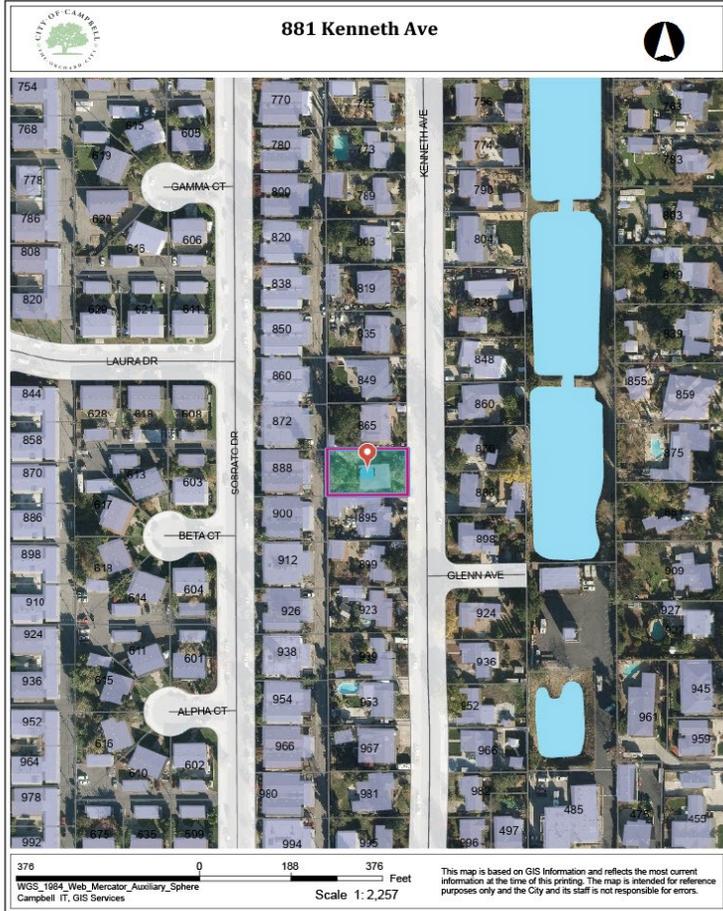
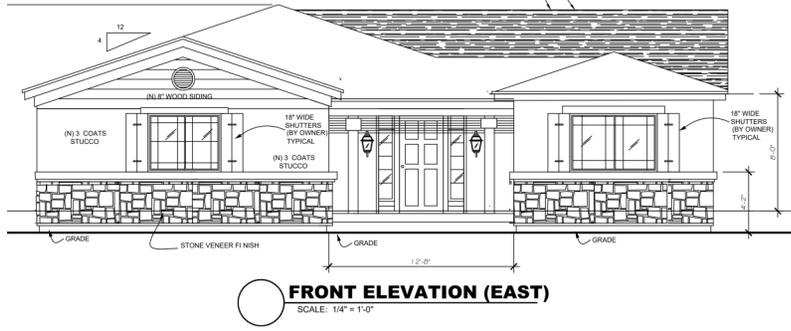


## Location of Proposed Project




City of Campbell  
70 North First Street  
Campbell, CA 95008 -1423

## Project Image



# Notice of Decision on Proposed Project

Dear Campbell Resident,

July 31, 2023

The Community Development Director will be rendering a decision on the following project.

**Project Address:** 881 Kenneth Ave

**Zoning | Area Plan:** R-1-10 | STANP

**Neighborhood Association(s):** N/A

**File No.:** PLN-2022-133

**APN:** 404-30-047

**Applicant:** Augustine Designs

**Property Owner:** Ravi Vallamdas

**Application Type:** Administrative Site and Architectural Review Permit

**Project Planner:** Larissa Lomen, Assistant Planner

**Email Contact:** larissal@campbellca.gov

**Phone Contact:** (408) 866-214

## Project Description:

To allow a 910 square-foot addition to an existing single-family residence.

## Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **July 26, 2023**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **August 4, 2023**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.

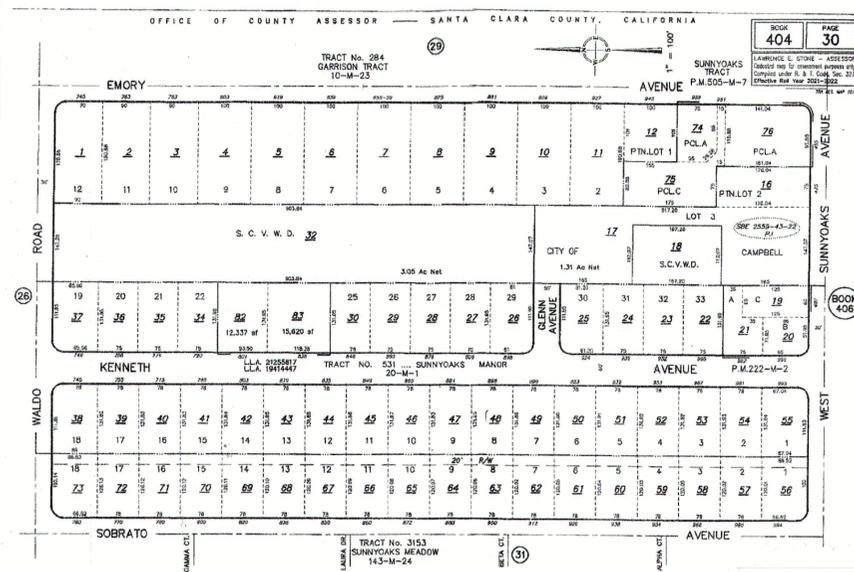


- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal.  
To view the project plans, please scan the QR code.

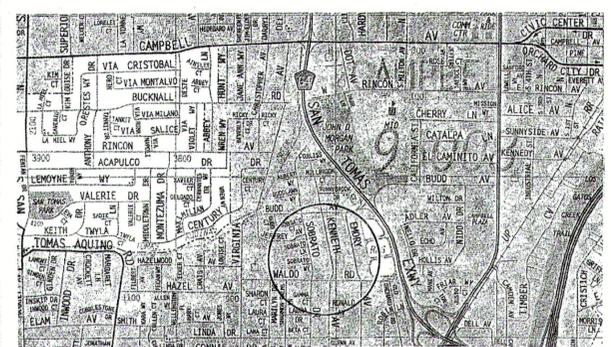
\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traducción en Español





**GENERAL NOTES**

- THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES.....
  - 2019 CALIFORNIA BUILDING CODE
  - 2019 CALIFORNIA RESIDENTIAL CODE
  - 2019 CALIFORNIA ELECTRICAL CODE
  - 2019 CALIFORNIA MECHANICAL CODE
  - 2019 CALIFORNIA PLUMBING CODE
  - 2019 CALIFORNIA ENERGY CODE
  - 2019 CALIFORNIA HISTORICAL BUILDING CODE
  - 2019 CALIFORNIA EXISTING BUILDING CODE
  - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- INTERPRETATION OF DRAWINGS-FOR ARRANGEMENT OF FLOORS, GENERAL FINISH AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORKING OF SPECIFICATIONS AND LETTERING ON DRAWINGS. THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS OR SPECIFICATIONS BECAME APPARENT, THE CONTRACTOR SHALL REFER THEM TO THE DRAFTSMAN DESIGNER FOR CORRECTION BEFORE PROCEEDING WITH THE WORK (CONTRACTOR IS NOT TO SCALE DRAWINGS). DRAWINGS DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS
- ERRORS AND OMISSIONS: IN THE EVENT THAT AN ACUTE ERRORS OR OMISSIONS MAY EXIST ON THE PLAN, IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER/DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SUCH, WILL RELIEVE DESIGNER OF RESPONSIBILITY COMMENCEMENT OF WORK, FAILURE TO DO SUCH WILL RELIEVE DESIGNER OF RESPONSIBILITY.



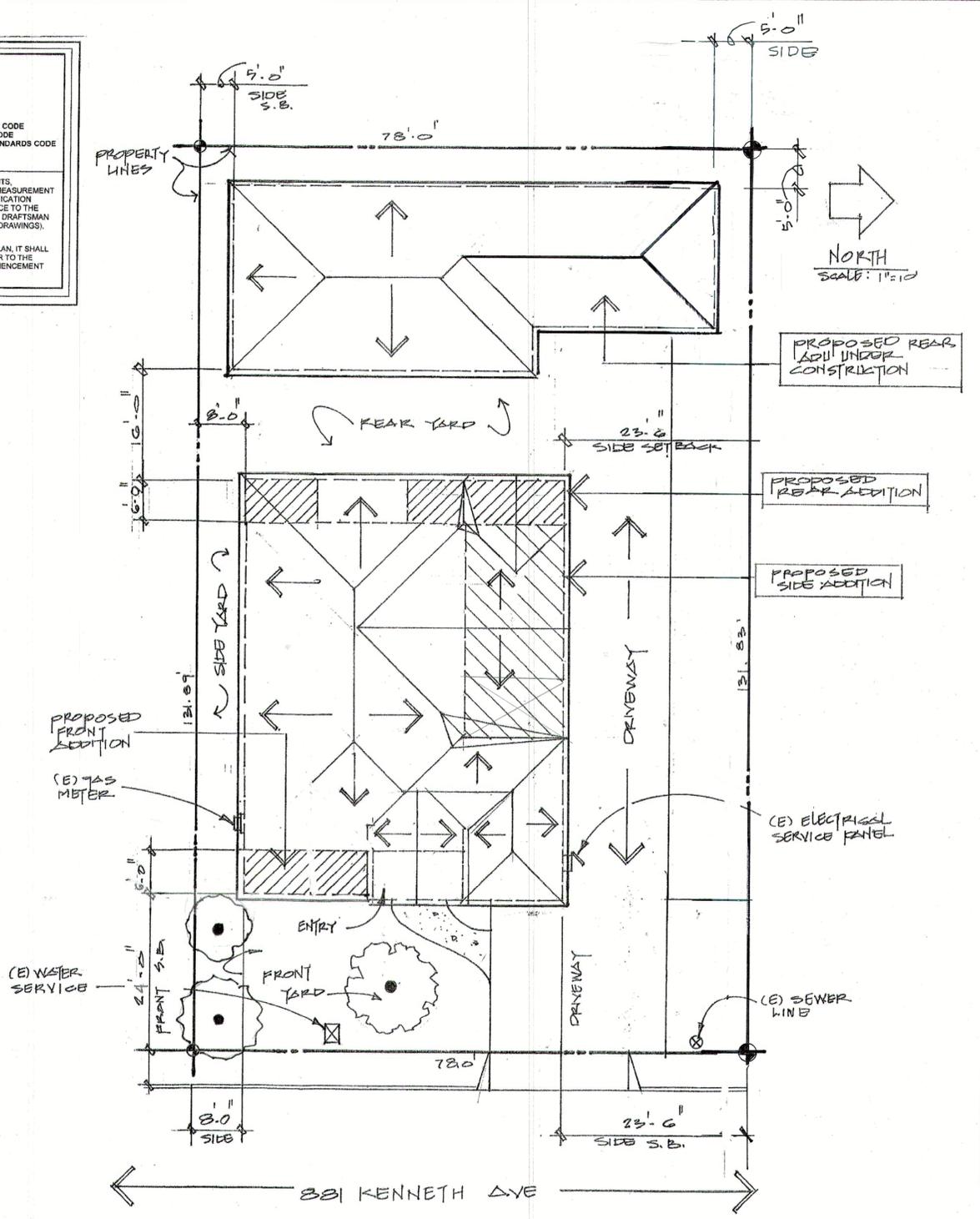
**VACINITY MAP**

2019 CALIFORNIA BUILDING STANDARDS CODE		
2019 CA. BUILDING CODE	2019 CA. HISTORICAL BUILDING CODE	
2019 CA. RESIDENTIAL CODE	2019 CA. EXISTING BUILDING CODE	
2019 CA. ELECTRICAL CODE	2019 CA. BUILDING ENERGY EFFICIENCY STANDARDS	
2019 CA. MECHANICAL CODE	2019 CA. GREEN BUILDING STANDARDS CODE	
2019 CA. PLUMBING CODE		
(AND ALL STATE OF CALIFORNIA CITY COUNTY & MUNICIPAL CODES)		
PROJECT PROPOSAL		
1. PROPOSED FRONT KITCHEN AND POOJA ROOM RELOCATION & ADDITION	4. INTERIOR REMODEL (SEE SCOPE OF WORK)	
2. PROPOSED RIGHT SIDE 2 BEDROOMS AND BATH ADDITION	5. CONVERT (E) GARAGE INTO A NEW BEDROOM & BATHROOM AREA	
3. PROPOSED REAR 2 BEDROOMS & WALK-IN CLOSED ADDITION	6. NEW ENTRY PORCH AREA	
PROJ. LOC/OWNER		
MR. RAVI K. VALLAMDAS 881 KENNETH AVENUE CAMPBELL CA. 95008 PHONE: (408) 807 - 3229	PROPERTY INFORMATION	
A) PARCEL NUMBER . . . . . 404 - 30 - 047	B) ZONING DISTRICT . . . . . R-1 - 10	
C) CURRENT LOT SIZE . . . . . 10,299 S.F.	D) GENERAL PLAN: . . . . . LOW DENSITY RESIDENTIAL	
PARKING		
(E) 2 MINIMUM PROVIDED		
CBC 2019 / CONSTRUCTION INFORMATION		
A) CONSTRUCTION TYPE: . . . . . VB	D) OCCUPANCY GROUP: . . . . . R-3/U	
B) NUMBERS OF STORIES: . . . . . 1	E) SPRINKLERS: . . . . . REQ'D	
C) YEAR BUILT: . . . . . 1949		
BUILDING SQ. FTG./LOT COVERAGE/FLOOR AREA RATIO (FAR)		
1) (E) RESIDENCE: . . . . . 1,512 S.F.		
2) (E) ATTACHED ONE CAR GARAGE: (TO BE CONVERTED INTO HABITABLE AREA): 275 S.F.		
3) (E) REAR DETACHED ADU: . (EXEMPT): . . . . . 676 S.F.		
4) (E) ATTACHED JADU TO THE (E) ADU: . . . . . 468 S.F.		
5) (E) ATTACHED 2 CAR GARAGE TO ADU: . . . . . 420 S.F.		
6) (N) FRONT ADDITION: . . . . . 120 S.F.		
7) (N) RIGHT SIDE ADDITION: . . . . . 318 S.F.		
8) (N) REAR ADDITION: . . . . . 197 S.F.		
9) (E) GARAGE CONVERSION: . . . . . 275 S.F.		
A) MAX. FAR: . . . . . 0.45% OR 4,635 S.F.	A) MAX. LOT COVERAGE: .40% OR 4,120 S.F.	
B) ACT. FAR: . . . . . 0.32% OR 3,310 S.F.	B) ACT. LOT COVERAGE: . 32% OR 3,310 S.F.	

