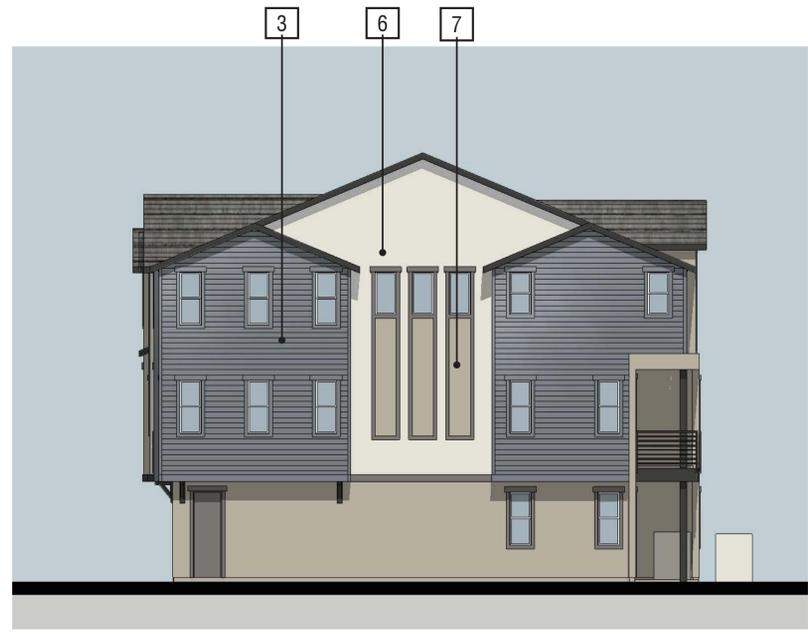
RIGHT



REAR

**COLOR APPLICATION:**

- Primary Color = 50 % of Facade
- Secondary Color No more than 45 %
- Tertiary Color No more than 20 %
- Accent Color Front Door



LEFT



FRONT

**MATERIAL LEGEND:**

1. Concrete Tile Roof
2. Stucco / Stucco Accent
3. Horizontal Siding
4. Board @ Batt Siding
5. Fiber Cement Trim
6. Smooth Stucco Trim
7. Fiber Cement Panel
8. Inset Siding at Trim
9. Vinyl Window
10. Entry Door
11. Garage Door
12. Railing: Metal
13. Stucco Shelf
14. Veneer: Stone
15. Wood Column

