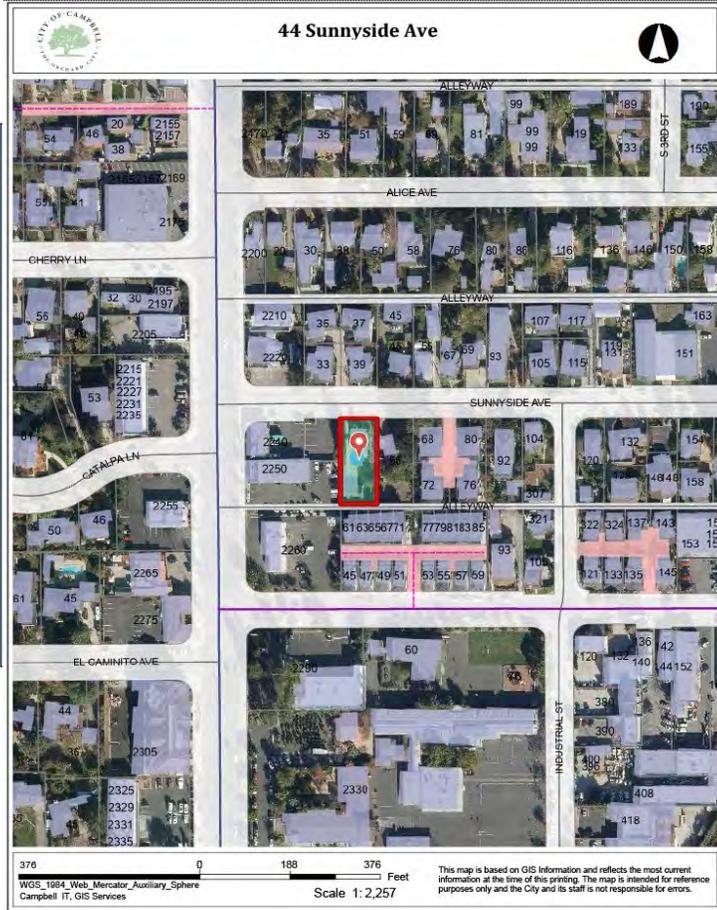


Location of Proposed Project




City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423

Project Image



Courtesy Notice

Dear Campbell Resident,

July 18, 2023

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 44 Sunnyside Avenue

Zoning | Area Plan: P-D | N/A

Neighborhood Association(s): DCNA

Council District: 3

File No: PLN-2023-135

APN: 412-04-018

Applicant: 44 Sunnyside LLC (Sachneel Patel)

Property Owner: 44 Sunnyside LLC (Sachneel Patel)

Application Type: Planned Development Permit, Tree Removal Permit, and Tentative Map

Project Planner: Daniel Fama, Senior Planner

Email Contact: DanielF@campbellca.gov

Phone Contact: (408) 866-2193

Project Description:

To allow the demolition of three (3) existing structures, removal of fourteen (14) trees, construction of six (6) single-family residences, and the creation of six (6) new lots.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



44 SUNNYSIDE AVENUE

3 STORY SINGLE FAMILY HOMES

44 SUNNYSIDE AVENUE, CAMPBELL CA

PLANNING RESUBMITTAL

JULY 07, 2023

PROJECT DIRECTORY

OWNER
SACHNEEL PATEL, OWNER REPRESENTATIVE
PHONE: (408) 799-7395

ARCHITECT
LANCE CRANNELL, AIA
SDG ARCHITECTS INC.
3361 WALNUT BLVD, SUITE 120
BRENTWOOD, CA 94513
PHONE: (925) 634-7000

CIVIL ENGINEER
DILIP KISHNANI
STERLING CONSULTANTS
46560 FREMONT BLVD, SUITE 205
FREMONT, CA 94538
PHONE: (510) 344-8955

LANDSCAPE ARCHITECT
THOMAS PHELPS
IDLA, INC.
P.O. BOX 170129
BOISE, ID 83717
PHONE: (208) 906-1300

PROJECT DATA SUMMARY

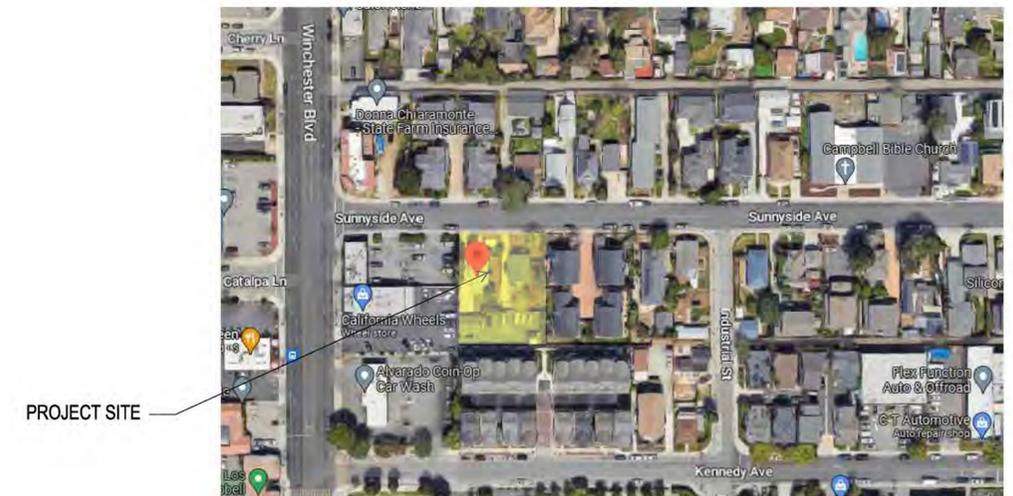
ADDRESS: 44 SUNNYSIDE AVENUE, CAMPBELL, CA
APN: 412-04-018
ZONING: PD (PLANNED DEVELOPMENT ZONE)
SITE AREA: 17,418 SQ. FT.
TYPE OF CONSTRUCTION: TYPE V-B
PROPOSED USE: RESIDENTIAL

SHEET INDEX

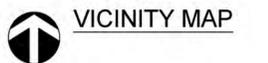
A01	COVER SHEET
A02	SITE PHOTOS
A03	STREETSCAPE
A04	EXISTING CONDITIONS
A05	EXISTING SITE PLAN
A06	ARCHITECTURAL SITE PLAN
A07	FLOOR PLANS
A08	FLOOR PLANS
A09	ROOF PLANS
A10	ALT. ENTRY EXTERIOR ELEVATIONS
A11	ALT. ENTRY EXTERIOR ELEVATIONS
A12	EXTERIOR ELEVATIONS
A13	EXTERIOR ELEVATIONS
A14	BUILDING SECTIONS
A15	TRASH MANAGEMENT PLAN
A16	COLOR & MATERIALS
A17	PHOTOMETRICS
TM1	PROPOSED SUBDIVISION PLAN & NOTES
TM2	SITE PHOTOGRAPHS
TM3	EXISTING CONDITIONS MAP & PRELIMINARY DEMO PLAN
TM4	PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
TM5	PRELIMINARY CONSTRUCTION / STAGING PLAN
L1	LANDSCAPE PLAN
L2	IRRIGATION PLAN
L3	LANDSCAPE DETAILS
L4	LANDSCAPE SPECIFICATIONS
L5	LANDSCAPE SPECIFICATIONS
L6	LANDSCAPE SPECIFICATIONS
L7	PLANT PALETTE



CONCEPTUAL PERSPECTIVE



PROJECT SITE



VICINITY MAP

399,235 44 Sunnyside Avenue
Campbell, CA
July 07, 2023

COVER SHEET

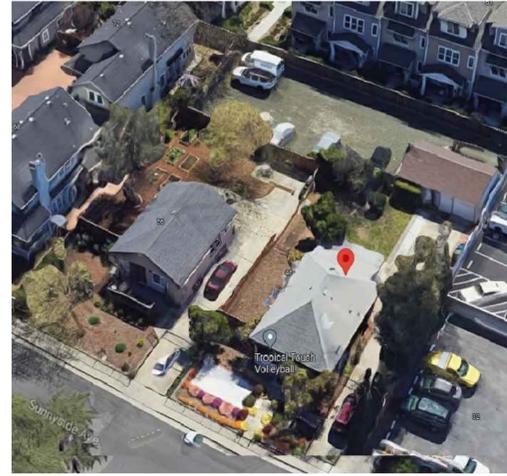
A01

SDG Architects, Inc.
3361 Walnut Blvd, Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com

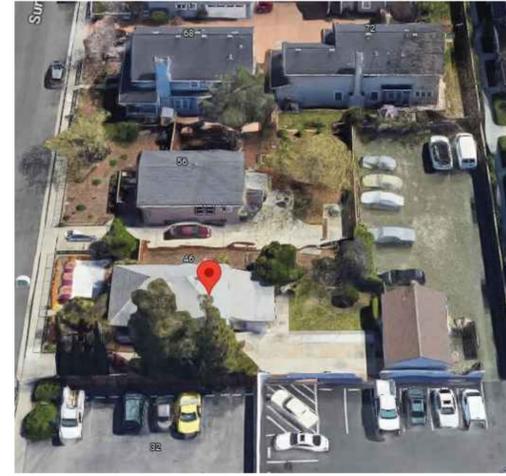




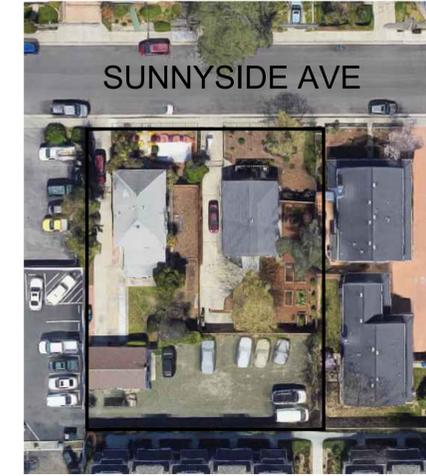
VIEW 1



VIEW 2



VIEW 3



KEY MAP

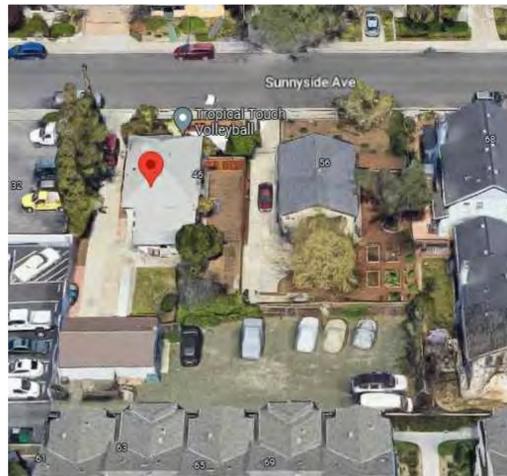
VIEW 2
↙

VIEW 1 and 6
↓

VIEW 3 →

← VIEW 5

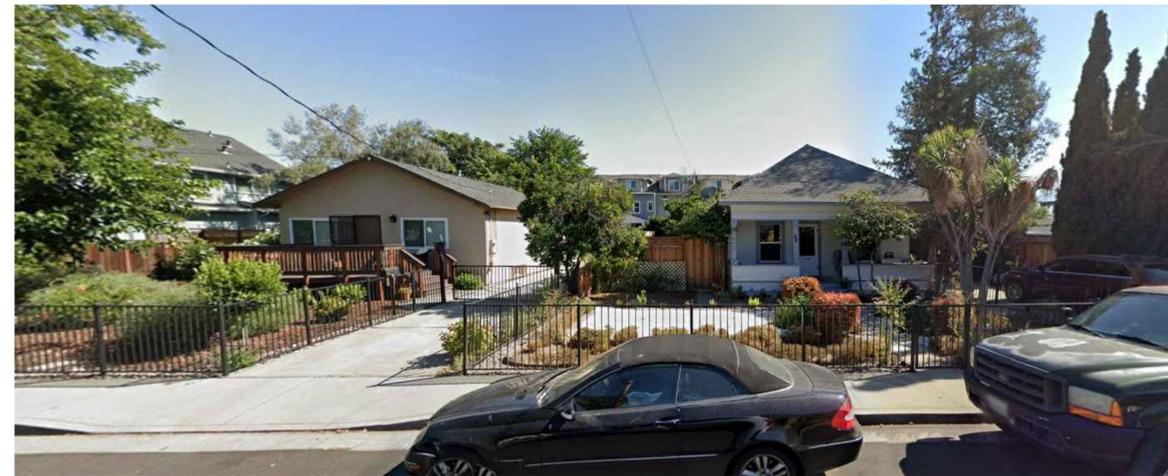
↑
VIEW 4



VIEW 4



VIEW 5

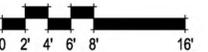


VIEW 6





399,235 44 Sunnyside Avenue
Campbell, CA
July 07, 2023

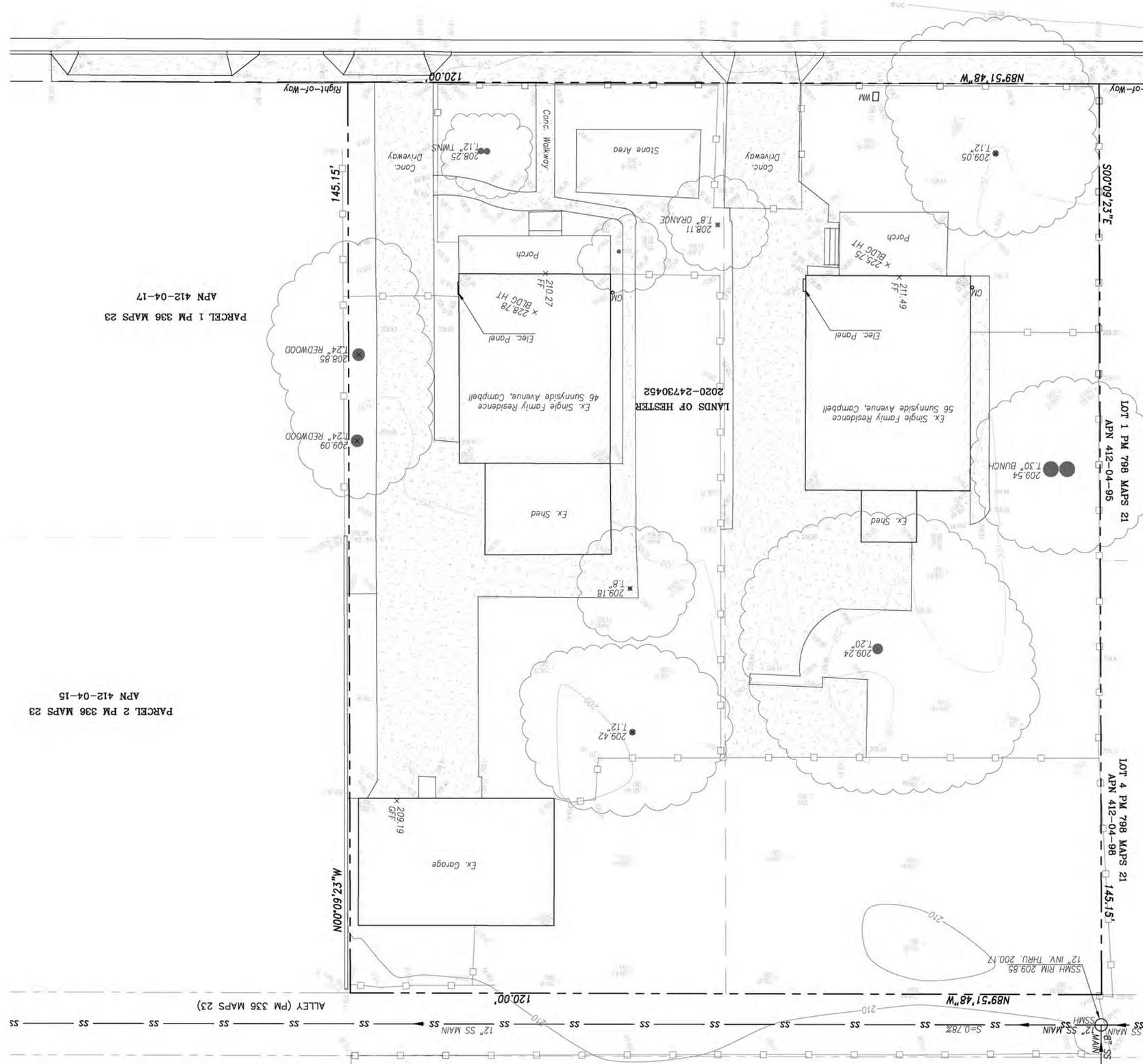


STREETSCAPE
A03

SDG Architects, Inc.
3361 Walnut Blvd, Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com



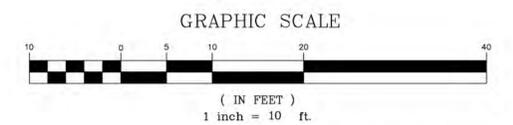
SUNNYSIDE AVENUE (WIDTH VARIES)



LEGEND

SYMBOL	DESCRIPTIONS	ABBREVIATIONS
---	BOUNDARY / RIGHT-OF-WAY LINE	AC AIR CONDITIONER UNIT
---	EASEMENT LINE	AD AREA DRAIN
---	CENTERLINE (Q)	AP ASPHALT PAVEMENT
---	RETAINING WALL	BFP BACKFLOW PREVENTOR
---	SANITARY SEWER LINE AND MANHOLE OR CLEANOUT	BSI BUILDING SETBACK LINE
---	PERCENT GRADE	BSW BACK OF WALK
---	EXISTING GRADE ELEVATION	BW BOTTOM OF WALL (EXPOSED FACE)
---	EXISTING CONTOUR w/ ELEVATION	CB CATCH BASIN
---	EXISTING TREE w/ DBH	CONC. CONCRETE
---		DBH DIAMETER AT BREAST HEIGHT
---		DI DRAINAGE INLET
---		DM DEADMAN ANCHOR
---		EP EDGE OF PAVEMENT
---		EX EXISTING
---		FF FINISHED FLOOR ELEVATION
---		FG FINISHED GARAGE ELEVATION
---		FH FIRE HYDRANT
---		FL FLOW LINE ELEVATION
---		FW FACE OF WALL
---		GM GAS METER
---		JP JOINT POLE
---		MB MAILBOX
---		O/H OVERHEAD
---		PB PULLBOX
---		PL PROPERTY LINE
---		PSE PUBLIC SERVICE EASMENT
---		PUE PUBLIC UTILITY EASEMENT
---		R= RADIUS OF CURVE
---		Δ= INCLUDED ANGLE OF CURVE
---		L= LENGTH OF CURVE
---		SSCO SANITARY SEWER CLEAN-OUT
---		SSMH SANITARY SEWER MANHOLE
---		VG VALLEY GUTTER
---		SL STREET LIGHT
---		WCE WIRE CLEARANCE EASEMENT
---		WM WATER METER
---		WV WATER VALVE
---		WW WALKWAY