SHEET INDEX		
NO.	DATE	DESCRIPTION
1.	1/25/2022	SITE PLAN
2.	1/25/2022	ELEVATIONS
3.	1/25/2022	EXISTING FLOOR PLAN
4.	1/25/2022	DEMO PLAN
5.	1/25/2022	PROPOSED FLOOR PLAN
6.	1/25/2022	ELECTRICAL FLOOR PLAN
7.	1/25/2022	FOUNDATION PLAN
8.	1/25/2022	ROOF PLAN
9.	1/25/2022	AREA SHEET "A"
10.	1/25/2022	PHOTO SHEET "B"
11.	1/25/2022	(E) ELEVATIONS
TITLE - 24		
EN.1		TITLE - 24
EN.2		TITLE - 24
GB.1		MANDATORY CALGREEN
STRUCTURAL		
S1.		STRUCTURAL
S2.		STRUCTURAL
S3.		STRUCTURAL
S4.		STRUCTURAL
S5.		STRUCTURAL

**SCOPE OF WORK**

- PROPOSED FRONT KITCHEN AND POOJA ROOM RELOCATION AND ADDITION
- PROPOSED RIGHTS SIDE 2 BEDROOMS AND BATH ADDITION
- PROPOSED REAR 2 BEDROOMS AND WALK-IN CLOSED ADDITION
- INTERIOR REMODEL CONSISTING IN THE FOLLOWING:
  - MASTER BEDROOM AND BATH REVISION
  - INTERIOR LAUNDRY ROOM
  - REMOVING INTERIOR WALLS & OPENING UP LIVING AREA
  - NEW ELECTRICAL THROUGHOUT
  - REPLACE (E) WINDOWS WITH ENERGY EFFICIENT WINDOWS
  - UPGRADE (E) ELECTRICAL PANEL TO 200 AMP
- CONVERT (E) GARAGE INTO A NEW BEDROOM & BATHROOM AREA
- NEW ENTRY PORCH AREA



**SITE GRADING NOTE**  
PROVIDE A MINIMUM 5% GRADE SLOPE AWAY FROM THE FOUNDATION FOR A MINIMUM DISTANCE OF 10'-0" (1:20)

**SITE PLAN**  
SCALE: 1" = 10'-0"

REVISIONS  
DATE:

Professional Design Consultants  
3023 Moorpark Ave. #1 San Jose, CA 95128  
(408) 254-7660

**AUGUSTINE DESIGNS**

OWNER  
**RAVI K VALLAMDAS**  
881 KENNETH AVENUE  
CAMPBELL CA. 95008  
PHONE: (408) 807-3229

PROPOSED FRONT, REAR ADDITIONS AND A INTERIOR REMODEL AND GARAGE CONVERSION TO LIVING SPACE

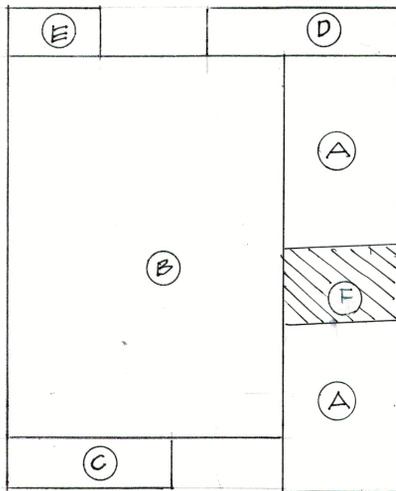
DATE: 1-14-2022  
SCALE: 1" = 10'-0"  
DRAWN: BRA  
JOB:

1  
OF SHEETS

BUILDING AREA	EXISTING	PROPOSED	TOTAL S.F.	%
1 <sup>ST</sup> FLOOR	1512 S.F.	635 S.F.	2,147 S.F.	
2 <sup>ND</sup> FLOOR	N/A	N/A	N/A	
GARAGE	275 S.F.	CONVERT	N/A	
ACCESSORY DWELLING	1,144 S.F.	✓	1,144 S.F.	
COVERED PATIO(S)	NONE	NONE	NONE	
OTHER (E.G., SHED)	NONE	NONE	NONE	
<b>TOTAL</b>	2,931 S.F.	635 S.F.	3,566 S.F.	

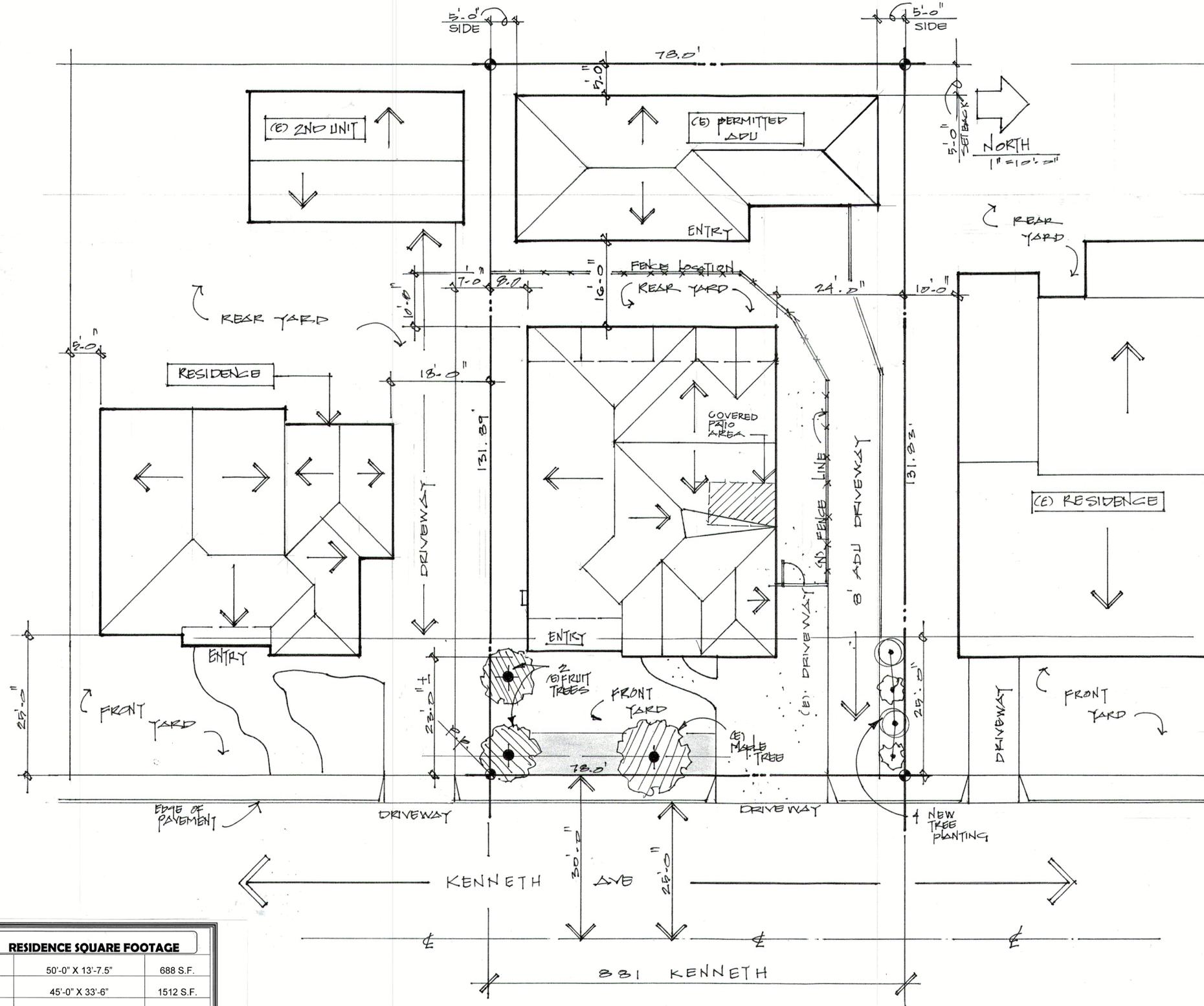
PAVING / LANDSCAPE AREA	EXISTING	PROPOSED	TOTAL S.F.
FRONT YARD PAVING	506 S.F.	300 S.F.	806 S.F.
WATER FEATURES (E.G., POOL, FOUNTAIN)	N/A	N/A	N/A
LIVE LANDSCAPING (E.G., TURF, PLANS, TREES)	102 S.F.	160 S.F.	262 S.F.
OTHER LANDSCAPING (E.G., ROCKS, BARK)	N/A	N/A	N/A
<b>TOTAL</b>	506 S.F.	460 S.F.	1066 S.F.

SETBACKS	WALL HEIGHT	REQUIRED SETBACK	PROPOSED SETBACK
FRONT OF STRUCTURE / DWELLING	8'-0"	23'-0"	23'-0"
FRONT OF GARAGE / CARPORT	8'-0"	23'-0"	23'-0"
LEFT SIDE FIRST FLOOR	8'-0"	5'-0"	8'-0"
LEFT SIDE SECOND FLOOR	✓	✓	✓
RIGHT SIDE FIRST FLOOR	8'-0"	5'-0"	✓
RIGHT SIDE SECOND FLOOR	✓	✓	✓
REAR FIRST FLOOR			
REAR SECOND FLOOR	✓	✓	✓



BUILDING FOOTPRINT  
SCALE: 1" = 10'-0"

RESIDENCE SQUARE FOOTAGE		
A)	50'-0" X 13'-7.5"	688 S.F.
B)	45'-0" X 33'-6"	1512 S.F.
C)	20'-0" X 6'-0"	120 S.F.
D)	23'-0" X 6'-0"	138 S.F.
E)	6'-0" X 9'-8"	59 S.F.
<b>TOTAL SQUARE FOOTAGE</b>		<b>2,517 S.F.</b>



LANDSCAPE / AREA SITE PLAN  
SCALE 1" = 10'-0"

REVISIONS

Professional Design Consultants  
3033 Moorpark Ave. #1 San Jose, CA 95128  
(408) 294-7060



OWNER  
RAVI K VALLAMDAS  
881 KENNETH AVENUE  
CAMPBELL CA. 95008  
PHONE: (408) 807-3229

PROPOSED FRONT, REAR  
ADDITIONS AND A  
INTERIOR REMODEL  
AND GARAGE CONVERSION  
TO LIVING SPACE

DATE: 8/20/2022

SCALE: 1" = 10'-0"

DRAWN: BRA

JOB:

FILE:

**1A**

Professional Design Consultants  
3033 Moorpark Ave., Suite 100, Irvine, CA 92618  
(949) 294-7269



OWNER  
RAVI K VALLAMDAS  
881 KENNETH AVENUE  
CAMPBELL CA. 95008  
PHONE: (408) 807-3229

PROPOSED FRONT, REAR  
ADDITIONS AND A  
INTERIOR REMODEL  
AND GARAGE CONVERSION  
TO LIVING SPACE

DATE: 1-20-2022

SCALE: 1/4" = 1'-0"

DRAWN: BRA

JOB:

**GENERAL NOTES**

- PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2019 CALIFORNIA RESIDENTIAL BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES AS AMENDED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES (PROJECT LOCATED TO SPECIFY SEISMIC DESIGN CATEGORY E).
- INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF FLOORS, GENERAL FINISH, AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS, SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDING OF SPECIFICATIONS & LETTERING ON DRAWINGS. THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS, CONTRACTOR TO INFORM DRAFTSMAN DESIGNER, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK (CONTRACTOR IS NOT TO SCALE DRAWINGS).
- ERRORS AND OMISSIONS. IN THE EVENT THAT AN ACUTE ERROR OR OMISSION MAY EXIST ON THE PLAN IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER, DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SUCH, WILL RELIEVE DESIGNER OF RESPONSIBILITY.
- SITE PLAN LAYOUT: IN THE EVENT THERE MAY BE DISCREPANCIES BETWEEN THE DIMENSIONS ON THE SITE PLAN AND THE ACTUAL DIMENSIONS OF THE LOT AND ITS SETBACKS, IT WILL BE THE OWNER'S RESPONSIBILITY TO PROVIDE A LEGAL SURVEY TO CONFIRM THE ACCURACY OF THE PROPERTY SIZE AND LAYOUT. ALL SITE PLANS, AS DRAWN ARE FOR REFERENCE AND SHOULD NOT BE LOOKED UPON AS AN OFFICIAL DOCUMENT.