**BUILDING 100**

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CAMPBELL, CALIFORNIA

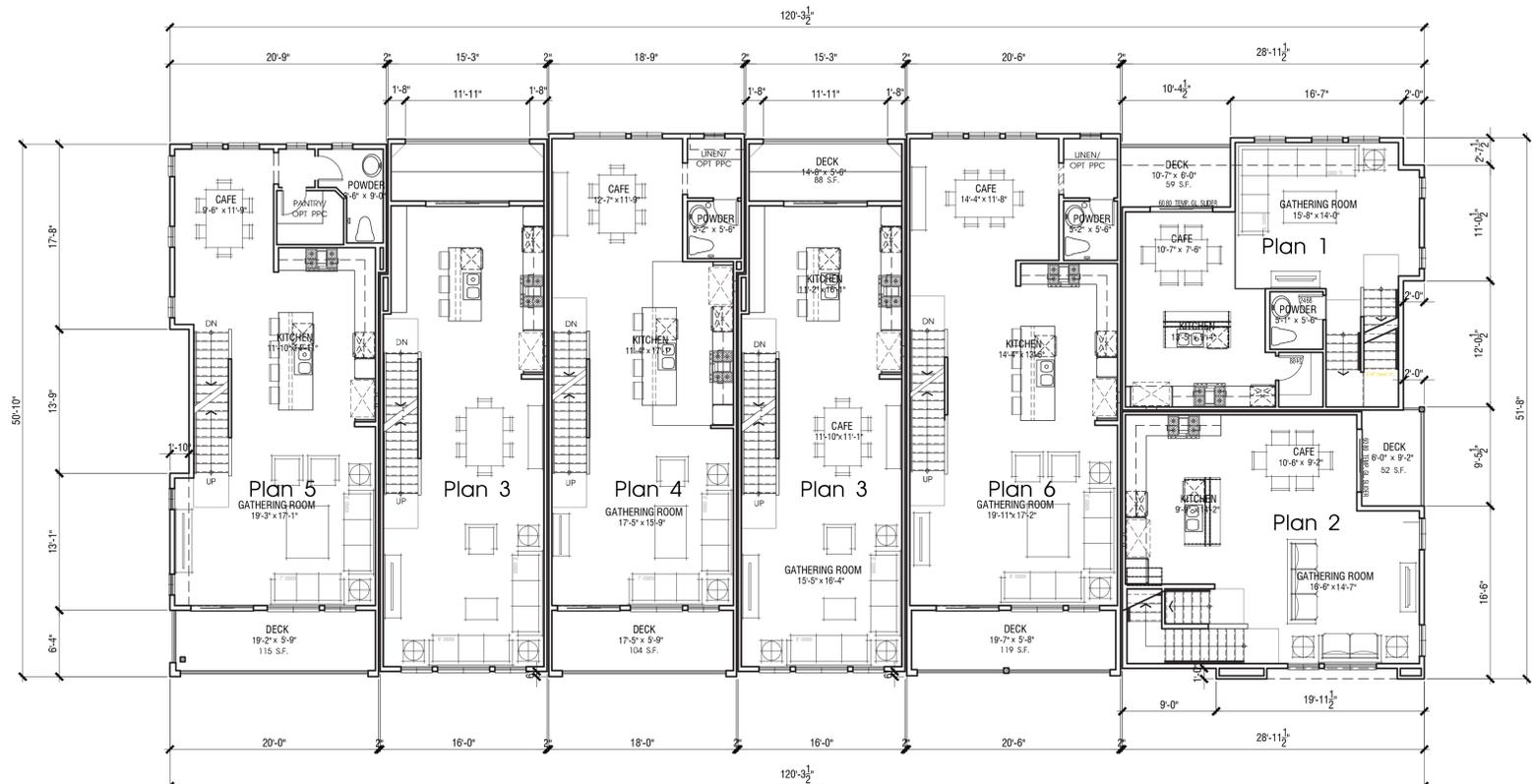
SEPTEMBER 06, 2023

**TOWNHOME CONDOS**  
BUILDING 100  
BUILDING ELEVATIONS

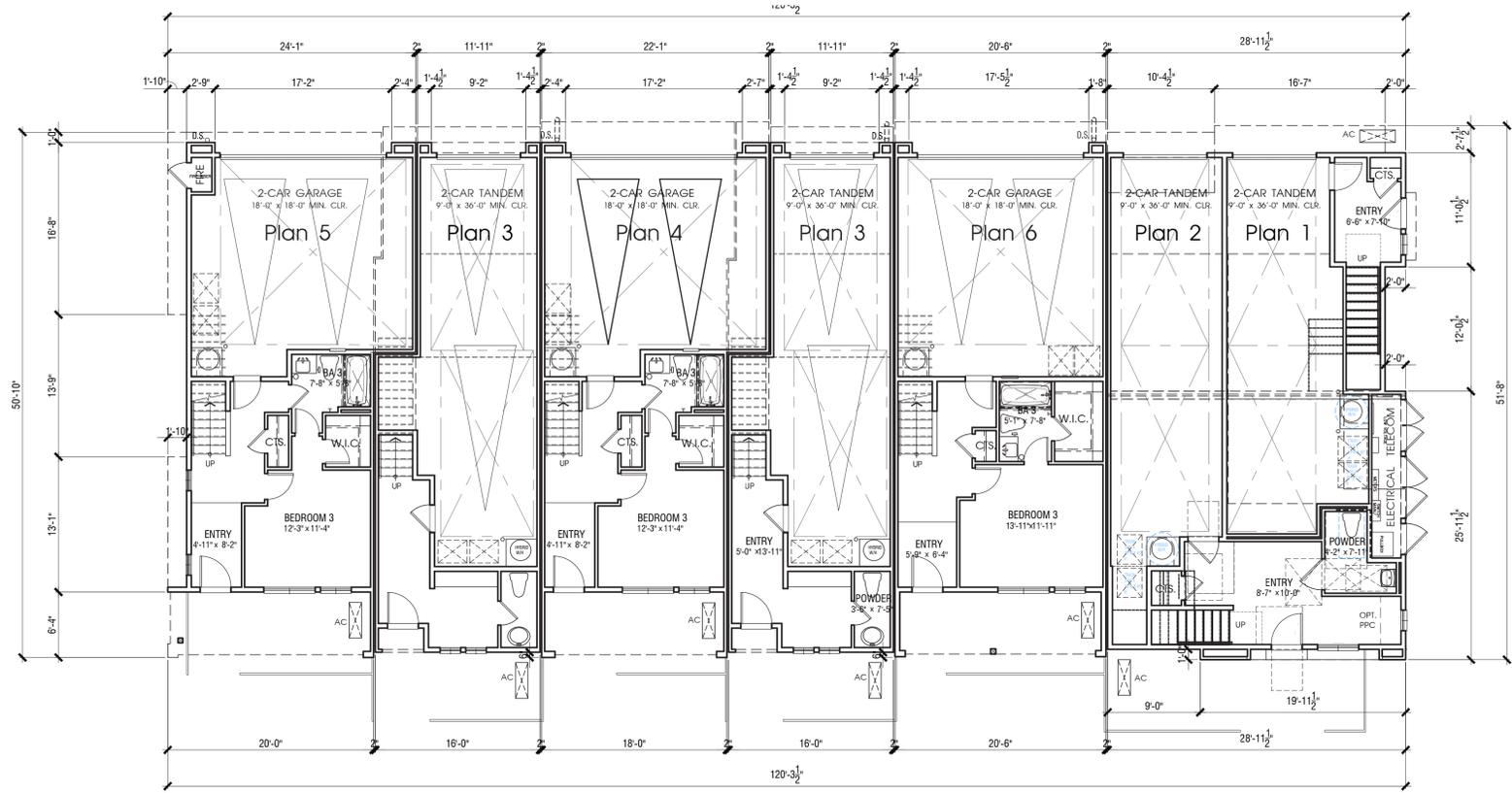
**2.4**



PROJECT KEY MAP TOWNHOME CONDOS



Second Floor



First Floor

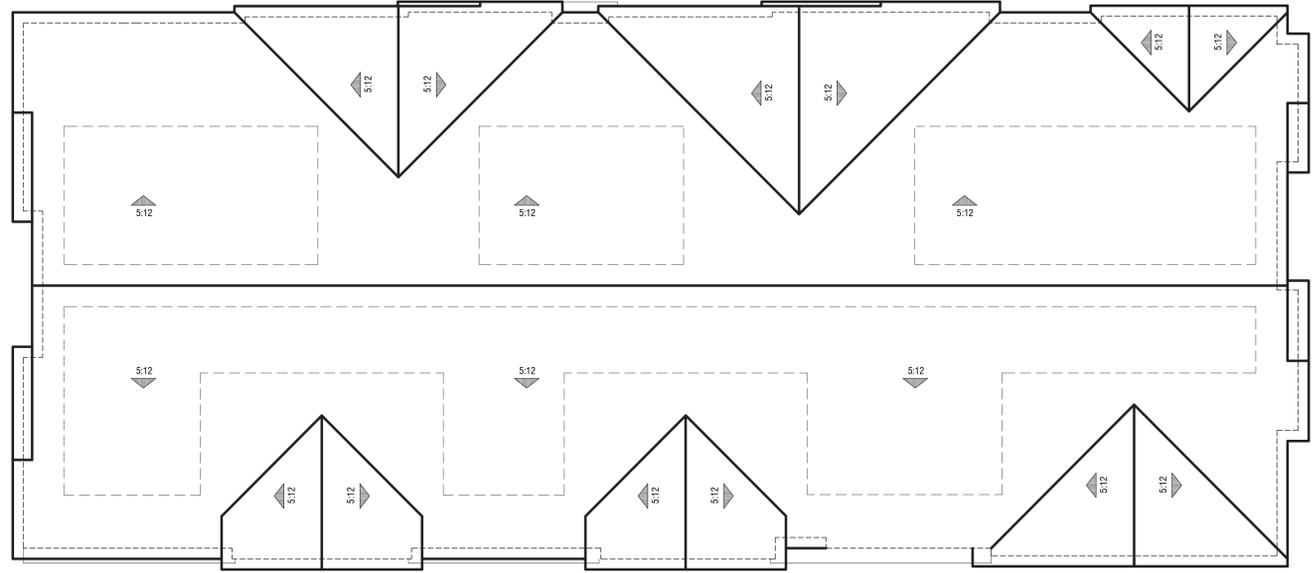
Construction: R2, VB  
Sprinkler System: Full13

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL AMOUNT OF UNITS	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL	PORCH TOTAL
PLAN 1	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM	1	1433	438	63	0
PLAN 2	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM2-CAR	1	1548	472	56	0
PLAN 3	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM2-CAR	2	1678	492	92	11
PLAN 4	CONDO	3 BED +3.5 BATH	2-CAR	1	2094	447	110	108
PLAN 5	CONDO	3 BED +3.5 BATH	2-CAR	1	2192	441	122	116
PLAN 6	CONDO	3 BED +3.5 BATH	2-CAR	1	2339	444	123	123

1. SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

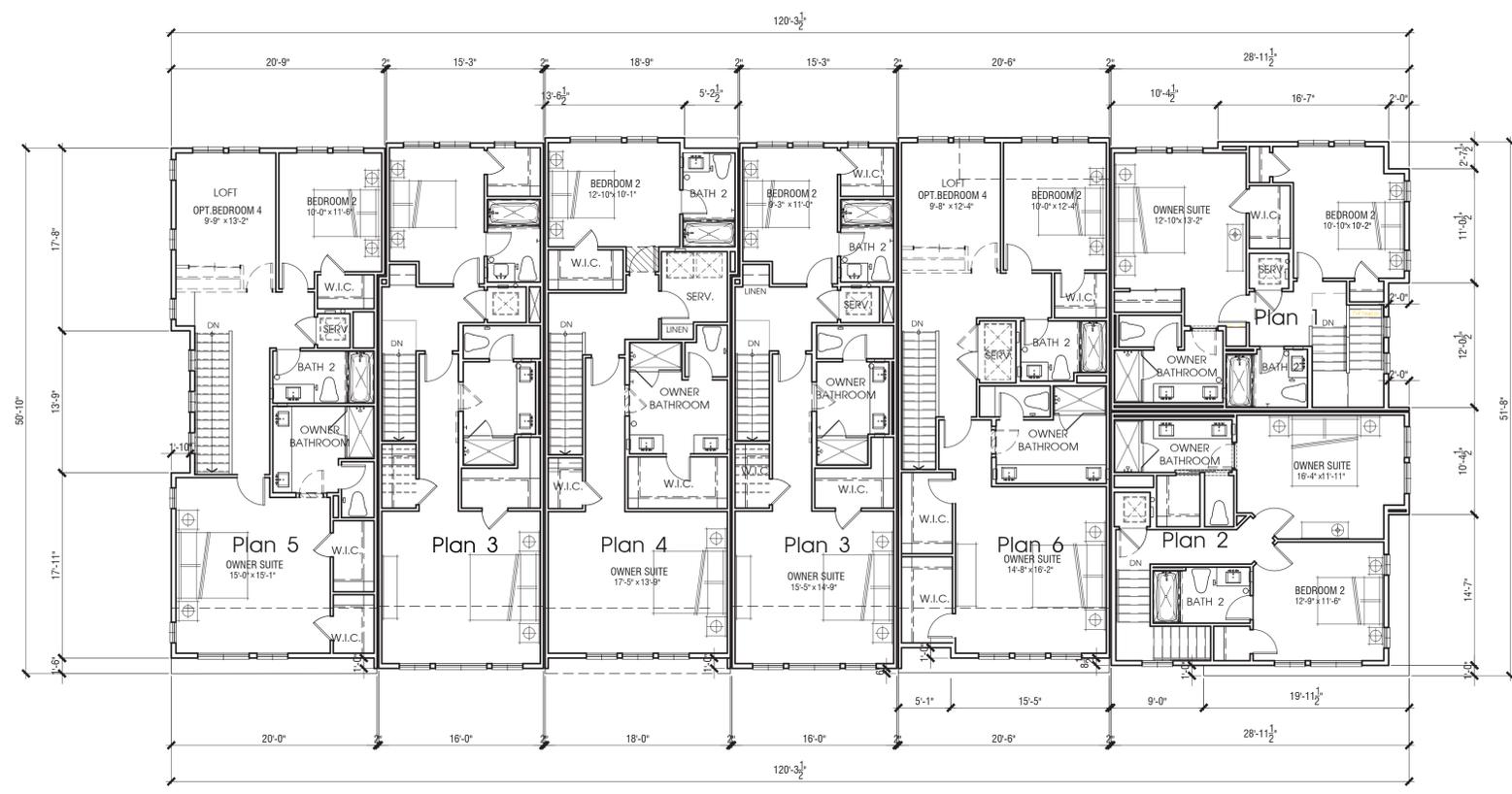


PROJECT KEY MAP TOWNHOME CONDOS



Note: PV area is to be provided by others at a later date based on T-24 calculations.

Roof Plan



Third Floor

Construction: R2, VB  
Sprinkler System: Full13



PROJECT KEY MAP TOWNHOME CONDOS



REAR VIEW

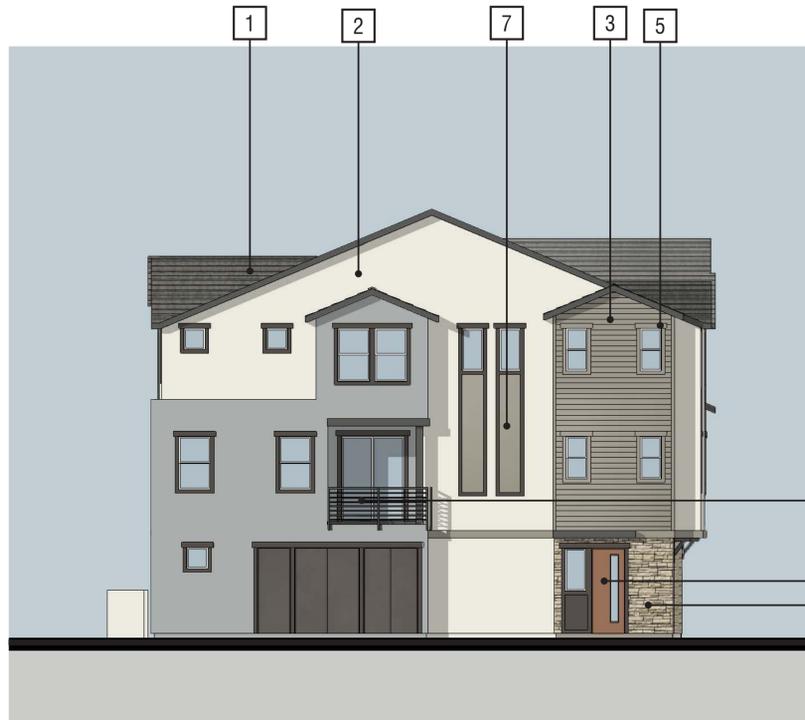


FRONT VIEW

**BUILDING 200**



PROJECT KEY MAP TOWNHOME CONDOS



RIGHT



REAR



LEFT



FRONT

**COLOR APPLICATION:**

- Primary Color = 50 % of Facade
- Secondary Color No more than 45 %
- Tertiary Color No more than 20 %
- Accent Color Front Door