PREPARED BY:
STERLING CONSULTANTS
 46560 FREMONT BOULEVARD, SUITE NO. 205
 FREMONT, CA 94538
 1sterlingconsultants@gmail.com PHONE: 510.344.8955



399,235 44 Sunnyside Avenue
 Campbell, CA
 July 07, 2023

EXISTING CONDITIONS
 A04

SDG Architects, Inc.
 3361 Walnut Blvd. Suite 120
 Brentwood, CA 94513
 925.634.7000 | sdgarchitectsinc.com



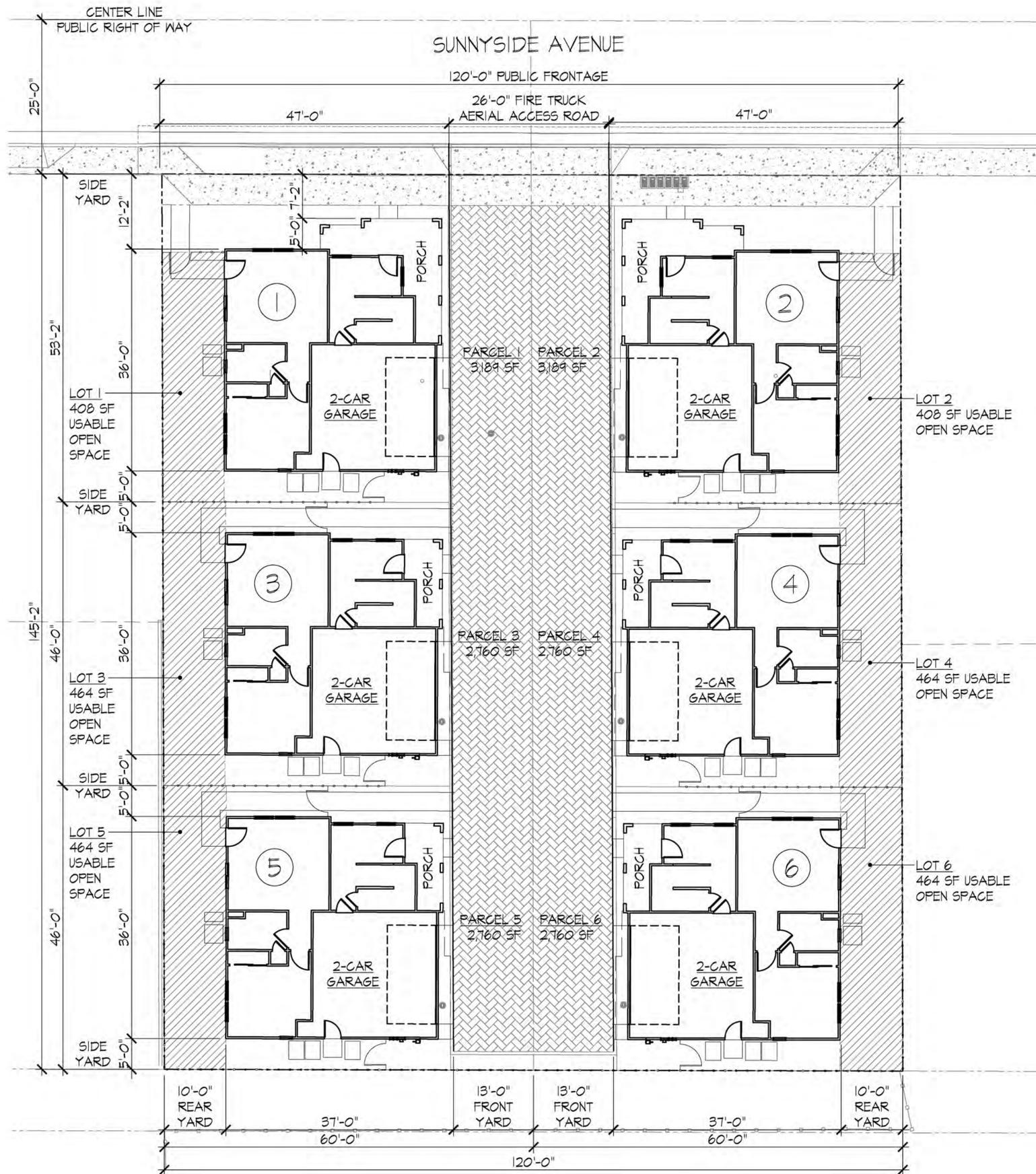


SUNNYSIDE AVENUE

PROPOSED
SITE

WINCHESTER BLVD.





DENSITY	
Maximum Density	13 DU/AC
Net Lot Area	17,418 S.F.
Public Right of Way	3,000 S.F.
Gross Site Area	0.47 ACRES 20,418 S.F.
Total Dwelling Units	6 Dwelling Units

FLOOR AREA RATIO				
Lot	Porch	Dwelling	Garage	Total
1	183 S.F.	3,002 S.F.	427 S.F.	3,612 S.F.
2	183 S.F.	3,002 S.F.	427 S.F.	3,612 S.F.
3	73 S.F.	3,002 S.F.	427 S.F.	3,502 S.F.
4	73 S.F.	3,002 S.F.	427 S.F.	3,502 S.F.
5	73 S.F.	3,002 S.F.	427 S.F.	3,502 S.F.
6	73 S.F.	3,002 S.F.	427 S.F.	3,502 S.F.
Total Area	658 S.F.	18,012 S.F.	2,562 S.F.	21,232 S.F.
Floor Area Ratio Proposed				1.22 F.A.R.

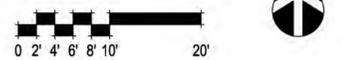
LOT COVERAGE					
Lot	Net Lot Area	Porch	1st Floor	Garage	Total
1	3,189 S.F.	183 S.F.	735 S.F.	427 S.F.	1,345 S.F.
2	3,189 S.F.	183 S.F.	735 S.F.	427 S.F.	1,345 S.F.
3	2,760 S.F.	73 S.F.	735 S.F.	427 S.F.	1,235 S.F.
4	2,760 S.F.	73 S.F.	735 S.F.	427 S.F.	1,235 S.F.
5	2,760 S.F.	73 S.F.	735 S.F.	427 S.F.	1,235 S.F.
6	2,760 S.F.	73 S.F.	735 S.F.	427 S.F.	1,235 S.F.
Total Area	17,418 S.F.	658 S.F.	4,410 S.F.	2,562 S.F.	7,630 S.F.
Floor Area Ratio Proposed					44%

OPEN SPACE			
Lot	Net Lot Area	Lot Coverage	Total
1	3,189 S.F.	1,345 S.F.	1,844 S.F.
2	3,189 S.F.	1,345 S.F.	1,844 S.F.
3	2,760 S.F.	1,235 S.F.	1,525 S.F.
4	2,760 S.F.	1,235 S.F.	1,525 S.F.
5	2,760 S.F.	1,235 S.F.	1,525 S.F.
6	2,760 S.F.	1,235 S.F.	1,525 S.F.
Total Open Space Provided	17,418 S.F.	7,630 S.F.	9,788 S.F.
Required Open Space		300 S.F. / UNIT	1,828 S.F.

SITE CIRCULATION

- 1) VEHICLES, PEDESTRIANS, AND CYCLISTS TRAFFIC PASSES BY PROJECT SITE ON SUNNYSIDE AVENUE
- 2) RESIDENTS PARK IN THEIR RESPECTIVE GARAGES
- 3) ADU RESIDENTS AND GUESTS PARK ON SUNNYSIDE AVENUE
- 4) ADA RESIDENTS WALK TO THEIR UNITS ON THE FIRE TRUCK AERIAL ACCESS ROAD
- 5) GUESTS WALK TO THE DESIRED UNIT ON THE FIRE TRUCK AERIAL ACCESS ROAD

NOTE
FOR REFERENCE ONLY, SEE CIVIL PLANS FOR MORE INFORMATION



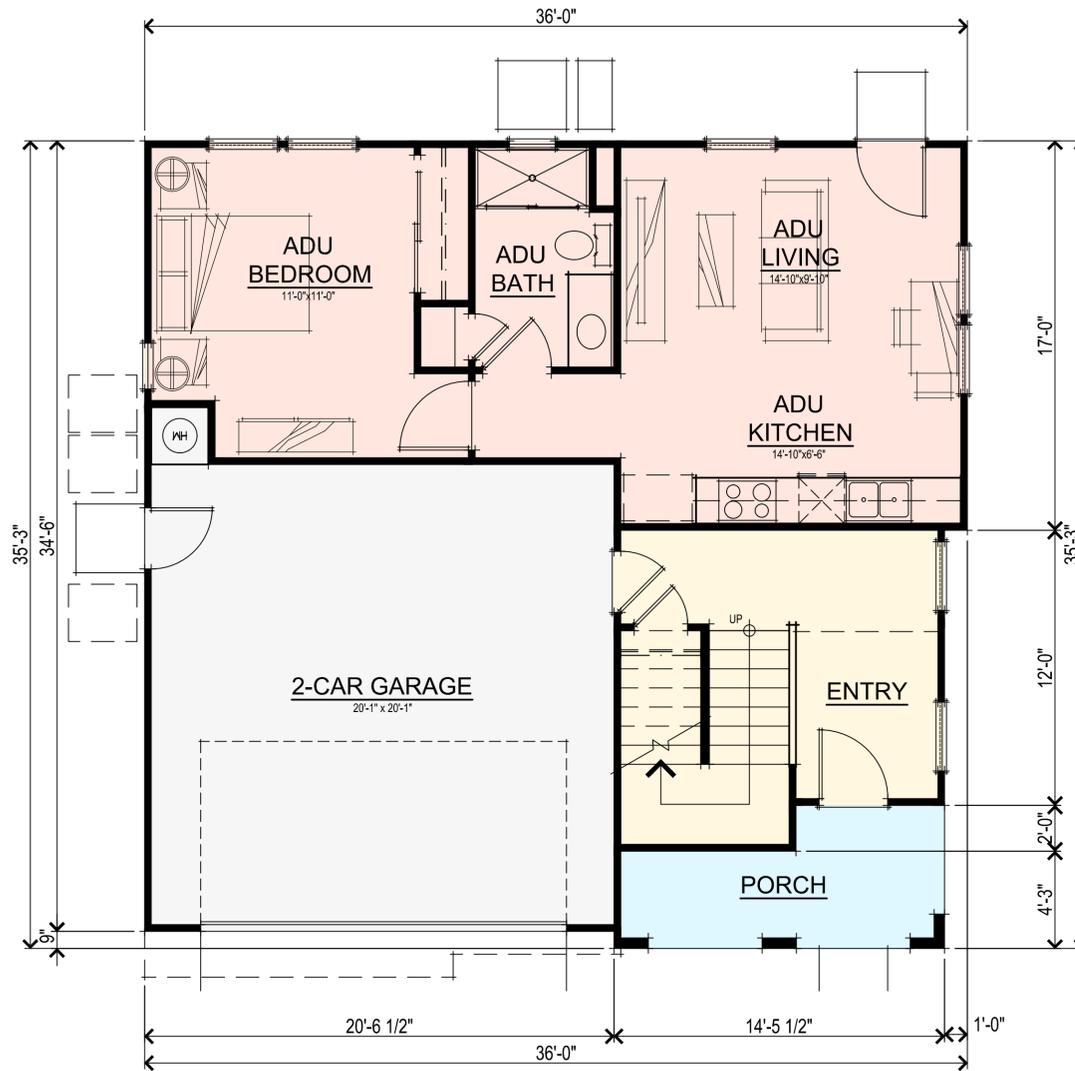
399,235 44 Sunnyside Avenue
Campbell, CA
July 07, 2023

ARCHITECTURAL SITE PLAN
A06

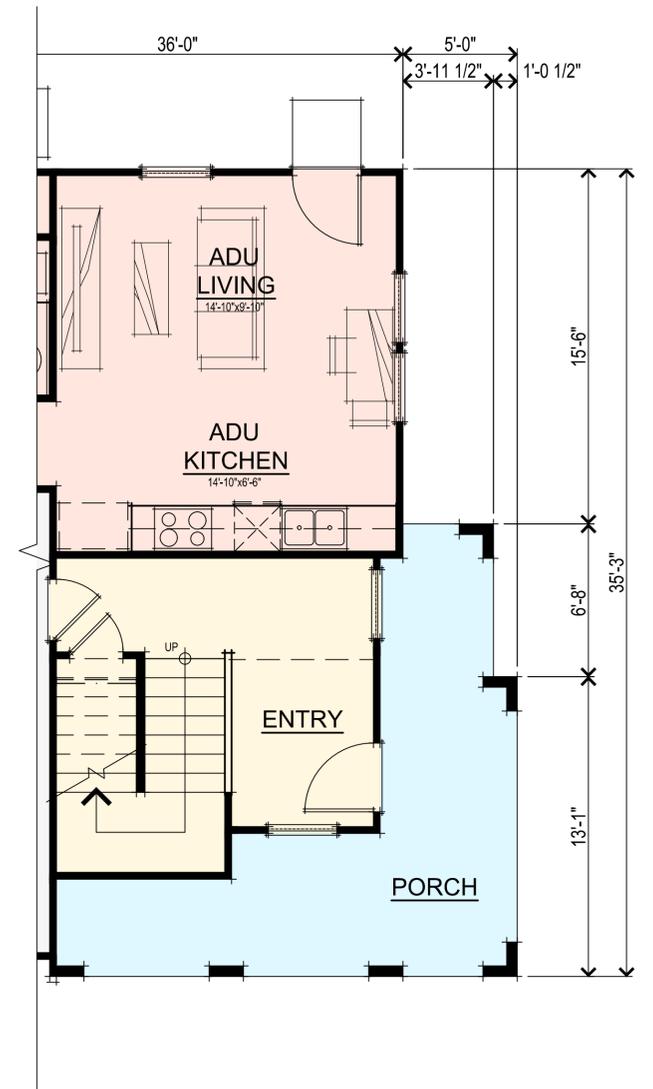
SDG Architects, Inc.
3361 Walnut Blvd. Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com