**EXTERIOR BUILDING NOTES**

- CLEARANCE BETWEEN WOOD SIDING, FRAMING MEMBERS, INCLUDING SHEATHING, AND EARTH ON THE EXTERIOR OF A BUILDING SHALL NOT BE LESS THAN 6" OR LESS THAN 2" MEASURED VERTICALLY FROM
- WHERE ROOF GUTTERS ARE INSTALLED, THE DOWN SPOUTS SHALL BE PROPERLY TERMINATED WITH A SPLASH BLOCK AND SHALL CARRY WATER AWAY FROM THE FOUNDATIONS PER CITY ORDINANCE. ORDINANCE. CLARIFY IF THERE ARE NEW GUTTERS AT NEW ADDITION

**EXTERIOR PLASTER AND STUCCO NOTES**

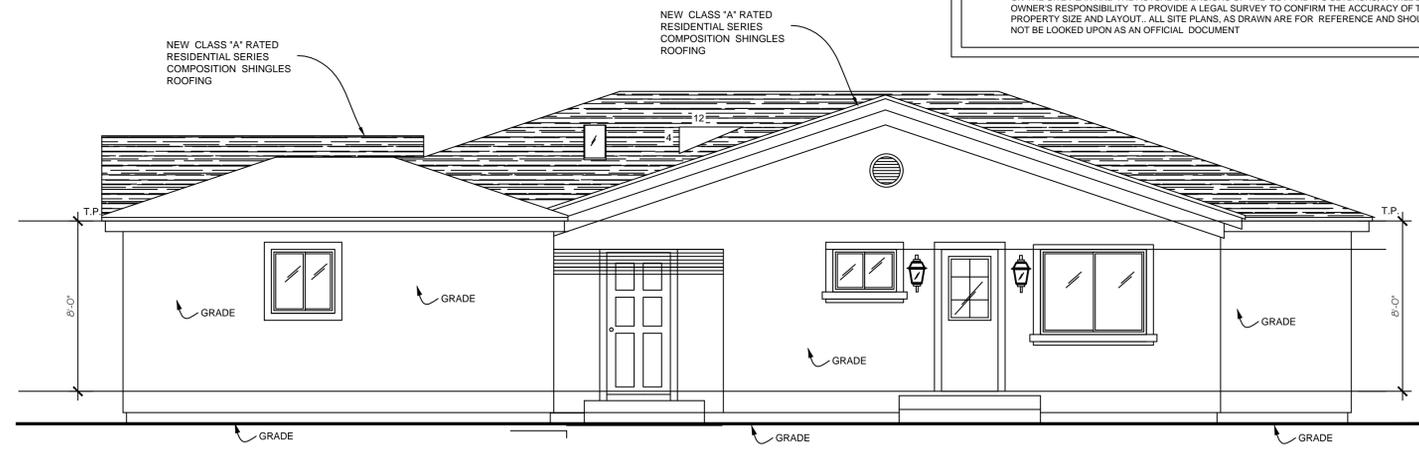
- WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER (R703.7.3)
- PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING (R703.7.2.) A MINIMUM 26 GA. GALVANIZED CORROSION-RESISTANT WEEP SCREED WITH (R703.7.2.1)
- A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS
- THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE PAVED AREA.

**GENERAL EXTERIOR NOTES**

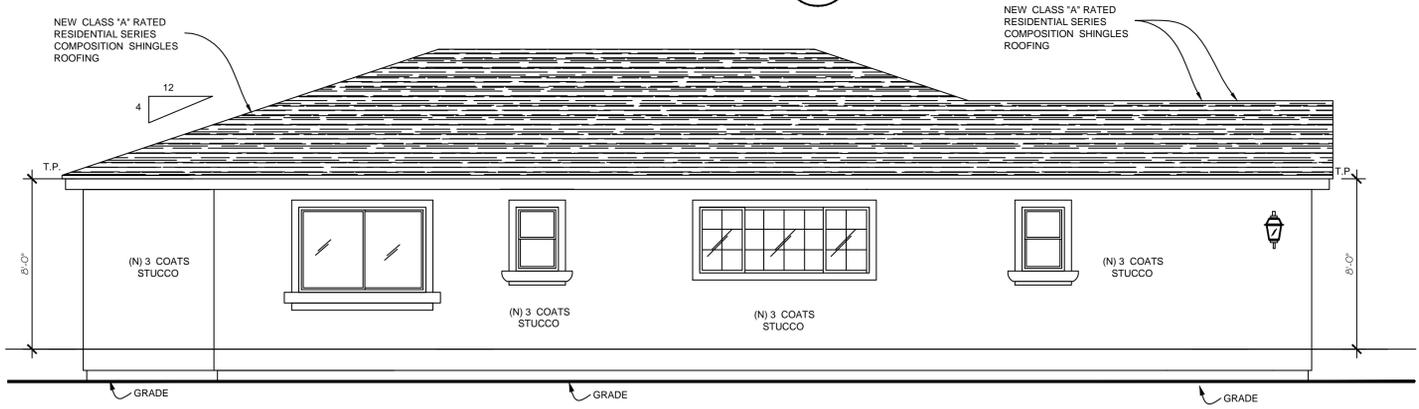
- ASPHALT SHINGLES SHALL BE INSTALLED OVER ONE LAYER OF 15 POUND FELT ON ROOFS WITH A MIN SLOPE OF 3:12. ASPHALT SHINGLES MAY BE INSTALLED ON ROOFS WITH A MIN SLOPE OF 2:12 PROVIDED THE SHINGLES ARE APPROVED SELF SEALING OR ARE HAND SEALED AND THE UNDER LAYMENT SHALL CONSIST OF 2 LAYERS OF 15 POUND FELT INSTALLED SHINGLE FASHION. MAX LAYERS ON A SHINGLE ROOF SHALL NOT EXCEED 3
- ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2.
- SITE ADDRESS NUMBERS.....BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ON ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2" (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE

**EXTERIOR WEATHER PROTECTION NOTES**

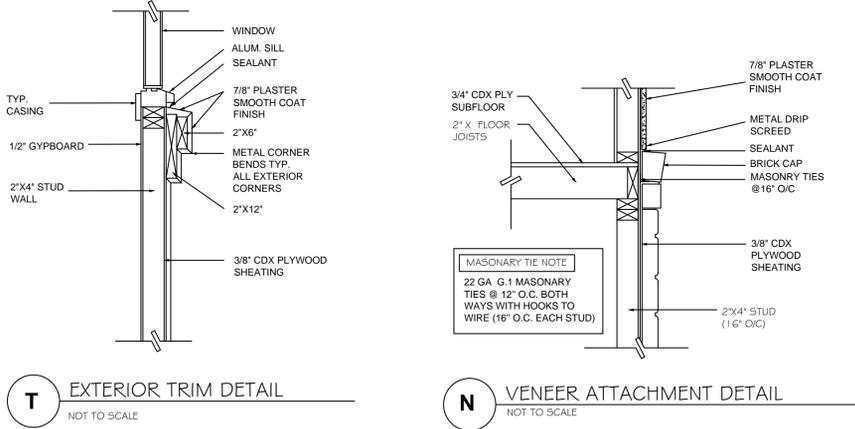
- STUDS OR SHEATHING OF ALL EXTERIOR WALLS SHALL BE WEATHER PROTECTED WITH 15 POUND ASPHALT SATURATED FELT OR OTHER APPROVED WATERPROOF PAPER. SUCH PAPER SHALL BE APPLIED IN WEATHER BOARD FASHION, LAPPED NOT LESS THAN 2" AT HORIZONTAL JOINTS AND NOT LESS THAN 6" AT VERTICLE JOINTS.
- WHERE STUCCO IS APPLIED OVER EXTERIOR SHEATHING THERE SHALL BE TWO LAYERS OF GRADE "D" BUILDING PAPER. BUILDING PAPER MAY BE OMITTED IN THE FOLLOWING:
  - A).....WHERE THERE IS NO HUMAN OCCUPANCY
  - B).....WHERE EXTERIOR COVERING IS OF APPROVED W.P. MATERIAL OVER WATER REPELLENT SHEATHING
  - C).....WHERE EXTERIOR COVERING IS F APPROVED W.P. PANELS
- STUCCO SHALL BE 7/8" THICK AND THREE COATS APPLIED OVER APPROVED WIRE LATH AND TWO LAYERS OF GRADE D BUILDING PAPER. PROVIDE WEEP CREED
- SIDING SHALL BE APPLIED OVER ONE LAYER OF GRADE D BUILDING PAPER
- PROVIDE A SPARK ARRESTOR FOR ANY NEW OR EXISTING CHIMNEY



**RIGHT SIDE ELEVATION (NORTH)**  
SCALE: 1/4" = 1'-0"

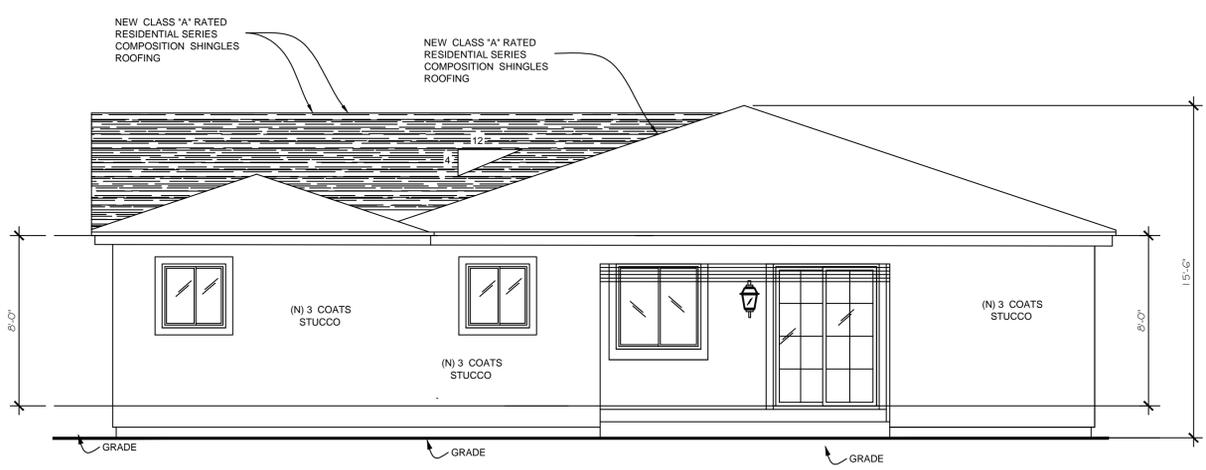


**LEFT SIDE ELEVATION (SOUTH)**  
SCALE: 1/4" = 1'-0"

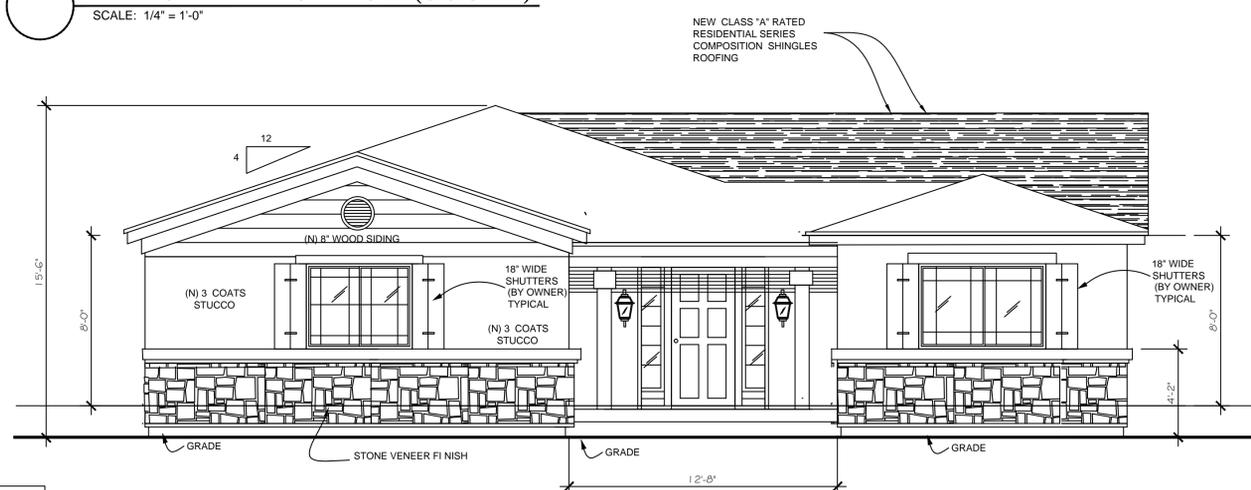


**T EXTERIOR TRIM DETAIL**  
NOT TO SCALE

**N VENEER ATTACHMENT DETAIL**  
NOT TO SCALE



**REAR ELEVATION (WEST)**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION (EAST)**  
SCALE: 1/4" = 1'-0"

**SITE GRADING NOTE**  
PROVIDE A MINIMUM 5% GRADE SLOPE AWAY FROM THE FOUNDATION FOR A MINIMUM DISTANCE OF 10'-0" (1.20)

**SITE GRADING NOTE**  
PROVIDE A MINIMUM 5% GRADE SLOPE AWAY FROM THE FOUNDATION FOR A MINIMUM DISTANCE OF 10'-0" (1.20)

**ADDITIONAL... BATHROOM FIXTURE / ELECT / PLUMBING, MECH AND INSULATION NOTES**

**PLUMBING**

- ALL SINK FAUCETS, SHOWER HEADS, TOILETS AND URINALS SHALL COMPLY WITH CALIFORNIA CIVIL CODE SECTION 1101.8 (KITCHEN FAUCETS SHALL NOT EXCEED 1.8 MAX PER FLUSH... LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS... SHOWER HEADS SHALL NOT EXCEED 2.0 GALLONS... AND URINALS SHALL NOT EXCEED 5 GALLONS PER FLUSH)
- PER CPC SECTION 402.2.2, SINGLE FLUSH WATER CLOSETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.28 GALLONS.
- INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% BY USING WATER SAVING FIXTURES OR FLOW RESTRICTIONS OR DEMONSTRATE A 20% REDUCTION IN BASELINE WATER PER SECTION 4.305.1
- ALL ADDITIONS ON OR AFTER JANUARY 1, 2014 SHALL REPLACE NON COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES  
NON-COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER CONSERVING PLUMBING FIXTURES PER CGC SECTION 301.1.1. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE BUILDING DEPARTMENT

**ELECTRICAL**

- ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15-AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN A DWELLING UNIT LIVING, DINING AND FAMILY ROOMS, PARLORS, BEDROOMS, LIBRARIES, DEN'S, HALLWAYS, RECREATION ROOM, CLOSET OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. CEC ARTICLE 210.12
- ALL NEW AND REPLACED DUPLEX RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLE, 2019 CEC ART 408.12
- AT LEAST TWO 20-AMP BRANCH CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES AT THE COUNTER TOP (CEC 210.52)
- ALL RECEPTACLES IN KITCHEN AREAS TO BE GFCI TAMPER PROOF NOT TO EXCEED .4" O.C.
- ALL EXHAUSTS FANS THROUGHOUT THE RESIDENCE SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM
- ALL KITCHEN EXHAUST SHALL BE DUCTED TO THE EXTERIOR
- ALL RECESSED LIGHTING FIXTURES INSTALLED IN INSULATED CEILINGS SHALL BE IC (INSULATION COVER) AND AT (AIR TIGHT) RATED AND SHALL BE SEALED BETWEEN THE FIXTURE HOUSING AND THE GYP WITH A GASKET OR CAULK