**MATERIAL LEGEND:**

1. Concrete Tile Roof
2. Stucco / Stucco Accent
3. Horizontal Siding
4. Board @ Batt Siding
5. Fiber Cement Trim
6. Smooth Stucco Trim
7. Fiber Cement Panel
8. Inset Siding at Trim
9. Vinyl Window
10. Entry Door
11. Garage Door
12. Railing: Metal
13. Stucco Shelf
14. Veneer: Stone
15. Wood Column

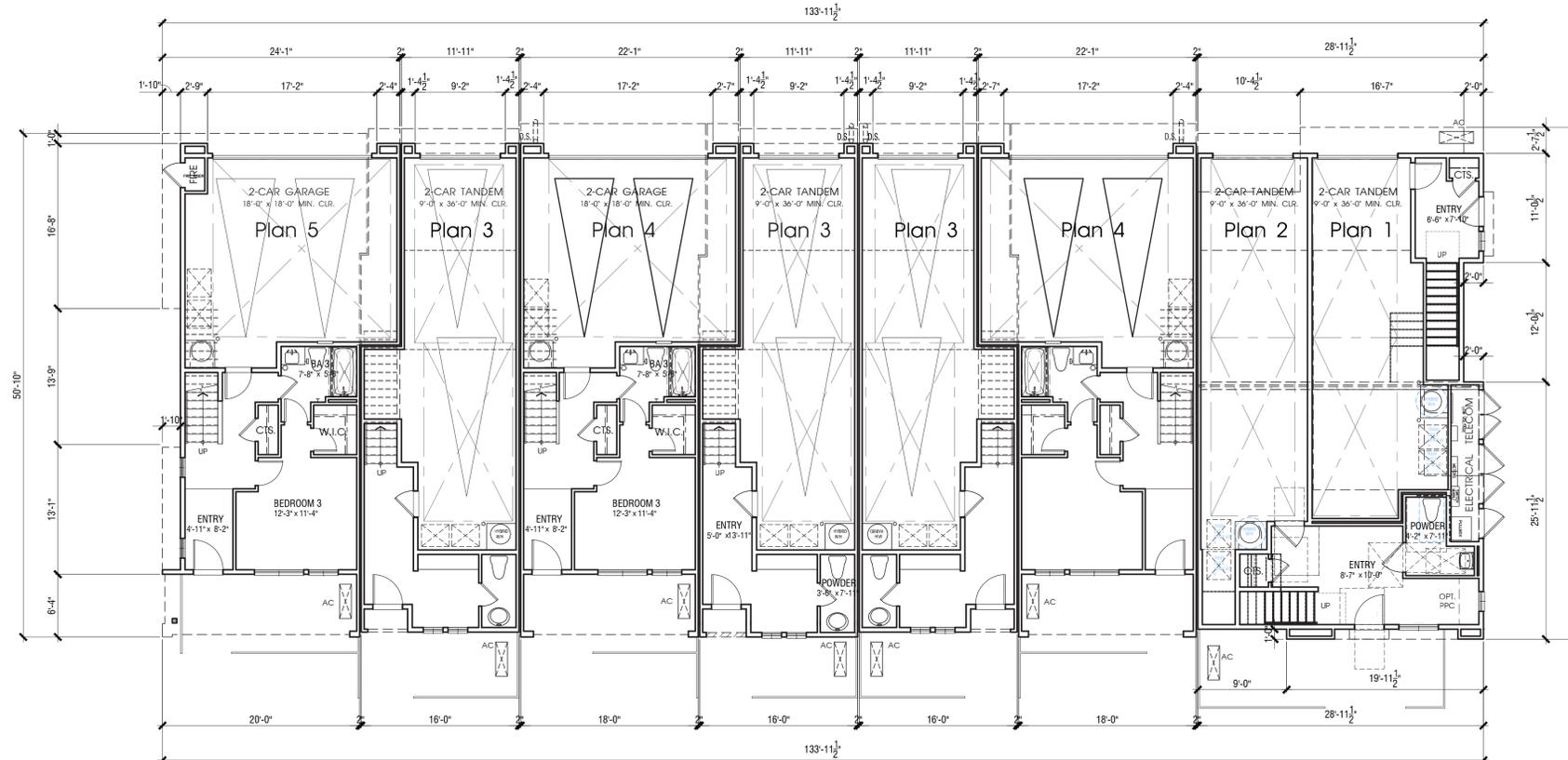
**BUILDING 200**



PROJECT KEY MAP TOWNHOME CONDOS



Second Floor



First Floor

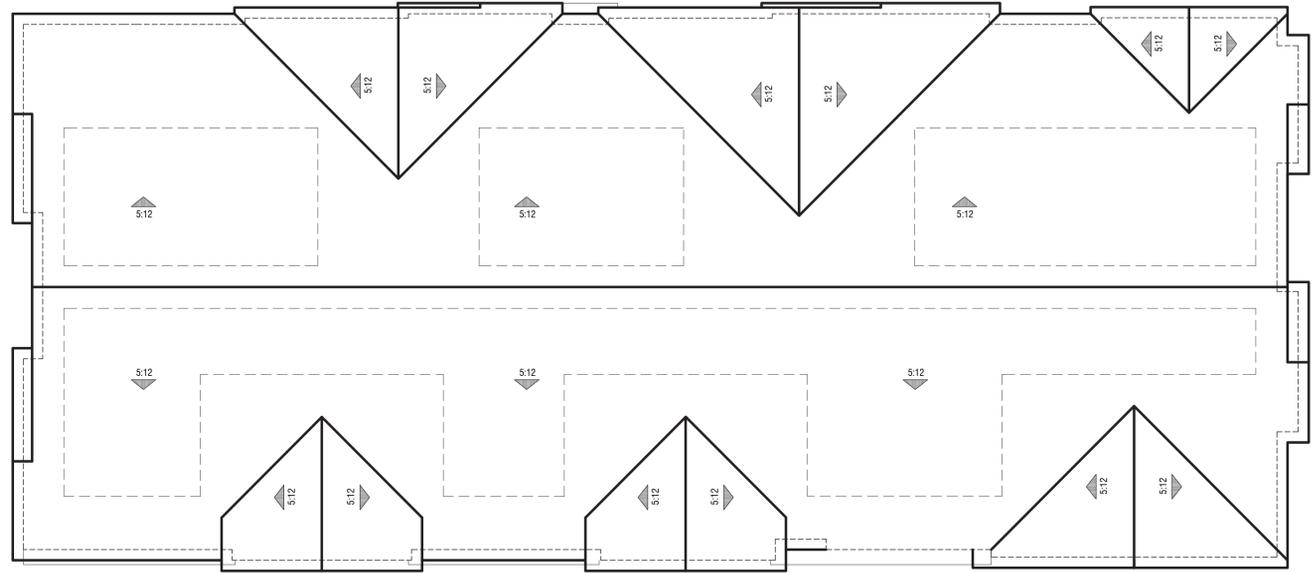
Construction: R2, VB  
Sprinkler System: Full13

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL AMOUNT OF UNITS	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL	PORCH TOTAL
PLAN 1	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM	1	1433	438	63	0
PLAN 2	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM2-CAR	1	1548	472	56	0
PLAN 3	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM2-CAR	3	1678	492	92	11
PLAN 4	CONDO	3 BED + 3.5 BATH	2-CAR	2	2094	447	110	108
PLAN 5	CONDO	3 BED + 3.5 BATH	2-CAR	1	2192	441	122	116

1. SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.



PROJECT KEY MAP TOWNHOME CONDOS



Note: PV area is to be provided by others at a later date based on T-24 calculations.