OPTIONAL
FIRST FLOOR PLAN



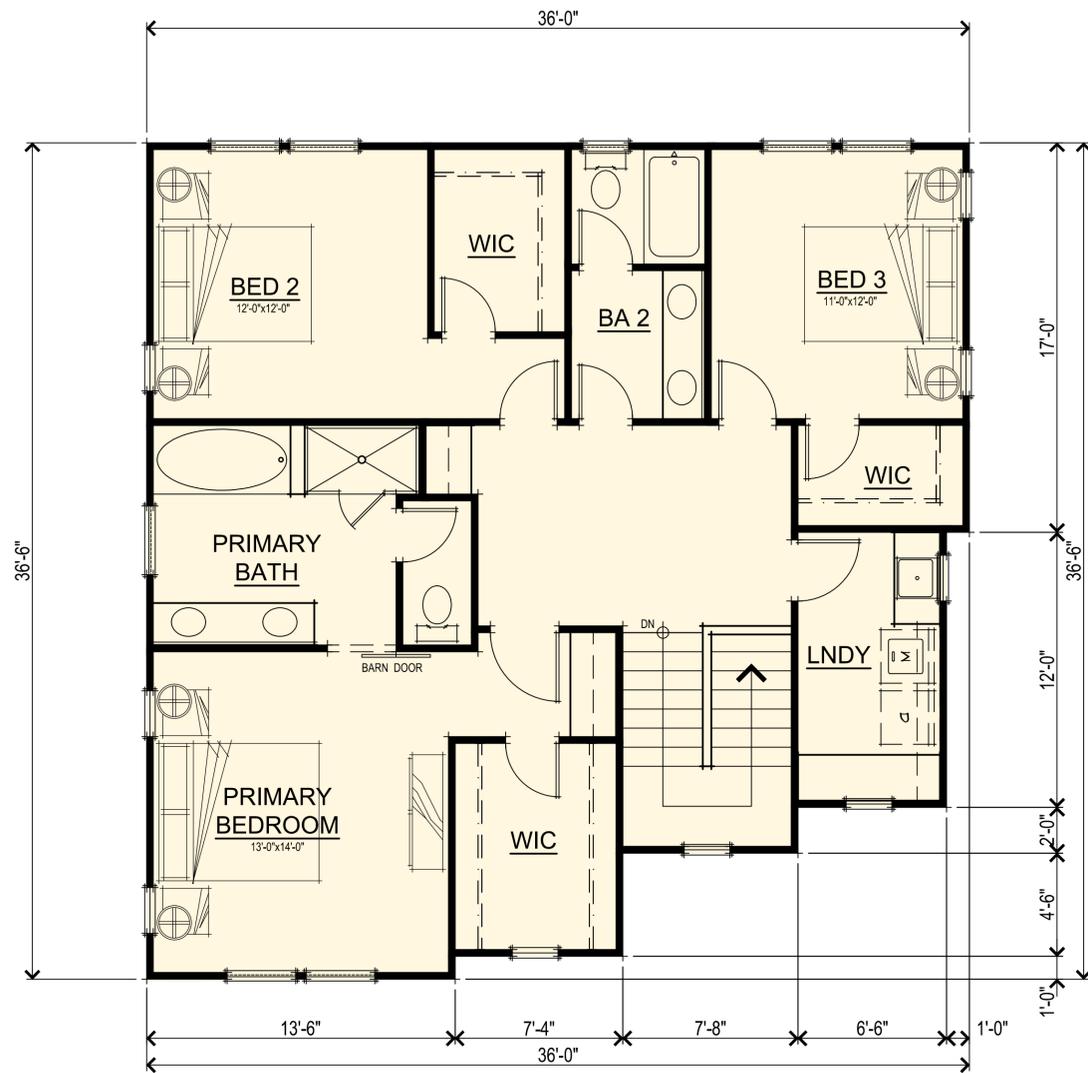
FIRST FLOOR PLAN



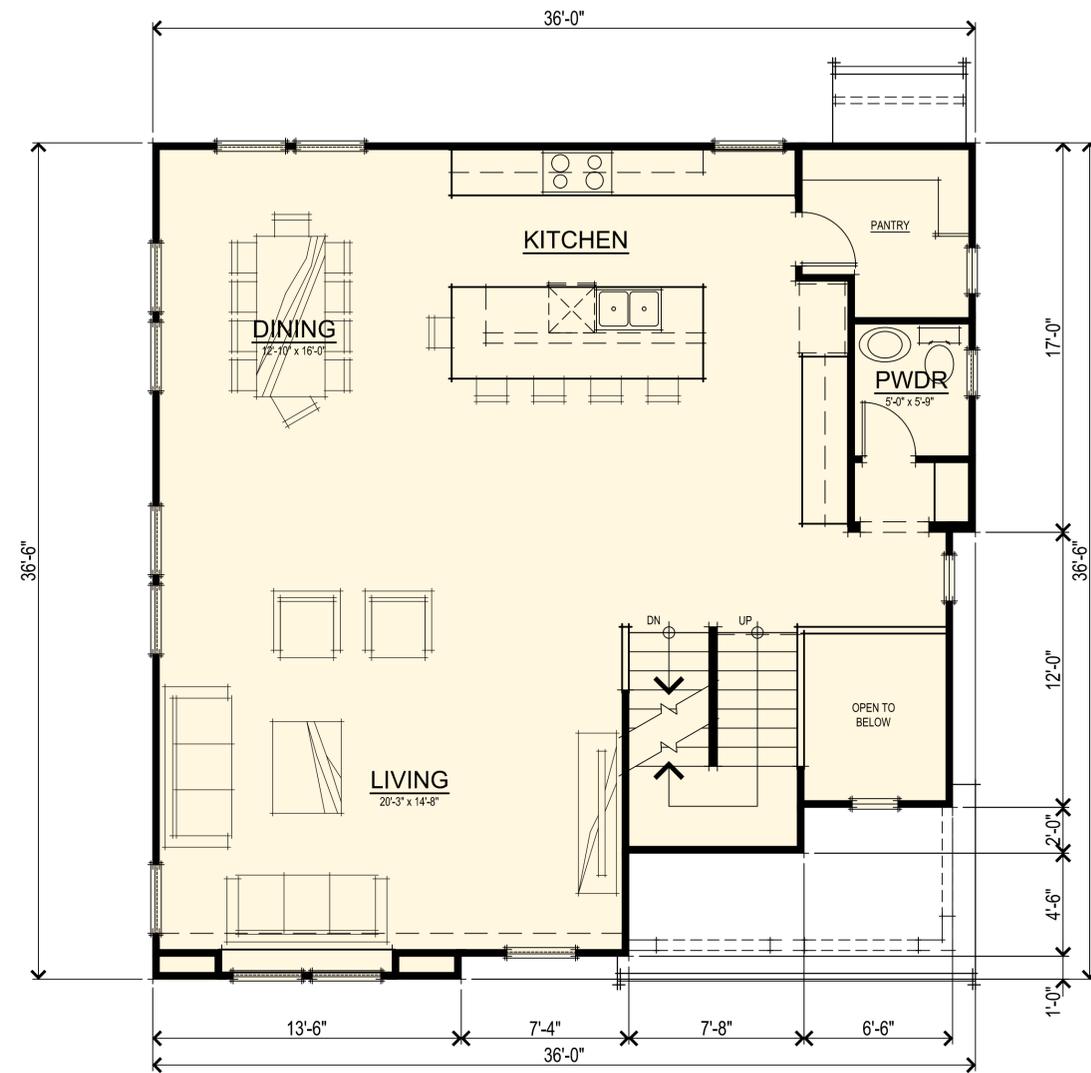
ALT. ENTRY PLAN

SQUARE FOOTAGES		COLOR LEGEND	
FIRST FLOOR	192 SQ. FT.		LIVING
SECOND FLOOR	1133 SQ. FT.		ADU
THIRD FLOOR	1134 SQ. FT.		GARAGE
TOTAL LIVING	2459 SQ. FT.		PORCH
ADU	544 SQ. FT.		
2-CAR GARAGE	427 SQ. FT.		
PORCH	73 SQ. FT.		
ALT. ENTRY PORCH	183 SQ. FT.		





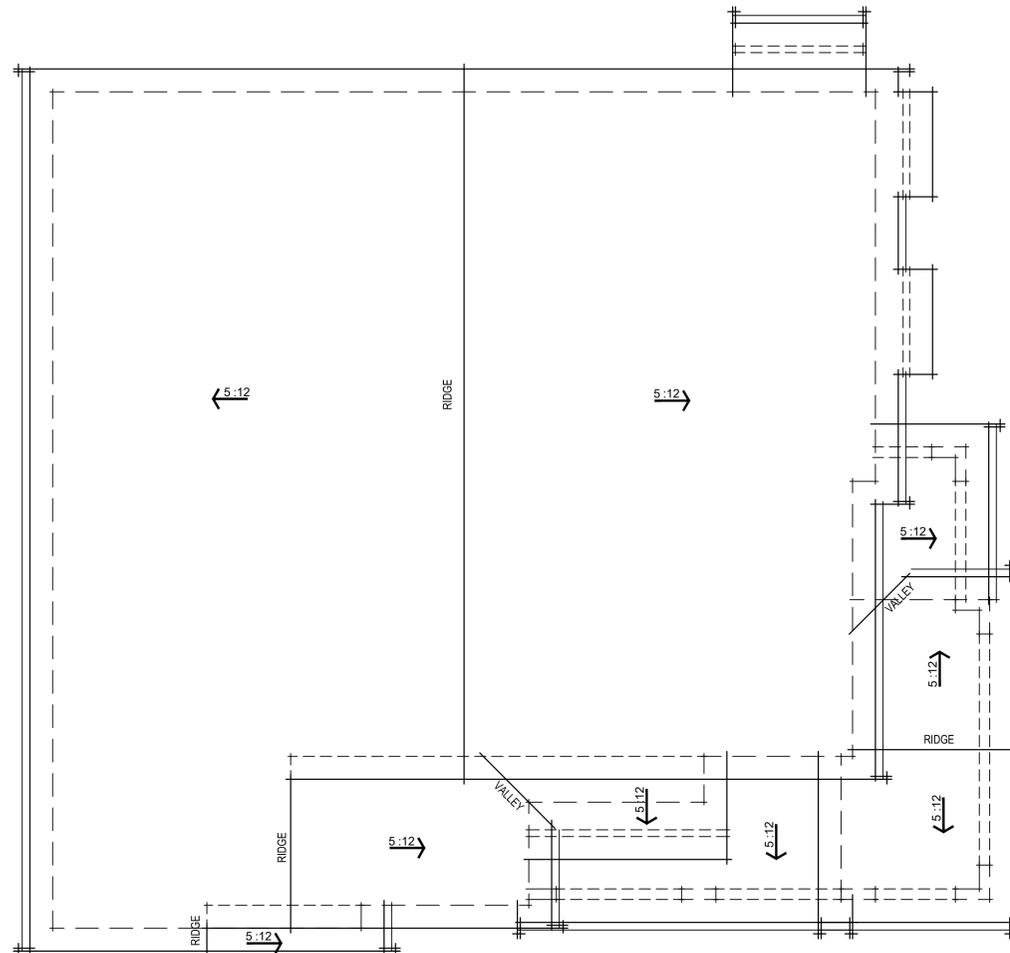
THIRD FLOOR PLAN



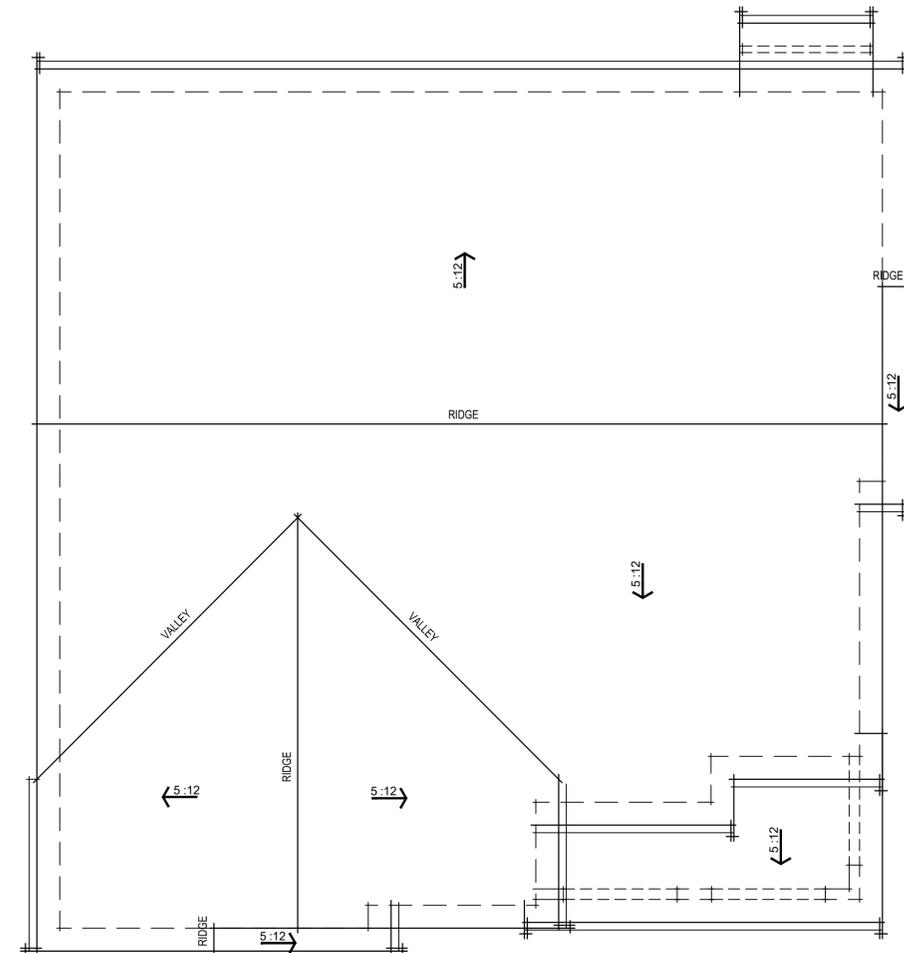
SECOND FLOOR PLAN

COLOR LEGEND	
	LIVING
	ADU
	GARAGE
	PORCH



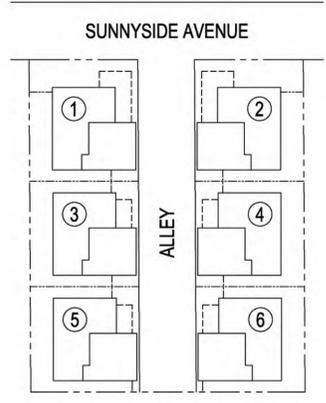


ALT. ENTRY ROOF PLAN



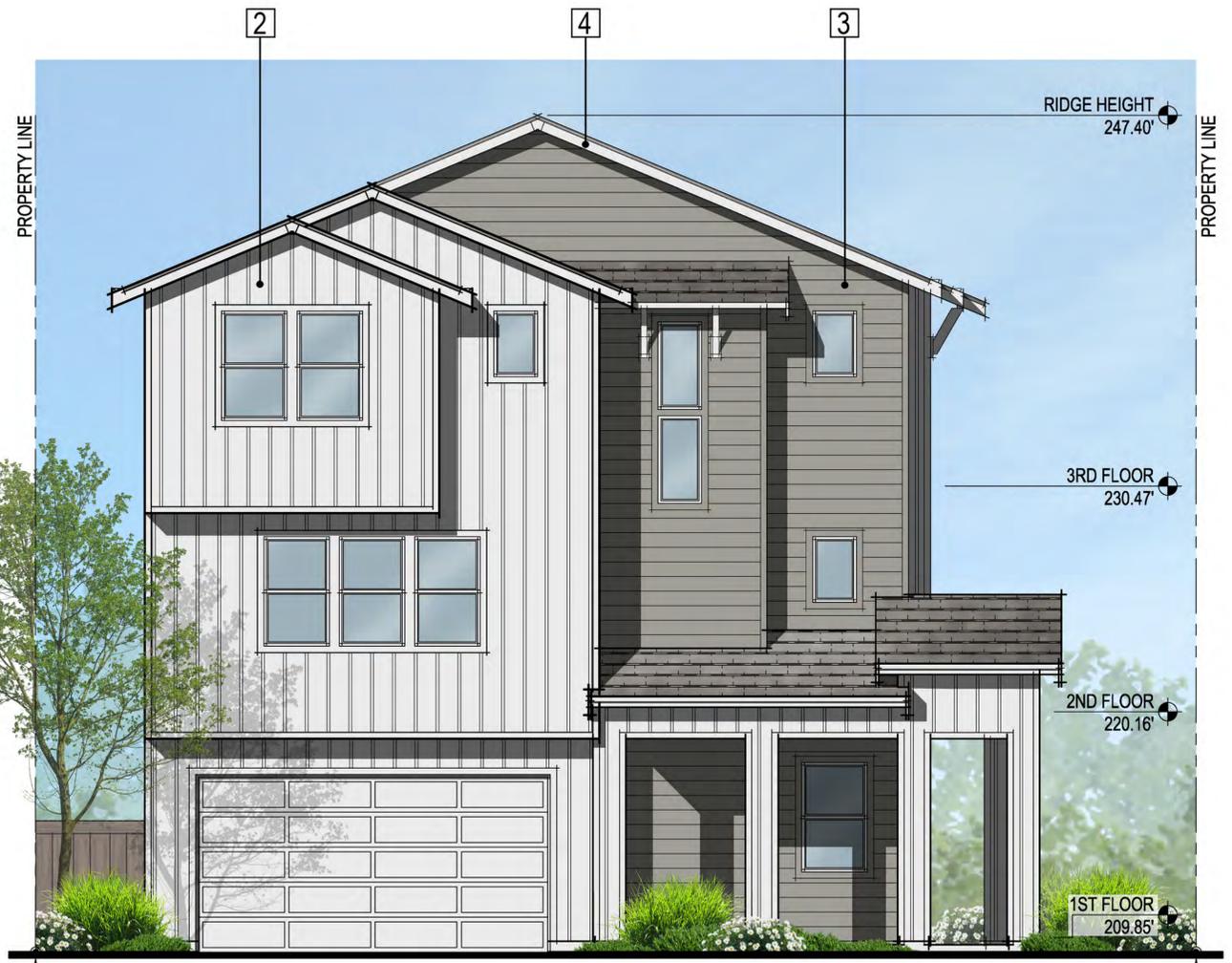
ROOF PLAN





SITE KEY

NOTE: SEE SHEET A16 FOR COLOR & MATERIALS



LOT 1 - EXIST. GRADE: 208.80' / FINISH GRADE: 209.15'
 LOT 2 - EXIST. GRADE: 208.80' / FINISH GRADE: 209.15'

LOT 1 - EXIST. GRADE: 208.12' / FINISH GRADE: 209.15'
 LOT 2 - EXIST. GRADE: 208.12' / FINISH GRADE: 209.15'

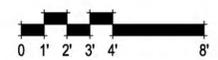
LOT 1 & 2 ALLEY WAY ELEVATION



LOT 1 - EXIST. GRADE: 208.12' / FINISH GRADE: 209.15'
 LOT 2 - EXIST. GRADE: 208.12' / FINISH GRADE: 209.15'

LOT 1 - EXIST. GRADE: 207.89' / FINISH GRADE: 209.15'
 LOT 2 - EXIST. GRADE: 208.34' / FINISH GRADE: 209.15'

LOT 1 & 2 STREET SIDE ELEVATION

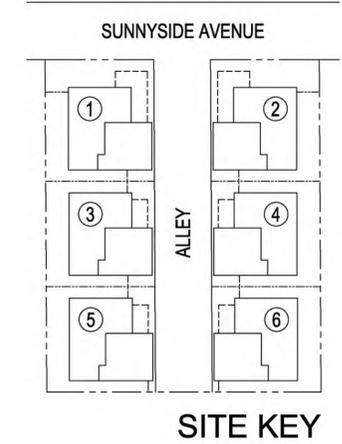


399,235 44 Sunnyside Avenue
 Campbell, CA
 July 07, 2023

ALT. ENTRY EXTERIOR ELEVATIONS
 A10

SDG Architects, Inc.
 3361 Walnut Blvd. Suite 120
 Brentwood, CA 94513
 925.634.7000 | sdgarchitectsinc.com





LOT 1 - EXIST. GRADE: 207.89' / FINISH GRADE: 209.15'
 LOT 2 - EXIST. GRADE: 208.34' / FINISH GRADE: 209.15'

LOT 1 - EXIST. GRADE: 208.74' / FINISH GRADE: 209.15'
 LOT 2 - EXIST. GRADE: 208.85' / FINISH GRADE: 209.15'

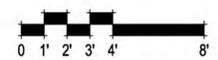
LOT 1 & 2 REAR ELEVATION



LOT 1 - EXIST. GRADE: 208.74' / FINISH GRADE: 209.15'
 LOT 2 - EXIST. GRADE: 208.85' / FINISH GRADE: 209.15'