**EXHAUST FAN NOTES**

- EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH A MINIMUM 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION.
- EXHAUST AIR SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS  
NOTE: WINDOW OPERATION IS NOT PERMISSIBLE METHOD OF PROVIDING BATHROOM EXHAUST FOR HUMIDITY CONTROL (2019 CRC R303.3.1)
- FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE TO THE OUTSIDE UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE-HOUSE VENTILATION SYSTEM. FANS MUST BE CONTROLLED BY HUMIDITY CONTROL
- HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE RATE OF < OR = 50% TO A MAXIMUM OF 80% BY MANUAL OR AUTOMATIC MEANS  
HUMIDITY CONTROLS MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE BUILT-IN. (2019 CGS 405.6.1)

**SPECIAL DOMESTIC DRYER NOTES**

- THE AIR DUCTS SHALL EXHAUST 3'-0" FROM PROPERTY LINE AND 3'-0" FROM OPENING INTO THE BUILDING. CMC 502.2.1
- THE LOCATION OF THE DRYER EXHAUST VENT TERMINATION TO CONFIRM THE VENT IS LOCATED PER THE FOLLOWING: CMC 502.2:  
A) 3 FEET FROM A PROPERTY LINE.  
B) 10 FEET FROM A FORCED AIR INLET, AND  
C) 3 FEET FROM OPENING INTO THE BUILDING.
- DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF FOURTEEN FEET, INCLUDING TWO 90-DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. CMC 504.4.2
- CLOTHES DRYER EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND EQUIPPED WITH A BACK-DRAFT DAMPER. CMC 504.4

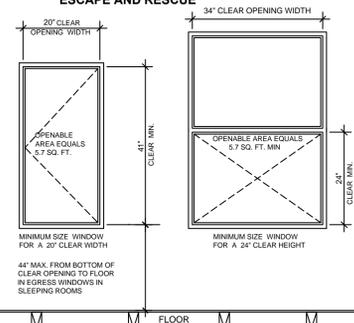
**ELECTRICAL/ MECHANICAL LEGEND**

[Symbol]	EXISTING WALLS	[Symbol]	CHIME
[Symbol]	NEW WALLS	[Symbol]	DOORBELL PUSHBUTTON
[Symbol]	WALLS TO BE REMOVED	[Symbol]	COMB. EXHAUST & LIGHT FIXT
[Symbol]	CLOSE WALLS	[Symbol]	ELECT. FAN
[Symbol]	DUPLEX RECEPTACLE OUTLET	[Symbol]	HEAT LAMP
[Symbol]	GROUND FAULT INTERRUPT CIRCUIT	[Symbol]	HEATER REGIST.
[Symbol]	DUP. REC. OUTLET W/GROUND	[Symbol]	CEILING AIR REGISTER
[Symbol]	FOUR PLEX RECEPTACLE	[Symbol]	WATER HEATER
[Symbol]	220 V RECEPTACLE OUTLET	[Symbol]	FURNACE
[Symbol]	RECESSED CEILING LIGHT	[Symbol]	HOSE BIBB
[Symbol]	HIGH EFFICACY LIGHT	[Symbol]	CARBON MONOXIDE ALARMS
[Symbol]	WALL LIGHT	[Symbol]	INTERCOM
[Symbol]	WATERPROOF WALL LIGHT FIXTURE	[Symbol]	ELECT. METER & MAIN PANEL
[Symbol]	FLOUORESCENT LIGHT	[Symbol]	ELECTRICAL SUB-PANEL
[Symbol]	SMALL FLOUORESCENT FIXTURE	[Symbol]	RECESSED LIGHT
[Symbol]	SPOTLIGHT	[Symbol]	DISPOSAL
[Symbol]	WALL SWITCH	[Symbol]	CONCRETE
[Symbol]	THREE-WAY SWITCH	[Symbol]	STUCCO
[Symbol]	FOUR-WAY SWITCH	(E)	EXISTING
[Symbol]	SMOKE DETECTOR	H.S.	HORIZONTAL SLIDER
[Symbol]	TELEPHONE OUTLET	S.H.	SINGLE HUNG
[Symbol]	TV/CABLE OUTLET	FIX.	FIXED GLASS

**GENERAL NOTES**

- PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2019 CALIFORNIA RESIDENTIAL BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES, AS AMENDED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES (PROJECT LOCATED TO SPECIFY SEISMIC DESIGN CATEGORY E.)
- INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF FLOORS, GENERAL FINISH, AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS, SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORKING OF SPECIFICATIONS & LETTERING ON DRAWINGS, THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS, CONTRACTOR TO INFORM DRAFTSMAN DESIGNER, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK (CONTRACTOR IS NOT TO SCALE DRAWINGS)
- ERRORS AND OMISSIONS. IN THE EVENT THAT AN ACUTE ERROR OR OMISSION MAY EXIST ON THE PLAN IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER, DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SUCH, WILL RELIEVE DESIGNER OF RESPONSIBILITY.
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PROVIDE 1 EACH SMOKE DETECTOR IN ALL SLEEPING ROOMS AND AT A POINT CENTRALLY LOCATED IN AN AREA GIVING ACCESS TO THE SLEEPING ROOMS.  
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INSULATION: CEILING ..... R-30 BATT INSULATION (NEW CONST. ONLY)  
WALLS ..... R-15 BATT INSULATION (NEW CONST. ONLY)  
FLOOR ..... R-19 FLOOR INSULATION  
ACCESS: UNDERFLOOR ..... 18" x 24" MIN. SQ. (IF WOOD FLOOR)  
CEILING ..... 22" x 30" MIN. W/30" CLEAR HEIGHT.  
WINDOW ..... APPROVED DOUBLE GLAZED  
NOTE: ALL OPENING, ALL DOORS, WINDOWS, ETC. TO BE CALKED OR FULLY WEATHER STRIPPED.
- SUPPLEMENT TO TITLE 24 FOR RESIDENTIAL ADDITIONS.  
1. ROOF SHEATHING WITH RADIANT BARRIER ON UNDERSIDE OF SHEATHING SHALL BE INSTALLED.  
2. ALL WINDOWS SHALL HAVE A SOLAR HEAT GAIN COEFFICIENT OF .40 OR BETTER.  
3. WALL SHEATHING @ GABLE ENDS ABOVE CEILING SHALL HAVE RADIANT BARRIER PER MFG. INSTALLATION INSTRUCTIONS  
4. ALL SEALING TAPE ON HEAT/AC DUCTS SHALL BE UL181 (LISTED AND LABELED).  
5. THE WRAPS FOR DUCTS MUST BE UV RESISTANT AND HAVE 150 LBS. OF BURST STRENGTH.  
6. WINDOWS / BATHROOM NOTES  
1. ALL NEW WINDOW TO BE APPROVED DOUBLE GLAZED (WITH BEDROOM WINDOWS HAVING A MIN. 24" x 24" SQ. OPENING). REFER TO EGRESS WINDOW DIAGRAM  
2. ALL HEADERS USED OVER DOORS, WINDOW AND ANY NECESSARY OPENINGS TO BE 4 x 12 DFL 1 OR BETTER, UNLESS OTHERWISE SPECIFIED.  
3. ALL GLAZING IN OR WITHIN 36" OF DOORS, OVER 9 SQUARE FEET AND WITHIN 18" OF FLOOR AND ALL GLAZING IN SHOWERS OR BATHTUBS TO BE SAFETY GLASS.  
4. BATHROOM FINISH NOTE - ENSURE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET FOR SHOWER PER CBC 1213.3  
5. WATER CLOSETS IN ALL BATHROOMS TO BE MAXIMUM 1.28 GALLONS PER FLUSH.

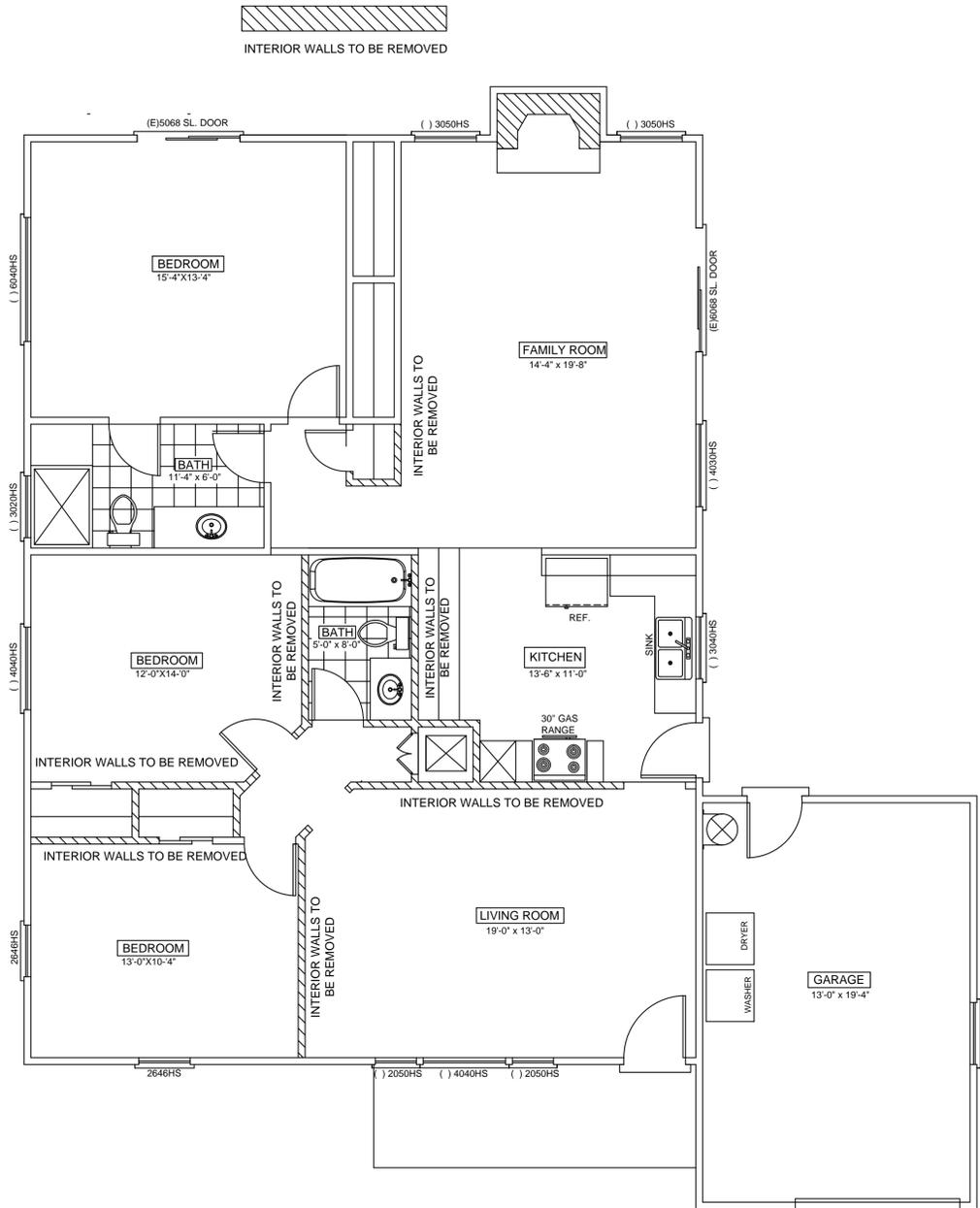
**RESIDENTIAL EGRESS WINDOWS (2019 CBC) EMERGENCY ESCAPE AND RESCUE**



Because so many fire deaths occur when occupants of residential buildings are asleep at the time of a fire, the 2019 California Building Code (CBC), Section 1029 requires that:  
 • Basements in dwelling units and  
 • Every sleeping room below the fourth story  
 Shall have at least one operable window or exterior door opening approved for emergency escape and rescue. Such openings shall open directly into a public way or to a yard or court that opens to public way.  
 The net clear operable area shall be no less than 5.7 square feet (5 square feet for grade floor openings and basement window wells).  
 In addition to the above requirement, the net clear operable height dimension shall be a minimum of 24 inches. The net clear operable width dimension shall be a minimum of 20 inches. (Note: using both minimum figures will not obtain the required 5.7 square feet.)

**SMOKE DETECTOR NOTES**

- SMOKE DETECTORS.  
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**DEMO FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

[Symbol] INTERIOR WALLS TO BE REMOVED

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**REVISIONS**

DATE:

Professional Design Consultants  
30323 Moorpark Ave. #1 San Jose, CA 95128  
(408) 294-7000



OWNER  
RAVI K VALLAMDAS  
881 KENNETH AVENUE  
CAMPBELL CA. 95008  
PHONE: (408) 807-3229

PROPOSED FRONT, REAR  
ADDITIONS AND A  
INTERIOR REMODEL  
AND GARAGE CONVERSION  
TO LIVING SPACE

DATE: 1-20-2022

SCALE: 1/4" = 1'-0"

DRAWN: BRA

JOB:

**4**

OF SHEETS

DATE:

Professional Design Consultants  
3033 Moorpark Ave. #1 San Jose, CA 95128  
(408) 294-7060



OWNER  
RAVI K VALLAMDAS  
881 KENNETH AVENUE  
CAMPBELL, CA. 95008  
PHONE: (408) 807-3229

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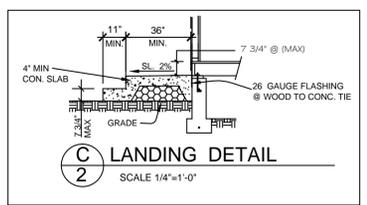
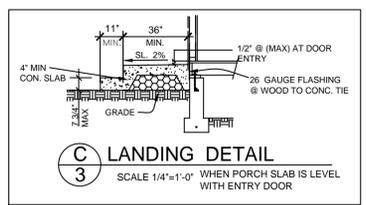
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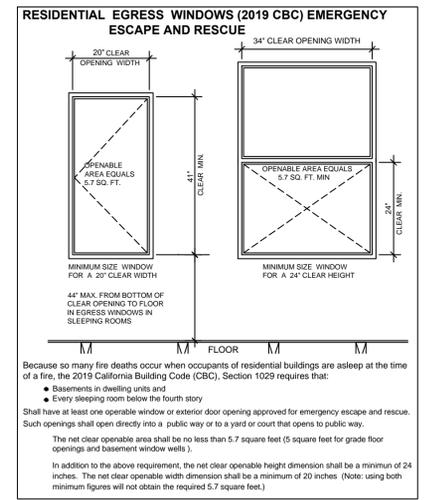
- ADDITIONAL... BATHROOM FIXTURE / ELECT / PLUMBING, MECH AND INSULATION NOTES**
- PLUMBING**
- ALL SINK FAUCETS, SHOWER HEADS, TOILETS AND URINALS SHALL COMPLY WITH CALIFORNIA CIVIL CODE SECTION 1101.8 (KITCHEN FAUCETS SHALL NOT EXCEED 1.8 MAX PER FLUSH), LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS... SHOWER HEADS SHALL NOT EXCEED 1.8 GALLONS... AND URINALS SHALL NOT EXCEED 5 GALLONS PER FLUSH
  - PER CPC SECTION 402.2.2, SINGLE FLUSH WATER CLOSETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.28 GALLONS.
  - INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% BY USING WATER SAVING FIXTURES OR FLOW RESTRICTIONS OR DEMONSTRATE A 20% REDUCTION IN BASELINE WATER PER SECTION 4.303.1
  - ALL ADDITIONS ON OR AFTER JANUARY 1, 2014 SHALL REPLACE NON COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES
- NON-COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER CONSERVING PLUMBING FIXTURES PER CBC SECTION 301.1.1. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE BUILDING DEPARTMENT