Roof Plan



Third Floor

Construction: R2, VB  
Sprinkler System: Full13



PRIVACY LEFT SIDE ELEVATION



REAR VIEW

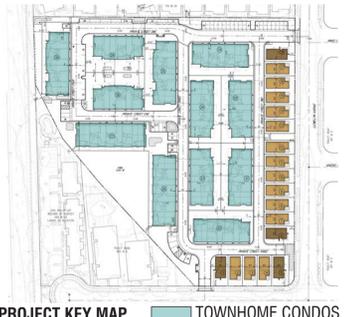


PROJECT KEY MAP TOWNHOME CONDOS

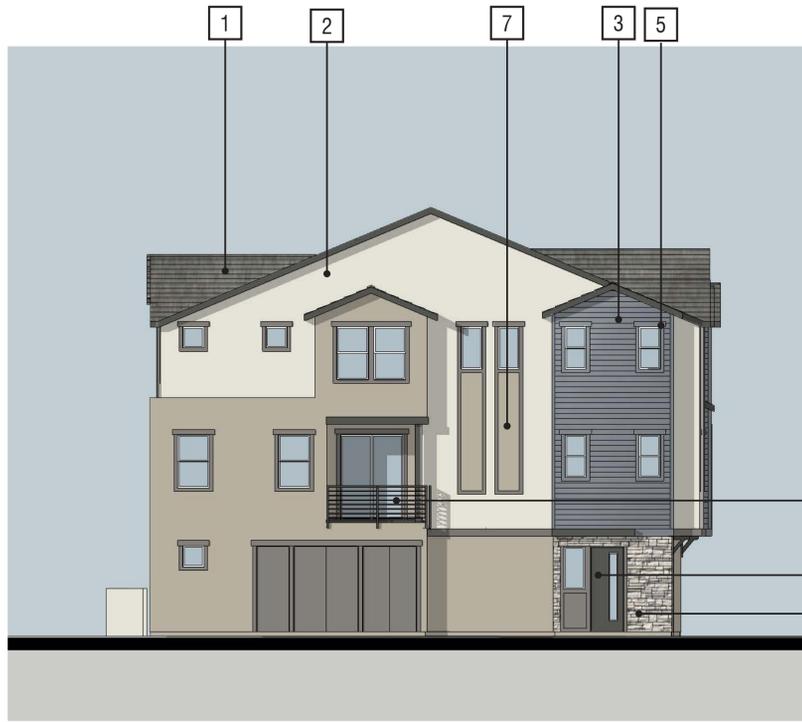


FRONT VIEW

**BUILDING 300**



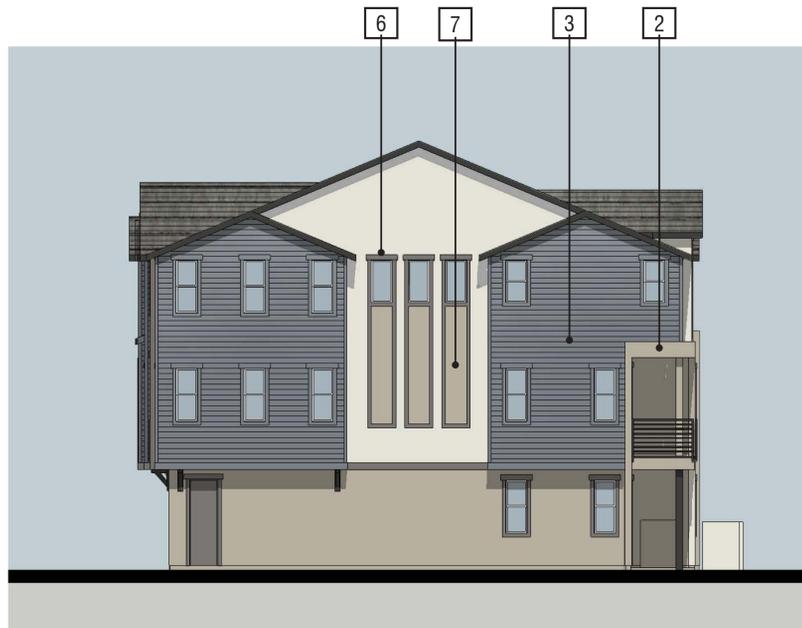
PROJECT KEY MAP TOWNHOME CONDOS



RIGHT



REAR



LEFT



FRONT

**COLOR APPLICATION:**

- Primary Color = 50 % of Facade
- Secondary Color No more than 45 %
- Tertiary Color No more than 20 %
- Accent Color Front Door

**MATERIAL LEGEND:**

1. Concrete Tile Roof
2. Stucco / Stucco Accent
3. Horizontal Siding
4. Board @ Batt Siding
5. Fiber Cement Trim
6. Smooth Stucco Trim
7. Fiber Cement Panel
8. Inset Siding at Trim
9. Vinyl Window
10. Entry Door
11. Garage Door
12. Railing: Metal
13. Stucco Shelf
14. Veneer: Stone
15. Wood Column

**BUILDING 300**

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Pleasanton, California 94588  
Phone 925/249-3200 Fax 925/485-0291

**251 LLEWELLYN AVE.**  
CAMPBELL, CALIFORNIA

SEPTEMBER 06, 2023

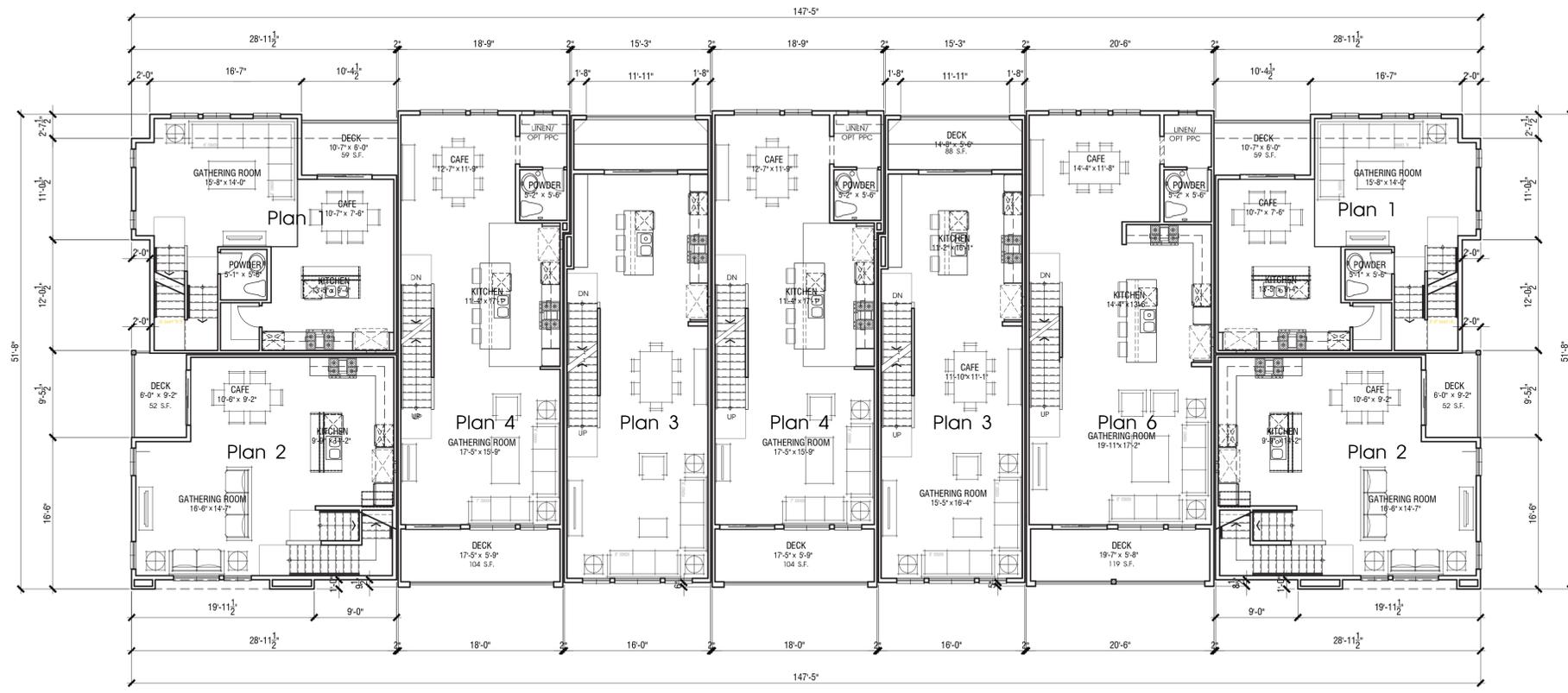
**TOWNHOME  
CONDOS**

BUILDING 300  
BUILDING ELEVATIONS

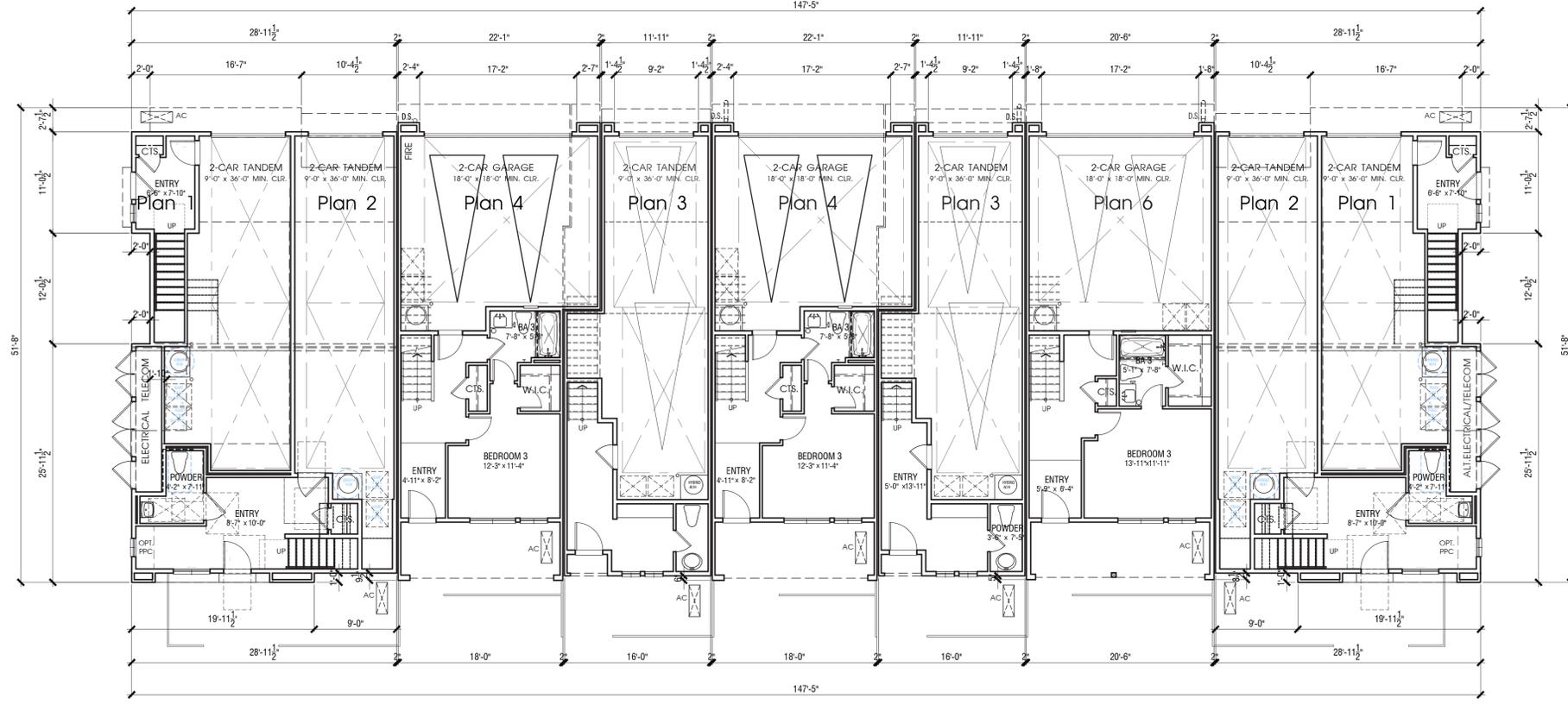
**2.12**



PROJECT KEY MAP TOWNHOME CONDOS



Second Floor



First Floor

Construction: R2, VB  
Sprinkler System: Full13

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL AMOUNT OF UNITS	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL	PORCH TOTAL
PLAN 1	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM	2	1433	438	63	0
PLAN 2	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM2-CAR	2	1548	472	56	0
PLAN 3	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM2-CAR	2	1678	492	92	11
PLAN 4	CONDO	3 BED + 3.5 BATH	2-CAR	2	2094	447	110	108
PLAN 6	CONDO	3 BED + 3.5 BATH	2-CAR	1	2339	444	123	123

1. SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

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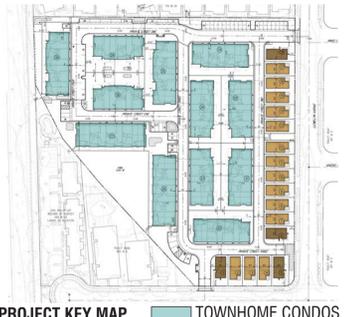


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CAMPBELL, CALIFORNIA

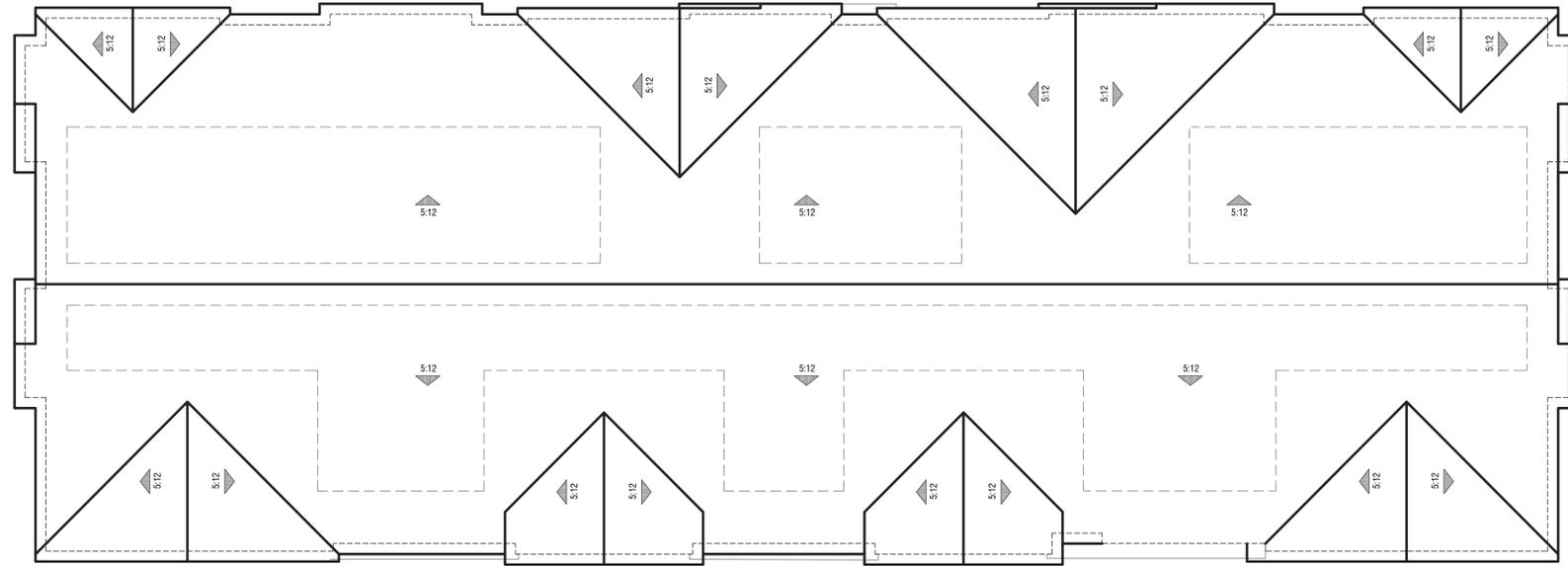
SEPTEMBER 06, 2023

TOWNHOME CONDOS  
BUILDING 400 FLOOR PLANS

2.13



PROJECT KEY MAP TOWNHOME CONDOS



Roof Plan

Note: PV area is to be provided by others at a later date based on T-24 calculations.

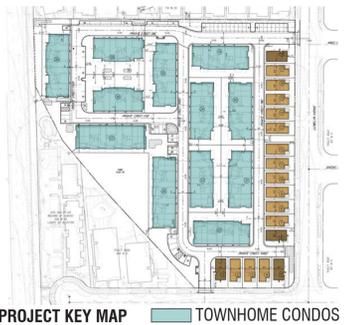


Third Floor

Construction: R2, VB  
Sprinkler System: Full13



REAR VIEW



PROJECT KEY MAP TOWNHOME CONDOS



FRONT VIEW



ISOMETRIC VIEW (9-PLEX)

**BUILDING 400**

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CAMPBELL, CALIFORNIA

SEPTEMBER 06, 2023

**TOWNHOME  
CONDOS**

BUILDING 400  
PERSPECTIVE VIEW

**2.15**



PROJECT KEY MAP TOWNHOME CONDOS



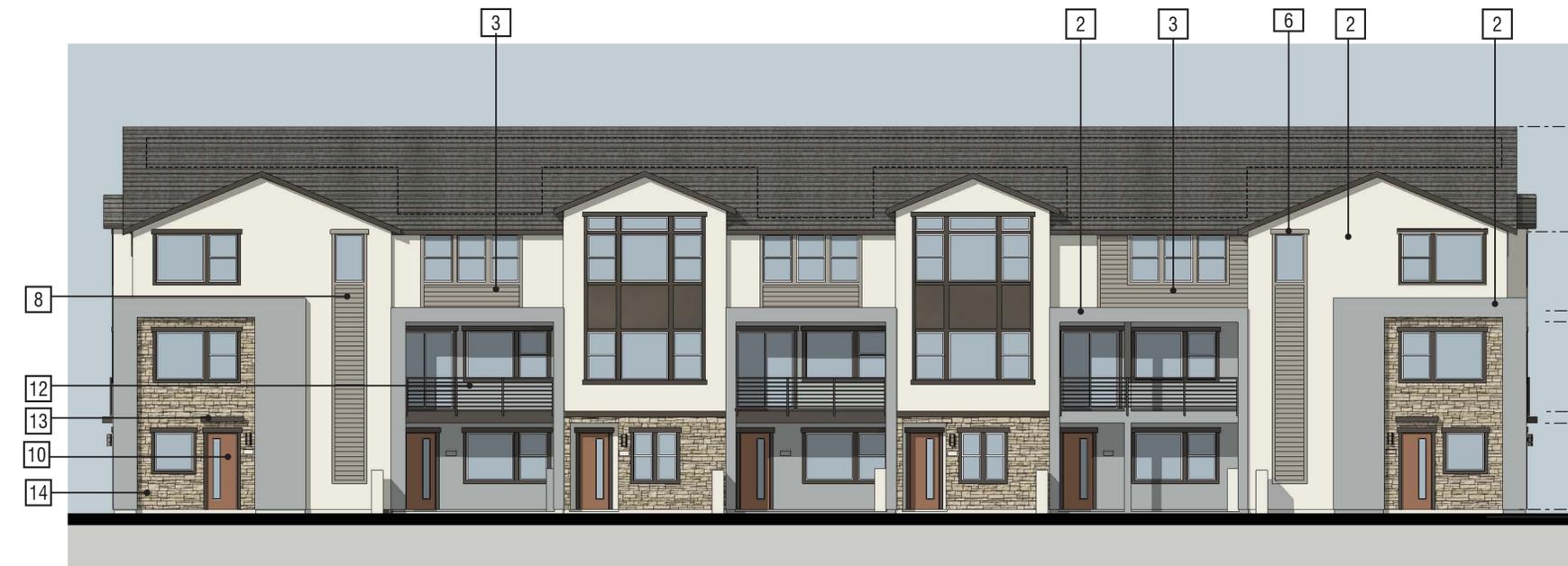
RIGHT



REAR



LEFT



FRONT

**COLOR APPLICATION:**

- Primary Color = 50 % of Facade
- Secondary Color No more than 45 %
- Tertiary Color No more than 20 %
- Accent Color Front Door

**MATERIAL LEGEND:**

1. Concrete Tile Roof
2. Stucco / Stucco Accent
3. Horizontal Siding
4. Board @ Batt Siding
5. Fiber Cement Trim
6. Smooth Stucco Trim
7. Fiber Cement Panel
8. Inset Siding at Trim
9. Vinyl Window
10. Entry Door
11. Garage Door
12. Railing: Metal
13. Stucco Shelf
14. Veneer: Stone
15. Wood Column

**BUILDING 400**

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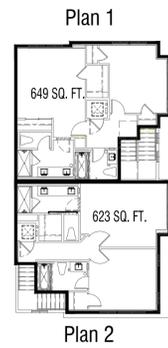
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CAMPBELL, CALIFORNIA

SEPTEMBER 06, 2023

**TOWNHOME  
CONDOS**

BUILDING 400  
BUILDING ELEVATIONS

**2.16**



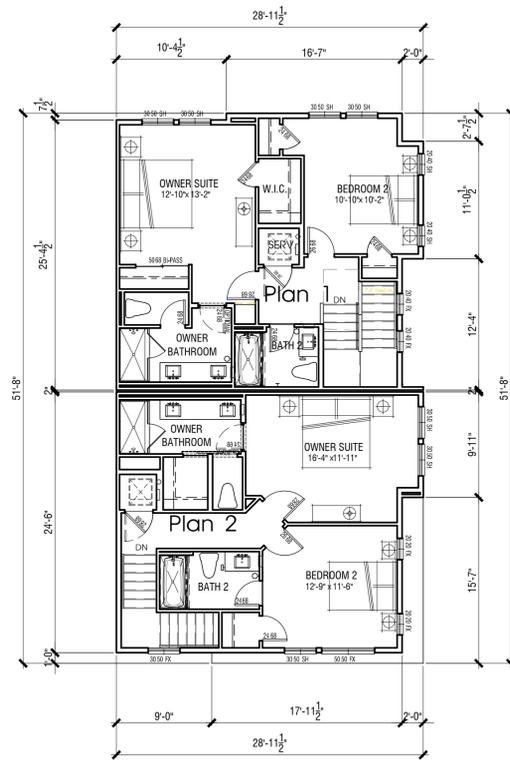
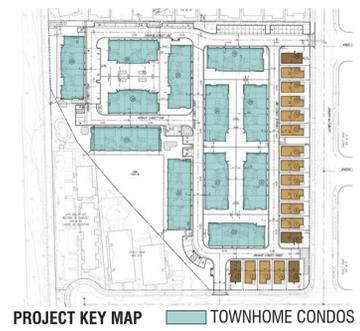
**Floor Area Diagram**  
 Plan 1 | Plan 2  
 3rd Floor 649 Sq.Ft. | 3rd Floor 623 Sq.Ft.