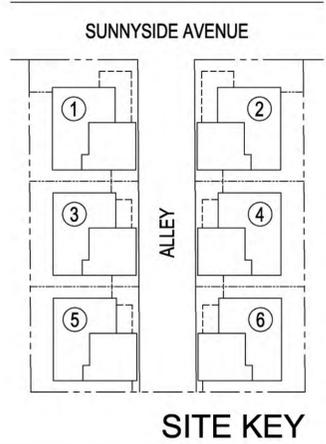
LOT 1 - EXIST. GRADE: 208.80' / FINISH GRADE: 209.15'
 LOT 2 - EXIST. GRADE: 208.80' / FINISH GRADE: 209.15'

LOT 1 & 2 LEFT SIDE ELEVATION



399,235 44 Sunnyside Avenue
 Campbell, CA
 July 07, 2023

ALT. ENTRY EXTERIOR ELEVATIONS
 A11



LOT 3 - EXIST. GRADE: 209.48' / FINISH GRADE: 209.75'
 LOT 4 - EXIST. GRADE: 209.48' / FINISH GRADE: 209.75'
 LOT 5 - EXIST. GRADE: 210.16' / FINISH GRADE: 210.20'
 LOT 6 - EXIST. GRADE: 210.16' / FINISH GRADE: 210.20'

LOT 3 - EXIST. GRADE: 208.80' / FINISH GRADE: 209.75'
 LOT 4 - EXIST. GRADE: 208.80' / FINISH GRADE: 209.75'
 LOT 5 - EXIST. GRADE: 209.48' / FINISH GRADE: 210.20'
 LOT 6 - EXIST. GRADE: 209.48' / FINISH GRADE: 210.20'

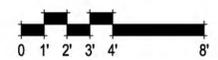
LOT 3, 4, 5 & 6 ALLEY WAY ELEVATION



LOT 3 - EXIST. GRADE: 208.80' / FINISH GRADE: 209.75'
 LOT 4 - EXIST. GRADE: 208.80' / FINISH GRADE: 209.75'
 LOT 5 - EXIST. GRADE: 209.48' / FINISH GRADE: 210.20'
 LOT 6 - EXIST. GRADE: 209.48' / FINISH GRADE: 210.20'

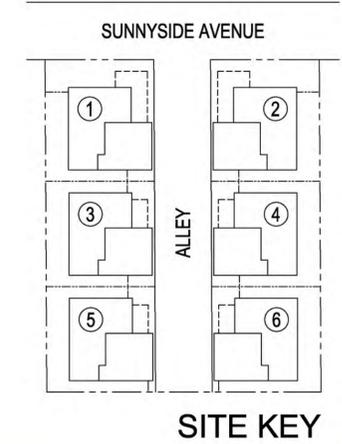
LOT 3 - EXIST. GRADE: 208.74' / FINISH GRADE: 209.75'
 LOT 4 - EXIST. GRADE: 208.85' / FINISH GRADE: 209.75'
 LOT 5 - EXIST. GRADE: 209.59' / FINISH GRADE: 210.20'
 LOT 6 - EXIST. GRADE: 209.36' / FINISH GRADE: 210.20'

LOT 3, 4, 5 & 6 RIGHT ELEVATION



399.235 44 Sunnyside Avenue
 Campbell, CA
 July 07, 2023

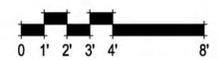
EXTERIOR ELEVATIONS
 A12



LOT 3, 4, 5 & 6 REAR ELEVATION



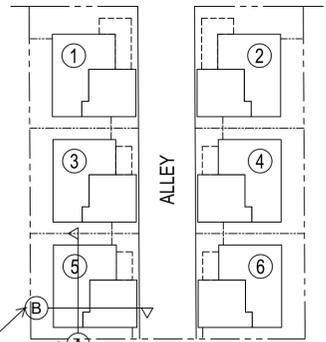
LOT 3, 4, 5 & 6 LEFT ELEVATION



399,235 44 Sunnyside Avenue
Campbell, CA
July 07, 2023

EXTERIOR ELEVATIONS
A13

SUNNYSIDE AVENUE

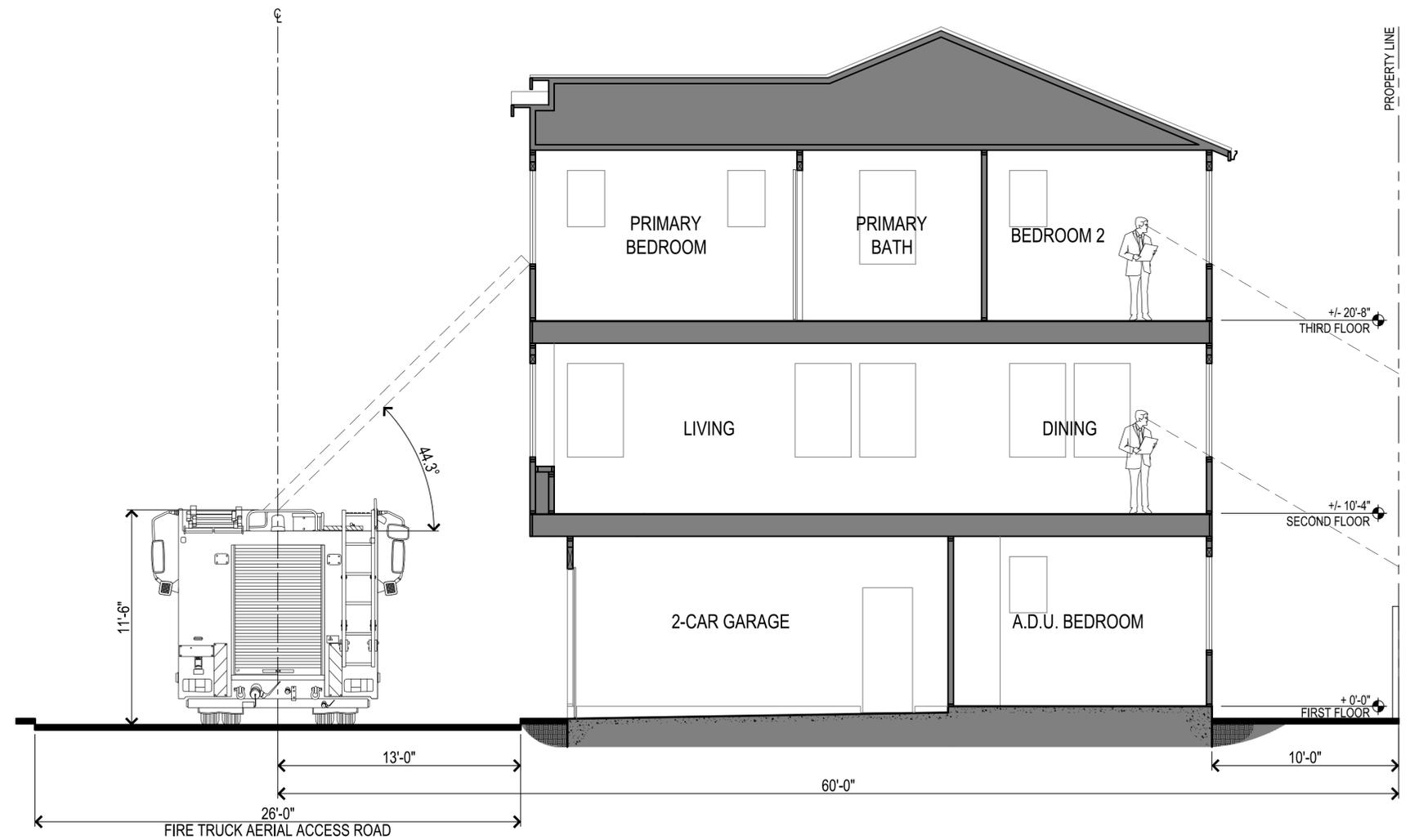


SECTION CUTS

SITE KEY



SECTION A
TYPICAL ALL LOTS



SECTION B
TYPICAL ALL LOTS



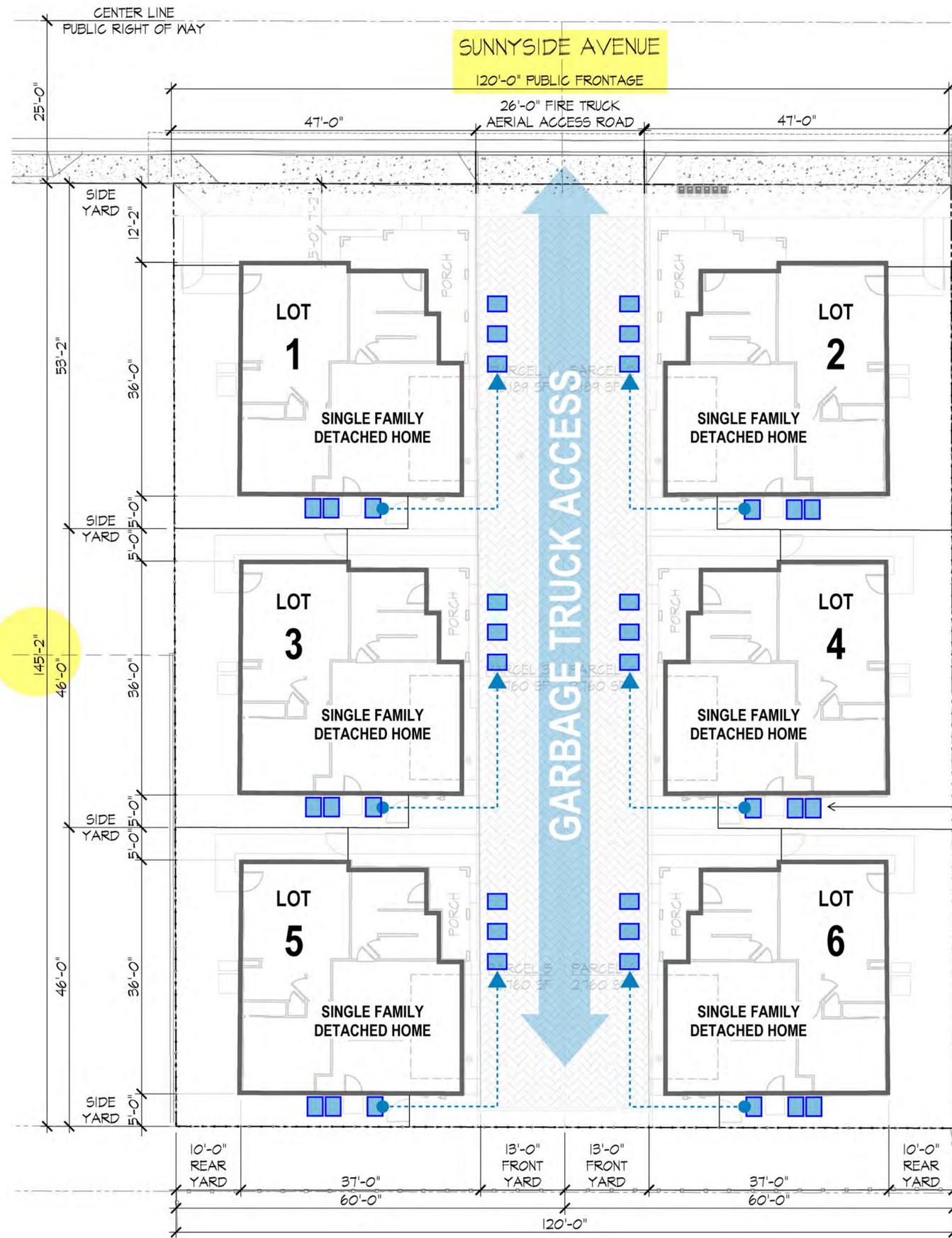
399,235 44 Sunnyside Avenue
Campbell, CA
July 07, 2023

BUILDING SECTIONS

A14

SDG Architects, Inc.
3361 Walnut Blvd, Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com



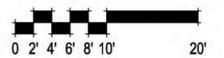


DENSITY	
Maximum Density	13 DU/AC
Net Lot Area	17,418 S.F.
Public Right of Way	3,000 S.F.
Gross Site Area	0.47 ACRES 20,418 S.F.
Total Dwelling Units	6 Dwelling Units



TRASH, RECYCLABLES, AND ORGANIC BINS ARE STORED BEHIND FENCE, AND STAGED IN FRONT OF HOUSE ON WEEKLY COLLECTION DAY, TYPICAL OF 6 HOUSES

399,235 44 Sunnyside Avenue
Campbell, CA
July 07, 2023



TRASH MANAGEMENT PLAN
A15

SDG Architects, Inc.
3361 Walnut Blvd. Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com



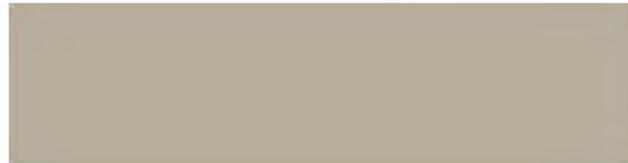
COLOR SCHEME



1. CERTAINTEED ROOFING
GEORGETOWN GRAY



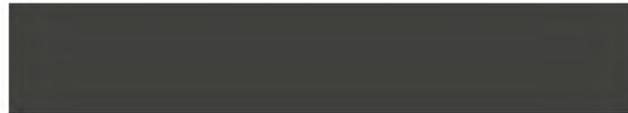
2. BODY 1
SW 7551 GREEK VILLA



3. BODY 2
SW 7644 GATEWAY GRAY



4. FASCIA
SW 7551 GREEK VILLA



5. ENTRY DOOR / ACCENT
SW 7069 IRON ORE

LEGEND

SYMBOL	DESCRIPTION
	EXISTING HINGE LINE/TOP/TOE
	PROPOSED HINGE LINE/TOP/TOE
	CONCRETE V-DITCH
	GRADED SWALE
	CONTOUR LINES
	DAYLIGHT LINE/LIMIT OF GRADING
	PROPERTY LINE/ BOUNDARY / RIGHT-OF-WAY
	EASEMENT LINE
	CENTERLINE (CL)
	FENCE (CHAIN LINK)
	DRIVEWAY
	CURB, GUTTER & SIDEWALK
	RETAINING WALL (AS DESCRIBED) w/ SUB-DRAIN
	CITY STANDARD BARRICADE
	WATER LINE AND VALVE
	SANITARY SEWER LINE AND MANHOLE OR CLEANOUT
	STORM DRAIN LINE AND MANHOLE
	SOLID SUBDRAIN WITH CLEANOUTS
	WATER LATERAL / METER
	SANITARY SEWER CLEANOUT (SSCO)
	AREA DRAIN WITH SUMP BOTTOM (NDS 1212 OR APPROVED EQUAL)
	FLAT DRAIN INLET AS SPECIFIED
	FIRE HYDRANT
	STREETLIGHT STANDARD WITH MAST ARM AND LUMINAIRE (ELECTROLIER)
	RELOCATED STREETLIGHT STANDARD WITH MAST ARM AND LUMINAIRE (ELECTROLIER)
	PULL BOX (AS NOTED)
	ELECTRICAL CONDUIT
	GAS MAIN
	TELEPHONE CONDUIT
	STREET MONUMENT
	BOLLARD
	JOINT POLE w/ GUY ANCHOR
	PERCENT GRADE
	VERTICAL GRADE BREAK (PROFILE)
	BIO-RETENTION AREA NUMBER
	TREE