- SMOKE AND CARBON MONOXIDE NOTE**
- SMOKE AND CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT UNLESS WHERE REPAIRS OR ALTERATIONS DO NOT RESULT IN THE REMOVAL OF WALL OR CEILING FINISHES



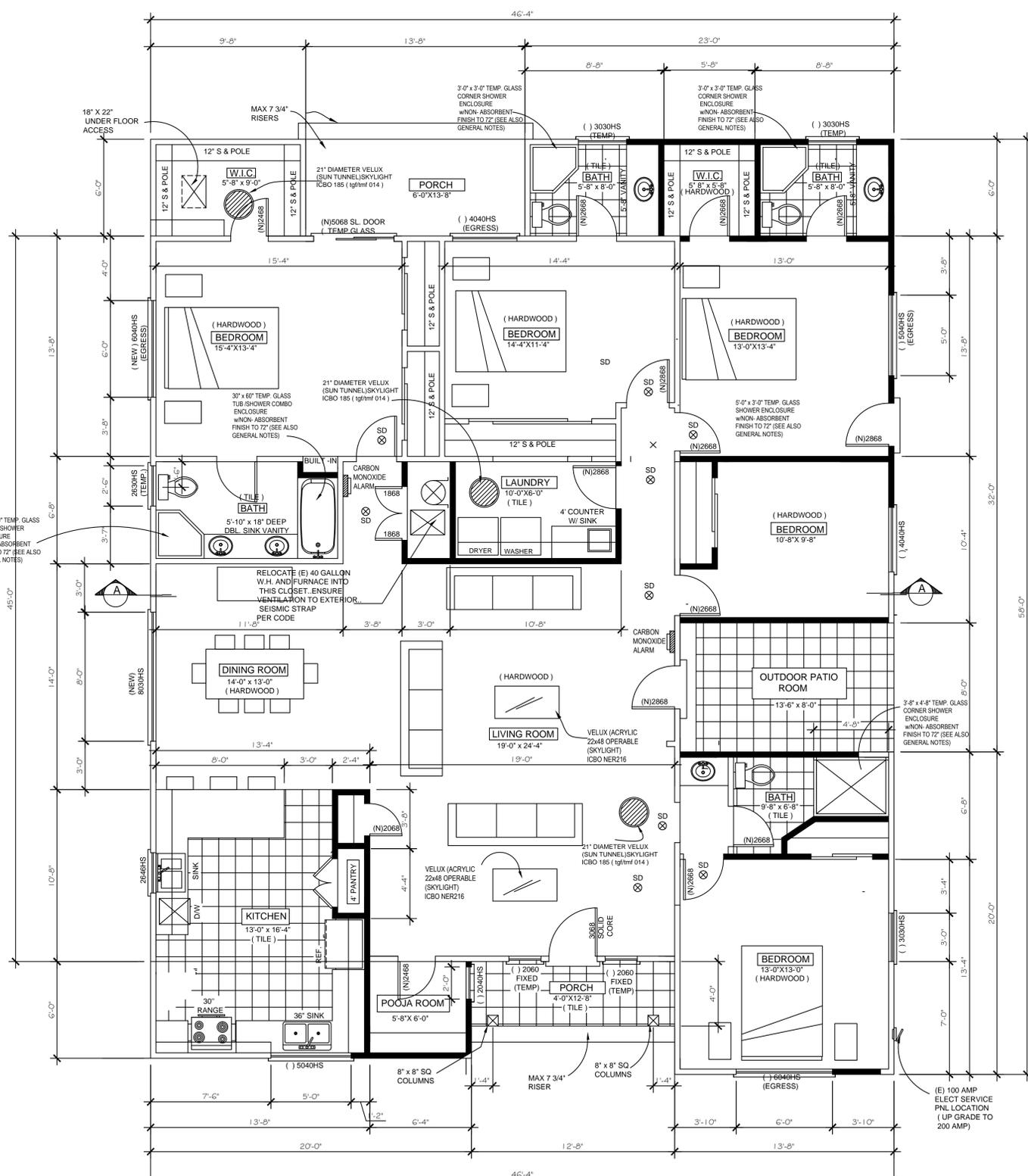
- SPECIAL SHOWER NOTE**
- A) ... SHOWER PAN DIMENSIONS SHALL BE A MINIMUM AREA OF 1024 SQ. INCHES AND A MINIMUM FINISH DIMENSION OF 30 INCHES IN ANY DIRECTIONS.
- SHOWER DOORS SHALL OPEN TO MAINTAIN NOT LESS THAN A 22" UN OBSTRUCTED OPENING FOR EGRESS.
- TILE SHOWER ENCLOSURE TO BE FINISHED w/NON-ABSORBENT FINISH TO 72" ABOVE DRAIN INLET (SEE ALSO GENERAL NOTES)

- ELECTRICAL**
- ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15-AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN A DWELLING UNIT LIVING, DINING AND FAMILY ROOMS, PARLORS, BEDROOMS, LIBRARIES, DEN, HALLWAYS, RECREATION ROOM, CLOSET OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. CEC ARTICLE 210.12
  - ALL NEW AND REPLACED DUPLEX RECEPTABLES SHALL BE LISTED TAMPER-RESISTANT \* RECEPTACLE. 2019 CEC ART 406.12
  - AT LEAST TWO 20-AMP BRANCH CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES AT THE COUNTER TOP (CEC 210.52)
  - ALL RECEPTABLES IN KITCHEN AREAS TO BE GFCI TAMPER PROOF NOT TO EXCEED, 4'-0" O.C.
  - ALL EXHAUSTS FANS THROUGHOUT THE RESIDENCE SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM
  - ALL KITCHEN EXHAUST SHALL BE DUCTED TO THE EXTERIOR
  - ALL RECESSED LIGHTING FIXTURES INSTALLED IN INSULATED CEILINGS SHALL BE IC (INSULATION COVER) AND AT (AIR TIGHT) RATED AND SHALL BE SEALED BETWEEN THE FIXTURE HOUSING AND THE GYP WITH A GASKET OR CAULK



- EXISTING GAS METER NOTE**
- A...AN EARTHQUAKE -ACTUATED GAS SHUT OFF VALVE SHALL BE INSTALLED AT THE EXISTING GAS METER

- SMOKE DETECTOR NOTES**
- A. SMOKE DETECTORS.**
- PROVIDE 1 EACH SMOKE DETECTOR IN ALL SLEEPING ROOMS AND AT A POINT CENTRALLY LOCATED IN AN AREA GIVING ACCESS TO THE SLEEPING ROOMS
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**PROPOSED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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3033 Monrovia Ave., Suite 100, Los Angeles, CA 90008  
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TO LIVING SPACE

DATE: 01-8-2022

SCALE: 1/4" = 1'-0"

DRAWN: BRA

JOB:

6

ELECTRICAL/ MECHANICAL LEGEND			
	EXISTING WALLS		CHIME
	NEW WALLS		DOORBELL PUSHBUTTON
	WALLS TO BE REMOVED		COMB. EXHAUST & LIGHT FIXT
	CLOSE WALLS		ELECT. FAN
	DUPLEX RECEPTABLE OUTLET		HEAT LAMP
	GFCI GROUND FAULT INTERRUPT CIRCUIT		HEATER REGIST.
	DUP. REC. OUTLET W/GROUND		CEILING AIR REGISTER
	FOUR PLEX RECEPTICLE		WATER HEATER
	220 V RECEPTABLE OUTLET		FURNACE
	RECESSED CEILING LIGHT		HOSE BIBB
	HIGH EFFICACY LIGHT		CARBON MONOXIDE ALARMS
	WALL LIGHT		INTERCOM
	WATERPROOF WALL LIGHT FIXTURE		ELECT. METER & MAIN PANEL
	FLUORESCENT LIGHT		ELECTRICAL SUB-PANEL
	SMALL FLUORESCENT FIXTURE		RECESSED LIGHT
	SPOTLIGHT		DISPOSAL
	WALL SWITCH		CONCRETE
	THREE-WAY SWITCH		STUCCO
	FOUR-WAY SWITCH		EXISTING
	SMOKE DETECTOR		HORIZONTAL SLIDER
	TELEPHONE OUTLET		S.H. SINGLE HUNG
	TV/CABLE OUTLET		FIXED GLASS

**GENERAL NOTES**

- PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2019 CALIFORNIA RESIDENTIAL BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES AS AMENDED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES (PROJECT LOCATED TO SPECIFY SEISMO DESIGN CATEGORY E)
- INTERPRETATION OF DRAWINGS:** FOR ARRANGEMENT OF FLOORS, GENERAL FINISH AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS. SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDING OF SPECIFICATIONS & LETTERING ON DRAWINGS, THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS, CONTRACTOR TO INFORM DRAFTSMAN DESIGNER, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK (CONTRACTOR IS NOT TO SCALE DRAWINGS).
- ERRORS AND OMISSIONS:** IN THE EVENT THAT AN ACUTE ERROR OR OMISSION MAY EXIST ON THE PLAN IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER, DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SUCH, WILL RELIEVE DESIGNER OF RESPONSIBILITY.
- SMOKE DETECTORS:** PROVIDE 1 EACH SMOKE DETECTOR IN ALL SLEEPING ROOMS AND AT A POINT CENTRALLY LOCATED IN AN AREA GIVING ACCESS TO THE SLEEPING ROOMS.  
**A) POWER SOURCE:** IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS WITHOUT COMMERCIAL POWER OR IN BUILDING WHICH UNDER GO ALTERATIONS, REPAIRS OR ADDITIONS AS REGULATED BY CBC 2019  
**B) LOCATION WITHIN DWELLING UNITS:** IN DWELLING UNITS, A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA WHEN THE DWELLING UNIT HAS MORE THAN ONE STORY AND IN DWELLINGS WITH BASEMENTS A DETECTOR SHALL BE INSTALLED ON EACH STORY AND IN THE BASEMENT IN DWELLING UNITS WHERE A STORY OR BASEMENT IS SPLIT INTO TWO OR MORE LEVELS. THE SMOKE DETECTOR SHALL BE INSTALLED IN THE UPPER LEVEL, EXCEPT THAT WHEN THE LOWER LEVEL CONTAINS A SLEEPING AREA A DETECTOR SHALL BE INSTALLED ON EACH LEVEL WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL IN CLOSE PROXIMITY TO THE STAIRWAY IN DWELLING UNITS WHERE THE CEILING HEIGHT OR A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES (610 MM) OR MORE. SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTOR SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.  
INSULATION: CEILING ..... R-30 BATT INSULATION (NEW CONST. ONLY)  
WALLS ..... R-15 BATT INSULATION (NEW CONST. ONLY)  
FLOOR ..... R-19 FLOOR INSULATION  
ACCESS: UNDERFLOOR ..... 18" x 24" MIN. SQ. (IF WOOD FLOOR)  
CEILING ..... 22" x 30" MIN. W/30" CLEAR HEIGHT.  
WINDOW ..... APPROVED DOUBLE GLAZED  
NOTE: ALL OPENING, ALL DOORS, WINDOWS, ETC. TO BE CALKED OR FULLY WEATHER STRIPPED.
- SUPPLEMENT TO TITLE 24 FOR RESIDENTIAL ADDITIONS.**
  - ROOF SHEATHING WITH RADIANT BARRIER ON UNDERSIDE OF SHEATG SHALL BE INSTALLED.
  - ALL WINDOWS SHALL HAVE A SOLAR HEAT GAIN COEFFICIENCY OF .40 OR BETTER.
  - WALL SHEATHING @ GABLE ENDS (ABOVE CEILING) SHALL HAVE RADIANT BARRIER PER MFG. INSTALLATION INSTRUCTIONS.
  - ALL SEALING TAPE ON HEAT/AC DUCTS SHALL BE UL181 (LISTED AND LABELED).
  - THE WRAPS (FOR DUCTS) MUST BE UV RESISTANT AND HAVE 150 LBS. OF BURST STRENGTH.
- WINDOWS / BATHROOM NOTES**
  - ALL NEW WINDOW TO BE APPROVED DOUBLE GLAZED (WITH BEDROOM WINDOWS HAVING A MIN. 24" x 24" SQ. OPENING). REFER TO EGRESS WINDOW DIAGRAM
  - ALL HEADERS USED OVER DOORS, WINDOW AND ANY NECESSARY OPENINGS TO BE 4 x 12 DFP# 1 OR BETTER, UNLESS OTHERWISE SPECIFIED.
  - ALL GLAZING IN OR WITHIN 36" OF DOORS, OVER 9 SQUARE FEET AND WITHIN 18" OF FLOOR AND ALL GLAZING IN SHOWERS OR BATHTUBS TO BE SAFETY GLASS.
  - BATHROOM FINISH NOTE: ENSURE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET FOR SHOWER PER CBC 1213.3
  - WATER CLOSETS IN ALL BATHROOMS TO BE MAXIMUM 1.28 GALLONS PER FLUSH.