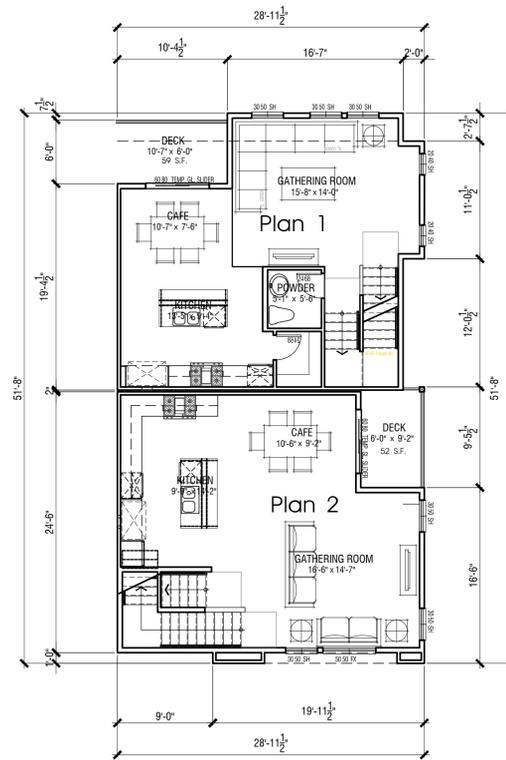
**Floor Area Diagram**  
 Plan 1 | Plan 2  
 2nd Floor 654 Sq.Ft. | 2nd Floor 655 Sq.Ft.  
 Deck 63 Sq.Ft. | Deck 56 Sq.Ft.



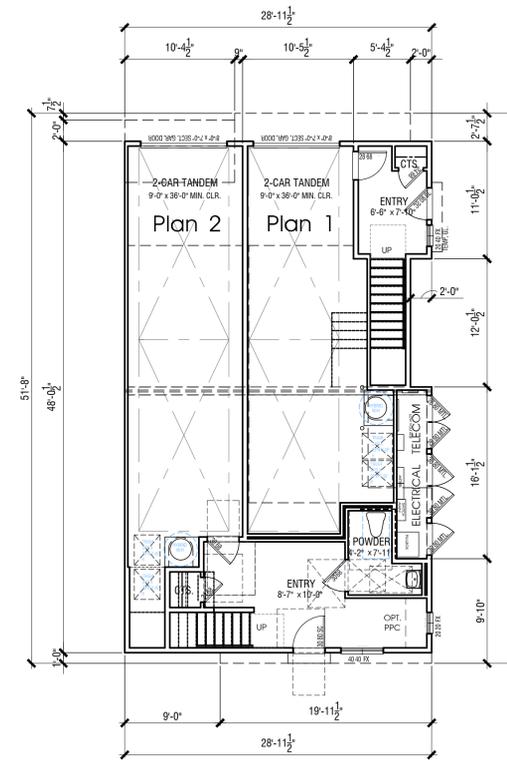
**Floor Area Diagram**  
 Plan 1 | Plan 2  
 1st Floor 132 Sq.Ft. | 1st Floor 270 Sq.Ft.  
 Garage 438 Sq.Ft. | Garage 472 Sq.Ft.



**Third Floor**  
 Plan 1 649 Sq.Ft.  
 Plan 2 623 Sq.Ft.



**Second Floor**  
 Plan 1 654 Sq.Ft.  
 Plan 2 655 Sq.Ft.



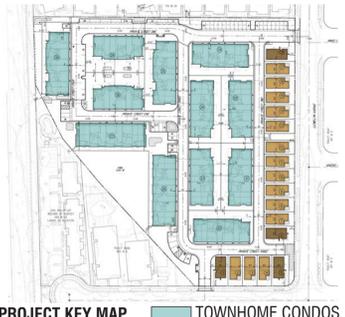
**First Floor**  
 Plan 1 438 Sq.Ft.  
 Plan 2 472 Sq.Ft.

Construction: R2, VB  
Sprinkler System: FULL 13

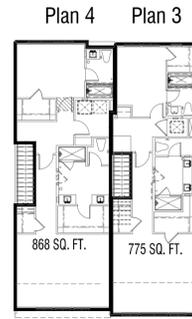
PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL	PORCH TOTAL
PLAN 1	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM	1433	438	63	0
PLAN 2	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM2-CAR	1548	472	56	0

1. SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

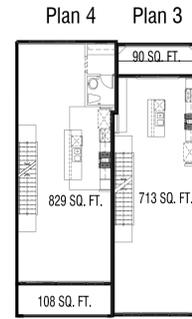
**PLAN 1 & PLAN 2 | UNIT FLOOR PLANS**



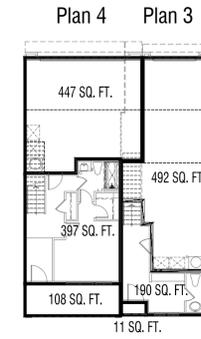
PROJECT KEY MAP TOWNHOME CONDOS



Floor Area Diagram  
3rd Floor 868 Sq.Ft. | 3rd Floor 775 Sq.Ft.



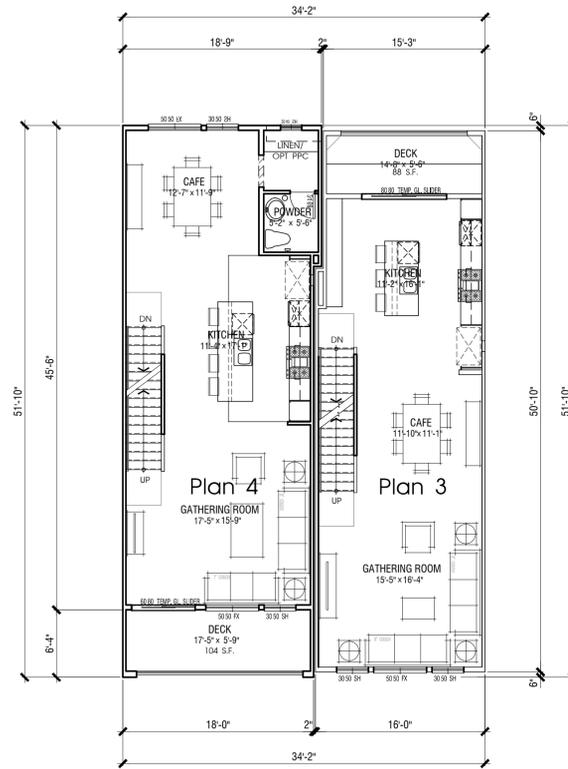
Floor Area Diagram  
2nd Floor 829 Sq.Ft. | 2nd Floor 713 Sq.Ft.  
Deck 108 Sq.Ft | Deck 90 Sq.Ft



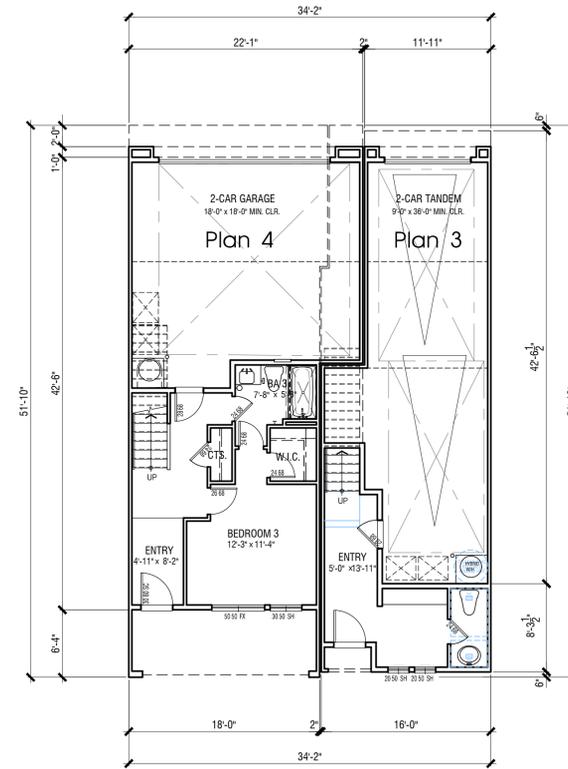
Floor Area Diagram  
1st Floor 397 Sq.Ft. | 1st Floor 190 Sq.Ft.  
Garage 447 Sq.Ft | Garage 492 Sq.Ft  
Porch 108 Sq.Ft | Porch 11 Sq.Ft



Third Floor  
Plan 3 775 Sq.Ft.  
Plan 4 868 Sq.Ft.



Second Floor  
Plan 3 713 Sq.Ft.  
Plan 4 829 Sq.Ft.



First Floor  
Plan 3 190 Sq.Ft.  
Plan 4 397 Sq.Ft.