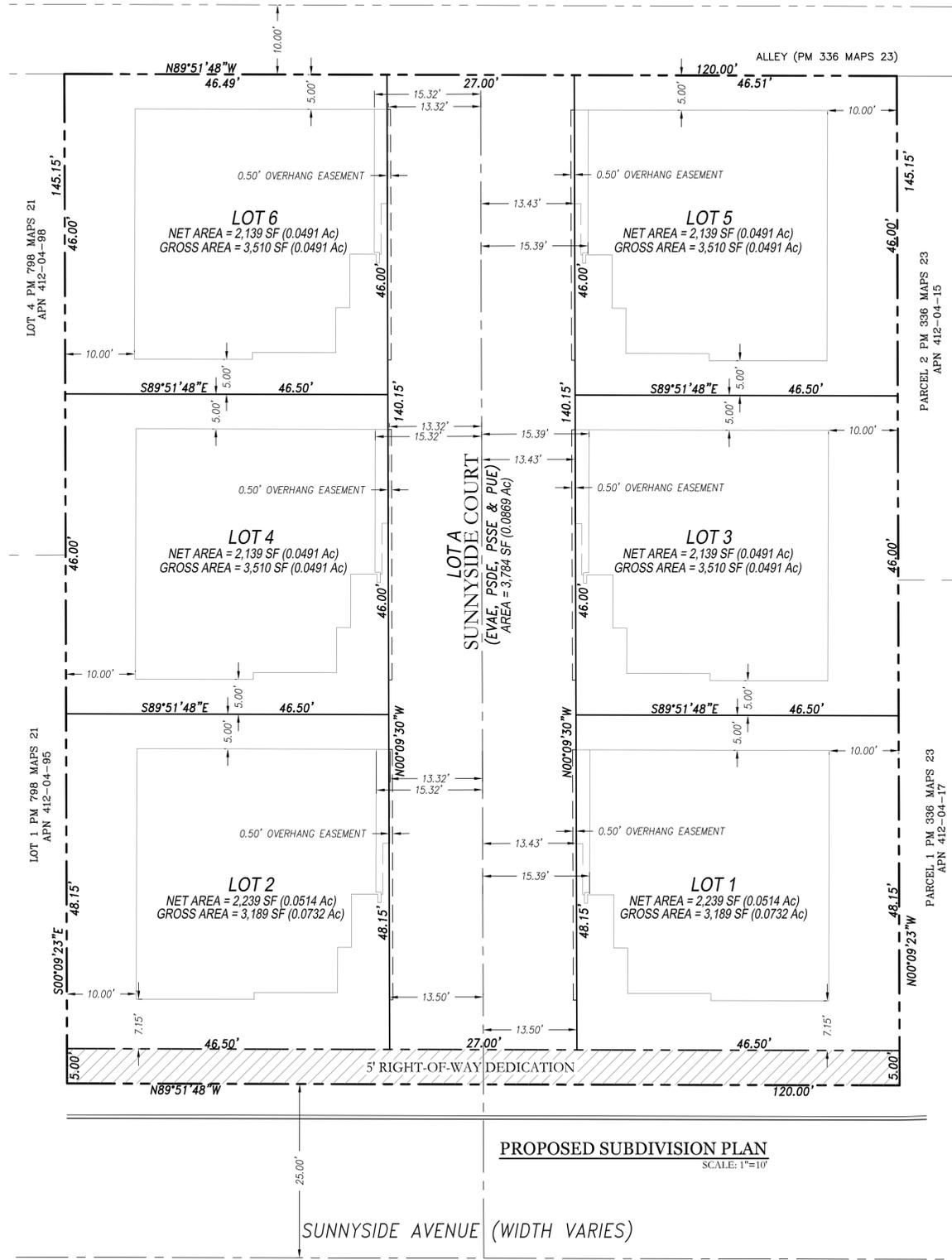
ABBREVIATIONS

AB	AGGREGATE BASE	N/B	NORTH BOUND
AC	ASPHALT CONCRETE	P	PAD
AD	AREA DRAIN	PA	PLANTER AREA
BC	BEGIN CURVE	P/L	PROPERTY LINE
BM	BENCHMARK	P/C	POINT OF COMPOUND CURVATURE
BMP	BEST MANAGEMENT PRACTICE	PERF	PERFORATED
BOT	BOTTOM	PIE	PRIVATE INGRESS & EGRESS EASEMENT
BSW	BACK OF SIDEWALK	PRC	POINT OF REVERSE CURVATURE
BVC	BEGIN VERTICAL CURVE	PROJ	PROJECTED
BW	BOTTOM OF WALL (EXPOSED)	PSDE	PRIVATE STORM DRAIN EASEMENT
CL	CENTER LINE	PUE	PUBLIC UTILITY EASEMENT
CB	CATCH BASIN	PV	PAVEMENT/ASPHALT GRADE
CO	CLEAN OUT	PVI	POINT OF VERTICAL INTERSECTION
CR	CURB RETURN	R=	RADIUS OF CURVE
DI	DRAIN INLET	Δ	INCLUDED ANGLE OF CURVE
DS	ROOF DOWN SPOUT	L=	ARC LENGTH OF CURVE
EC	END CURVE	RCP	REINFORCED CONCRETE PIPE
EL	ELEVATION	RIM	RIM ELEVATION
EP	EDGE OF PAVEMENT	R/W	RIGHT OF WAY
EVC	END VERTICAL CURVE	S	SLOPE
EX	EXISTING	S/B	SOUTH BOUND
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SD	STORM DRAIN
FC, F/C	FACE OF CURB	SSCO	STORM DRAIN CLEANOUT
FDC	FIRE DEPARTMENT CONNECTION	SDC	STORM DRAIN EASEMENT
FF	FINISHED FLOOR	SDM	STORM DRAIN MANHOLE
FG	FINISHED GRADE	SDMH	STORM DRAIN MANHOLE
FH	FIRE HYDRANT	SE	SIDEWALK EASEMENT
FL	FLOW LINE	SF	SQUARE FEET
FOGLN	FOG LINE (WHITE STRIPE)	S.O.	SIDE OPENING
GB	GRADE BREAK	SS	SANITARY SEWER
GI	GREASE INTERCEPTOR	SSE	SANITARY SEWER EASEMENT
GM	GAS METER	SSCO	SANITARY SEWER CLEANOUT
GR	GRATE ELEVATION	SSM	SANITARY SEWER MANHOLE
HP	HIGH POINT	STD	STANDARD
IR	IRRIGATION	TB	TOP OF BERM
IRR	IRRIGATION	TC	TOP OF CURB
JT	JOINT TRENCH	TCM	TREATMENT CONTROL MEASURE
LF	LINEAL FEET	TW	TOP OF WALL
LP	LIP OF GUTTER	TYC	TYPICAL
LP	LOW POINT	VC	VERTICAL CURVE
MAX	MAXIMUM	W	WATER LINE
MH	MANHOLE	WM	WATER METER

TENTATIVE TRACT MAP

44 & 56 SUNNYSIDE AVENUE

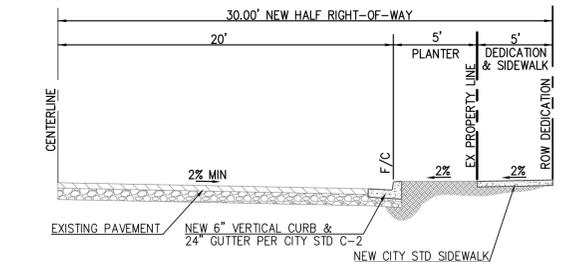
CITY OF CAMPBELL SANTA CLARA COUNTY CALIFORNIA



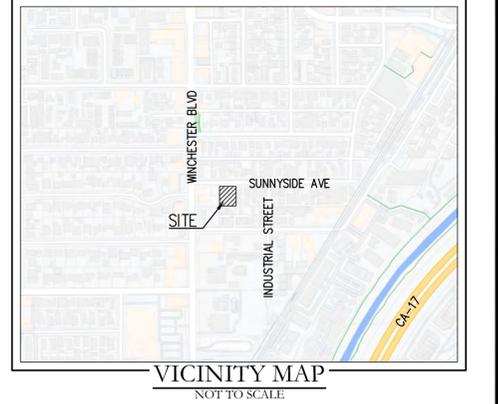
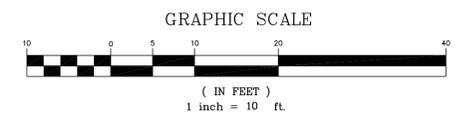
LOT AREA TABLE					
LOT	NET LOT AREA	GROSS LOT AREA (TO ROW CENTERLINE)	LOT DENSITY (UNITS PER GROSS ACRE)	LOT WIDTH	PUBLIC FRONTAGE
LOT 1	2,239 SF	3,189 SF	13.7	48.15'	46.50'
LOT 2	2,239 SF	3,189 SF	13.7	48.15'	46.50'
LOT 3	2,139 SF	3,510 SF	12.4	46.00'	N/A
LOT 4	2,139 SF	3,510 SF	12.4	46.00'	N/A
LOT 5	2,139 SF	3,510 SF	12.4	46.00'	N/A
LOT 6	2,139 SF	3,510 SF	12.4	46.00'	N/A
LOT A	3,784 SF	3,919 SF	N/A	N/A	27.00'
TOTAL	16,818 SF	20,418 SF	12.8		

DEVELOPMENT STANDARDS FOR ZONE P-D	
DENSITY	6 TO 13 UNITS/GROSS ACRE
PARKING PER UNIT	2 SPACES
GUEST PARKING PER UNIT	0.5 SPACES
TOTAL PARKING REQUIRED	15 SPACES
REQUIRED COVERED SPACES	10 SPACES

CONCEPTUAL R-M ZONING REQUIREMENTS	
MINIMUM PARCEL SIZE	3,000 SF
FLOOR AREA RATIO	50% MAXIMUM
BUILDING COVERAGE	40% MAXIMUM
FRONT YARD SETBACK	20 FEET
SIDE YARD SETBACK	5 FEET
REAR YARD SETBACK	5 FEET



SHEET INDEX	
SHEET NO.	DESCRIPTION
TM1	PROPOSED SUBDIVISION PLAN & NOTES
TM2	SITE PHOTOGRAPHY
TM3	EXISTING CONDITION MAP & PRELIMINARY DEMOLITION PLAN
TM4	PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
TM5	PRELIMINARY CONSTRUCTION/STAGING PLAN



- PROJECT GENERAL NOTES:**
- OWNER: CHAD HESTER
16111 ESCOBAR AVE
LOS GATOS, CA 95032
 - APPLICANT/DEVELOPER: GRANITE RIDGE PROPERTIES
225 DEMETER STREET
EAST PALO ALTO, CA 94303
 - CIVIL ENGINEER: STERLING CONSULTANTS
46560 FREMONT BLVD, SUITE 205
FREMONT, CA 94538
CONTACT: DILIP S. KISHNANI, P.E., QSD
TEL: 925-705-3633
 - LANDSCAPE ARCHITECT: TBD
 - SOILS ENGINEER: TBD
 - APNs: 412-04-018 & 412-04-019
 - EXISTING LAND USE: SINGLE FAMILY RESIDENTIAL
 - PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL
 - SITE AREA: 17,418 SF (0.3937 ACRES)
 - NUMBER OF LOTS: 6 FOR SALE LOTS
 - GENERAL PLAN: LOW-MEDIUM DENSITY RESIDENTIAL
 - EXISTING ZONING: P-D (PLANNED DEVELOPMENT)
 - PROPOSED ZONING: P-D
 - WATER SYSTEM: SAN JOSE WATER COMPANY
 - SEWER SYSTEM: WEST VALLEY SANITATION DISTRICT
 - GAS & ELECTRIC: PACIFIC GAS & ELECTRIC (P.G.&E.)
 - CABLE: COMCAST CABLE
 - TOPOGRAPHY: EXISTING TOPOGRAPHY IS BASED ON A FIELD SURVEY DONE BY STERLING CONSULTANTS IN OCTOBER 2022.
 - BOUNDARY: BOUNDARY AS SHOWN IS BASED ON A FIELD SURVEY DONE BY STERLING CONSULTANTS IN OCTOBER 2022.
 - STREETS: ACCESS TO THE PROPOSED LOTS IS THROUGH A PRIVATE DRIVEWAY LEADING TO SUNNYSIDE AVE.
 - FLOOD ZONE: ZONE X; PANEL NO. 06085C0237H
 - GRADING: PRELIMINARY GRADES FOR THE PROPOSED SUBDIVISION ARE SHOWN ON SHEET TM-3 & TM-4.
 - DIMENSIONS: LOT DIMENSIONS (SHOWN TO NEAREST TENTH OF A FOOT) AND AREAS SHOWN HEREIN ARE APPROXIMATE AND SUBJECT TO MINOR CHANGES DURING FINAL DESIGN.
 - CONTOURS: EXISTING CONTOURS ARE SHOWN.
 - UTILITIES: ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND. ALL STORM DRAINS, SANITARY SEWERS AND WATER MAINS SHALL ADHERE TO MINIMUM SIZES & SLOPES PER THE GOVERNING AGENCIES.
 - STORMWATER: C-3 STORMWATER COMPLIANCE WILL BE ACHIEVED THROUGH AT-GRADE BIORETENTION PLANTERS FOR EACH LOT.
 - MONUMENTS: DEVELOPER SHALL INSTALL IRON PIPES AT PROPERTY CORNERS PER APPROVED FINAL MAP TO THE SATISFACTION OF THE CITY ENGINEER.
 - FIRE SPRINKLERS: FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED PER NFPA 130 2016 EDITION STANDARD.

COPYRIGHT NOTE:
COPYRIGHT © STERLING CONSULTANTS ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPIING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF STERLING CONSULTANTS. COPIES OF THIS DRAWING WITHOUT AN ORIGINAL SIGNATURE AND STAMP ARE NOT VALID.

DATE:	NO.	BY	DATE	REVISIONS	CITY APPR
JULY 7, 2023					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					

PREPARED BY, OR UNDER THE DIRECTION OF:
NOT APPROVED FOR CONSTRUCTION

PREPARED BY:

STERLING CONSULTANTS
46560 FREMONT BOULEVARD, SUITE NO. 205
FREMONT, CA 94538
sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:

GRANITE RIDGE PROPERTIES
225 DEMETER STREET
EAST PALO ALTO, CA 94303

APN: 412-04-018 & 412-04-019

44 & 56 SUNNYSIDE AVENUE HOMES
PROPOSED SUBDIVISION PLAN & NOTES

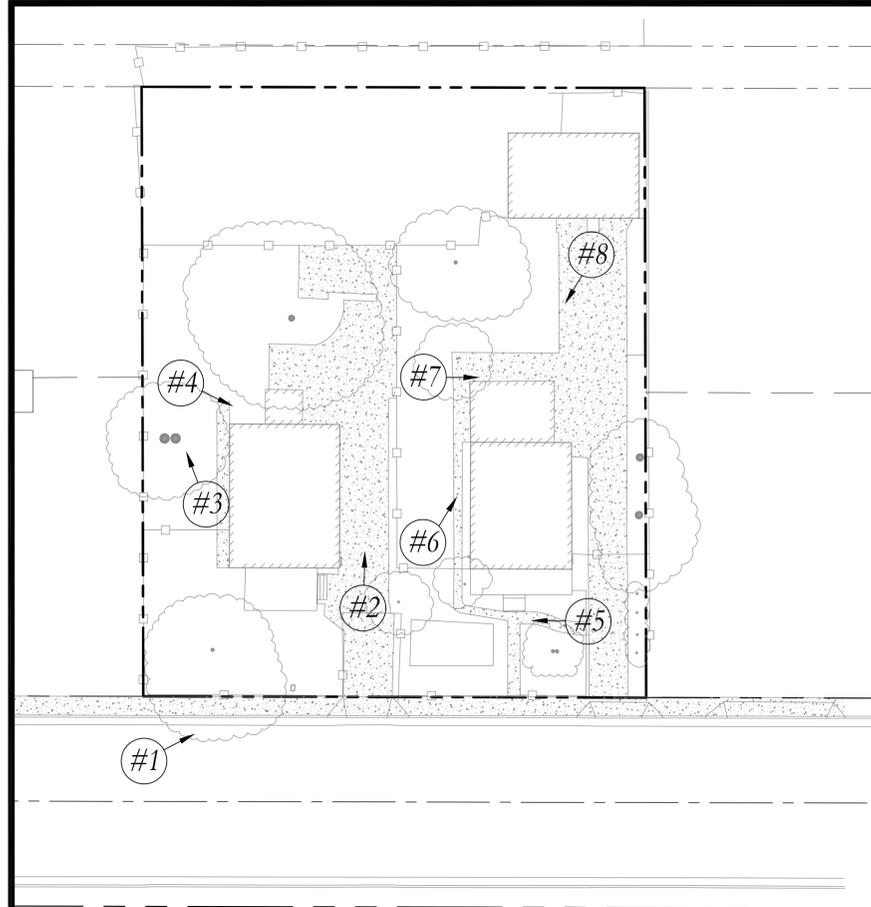
CITY OF CAMPBELL COUNTY OF SANTA CLARA CALIFORNIA

SHEET NO.

TM1

1 OF 5 SHEETS

JOB NO. 2022-210



#222222

SITE PHOTOGRAPHS
SCALE: 1"=20'



PHOTOGRAPH #1



PHOTOGRAPH #3



PHOTOGRAPH #6



PHOTOGRAPH #2



PHOTOGRAPH #4



PHOTOGRAPH #7

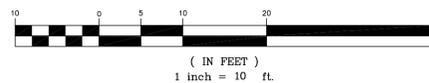


PHOTOGRAPH #5



PHOTOGRAPH #8

GRAPHIC SCALE



COPYRIGHT NOTE:
COPYRIGHT © STERLING CONSULTANTS ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPIING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF STERLING CONSULTANTS. COPIES OF THIS DRAWING WITHOUT AN ORIGINAL SIGNATURE AND STAMP ARE NOT VALID.