**SPECIAL ELECTRICAL NOTES**

- THE BATHROOM OUTLET IS TO BE A DEDICATED CIRCUIT, PER SECTION 210.11(C) OF THE 2019 CEC
- THE KITCHEN COUNTERTOP OUTLETS TO HAVE A MIN OF 2 DEDICATED CIRCUITS, PER SECTION 210.52B (2) OF THE 2019 CEC
- PER SECTION 210.52(C) OF THE 2019 CEC, ELECTRICAL OUTLETS ARE REQUIRED TO BE SPACED SUCH THAT NO SECTION OF WALL IS MORE THAN 24-INCHES FROM AN OUTLET FOR KITCHEN COUNTERTOPS.
- ALL BEDROOM CIRCUITS SHALL BE LISTED COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTERS PROTECTED AT THE PANEL. CIRCUITS INCLUDE LUMINARY CIRCUITS, HARD-WIRED SMOKE DETECTORS, AND RECEPTACLE OUTLETS. ROOMS WITHIN BEDROOMS (SUCH AS CLOSETS AND OPEN BATHROOMS/VANITIES) SHALL ALSO BE INCLUDED, PER SECTION 210.12 (B) OF 2019 CEC.
- FAN AND LIGHTS TO HAVE SEPARATE SWITCHES PER CURRENT ENERGY CODE, SECTION 150 (K) 7 (B). THIS INCLUDES FAN/LIGHT COMBO, UNLESS EXCEPTION FROM (K) 7 (B) IS USED (FAN CONTINUING FOR EXTENDED PERIOD OF TIME AFTER LIGHT IS SWITCH OFF).

**ELECTRICAL NOTES**

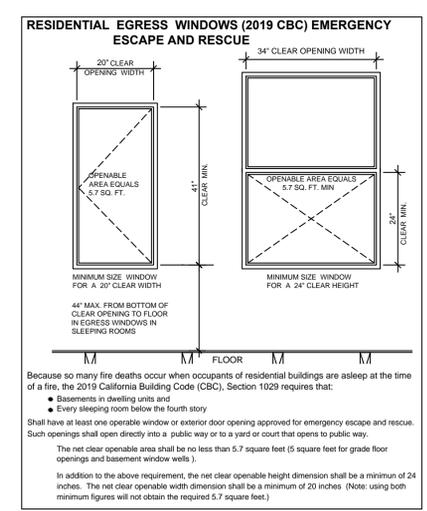
- ALL 120 - VOLT, SINGLE-PHASE, 15-AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARE-FAULT CIRCUIT INTERRUPTER. (CEC 210.12)
- ALL RECEPTACLES IN BATHROOM, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (WHERE RECEPTACLES SERVE COUNTERTOP SURFACES), LAUNDRY AREA, CIRCUIT INTERRUPTER (GFCI) PROTECTION. (CEC210.8)
- IN ALL AREAS SPECIFIED IN 210.52, ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC406.12)

**GENERAL INTERIOR NOTES**

- ALL LANDING AT MAIN ENTRY DOOR TO BE NOT MORE THAN 1/2" BELOW THE DOOR'S THRESHOLD PER CBC 311.3.1.
- ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2.
- ALL BATHTUB AND SHOWER FLOORS AND WALLS TO BE FINISHED WITH A NONABSORBENT SURFACE UP TO A HEIGHT OF 6 FEET (72") ABOVE FLOOR PER CRC 307.2.
- PROVIDE EXHAUST FAN KITCHEN AREA FOR LOCAL VENTILATION INDOOR AIR QUALITY REQUIREMENTS PER 2019 CALIFORNIA ENERGY CODE SECTION 150 (d) AND ASHRAE 62.2. OTHERWISE SPECIFY KITCHEN HOOD RANGE TO BE 100 CFM MINIMUM.
- PROVIDE CARBON MONOXIDE ALARMS OUTSIDE EACH BEDROOM PER CRC 315.2.
- ENSURE AFCI PROTECTED RECEPTACLES IN LIVING ROOM PER CEC 210.12
- ALL EXTERIOR RECEPTACLES TO BE GFCI PROTECTED.
- ALL 125-VOLT, 15-AND 20-AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.11.
- PROVIDE SEPARATE SWITCHES FOR ALL EXHAUST FANS IN BATHROOMS PER CALIFORNIA ENERGY CODE 150(K)(6).
- ALL NEW WINDOWS SHALL HAVE A MAXIMUM U-FACTOR OF 0.30

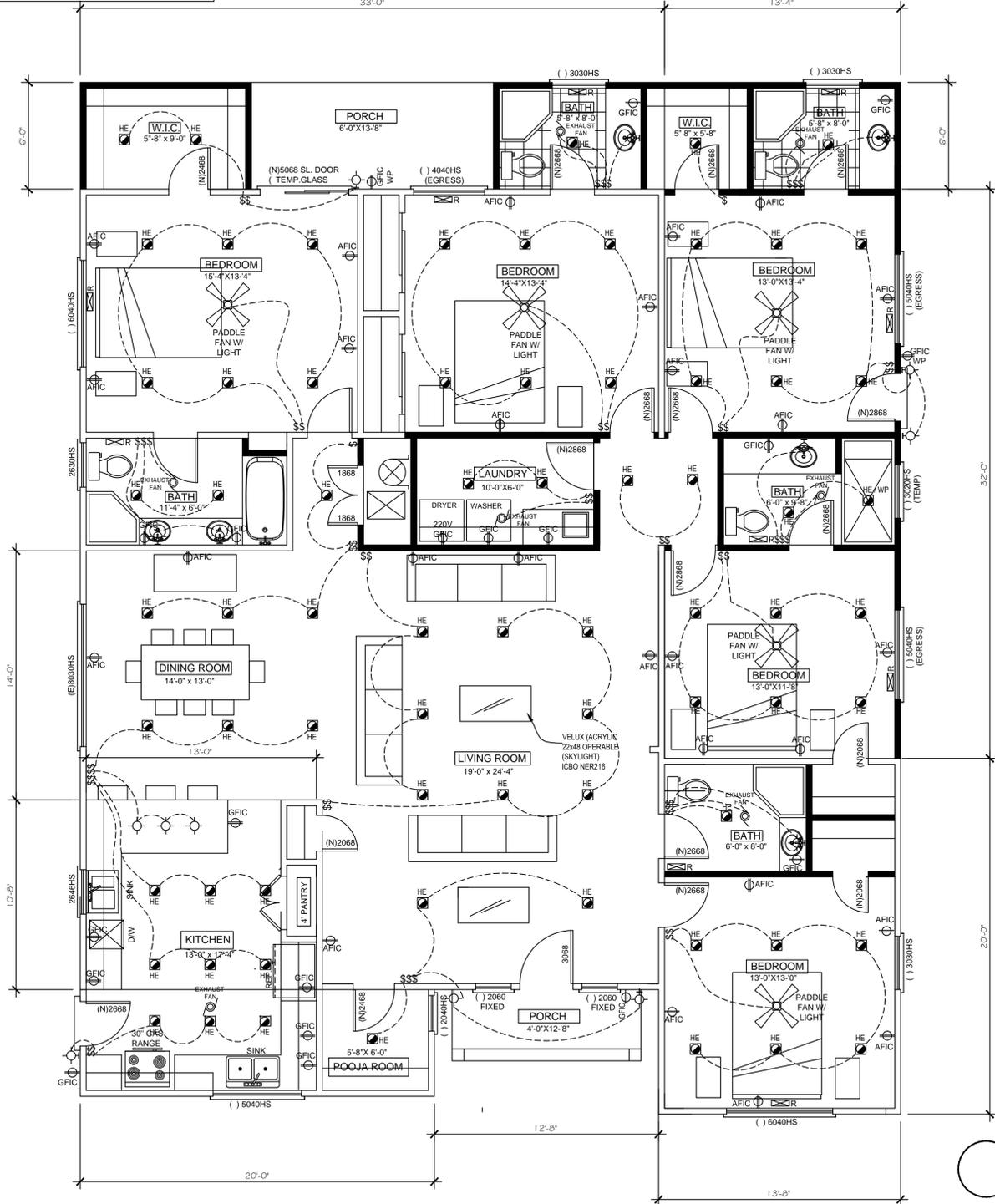
**SPECIAL ELECTRICAL NOTES**

- ALL KITCHEN EXHAUST FANS TO BE A MINIMUM 100 CFM PER 2019 CALIFORNIA ENERGY CODE 150 AND ASHRAE 62.2
- AT ALL BATHROOMS VERIFY THAT THE BATHROOM EXHAUST FANS ARE SEPARATELY FROM THE LIGHTING
- EV CHARGER PER CALGREEN SECTION 4106.4.1 AND FOR ALL NEW CONSTRUCTION, PROVIDE A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208 / 240 VOLT BRANCH CIRCUIT AND A DEDICATED 40 AMP BRANCH CIRCUIT FOR THE EV CHARGER
- ALL BEDROOMS ON THE LOWER AND UPPER FLOORS, VERIFY RECEPTACLE OUTLETS SPACED A MAXIMUM OF 6' FROM BOTH SIDES OF THE DOOR OPENINGS (CEC 210.52(A))
- IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS, SHOW AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES TO BE CONTROLLED BY A VACANCY SENSOR PER CA ENERGY CODE 150(K)(2)
- ALL OUTDOOR OUTLETS TO BE WEATHERPROOF AND GFCI-PROTECTED
- A DEDICATED 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLES OUTLETS PER CEC 210.11 (C)(3)
- A DEDICATED 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLES OUTLETS PER CEC 210.11(C)(2)
- ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY (CEC 150(K)1)
  - ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY AND CONTROLLED BY MOTION SENSORS AND PHOTOCONTROL OR OTHER APPROVED PER CEC 150(K)(3)
- BATHROOMS SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND MUST BE CONTROLLED BY A HUMIDITY CONTROL (CALGREEN 4.53B.1)
- THE EXHAUST FAN PROVIDING WHOLE HOUSE VENTILATION PER THE WHOLE HOUSE VENTILATION NOTE
- THE LIGHTING AT THE INTERIOR STAIRWAY TO BE CONTROLLED BY A 3-WAY SWITCH TO CONTROL THE LIGHTING AT THE UPPER AND LOWER FLOORS.



**SPECIAL TITLE - 24 NOTES**

- ALL LIGHTING TO BE HIGH EFFICACY AND MEET THE REQUIREMENTS OF SECTION 150.0(K) AND JOINT APPENDIX JAB.
- ALL LUMINAIRES THAT ARE INSTALLED WITH JAB-CERTIFIED LIGHT SOURCES NEED TO BE CONTROLLED BY A DIMMER OR VACANCY SENSOR. THIS IS NOT REQUIRED FOR LIGHTING IN CLOSETS LESS THAN 70 SQ FT OR IN HALLWAYS.
- ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY AND CONTROLLED BY ONE OF THE FOLLOWING COMBINATIONS:
  - PHOTOCELL AND MOTION SENSOR
  - PHOTOCELL AND TIME SWITCH
  - ASTRONOMICAL TIME CLOCK
  - EMCS WITH FEATURES OF ASTRONOMICAL TIME CLOCK.
- LUMINAIRES RECESSED IN INSULATED CEILINGS SHALL COMPLY WITH THE FOLLOWING:
  - SHALL BE ZERO CLEARANCE IC LISTED AND CERTIFIED AIR TIGHT.
  - BE SEALED WITH GASKET OR CALK BETWEEN LUMINAIRE HOUSING AND CEILING AND AT ALL AIR LEAK
  - SHALL NOT CONTAIN SCREW BASE SOCKETS



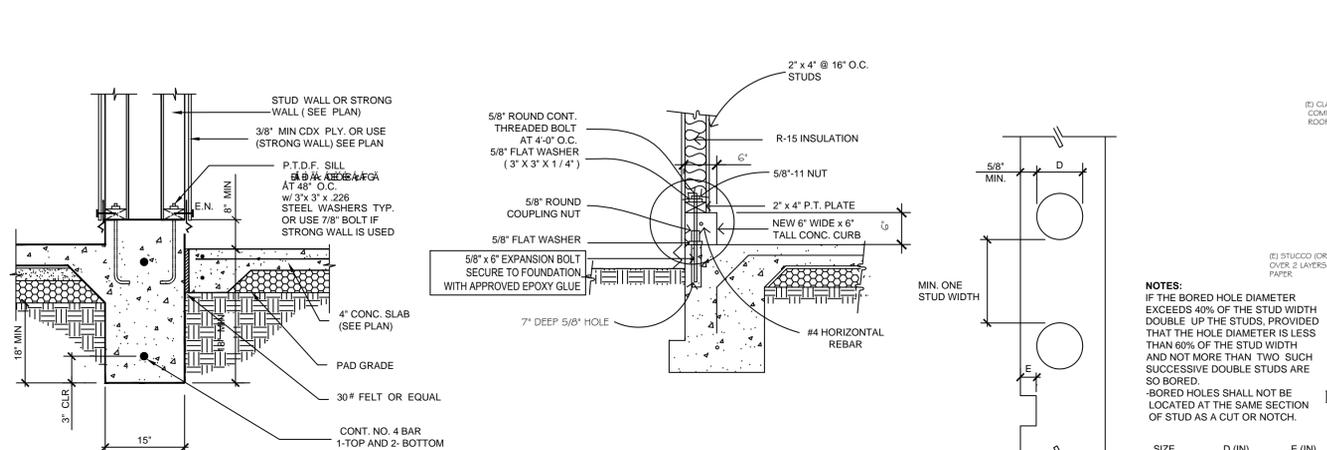
**ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

Professional Design Consultants  
3003 Moorpark, Suite 111, Stockton, CA 95218  
(408) 294-7660



OWNER  
RAVI K VALLAMDAS  
881 KENNETH AVENUE  
CAMPBELL, CA. 95008  
PHONE: (408) 807-3229

PROPOSED FRONT, REAR  
ADDITIONS AND A  
INTERIOR REMODEL  
AND GARAGE CONVERSION  
TO LIVING SPACE



**R COLUMN FOOTING DETAIL**

**FOUNDATION LEGEND**

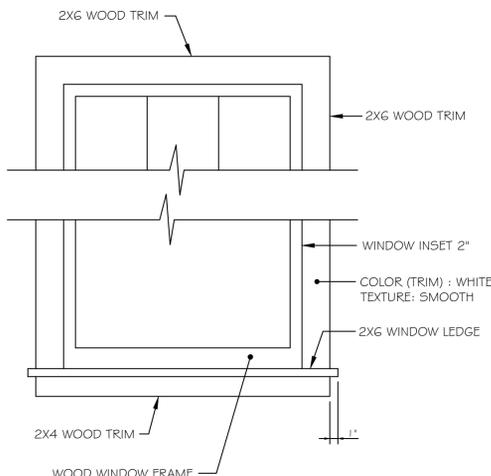
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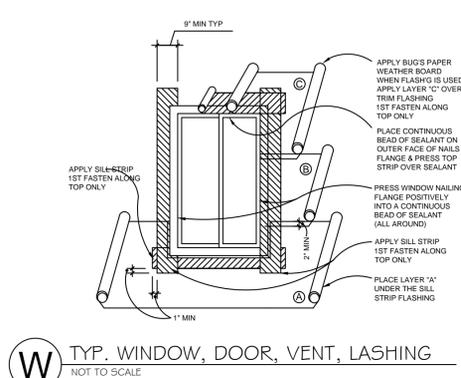