Construction: R2, VB  
Sprinkler System: FULL 13

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL AMOUNT OF UNITS	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL	PORCH TOTAL
PLAN 3	CONDO	2 BED + 2.5 BATH	2 CAR TANDEM 2-CAR	2	492	92	11
PLAN 4	CONDO	3 BED + 3.5 BATH	2-CAR	1	447	110	108

1. SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

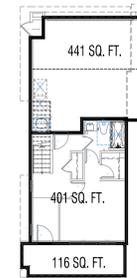
PLAN 3 & PLAN 4 | UNIT FLOOR PLANS



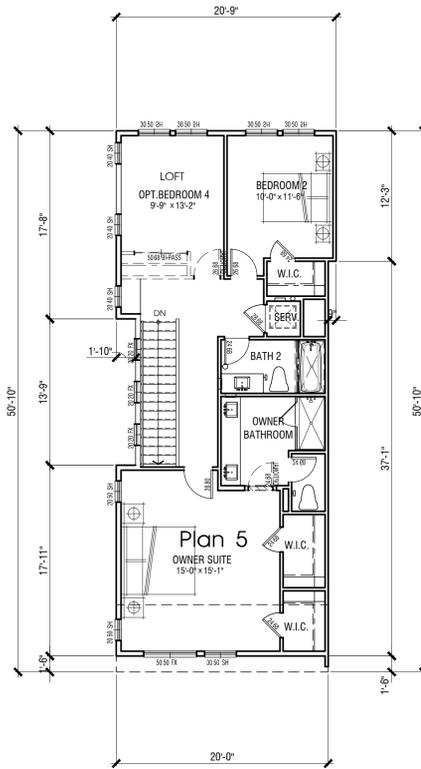
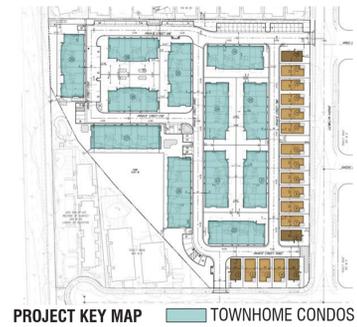
Floor Area Diagram  
3rd Floor 919 Sq.Ft.



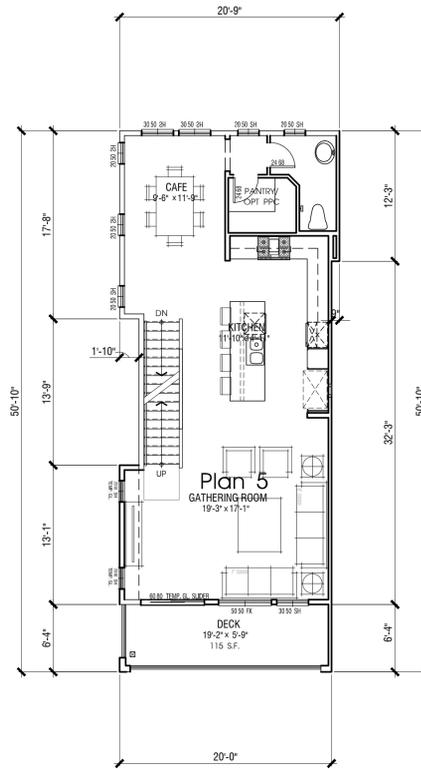
Floor Area Diagram  
2nd Floor 872 Sq.Ft.  
Deck 122 Sq.Ft



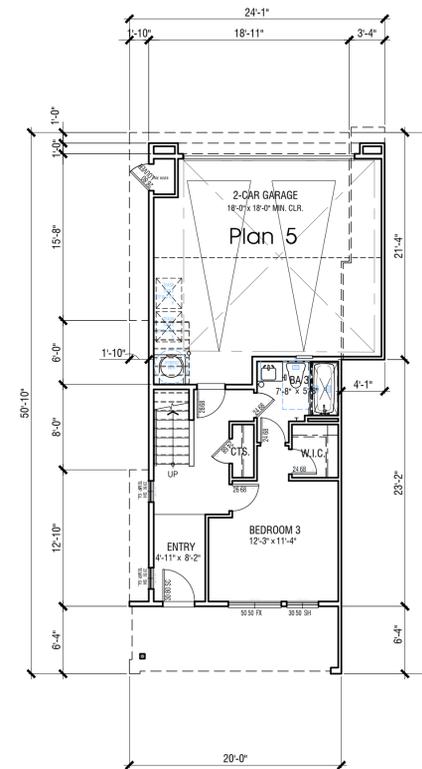
Floor Area Diagram  
1st Floor 401 Sq.Ft.  
Garage 441 Sq.Ft  
Porch 116 Sq.Ft



Third Floor  
919 Sq.Ft.



Second Floor  
872 Sq.Ft.



First Floor  
401 Sq.Ft.

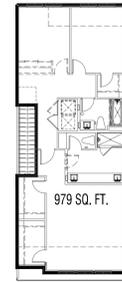
PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL	PORCH TOTAL
PLAN 5	CONDO	3 BED +3.5 BATH	2-CAR	2192	441	122	116

1. SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

Construction: R2, VB  
Sprinkler System: FULL 13



PROJECT KEY MAP TOWNHOME CONDOS



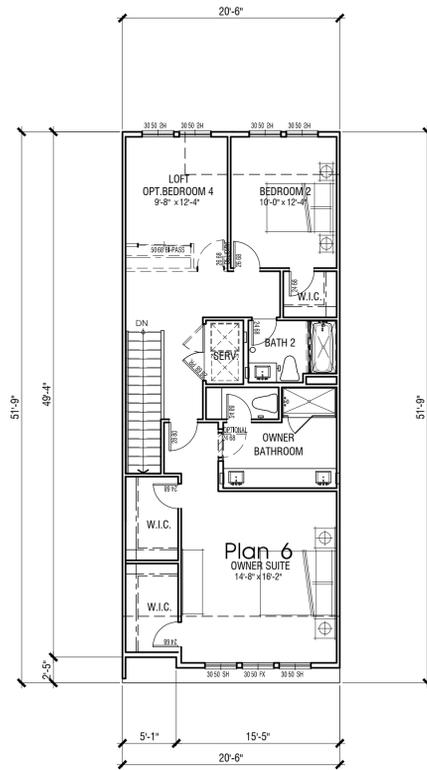
Floor Area Diagram  
3rd Floor 979 Sq.Ft.



Floor Area Diagram  
2nd Floor 933 Sq.Ft.  
Deck 123 Sq.Ft



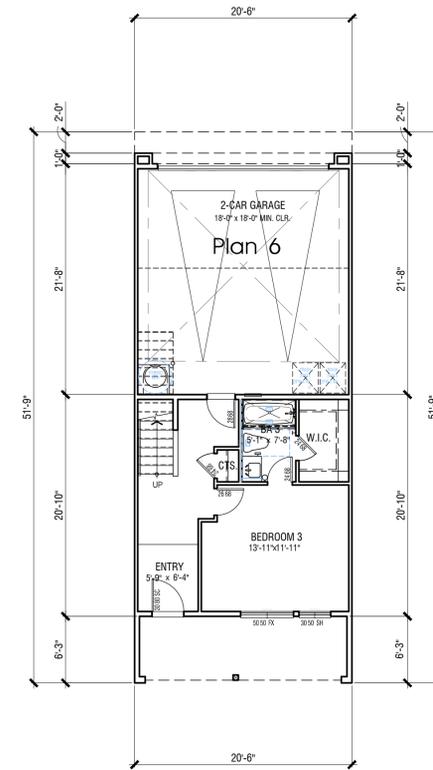
Floor Area Diagram  
1st Floor 427 Sq.Ft.  
Garage 444 Sq.Ft  
Porch 123 Sq.Ft



Third Floor  
979 Sq.Ft.



Second Floor  
933 Sq.Ft.



First Floor  
427 Sq.Ft.

Construction: R2, VB  
Sprinkler System: Full 13

PRODUCT NAME	PRODUCT TYPE	DESCRIPTION	GARAGE TYPE	TOTAL CONDITIONED SQ. FOOTAGE	TOTAL GARAGE SQ. FOOTAGE	DECK TOTAL	PORCH TOTAL
PLAN 6	CONDO	3 BED +3.5 BATH	2-CAR	2339	444	123	123

1. SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

PLAN 6 | UNIT FLOOR PLAN

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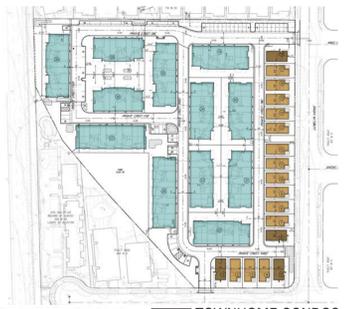
251 LLEWELLYN AVE.  
CAMPBELL, CALIFORNIA