DATE: JULY 7, 2023					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					
	NO.	BY	DATE	REVISIONS	CITY APPR

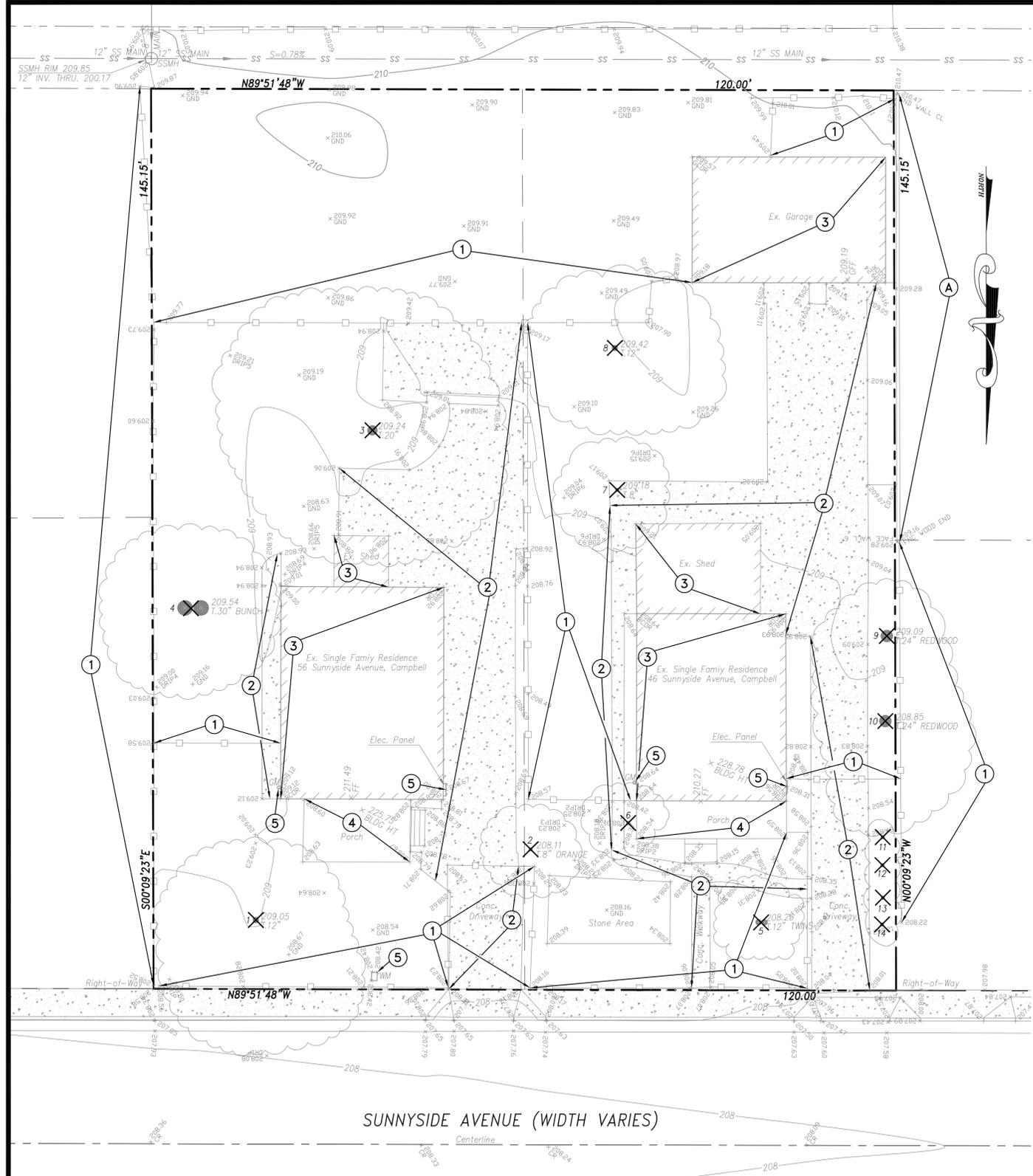
PREPARED BY, OR UNDER THE DIRECTION OF:
NOT APPROVED FOR CONSTRUCTION

PREPARED BY:
STERLING CONSULTANTS
46560 FREMONT BOULEVARD, SUITE NO. 205
FREMONT, CA 94538
1sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:
GRANITE RIDGE PROPERTIES
225 DEMETER STREET
EAST PALO ALTO, CA 94303

APN: 412-04-018 & 412-04-019
44 & 56 SUNNYSIDE AVENUE
44 & 56 SUNNYSIDE AVENUE HOMES
SITE PHOTOGRAPHS
CITY OF CAMPBELL COUNTY OF SANTA CLARA CALIFORNIA

SHEET NO.
TM2
2 OF 5 SHEETS
JOB NO. 2022-210



DEMOLITION LEGEND

- PROPERTY LINE
- SAWCUT LINE
- 27' DAK + TAG 3 EX. TREE WITH GROUND ELEV., DBH, REMOVE EXISTING TREE
- ▨ REMOVE EXISTING AC/CONC./BUILDING

REMOVAL NOTES

- ① REMOVE EXISTING FENCE
- ② REMOVE EXISTING CONCRETE
- ③ REMOVE EXISTING BUILDING
- ④ REMOVE EXISTING PORCH
- ⑤ REMOVE EXISTING UTILITY
- ⑥ REMOVE EXISTING OVERHEAD WIRE

PROTECTION NOTES

- Ⓐ PROTECT EXISTING WALL

DEMOLITION NOTES

1. DEVELOPER'S CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM CITY OF CAMPBELL'S BUILDING DEPARTMENT PRIOR TO START OF DEMOLITION.
2. THE PROPERTY LINE SHALL BE THE LIMITS OF DEMOLITION UNDER THE GRADING PERMIT.
3. CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTIONS WITH THE RESPECTIVE UTILITY AGENCIES PRIOR TO START OF DEMOLITION ON THE SITE.
4. UTILITIES TO BE ABANDONED WITHIN THE AREAS OF PROPOSED IMPROVEMENTS SHALL BE REMOVED IN THEIR ENTIRETY OR ABANDONED IN PLACE PER RECOMMENDATIONS OF THE PROJECT SOILS REPORT.

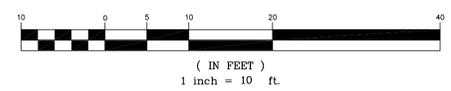
TREE SURVEY INFORMATION TABLE

TAG #	TREE SPECIES	DBH (AT 48" ABOVE GRADE)	CONDITION (0-100%)	PROTECTED	PRESERVE OR REMOVE
1	WHITE MULBERRY	15.7"	45	NO	REMOVE
2	CITRUS	5.3"	45	NO	REMOVE
3	WHITE MULBERRY	21.5"	45	NO	REMOVE
4	OLIVE TREE	6.6"	45	NO	REMOVE
5	SPANISH DAGGER YUCCA	11.4"	20	NO	REMOVE
6	COMMON CAMELLIA	6.4"	50	NO	REMOVE
7	CITRUS	7.4"	65	NO	REMOVE
8	JAPANESE LOQUAT	10.9"	10	NO	REMOVE
9	REDWOOD	19"	70	YES	REMOVE
10	REDWOOD	22"	70	YES	REMOVE
11	ITALIAN CYPRESS	9.3"	65	NO	REMOVE
12	ITALIAN CYPRESS	8.1"	65	NO	REMOVE
13	ITALIAN CYPRESS	9"	65	NO	REMOVE
14	ITALIAN CYPRESS	11"	65	NO	REMOVE

TREE TABLE INFORMATION TAKEN FROM "44 & 56 SUNNYSIDE AVE ARBOREST REPORT 2023" REPORT PREPARED BY DAVID BECKHAM DATED JUNE 28, 2023

SUNNYSIDE AVENUE (WIDTH VARIES)

GRAPHIC SCALE



EXISTING CONDITION MAP & PRELIMINARY DEMOLITION PLAN

SCALE: 1"=10'

COPYRIGHT NOTE:
 COPYRIGHT © STERLING CONSULTANTS ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPIING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF STERLING CONSULTANTS. COPIES OF THIS DRAWING WITHOUT AN ORIGINAL SIGNATURE AND STAMP ARE NOT VALID.

BOUNDARY: BOUNDARY BASED UPON FIELD SURVEY PERFORMED BY OR UNDER DIRECTION OF HELMUT KORSTICK, PLS 7739.

DATE: JULY 7, 2023					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK	NO.	BY	DATE	REVISIONS	CITY APPR

PREPARED BY, OR UNDER THE DIRECTION OF:
 NOT APPROVED FOR CONSTRUCTION

PREPARED BY:
STERLING CONSULTANTS
 46560 FREMONT BOULEVARD, SUITE NO. 205
 FREMONT, CA 94538
 1sterlingconsultants@gmail.com PHONE: 510.344.8955

VERTICAL DATUM: HELD NAVD 88 ELEVATION OF 210.19 FEET AT SANTA CLARA VALLEY WATER DISTRICT BENCHMARK 1075.

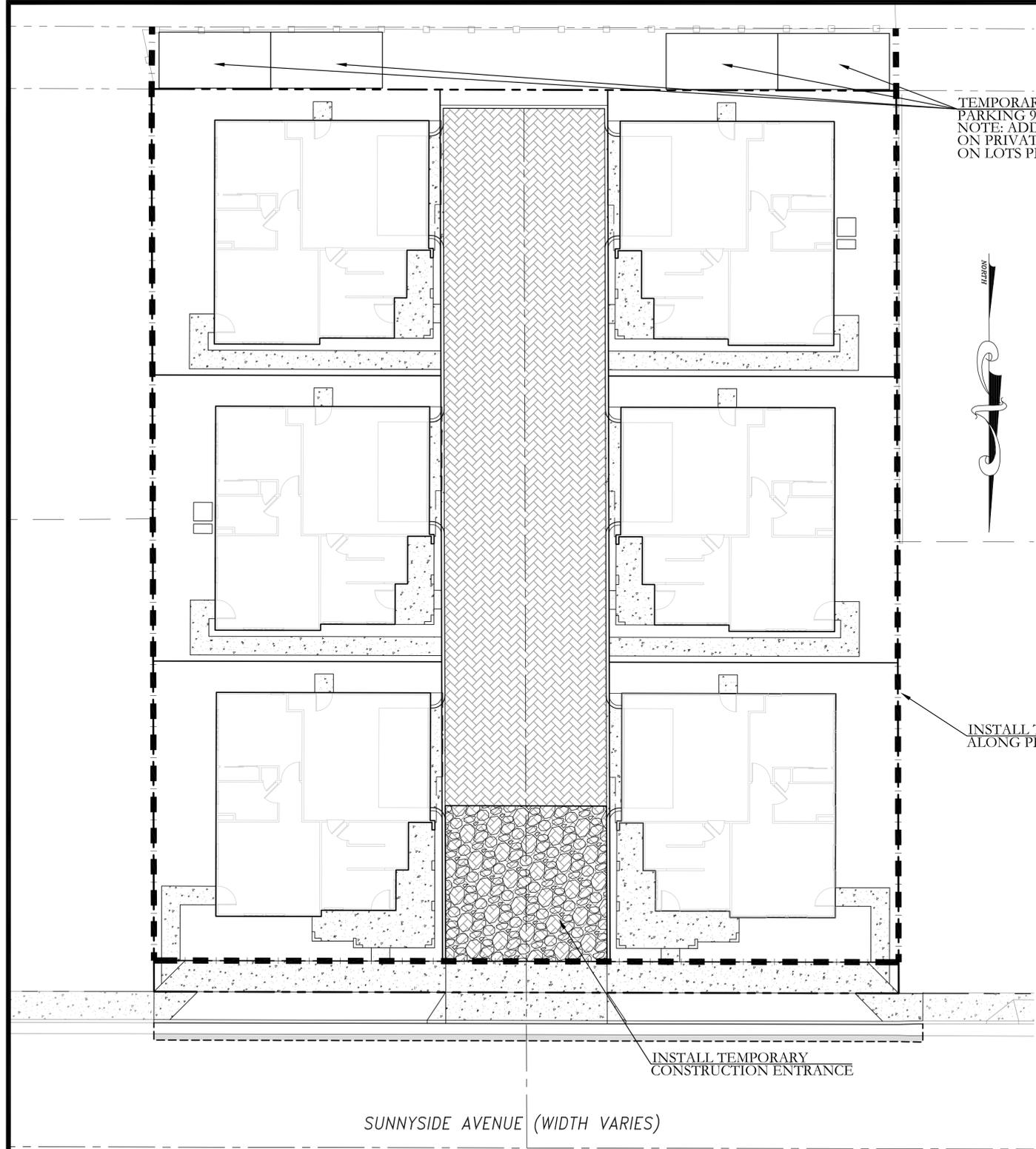
PREPARED FOR:
 GRANITE RIDGE PROPERTIES
 225 DEMETER STREET
 EAST PALO ALTO, CA 94303

APN: 412-04-018 & 412-04-019

44 & 56 SUNNYSIDE AVENUE HOMES
 EXISTING CONDITION MAP & PRELIMINARY DEMOLITION PLAN

CITY OF CAMPBELL COUNTY OF SANTA CLARA CALIFORNIA

SHEET NO. TM3
 3 OF 5 SHEETS
 JOB NO. 2022-210

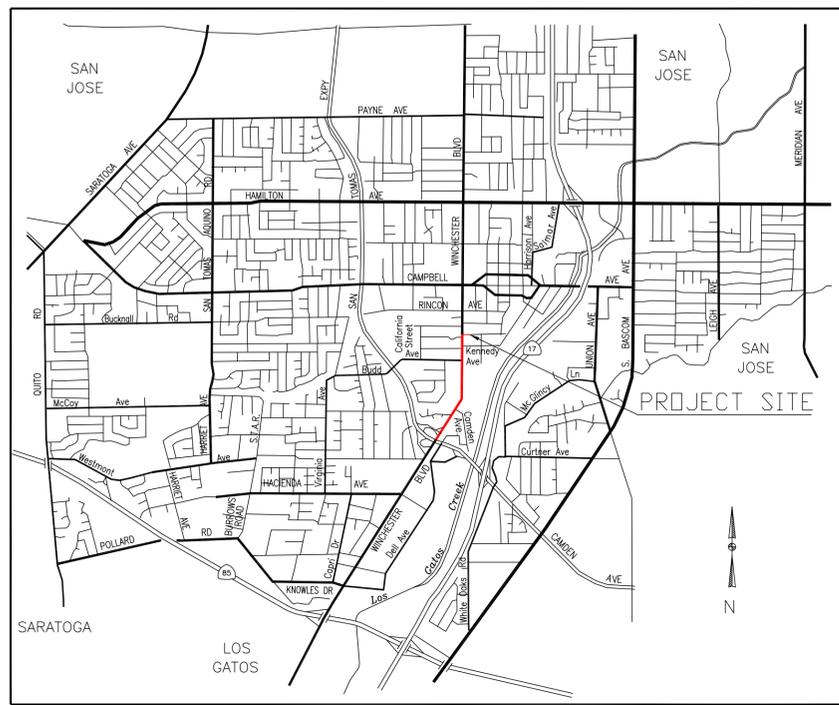


TEMPORARY CONSTRUCTION WORKER PARKING 9x18' (TYP)
NOTE: ADDITIONAL PARKING AVAILABLE ON PRIVATE STREET UPON COMPLETION & ON LOTS PRIOR TO FOUNDATION CONSTRUCTION



LEGEND

- CONSTRUCTION FENCING
- CONSTRUCTION ENTRANCE



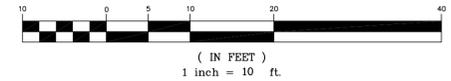
TRUCK ROUTE
N.T.S.

TRUCK ROUTE DESCRIPTION: HEAD WEST ON SUNNYSIDE AVENUE, TURN LEFT ONTO WINCHESTER BOULEVARD, HEAD SOUTH UNTIL INTERCHANGE WITH SAN TOMAS EXPRESSWAY, HEADING SOUTH ON SAN TOMAS WILL PROVIDE ACCESS TO HIGHWAY 17 NORTH AND SOUTH.

PRELIMINARY CONSTRUCTION/STAGING PLAN

SCALE: 1"=10'

GRAPHIC SCALE



COPYRIGHT NOTE:
COPYRIGHT © STERLING CONSULTANTS ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPIING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF STERLING CONSULTANTS. COPIES OF THIS DRAWING WITHOUT AN ORIGINAL SIGNATURE AND STAMP ARE NOT VALID.

DATE: JULY 7, 2023					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					
	NO.	BY	DATE	REVISIONS	CITY APPR

PREPARED BY, OR UNDER THE DIRECTION OF:
NOT APPROVED FOR CONSTRUCTION

PREPARED BY:

STERLING CONSULTANTS

46560 FREMONT BOULEVARD, SUITE NO. 205
FREMONT, CA 94538
1sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:

GRANITE RIDGE PROPERTIES
225 DEMETER STREET
EAST PALO ALTO, CA 94303

APN: 412-04-018 & 412-04-019

44 & 56 SUNNYSIDE AVENUE

44 & 56 SUNNYSIDE AVENUE HOMES
PRELIMINARY CONSTRUCTION/STAGING PLAN

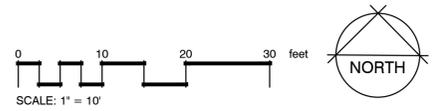
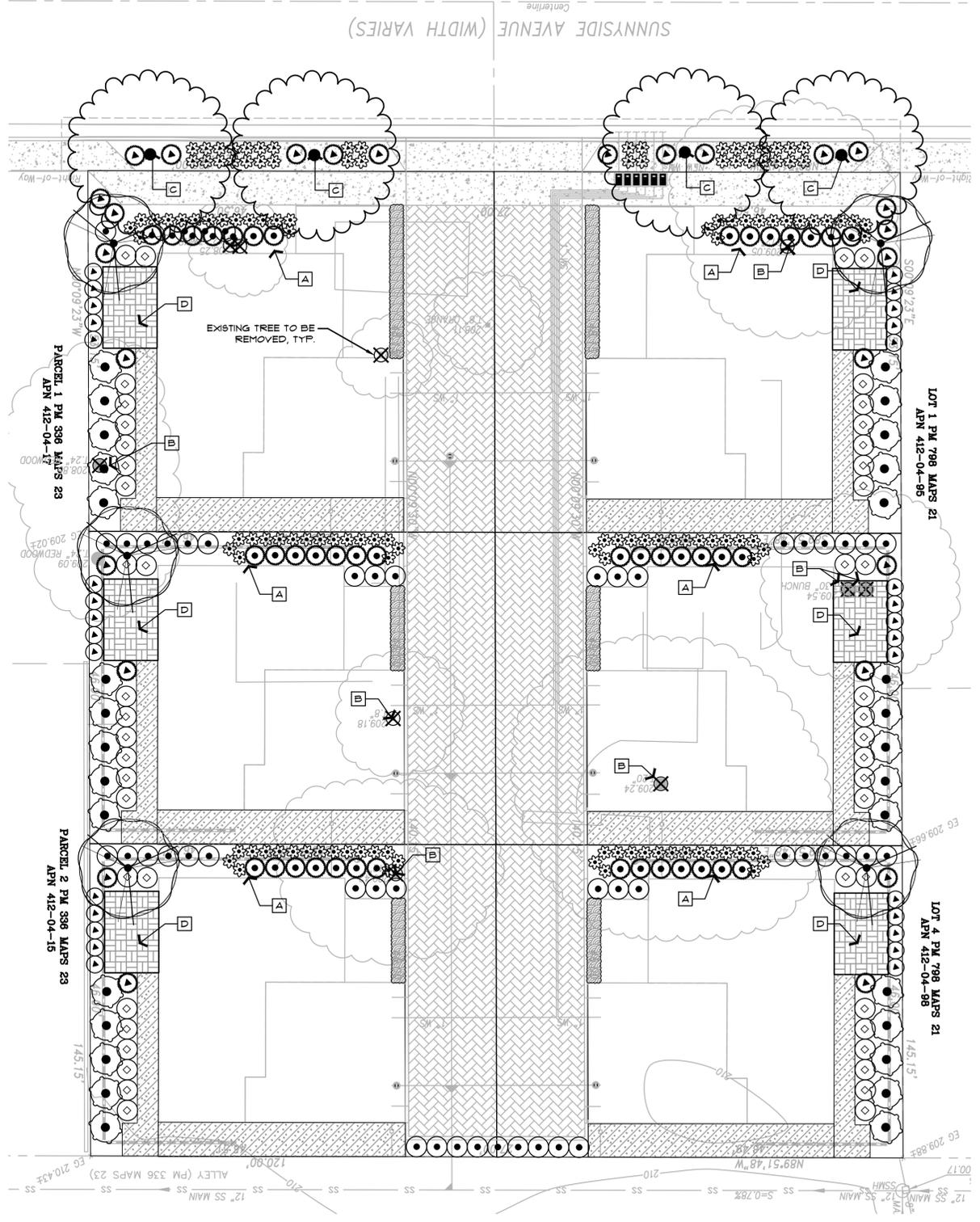
CITY OF CAMPBELL COUNTY OF SANTA CLARA CALIFORNIA

SHEET NO.