2019 CRC TABLE ( R802.5.2) - NAILING SCHEDULE

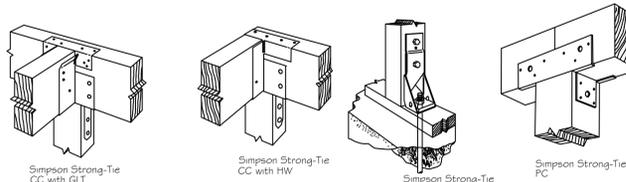
No.	CONNECTION	FASTENING #/m	NAILING
1.	Joint to sill or girder	3-8d common (2 1/2" x 0.131") 3" x 0.131" nails 3-3" 14 gage staples	toenail
2.	Bridging to joist	3-8d common (2 1/2" x 0.131") 3" x 0.131" nails 2-3" 14 gage staples	toenail each end
3.	1" x 6" (25 mm x 152 mm) subfloor or less to each joist	2-8d common (2 1/2" x 0.131") 2-3" 14 gage staples	face nail
4.	Wider than 1" x 6" (25 mm x 152 mm) subfloor to each joist	3-8d common (2 1/2" x 0.131") 3" x 0.131" nails	face nail
5.	2" (51 mm) subfloor to joist or girder	2-16d common (3 1/2" x 0.162") 2" x 0.131" nails at 12" o.c.	blind and face nail
6.	Sole plate to joist or blocking	3" x 0.131" nails at 12" o.c. 3-16d (3 1/2" x 0.162") at 16" 4-3" x 0.131" nails at 16" 3-14 gage staples per 16"	typical face nail
7.	Sole plate to joist or blocking at braced wall panels	2-16d common (3 1/2" x 0.162") 3" x 0.131" nails 3" 14 gage staples	braced wall panels
8.	Top plate to stud	2-16d common (3 1/2" x 0.162") 3" x 0.131" nails 3" 14 gage staples	end nail
9.	Stud to sole plate	4-8d common (2 1/2" x 0.131") 3" x 0.131" nails 3-3" 14 gage staples 2-16d common (3 1/2" x 0.162") 3" x 0.131" nails 3-3" 14 gage staples	end nail
10.	Double studs	16d (3 1/2" x 0.162") at 16" o.c. 2" x 0.131" nail at 8" o.c. 3" 14 gage staples at 8" o.c.	face nail
11.	Double top plates	16d (3 1/2" x 0.162") at 16" o.c. 2" x 0.131" nail at 12" o.c. 3" 14 gage staples at 12" o.c.	typical face nail
12.	Double top plates	8-16d common (3 1/2" x 0.162") 12-3" 14 gage staples	lap splice
13.	Blocking between joists or rafters to top plate	3-3" x 0.131" nails 3" x 0.131" nails 3" 14 gage staples	toenail
14.	Trim joist to top plate	6d (2" x 0.131") at 6" o.c. 2-14 gage staples at 6" o.c.	toenail
15.	Top plates, laps and intersections	3-3" x 0.131" nails 3-3" 14 gage staples	face nail
16.	Continuous header, two pieces	16d common (3 1/2" x 0.162") 2-3" x 0.131" nails	16" o.c. along edge
17.	Coaling joist to plate	2-8d common (2 1/2" x 0.131") 2-3" 14 gage staples	toenail
18.	Continuous header to stud, toenail	4-8d common (2 1/2" x 0.131") 3" 14 gage staples	toenail
19.	Coaling joist, laps over partitions	3-16d common (3 1/2" x 0.162") minimum Table 2308.10.4.1 4-3" x 0.131" nails	face nail
20.	Coaling joist, to parallel rafters	3-16d common (3 1/2" x 0.162") minimum Table 2308.10.4.1 4-3" x 0.131" nails	face nail
21.	Rafter to plate	4-3" x 0.131" nails 4-3" 14 gage staples	toenail
22.	1" diagonal brace to each stud and plate	2-8d common (2 1/2" x 0.131") 2-3" 14 gage staples	face nail
23.	1" x 6" (25 mm x 152 mm) sheathing to each bearing	3-8d common (2 1/2" x 0.131") 3-3" 14 gage staples	face nail
24.	Wider than 1" x 6" sheathing to each bearing	3-8d common (2 1/2" x 0.131") 3-3" 14 gage staples	face nail
25.	Built-up corner studs	16d common (3 1/2" x 0.162") 2" x 0.131" nails 2-3" 14 gage staples	2" o.c.
26.	Built-up girder and beams	20d common (4" x 0.192") 32" o.c. 3" x 0.131" nails at 24" o.c. 3" 14 gage staples at 24" o.c. 2-20d common (4" x 0.192") 3" x 0.131" nails 3-3" 14 gage staples	face nail at top and bottom staggered on opposite sides face nail at ends and at each splice
27.	2" (51 mm) planks	2-16d at each bearing	
28.	Wood structural panels and panels and particleboard subfloor and wall sheathing (to framing): 1/2" (12.7 mm) and less 19/32" 3/4" (15 mm - 19 mm) 7/8"-1" (22 mm - 25 mm) 1 1/8" - 1 1/4" (29 mm - 32 mm) Combination subfloor-underlayment (to framing): 3/4" (19 mm) and less 1 1/8" - 1 1/4" (29 mm - 32 mm)	6d 8d or 6d 8d 10d or 8d 6d 10 or 8d	
29.	Panel siding (to framing) 1/2" (12.7 mm) or less 5/8" (16 mm)	No. 11 ga. 6d No. 16 ga. No. 11 ga. 6d No. 16 ga.	
30.	Fiberboard sheathing: 1/2" (12.7 mm)	25/32" (20 mm)	
31.	Interior paneling 1/4" (6.4 mm) 3/8" (9.5 mm)	6d 6d 6d	



WINDOW TRIM DETAIL



TYP. WINDOW, DOOR, VENT, LASHING NOT TO SCALE



EXTERIOR PLASTER AND STUCCO NOTES

- A) WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER (R703.7.3)
- B) PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING (R703.7.2)
- C) A MINIMUM 26 GA. GALVANIZED CORROSION-RESISTANT WEEP SCREED WITH: (R703.7.2.1)
  - 1. A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS
  - 2. THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE PAVED AREA.

SPECIAL TITLE -24 NOTES

- 1. ALL LIGHTING TO BE HIGH EFFICACY AND MEET THE REQUIREMENTS OF SECTION 150.0(K) AND JOINT APPENDIX JAB.
- 2. ALL LUMINAIRES THAT ARE INSTALLED WITH JAB-CERTIFIED LIGHT SOURCES NEED TO BE CONTROLLED BY A DIMMER OR VACANCY SENSOR. THIS IS NOT REQUIRED FOR LIGHTING IN CLOSETS LESS THAN 70 SQ FT OR IN HALLWAYS.
- 3. ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY AND CONTROLLED BY ONE OF THE FOLLOWING COMBINATIONS:
  - A. PHOTOCELL AND MOTION SENSOR
  - B. PHOTOCELL AND TIME SWITCH
  - C. ASTRONOMICAL TIME CLOCK
  - D. EMCS WITH FEATURES OF ASTRONOMICAL TIME CLOCK
- 4. LUMINAIRES RECESSED IN INSULATED CEILINGS SHALL COMPLY WITH THE FOLLOWING:
  - A. SHALL BE ZERO CLEARANCE IC LISTED AND CERTIFIED AIR TIGHT.
  - B. BE SEALED WITH GASKET OR CAULK BETWEEN LUMINAIRE HOUSING AND CEILING AND AT ALL AIR LEAK
  - C. SHALL NOT CONTAIN SCREW BASE SOCKETS

EXHAUST FAN NOTE

ALL EXHAUST FANS TO BE ENERGY STAR COMPLIANT AND TERMINATE OUTSIDE THE BUILDING AND BE CONTROLLED BY HUMIDITY CONTROL, CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE 50 TO 80 PERCENT

SPECIAL EXTERIOR NOTE

3 COATS STUCCO SHALL BE 7/8" THICK WITHIN THREE COATS APPLIED OVER APPROVED WIRE LATH AND TWO LAYERS OF GRADE "D" BUILDING PAPER. PROVIDE 26 GA. GALVANIZED WEEP SCREED W/ ATTACHED FLANGE OF 3-1/2" PROVIDED WITH A MIN OF 4" ABOVE GRADE OR 2" ABOVE CONC. SLAB

EXTERIOR PLASTER AND STUCCO NOTES

- A) WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER (R703.7.3)
- B) PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING (R703.7.2)
- C) A MINIMUM 26 GA. GALVANIZED CORROSION-RESISTANT WEEP SCREED WITH: (R703.7.2.1)
  - 1. A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS
  - 2. THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE PAVED AREA.

NATURAL LIGHT AND VENTILATION NOTES

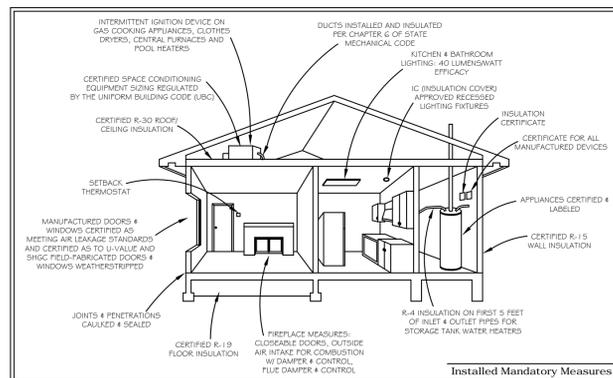
- A) NATURAL VENTILATION OF AN OCCUPIED SPACE SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER OPENINGS TO THE OUTDOORS WITH THE MINIMUM OPEN-ABLE AREA BEING 4% OF THE FLOOR AREA BEING VENTILATED SEE EXCEPTIONS FOR MECHANICAL VENTILATION (R303.1)
- B) EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM SERVED. (R303.1)

ELECTRICAL NOTES

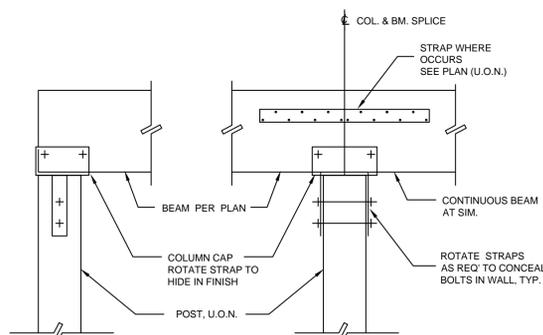
- 1) ALL 120-VOLT, SINGLE-PHASE, 15-AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLINGS UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER. (CEC 210.12)
- 2) ALL RECEPTACLES IN BATHROOM, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY AREA, CIRCUIT INTERRUPTER (GFCI) PROTECTION. (CEC 210.8)
- 3) IN ALL AREAS SPECIFIED IN 210.52, ALL 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC 406.12)

SPECIAL ELECTRICAL NOTES

- 1) ... ALL KITCHEN EXHAUST FANS TO BE A MINIMUM 100 CFM PER 2016 CALIFORNIA ENERGY CODE 150 AND ASHRAE 62.2
- 2) ... AT ALL BATHROOMS VERIFY THAT THE BATHROOM EXHAUST FANS ARE SEPARATELY FROM THE LIGHTING
- 3) ... EV CHARGER PER CALGREEN SECTION 4106.4.1 AND FOR ALL NEW CONSTRUCTION PROVIDE A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT AND A DEDICATED 40 AMP BRANCH CIRCUIT FOR THE EV CHARGER
- 4) ... ALL BEDROOMS ON THE LOWER AND UPPER FLOORS VERIFY RECEPTACLE OUTLETS SPACED A MAXIMUM OF 6' FROM BOTH SIDES OF THE DOOR OPENINGS (CEC 210.52 (A)).
- 5) ... IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS, SHOW AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES TO BE CONTROLLED BY A VACANCY SENSOR PER CA ENERGY CODE 150.0(K)(2).
- 6) ... ALL OUTDOOR OUTLETS TO BE WEATHERPROOF AND GFCI-PROTECTED
- 7) ... A DEDICATED 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLES OUTLETS PER CEC 210.11 (C)(3).
- 8) ... A DEDICATED 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLES OUTLETS PER CEC 210.11(C)(2).
- 9) ... ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY (CEC 150.0)(1).
  - A. ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY AND CONTROLLED BY MOTION SENSORS AND PHOTOCENTRAL OR OTHER APPROVED PER CEC 150.0(K)(3).
- 10) ... BATHROOMS SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND MUST BE CONTROLLED BY A HUMIDITY CONTROL. (CALGREEN 4.106.1).
- 11) ... THE EXHAUST FAN PROVIDING WHOLE HOUSE VENTILATION PER THE WHOLE HOUSE VENTILATION NOTE
- 12) ... THE LIGHTING AT THE INTERIOR STAIRWAY TO BE CONTROLLED BY A 3-WAY SWITCH TO CONTROL THE LIGHTING AT THE UPPER AND LOWER FLOORS.