SEPTEMBER 06, 2023

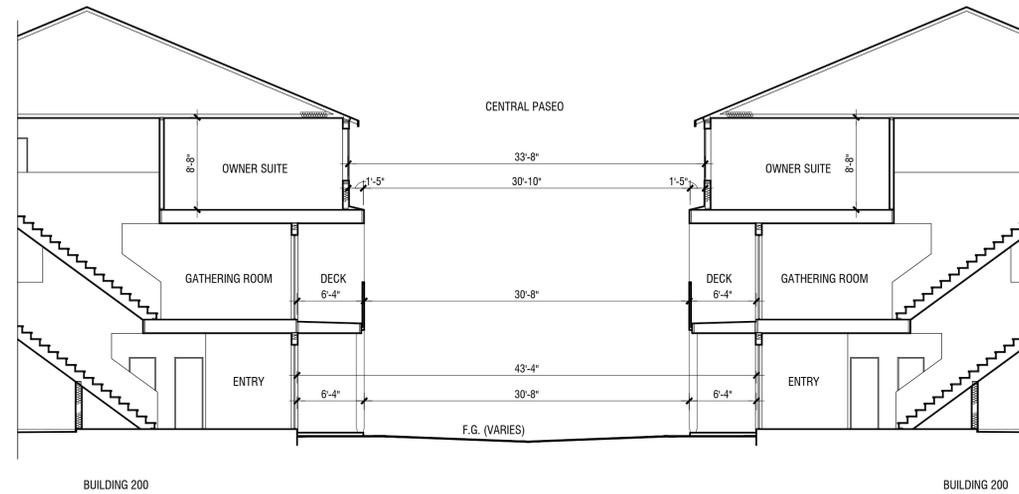
TOWNHOME  
CONDOS

PLAN 6  
FLOOR PLANS

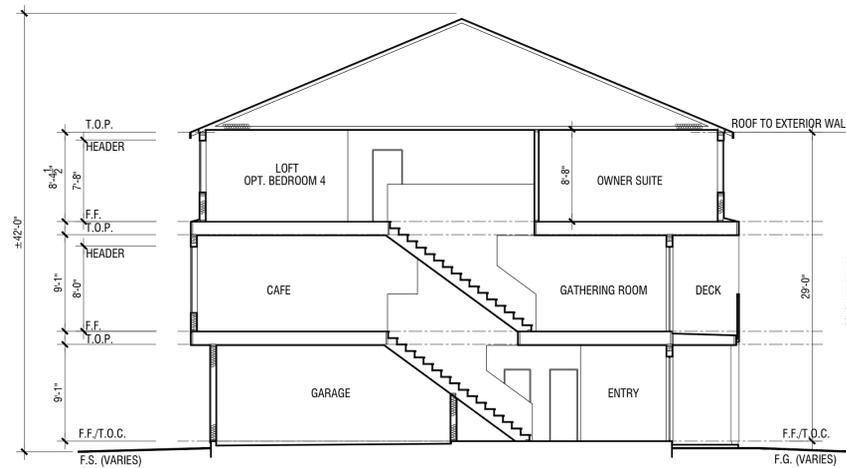
2.20



PROJECT KEY MAP TOWNHOME CONDOS

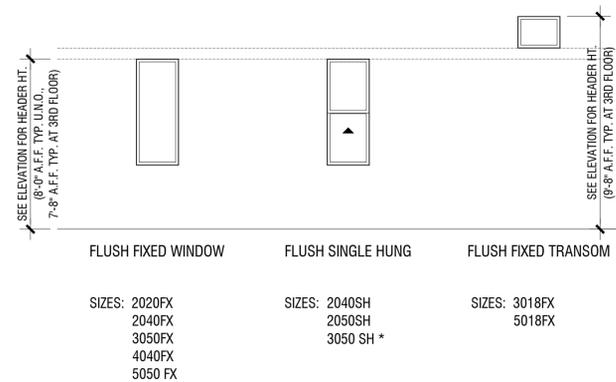
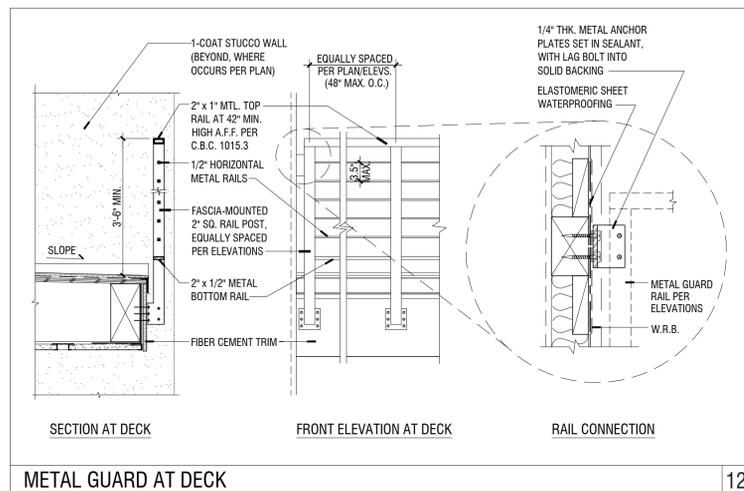


Building Frontage Profile Section



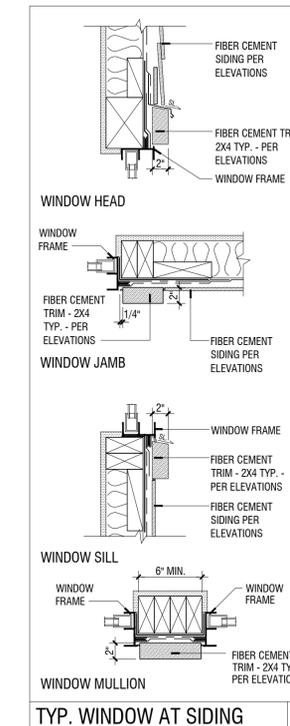
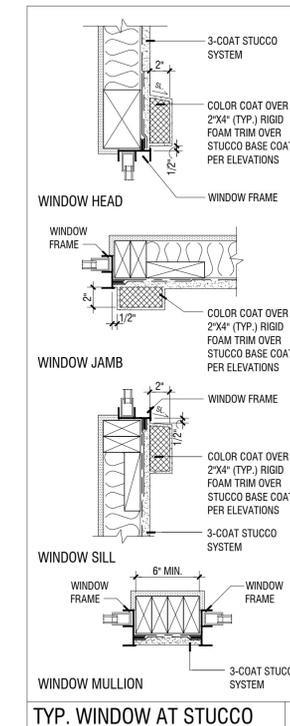
TOWNHOME CONDO  
Conceptual Section

TOWNHOME CONDOS | Sections



**NOTES:**

1. WINDOW GRIDS MAY OCCUR - REFER TO EXTERIOR ELEVATIONS FOR GRID PATTERN/STYLE.
2. WINDOWS SHALL BE VINYL WINDOWS; COLOR SHALL BE WHITE. MILGARD OR CLIENT APPROVED EQUAL.
3. (\*) DENOTES WINDOW SIZING THAT COMPLIES WITH CBC SECTION 1030.2 EMERGENCY ESCAPE AND RESCUE OPENINGS REQUIREMENTS, WHERE REQUIRED.



**MATERIAL LEGEND:**

1. Concrete Tile Roof
2. Stucco / Stucco Accent
3. Horizontal Siding
4. Board @ Batt Siding
5. Fiber Cement Trim
6. Smooth Stucco Trim
7. Fiber Cement Panel
8. Inset Siding at Trim
9. Vinyl Window
10. Entry Door
11. Garage Door
12. Railing: Metal
13. Stucco Shelf
14. Veneer: Stone
15. Wood Column

**TOWNHOME CONDOS | Window and Details**

SFD PLAN 1  
SCHEME 1

BASE STUCCO



SW 7008  
Alabaster

ACCENT STUCCO



SW 9126  
Honed Soapstone

SMOOTH STUCCO  
TRIM



SW 6150  
Universal Khaki

FASCIA



SW 9565  
Forged Steel

FIBER CEMENT SID-  
ING AND TRIM



SW 6150  
Universal Khaki

GARAGE DOOR



SW 7642  
Pavestone

METAL RAILING



SW 9565  
Forged Steel

STONE VENEER



ENTRY DOOR



SW 7622  
Homburg Gray

SFD PLAN 1  
SCHEME 2



SW 7541  
Grecian Ivory



SW 7642  
Pavestone



SW 9554  
Going Grey



SW 9565  
Forged Steel



SW 6250  
Granite Peak



SW 7048  
Urbane Bronze



SW 9565  
Forged Steel



SW 7705  
Wheat Penny

Sea Gull Lighting - Wall Mounted  
9600-71 Address Light Fixture, Antique Bronze



Sea Gull Traverse LED Lyte  
Address Light - 9600-71



Boral-Saxony 900 Shake  
Color: Oceana

SFD PLAN 2A  
SCHEME 1

BASE STUCCO



SW 7008  
Alabaster

ACCENT STUCCO



SW 7652  
Minderal Deposit

SMOOTH STUCCO  
TRIM



SW 9554  
Going Grey

FASCIA



SW 9565  
Forged Steel

FIBER CEMENT SIDING  
AND TRIM



SW 9554  
Going Grey

GARAGE DOOR



SW 7622  
Homburg Gray

METAL RAILING



SW 9565  
Forged Steel

STONE VENEER



ENTRY DOOR



SW 6250  
Granite Peak



Boral-Saxony 900 Shake  
Color: Oceana

SFD PLAN 2A  
SCHEME 2



SW 1015  
Skyline Steel



SW 6108  
Latte



SW 7048  
Urbane Bronze



SW 9565  
Forged Steel



SW 7652  
Minderal Deposit



SW 9554  
Going Grey



SW 9565  
Forged Steel



SW 9565  
Forged Steel



Saxony 900 Shake  
color brown blend

Sea Gull Lighting - Wall Mounted  
9600-71 Address Light Fixture, Antique Bronze



Sea Gull Traverse LED Lyte  
Address Light - 9600-71



CONDOS  
SCHEME 1

BASE STUCCO

ACCENT STUCCO 1

SMOOTH STUCCO  
TRIM

FASCIA

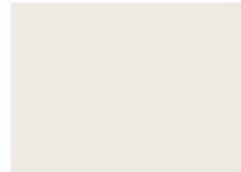
FIBER CEMENT SIDING  
AND TRIM

GARAGE DOOR

METAL RAILING

STONE VENEER

ENTRY DOOR



SW 7008  
Alabaster



SW 7652  
Mineral Deposit



SW 7048  
Urbane Bronze



SW 9565  
Forged Steel



SW 7640  
Fawn  
Brindle

SW 7008  
Alabaster



SW 6150  
Universal Khaki



SW 9565  
Forged Steel



SW 7705  
Wheat Penny

CONDOS  
SCHEME 2



SW 7008  
Alabaster



SW 7015  
Analytical Grey



SW 9554  
Going Grey



SW 9565  
Forged Steel



SW 2819  
Downing  
Slate

SW 7008  
Alabaster



SW 7622  
Hamburg Gray



SW 9565  
Forged Steel



SW 9565  
Forged Steel

Sea Gull Lighting - Wall Mounted  
9600-71 Address Light Fixture, Antique Bronze



Sea Gull Traverse LED Lyte  
Address Light - 9600-71



Boral-Saxony 900 Shake  
Color: Oceana