TM5

5 OF 5 SHEETS

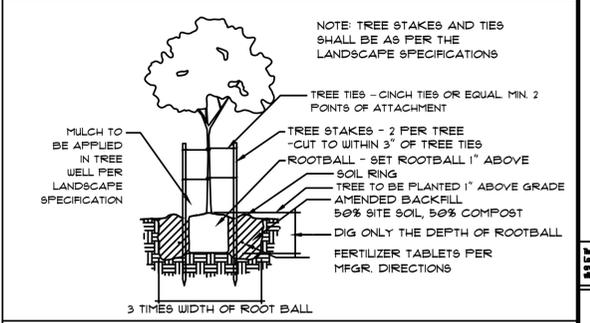
JOB NO. 2022-210



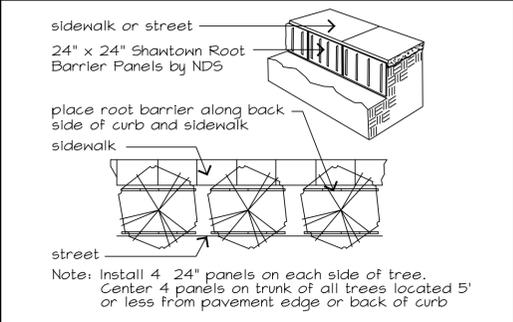
PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	ACER PALMATUM 'SANGO-KAKU'	CORAL BARK JAPANESE MAPLE	15 GAL	5	
	LOPHOSTEMON CONFERTUS 'VARIEGATA' OR CITY APPROVED STREET TREE	VARIEGATED BRISBANE BOX	24" BOX	4	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	MAHONIA REPENS	CREeping MAHONIA	1 GAL	48	
	NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM HEAVENLY BAMBOO	5 GAL	49	
	PRUNUS CAROLINIANA 'COMPACTA'	COMPACT CAROLINA CHERRY LAUREL	15 GAL	30	
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	DIETES VEGETA	AFRICAN IRIS	1 GAL	26	
	TEUCRIUM X LUCIDRYS PROSTRATUM	GERMANDER	1 GAL	30	
	TULBAGHIA VIOLACEA	SOCIETY GARLIC	1 GAL	36	
STORM WATER MANAGEMENT PLANTINGS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	CAREX BARBARAE	SANTA BARBARA SEDGE	1 GAL	94	
	JUNCUS FATENS 'CARMAN'S GREY'	SPREADING RUSH	1 GAL	42	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
	MIXED SUCCULENTS	SUCCULENTS	4"	12" O.C.	195 SF
MATERIALS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
	2" DEPTH 1-1/2" DRAIN ROCK PLACE OVER LANDSCAPE FABRIC	DG	---	---	1,660 SF

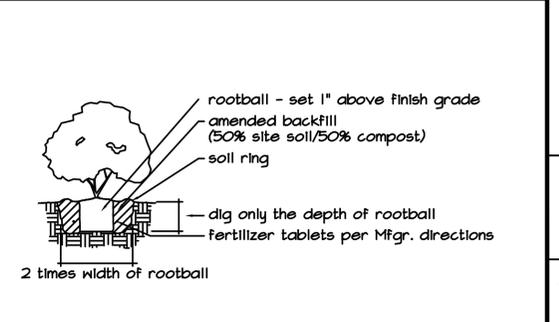
- 1. GENERAL NOTES:**
- STREET TREES SHOWN IN THE PUBLIC RIGHT-OF-WAY ARE FOR INFORMATION ONLY. THE PLANNING PERMIT DOES NOT AUTHORIZE THE INSTALLATION OR REMOVAL OF TREES IN THE PUBLIC RIGHT OF WAY. ACTUAL STREET TREE LOCATION WILL BE DETERMINED BY PUBLIC WORKS AT THE IMPLEMENTATION STAGE ON THE PUBLIC IMPROVEMENT PLAN. THE INSTALLATION OR REMOVAL OF THE STREET TREES REQUIRES A PERMIT FROM THE DEPARTMENT OF TRANSPORTATION. THE CITY ARBORIST WILL SPECIFY THE SPECIES.
 - STORM WATER TREATMENT PLANTERS ARE TO INCLUDE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORM WATER TREATMENT PLANTINGS AND SIDE SLOPES.
 - THE PROJECT PROPOSES TO PLANT (9) NEW 24-INCH BOX TREES AND (2) 15-GALLON SIZE TREES FOR A TOTAL OF 11 TREES, TO MEET THE MITIGATION REQUIREMENT.
- PLAN NOTES:**
- STORM WATER TREATMENT PLANTER LOCATION. REFER TO THE CIVIL ENG DWGS. SEE NOTE 'B' THIS SHEET.
 - EXISTING TREE TO BE REMOVED, TYP.
 - NEW STREET TREE. REFER TO NOTE 'A' THIS SHEET.
 - 6' x 12' PERVIOUS PAVER PATIO



TREE PLANTING



TREE ROOT BARRIER



SHRUB PLANTING

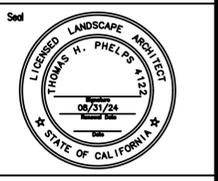
THOMAS H. PHELPS
 LANDSCAPE ARCHITECTURE
 IDLA, INC.
 California Landscape Architect #4122
 ID #LA-16771 * HI #LA-16112
 AZ #76633

 P.O. BOX 170129
 Boise, Idaho 83717
 thp@idlainc.net
 (208) 906-1300

44 SUNNYSIDE AVENUE
 3 STORY SINGLE FAMILY HOMES
 44 SUNNYSIDE AVENUE
 CAMPBELL, CALIFORNIA

This drawing and information of same and on the property of Thomas H. Phelps and the use on the site are subject to change without notice and shall not be used for any other project without the express written permission of Thomas H. Phelps Landscape Architecture.

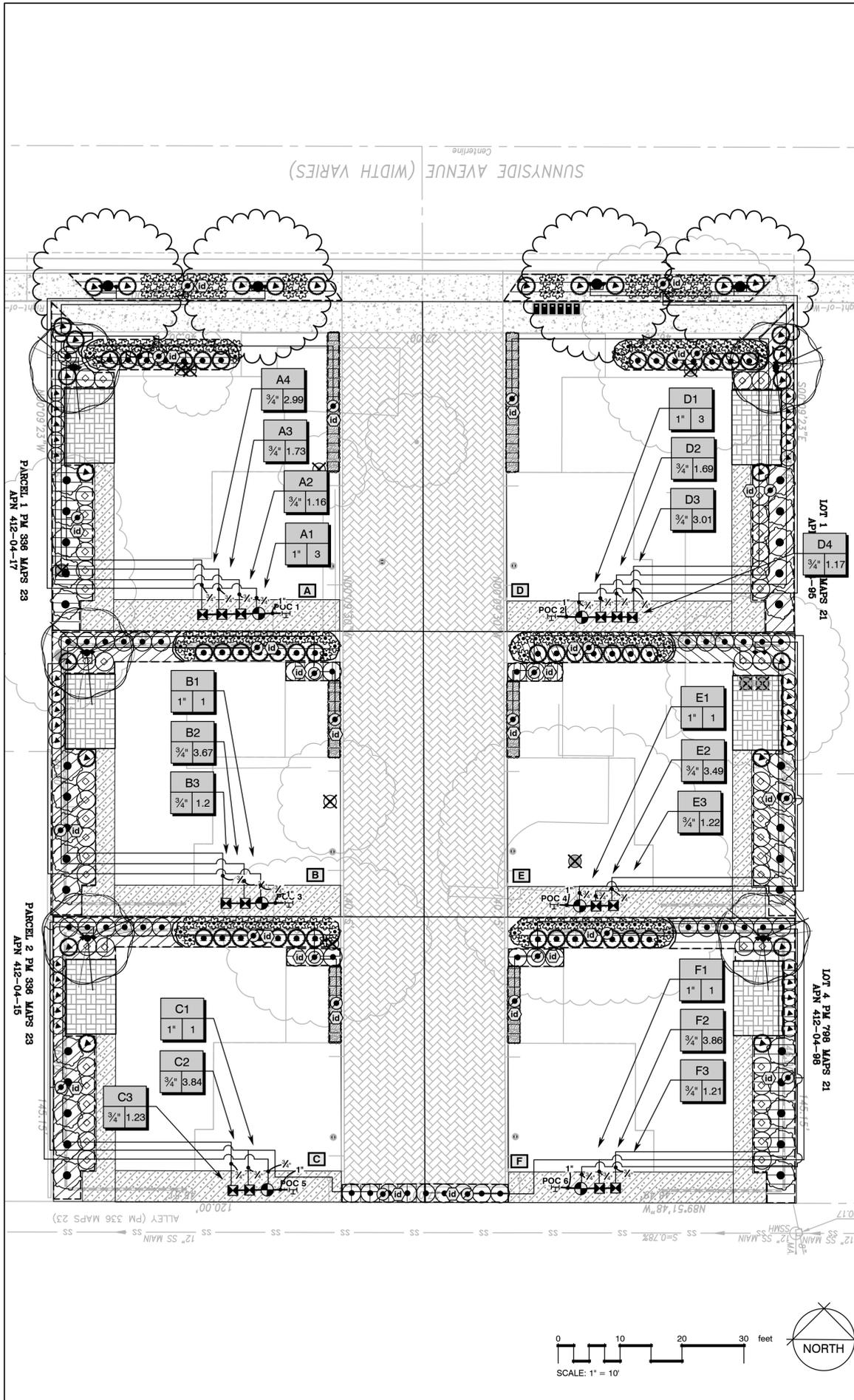
Sheet Title
PLANTING PLAN



No.	Date	Revision
1		
2		
3		

Project Mgr: THP
 Drawn By: THP
 Scale:
 Date: 07.07.23
 File Name: 23-023 of _____ sheets

SHEET ISSUANCE



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
○	HUNTER RZWS-18-CV 18IN. LONG RZWS WITH INSTALLED .25 GPM OR .50 GPM BUBBLER OPTIONS, CHECK VALVE, 1/2IN. SWING JOINT FOR CONNECTION TO 1/2IN. PIPE	30
⊠	HUNTER ACZ-075-25 DRIP CONTROL KIT FEATURING A 3/4IN. FGV-ASV VALVE, WITH 3/4IN. HY075 FILTER SYSTEM, AND 25PSI PRESSURE REGULATED FLOW RANGE: 0.5 GPM TO 15 GPM. WITH 150 MESH STAINLESS STEEL SCREEN.	
○	PIPE TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.	
⊠	HUNTER ECO-ID-12 ECO-ID: 1/2IN. FPT CONNECTION WITH 15 PSI - 100 PSI OPERATING PRESSURE. SPECIFY WITH HUNTER SJ SWING JOINT.	
▨	AREA TO RECEIVE DRIPLINE HUNTER ECO-WRAP-11 0.6GPH FLEECE WRAPPED INLINE EMITTER TUBING, WITHOUT THE BLANKET ECO-MAT. EVENLY DISPERSES WATER FROM UNDER THE SURFACE. EMITTERS AT 12" O.C. DRIPLINE LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. SPECIFY PLD-LOC FITTING.	
▨	AREA TO RECEIVE DRIPLINE HUNTER HDL-06-12-CV HDL-06-12-CV: HUNTER DRIPLINE W/ 0.6 GPH EMITTERS AT 12" O.C. CHECK VALVE, DARK BROWN TUBING WITH GRAY STRIPING. DRIPLINE LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
⊕	HUNTER FGV-ASV TREE VALVE 3/4IN. AND 1IN. PLASTIC ELECTRIC REMOTE CONTROL VALVE, WITH REMOVABLE ANTI-SIPHON CAP, AND FLOW CONTROL, FOR RESIDENTIAL USE. INLET/OUTLET: FEMALE NPT THREADED.	
A	HUNTER HC-6 6 STATION CONTROLLER WITH WI-FI CONNECTION	
B	HUNTER HC-6 6 STATION CONTROLLER WITH WI-FI CONNECTION	
C	HUNTER HC-6 6 STATION CONTROLLER WITH WI-FI CONNECTION	
D	HUNTER HC-6 6 STATION CONTROLLER WITH WI-FI CONNECTION	
E	HUNTER HC-6 6 STATION CONTROLLER WITH WI-FI CONNECTION	
F	HUNTER HC-6 6 STATION CONTROLLER WITH WI-FI CONNECTION	
POC 1-6	3/4" TEE OFF DOMESTIC SUPPLY	
---	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	
---	IRRIGATION MAINLINE: PVC SCHEDULE 40	

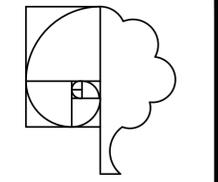
VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PSI	PSI @ POC	PRECIP
A1	HUNTER FGV-ASV TREE VALVE	1"	BUBBLER	3	32.4	32.6	2.42 IN/H
A2	HUNTER ACZ-075-25	3/4"	AREA FOR DRIPLINE	1.16	27.3	27.5	0.96 IN/H
A3	HUNTER ACZ-075-25	3/4"	AREA FOR DRIPLINE	1.73	28.0	28.2	0.96 IN/H
A4	HUNTER ACZ-075-25	3/4"	AREA FOR DRIPLINE	2.99	29.1	29.4	0.97 IN/H
B1	HUNTER FGV-ASV TREE VALVE	1"	BUBBLER	1	31.1	31.3	2.53 IN/H
B2	HUNTER ACZ-075-25	3/4"	AREA FOR DRIPLINE	3.67	30.0	30.2	0.97 IN/H
B3	HUNTER ACZ-075-25	3/4"	AREA FOR DRIPLINE	1.2	27.4	27.6	0.96 IN/H
C1	HUNTER FGV-ASV TREE VALVE	1"	BUBBLER	1	31.1	31.3	2.49 IN/H
C2	HUNTER ACZ-075-25	3/4"	AREA FOR DRIPLINE	3.84	30.2	30.4	0.96 IN/H
C3	HUNTER ACZ-075-25	3/4"	AREA FOR DRIPLINE	1.23	27.4	27.6	0.96 IN/H
D1	HUNTER FGV-ASV TREE VALVE	1"	BUBBLER	3	32.4	32.6	2.48 IN/H
D2	HUNTER ACZ-075-25	3/4"	AREA FOR DRIPLINE	1.69	28.0	28.2	0.96 IN/H
D3	HUNTER ACZ-075-25	3/4"	AREA FOR DRIPLINE	3.01	29.2	29.5	0.96 IN/H
D4	HUNTER ACZ-075-25	3/4"	AREA FOR DRIPLINE	1.17	27.3	27.5	0.97 IN/H
E1	HUNTER FGV-ASV TREE VALVE	1"	BUBBLER	1	31.1	31.3	2.53 IN/H
E2	HUNTER ACZ-075-25	3/4"	AREA FOR DRIPLINE	3.49	29.9	30.1	0.96 IN/H
E3	HUNTER ACZ-075-25	3/4"	AREA FOR DRIPLINE	1.22	27.4	27.6	0.96 IN/H
F1	HUNTER FGV-ASV TREE VALVE	1"	BUBBLER	1	31.1	31.3	2.51 IN/H
F2	HUNTER ACZ-075-25	3/4"	AREA FOR DRIPLINE	3.86	30.2	30.4	0.96 IN/H
F3	HUNTER ACZ-075-25	3/4"	AREA FOR DRIPLINE	1.21	27.4	27.6	0.96 IN/H

MUELO WATER USE CALCULATIONS

Job Name: Sunnyside, Campbell, CA
Date: 07/16/2023

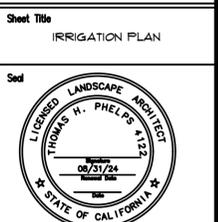
California Water Efficient Landscape Worksheet									
Reference Evapotranspiration (ET _a)	44.2	Project Type	Residential	0.55					
Rain Fall (Inches)	0	Usable Rain Fall (Inches)	0						
Hydrozone # / Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d		
Zone# Regular Landscape Areas									
A1	TREE - M	0.5	Bubblers	0.81	0.62	100	62		
A2	STRM WTR - L	0.2	Drip	0.81	0.25	117	29		
A3	GRD COVER- LOW	0.2	Drip	0.81	0.25	173	43		
A4	GRD COVER- LOW	0.2	Drip	0.81	0.25	299	74		
B1	TREE - M	0.5	Bubblers	0.81	0.62	300	185		
B2	GRD COVER- LOW	0.2	Drip	0.81	0.25	169	42		
B3	STRM WTR - L	0.2	Drip	0.81	0.25	120	30		
C1	TREE - M	0.5	Bubblers	0.81	0.25	100	25		
C2	STRM WTR - L	0.2	Drip	0.81	0.25	123	30		
C3	GRD COVER- LOW	0.2	Drip	0.81	0.25	366	90		
D1	TREE - M	0.5	Bubblers	0.81	0.62	300	185		
D2	GRD COVER- LOW	0.2	Drip	0.81	0.25	348	86		
D3	GRD COVER- LOW	0.2	Drip	0.81	0.25	122	30		
D4	STRM WTR - L	0.2	Drip	0.81	0.25	117	29		
E1	TREE - M	0.5	Bubblers	0.81	0.62	100	62		
E2	GRD COVER- LOW	0.2	Drip	0.81	0.25	384	95		
E3	STRM WTR - L	0.2	Drip	0.81	0.25	122	30		
F1	TREE - M	0.5	Bubblers	0.81	0.62	100	62		
F2	GRD COVER- LOW	0.2	Drip	0.81	0.25	385	95		
F3	STRM WTR - L	0.2	Drip	0.81	0.25	121	30		
					Totals	3966	1313	35970	100.00%
Special Landscape Areas									
					Totals	0	0	0	
					ETWU Total		35970		
					Maximum Allowed Water Allowance (MAWA) ^e		59776		
ETAF Calculations									
Regular Landscape Areas									
Total ETAF x Area	1313		Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.		ETWU ACRE FEET		0.110389		
Total Area	3966				MAWA ACRE FEET		0.183447		
Average ETAF	0.31				% ETWU OF MAWA		0.60		
All Landscape Areas									
Total ETAF x Area	1313				PASS:		YES		
Total Area	3966								
Average ETAF	0.31								