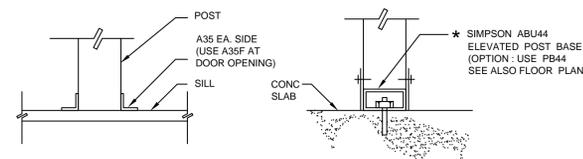


Installed Mandatory Measures



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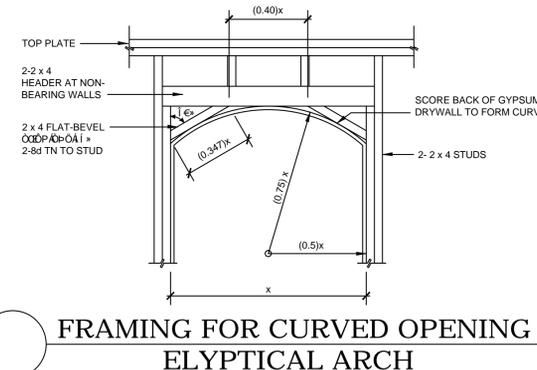
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POST BASE AT CONC. FLOOR

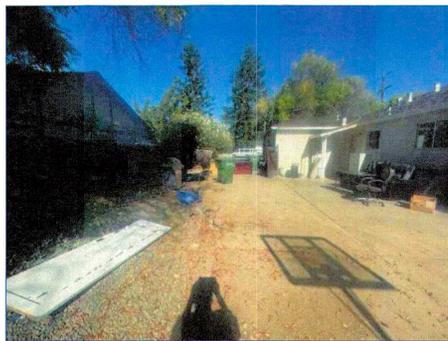
POST AND BEAM CONNECTIONS

SPECIAL SHOWER NOTE

- A) ... SHOWER PAN DIMENSIONS SHALL BE A MINIMUM AREA OF 1024 SQ. INCHES AND A MINIMUM FINISH DIMENSION OF 30 INCHES IN ANY DIRECTIONS.
- SHOWER DOORS SHALL OPEN TO MAINTAIN NOT LESS THAN A 22" UN OBSTRUCTED OPENING FOR EGRESS.



FRAMING FOR CURVED OPENING ELYPTICAL ARCH



**SIDE VIEW OF VALLAMDAS RESIDENCE "D"**



**FRONT VIEW OF VALLAMDAS RESIDENCE "C"**



**FRONT VIEW OF VALLAMDAS RESIDENCE SHOWING FRONT LANDSCAPING**



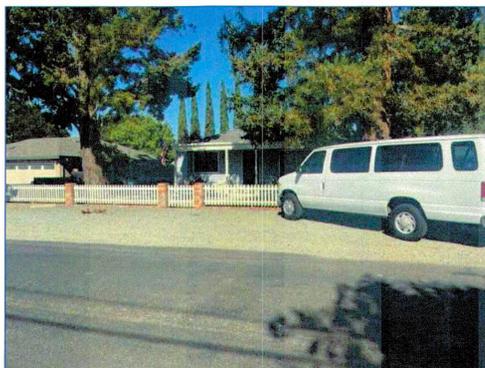
**PHOTO OF NEIGHBOR'S HOUSE ACROSS THE STREET**



**COLOR PHOTO OF NEIGHBOR'S RESIDENCE TO THE LEFT**



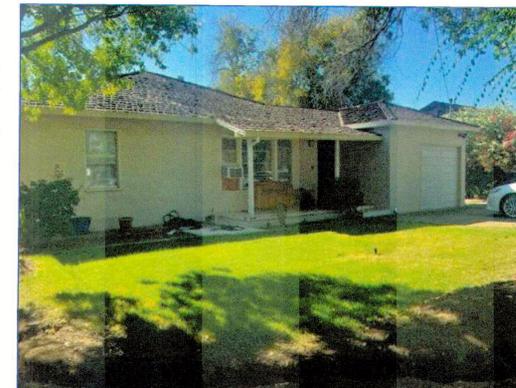
**FRONT VIEW OF VALLAMDAS RESIDENCE "A"**



**PHOTO OF NEIGHBOR'S HOUSE ACROSS THE STREET**



**SIDE VIEW OF VALLAMDAS RESIDENCE "C"**



**FRONT VIEW OF VALLAMDAS RESIDENCE "B"**



**GENERAL EXTERIOR NOTES**

- ASPHALT SHINGLES SHALL BE INSTALLED OVER ONE LAYER OF 15 POUND FELT ON ROOFS WITH A MIN SLOPE OF 3:12. ASPHALT SHINGLES MAY BE INSTALLED ON ROOFS WITH A MIN SLOPE OF 2:12 PROVIDED THE SHINGLES ARE APPROVED SELF SEALING OR ARE HAND SEALED AND THE UNDER LAYMENT SHALL CONSIST OF 2 LAYERS OF 15 POUND FELT INSTALLED SHINGLE FASHION. MAX LAYERS ON A SHINGLE ROOF SHALL NOT EXCEED 3.
- ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2.
- SITE ADDRESS NUMBERS... BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, ADDRESS NUMBERS OR ALPHABETICAL LETTERS, NUMBERS SHALL BE A MINIMUM OF 4" (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2" INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

**EXTERIOR WEATHER PROTECTION NOTES**

- STUCCO OR SHEATHING OF ALL EXTERIOR WALLS SHALL BE WEATHER PROTECTED WITH 15 POUND ASPHALT SATURATED FELT OR OTHER APPROVED WATERPROOF PAPER. SUCH PAPER SHALL BE APPLIED IN WEATHER BOARD FASHION, LAPPED NOT LESS THAN 2" AT HORIZONTAL JOINTS AND NOT LESS THAN 6" AT VERTICAL JOINTS.
- WHERE STUCCO IS APPLIED OVER EXTERIOR SHEATHING THERE SHALL BE TWO LAYERS OF GRADE 'D' BUILDING PAPER. BUILDING PAPER MAY BE OMITTED IN THE FOLLOWING: ...
  - A)...WHERE THERE IS NO HUMAN OCCUPANCY
  - B)...WHERE EXTERIOR COVERING IS OF APPROVED W.P. MATERIAL OVER WATER REPELLENT SHEATHING
  - C)...WHERE EXTERIOR COVERING IS F APPROVED W.P. PANELS
- STUCCO SHALL BE 7/8" THICK AND THREE COATS APPLIED OVER APPROVED WIRE LATH AND TWO LAYERS OF GRADE D BUILDING PAPER. PROVIDE WEEP CREED
- SIDING SHALL BE APPLIED OVER ONE LAYER OF GRADE D BUILDING PAPER
- PROVIDE A SPARK ARRESTOR FOR ANY NEW OR EXISTING CHIMNEY

**GENERAL NOTES**

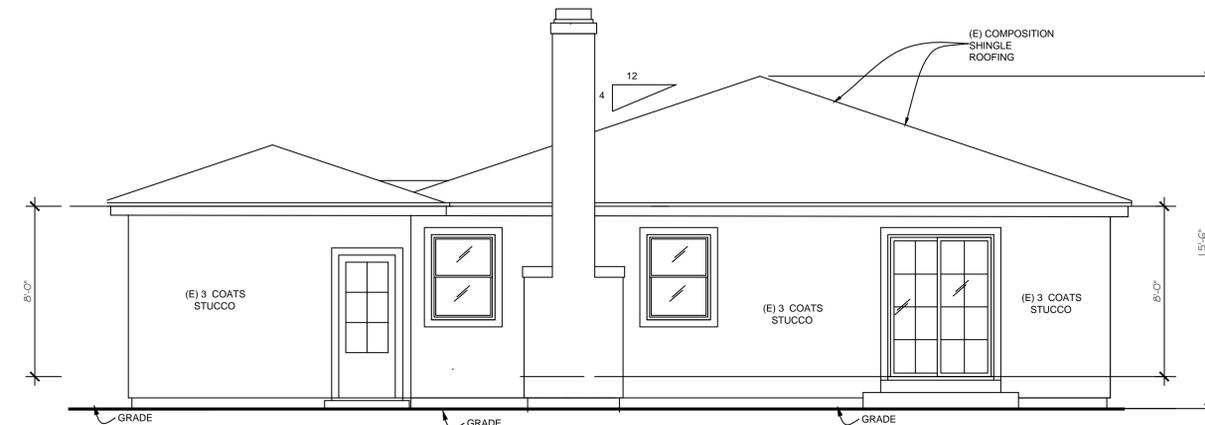
- PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2019 CALIFORNIA RESIDENTIAL, BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES AS AMENDED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES (PROJECT LOCATED TO SPECIFY SEISMIC DESIGN CATEGORY E.)
- INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF FLOORS, GENERAL FINISH, AND MEASUREMENTS, REFERENCE SHALL BE MADE TO THE DRAWINGS, SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDING OF SPECIFICATIONS & LETTERING ON DRAWINGS, THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS, CONTRACTOR TO INFORM DRAFTSMAN DESIGNER, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK (CONTRACTOR IS NOT TO SCALE DRAWINGS).
- ERRORS AND OMISSIONS. IN THE EVENT THAT AN ACUTE ERROR OR OMISSION MAY EXIST ON THE PLAN IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER, DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SUCH, WILL RELIEVE DESIGNER OF RESPONSIBILITY.
- SITE PLAN LAYOUT: IN THE EVENT THERE MAY BE DISCREPANCIES BETWEEN THE DIMENSIONS ON THE SITE PLAN AND THE ACTUAL DIMENSIONS OF THE LOT AND ITS SETBACKS, IT WILL BE THE OWNER'S RESPONSIBILITY TO PROVIDE A LEGAL SURVEY TO CONFIRM THE ACCURACY OF THE PROPERTY SIZE AND LAYOUT. ALL SITE PLANS, AS DRAWN ARE FOR REFERENCE AND SHOULD NOT BE LOOKED UPON AS AN OFFICIAL DOCUMENT.

**EXTERIOR BUILDING NOTES**

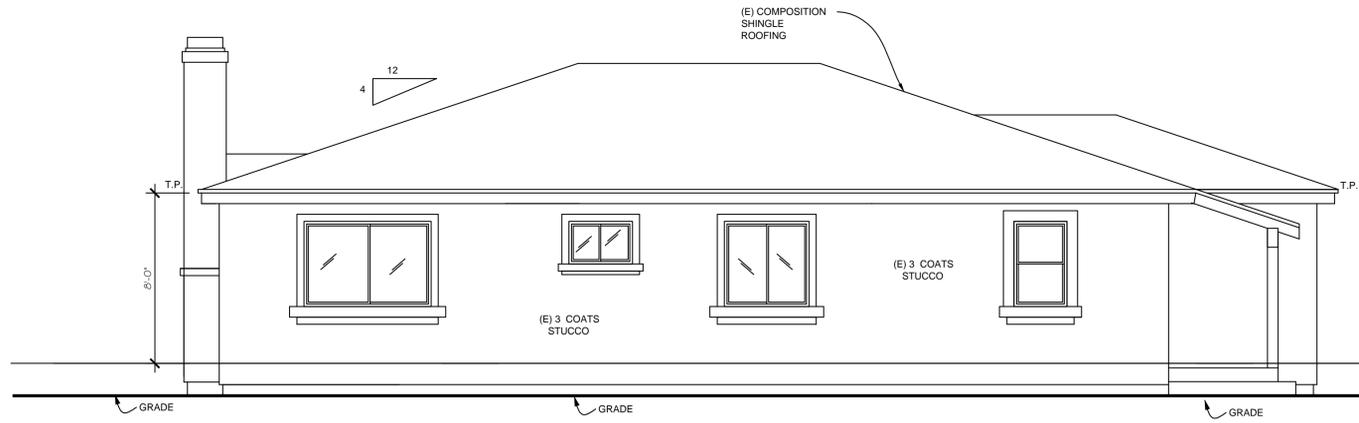
- CLEARANCE BETWEEN WOOD SIDING, FRAMING MEMBERS, INCLUDING SHEATHING, AND EARTH ON THE EXTERIOR OF A BUILDING SHALL NOT BE LESS THAN 6" OR LESS THAN 2" MEASURED VERTICALLY FROM
- WHERE ROOF GUTTERS ARE INSTALLED, THE DOWN SPOUTS SHALL BE PROPERLY TERMINATED WITH A SPLASH BLOCK AND SHALL CARRY WATER AWAY FROM THE FOUNDATIONS PER CITY ORDINANCE, ORDINANCE, CLARIFY IF THERE ARE NEW GUTTERS AT NEW ADDITION



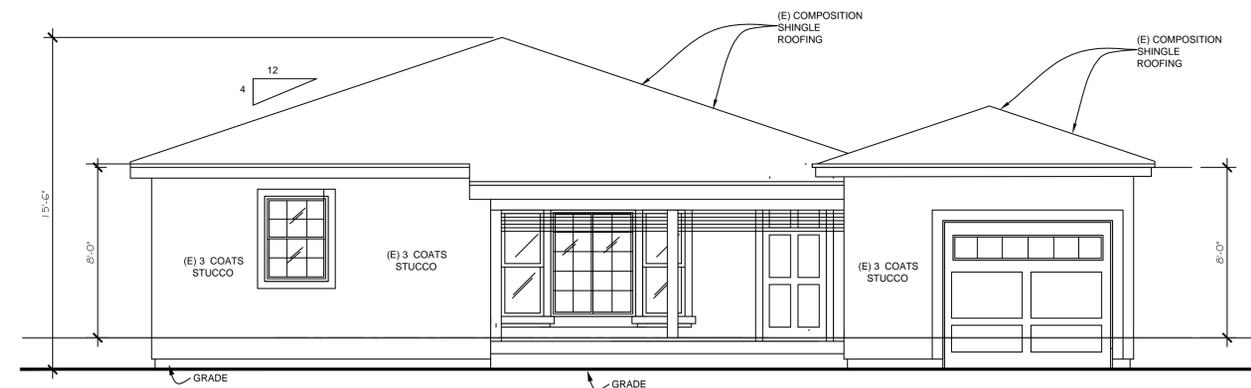
**RIGHT SIDE ELEVATION (NORTH)**  
(EXISTING)  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION (WEST)**  
(EXISTING)  
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION (SOUTH)**  
(EXISTING)  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION (EAST)**  
(EXISTING)  
SCALE: 1/4" = 1'-0"

REVISIONS

DATE:

Professional Design Consultants  
3033 Montpark Ave. #1, San Jose, CA 95128  
(408) 254-7060



OWNER  
RAVI K VALLAMDAS  
881 KENNETH AVENUE  
CAMPBELL CA. 95008  
PHONE: (408) 807-3229

PROPOSED FRONT, REAR  
ADDITIONS AND A  
INTERIOR REMODEL  
AND GARAGE CONVERSION  
TO LIVING SPACE

DATE: 1-20-2022

SCALE: 1/4" = 1'-0"

DRAWN: BRA

JOB:

11

OF SHEETS