THOMAS H. PHELPS
LANDSCAPE ARCHITECTURE
IDLA, INC.
California Landscape Architect #4122
ID #LA-16771 * HI #LA-16112
AZ #76633
P.O. BOX 170129
Boise, Idaho 83717
thp@idlainc.net
(208) 906-1300

44 SUNNYSIDE AVENUE
3 STORY SINGLE FAMILY HOMES
44 SUNNYSIDE AVENUE
CAMPBELL, CALIFORNIA

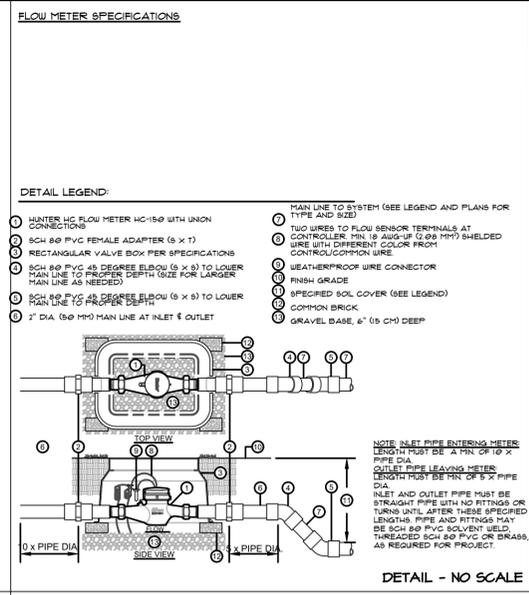
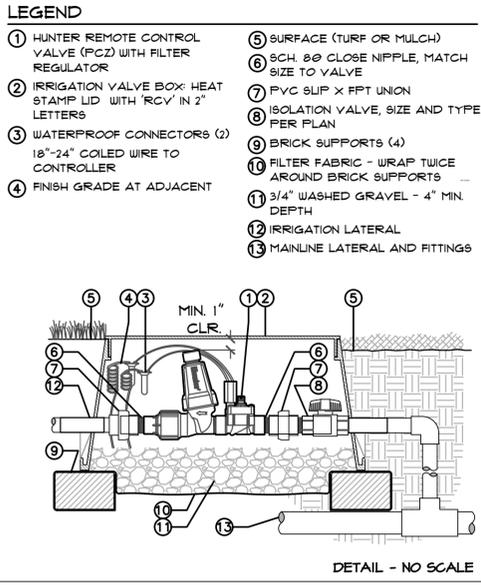
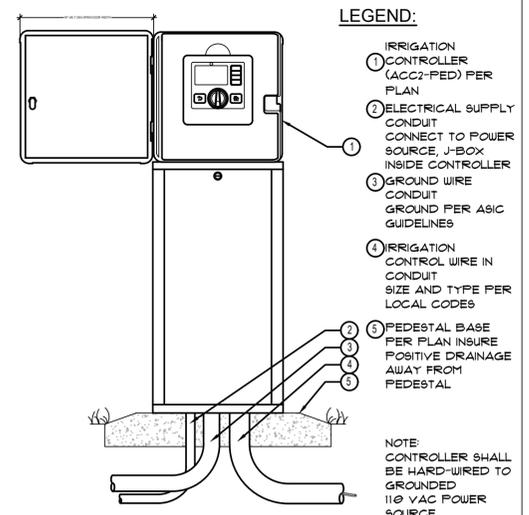
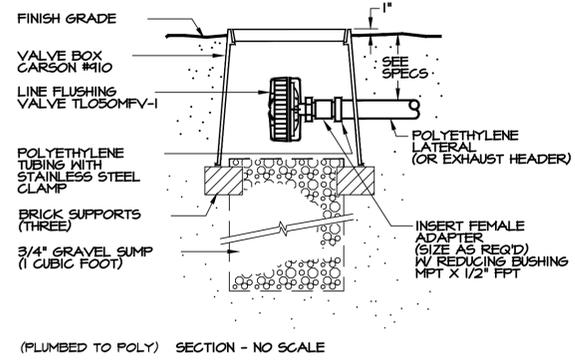
This drawing is the property of Thomas H. Phelps and shall not be used for any other project without the express written permission of Thomas H. Phelps Landscape Architecture.



No.	Date	Revision
1		
2		
3		
4		

Project Mgr: THP
Drawn By: THP
Scale: L2
Date: 07.07.23
File Name: 23-023 of _____ sheets

SHEET ISSUANCE

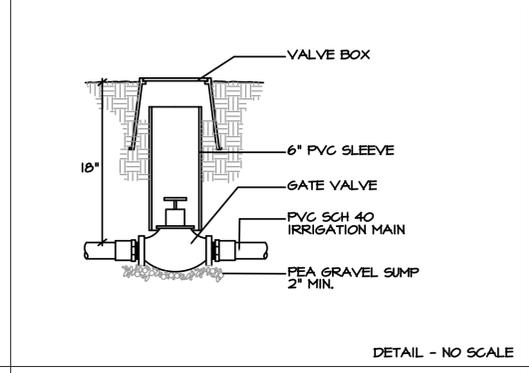
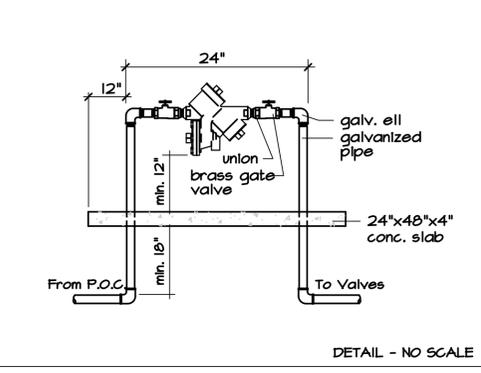
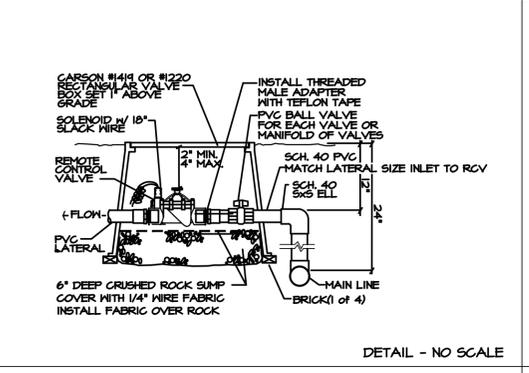
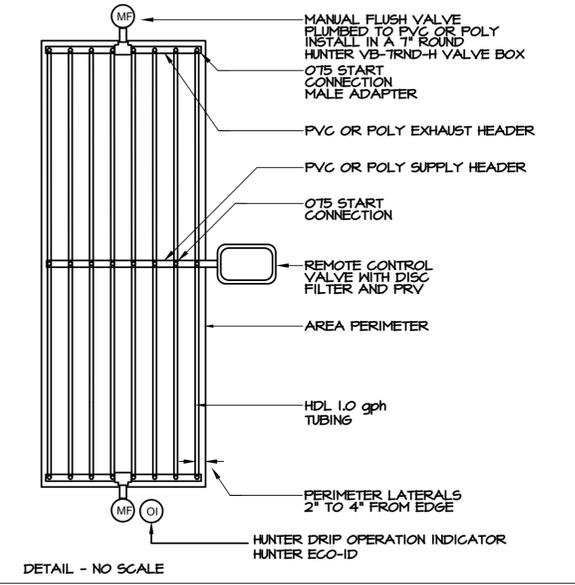


DRIP TUBING LINE FLUSHING VALVE

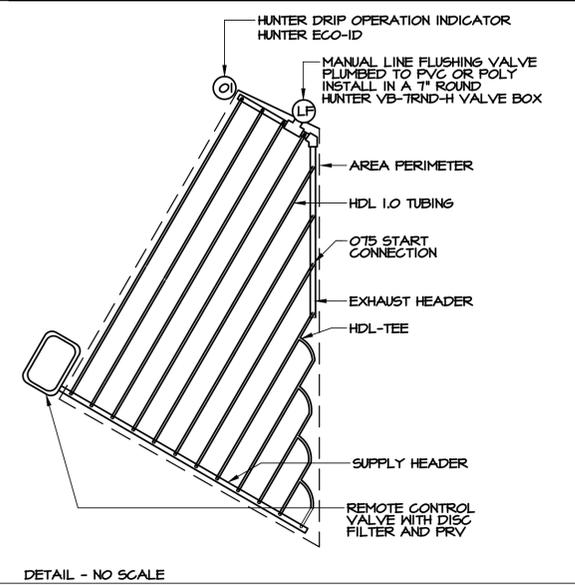
IRRIGATION CONTROLLER

DRIP CONTROL ZONE KIT (PCZ-101-LF)

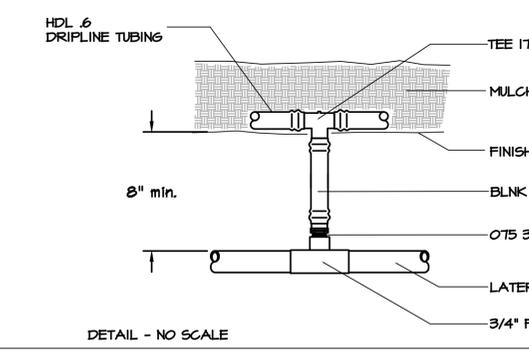
HC-075 FLOW METER (3/4")



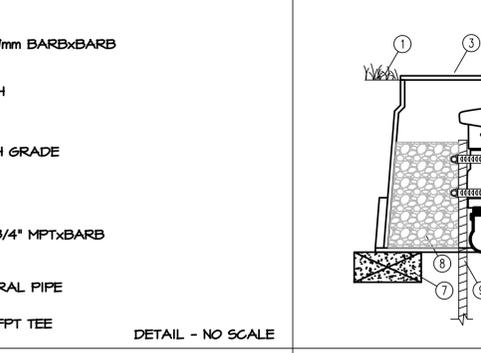
HDL ISLAND LAYOUT



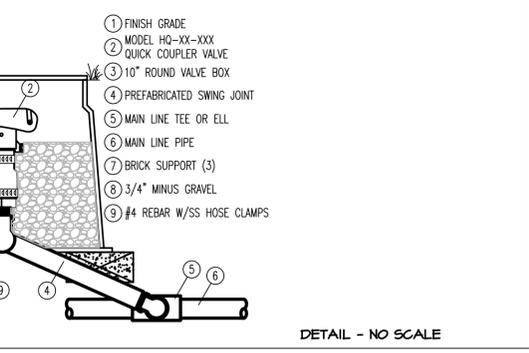
REMOTE CONTROL VALVE



REDUCED PRESSURE TYPE BPD

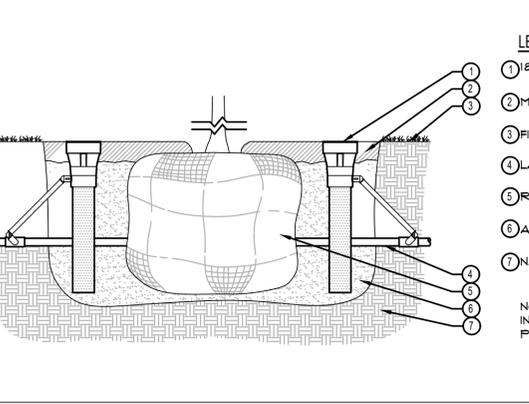


GATE VALVE

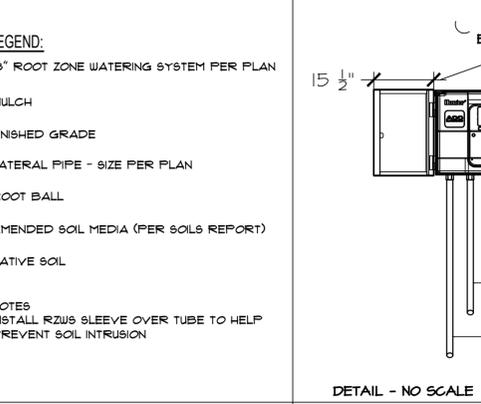


HDL CENTER FEED LAYOUT

HDL CONNECTION DETAIL



QUICK COUPLER VALVE



HDL TRIANGULAR AREAS

ROOT WATERING ZONE DETAIL

SOLAR SYNC WEATHER SENSOR

DETAIL - NO SCALE

THOMAS H. PHELPS
LANDSCAPE ARCHITECTURE
IDLA, INC.
California Landscape Architect #4122
ID #LA-16771 * HI #LA-16112
AZ #76633

P.O. BOX 170129
Boise, Idaho 83717
thp@idlainc.net
(208) 906-1300

44 SUNNYSIDE AVENUE
3 STORY SINGLE FAMILY HOMES
44 SUNNYSIDE AVENUE
CAMPBELL, CALIFORNIA

These drawings are instruments of service and are the property of Thomas H. Phelps and his firm. They are to be used only for the project and site specified and no other alterations without the express written permission of Thomas H. Phelps Landscape Architecture.

Sheet Title
LANDSCAPE DETAILS

Seal
LICENSED LANDSCAPE ARCHITECT
THOMAS H. PHELPS #122
08/31/24
STATE OF CALIFORNIA

No.	Date	Revision
1		
2		
3		
4		

Project Mgr: THP
Drawn By: THP
Scale:
Date: 01.07.23
File Name: 23-023 of _____ sheets

Sheet No.: **L3**

SHEET ISSUANCE

SECTION 02810
IRRIGATION SYSTEM

PART 1 - GENERAL

For the purpose of these specifications, the Owner's Representative shall be defined as the Landscape Architect, The Project Superintendent, and or the Architect.

1.01 SECTION INCLUDES

A. The work included under this Section consists of furnishing all fees and permits, all labor, tools, materials, equipment, transportation, and services required to complete the installation of the Underground Sprinkler Irrigation system, including revisions to existing systems, as shown on the Drawings and as specified in this section.

B. Related Sections:

1. Section 2900 - Planting: Provision of requirements for fine grading of planting areas.

1.02 REFERENCES

A. National Electric Code (NEC).

B. Uniform Plumbing Code (UPC).

C. Underwriters Laboratories Inc. (UL):

1. BMD - Building Materials Directory.

1.03 QUALITY ASSURANCE

A. All work and materials shall be in full accordance with the latest rules and regulations of the National Electric Code, the Uniform Plumbing Code, and other applicable State or local laws or regulations. Nothing in these Drawings or Specifications is to be construed to permit work not conforming to these Codes.

B. When the Specifications call for materials or construction of a better quality or larger size than required by the above mentioned rules and regulations, the provision of the Specifications shall take precedence over the requirements of the said rules and regulations.

C. The Contractor shall furnish, without any extra charge, any additional material and labor when required by the compliance mentioned on these particular Specifications or shown on the Drawings.

D. The Contractor shall erect and maintain barricades, guards, warning signs, and lights as necessary or required by OSHA regulations and as required by these contract documents for the protection of the public or workmen.

E. Any existing buildings, equipment, piping, sewers, sidewalks, landscaping or other Site improvements damaged by the Contractor during the course of his work shall be replaced or repaired by the Contractor in a manner satisfactory to the Owner's representative and at the Contractor's own expense, and before the final payment is made. The Contractor shall be responsible for damage caused by leaks in the piping systems being installed or having been installed by him. He shall repair, at his own expense, all damage so caused, in a manner satisfactory to the Owner's representative.

F. Installing company and its job site superintendent shall have at least 3 years immediate and continuous experience installing systems of similar design and type of equipment.

G. The Contractor shall obtain and pay all fees, licenses, and permits required for the Project.

H. Before making bid, examine the Site carefully, verifying dimensions and other Site conditions in relation to the Plans. The Contractor is responsible for informing himself of all conditions under which work is to be done before submitting his bid.

I. In case of an apparent discrepancy among Drawings, Specifications, and actual Site conditions, bring the discrepancy to the attention of the Owner's Representative or Architect, in writing.

J. Attend pre-construction conferences, if requested to do so.

1.04 PERFORMANCE REQUIREMENTS

A. Sprinkler System:

1. Construct sprinkler system to sizes, grades, and locations indicated on the Drawings.

2. Sprinkler lines indicated on the Drawings are essentially diagrammatic.

3. Establish exact locations of sprinkler heads, shrub heads, and similar type items, at time of construction.

4. Do not exceed typical spacings of sprinkler heads indicated on the Drawings.

1.05 SUBMITTALS

A. Submit and cut sheets provide for all irrigation system components.

B. Record Drawings

1. The Contractor shall maintain, in good order, in the field office, one complete Set of Sprinkler Drawings showing all water lines, sprinklers, valves, controllers, stub-outs, and sleeves. In the event any work is not installed as indicated on the Drawings, such work shall be immediately corrected and dimensioned accurately from the building walls on these Record Drawings.

2. All underground stub-outs and sleeves for future connections shall be located and dimensioned accurately from the building walls on these Record Drawings.

3. Upon completion of the work, and prior to final acceptance, the Contractor shall obtain a duplicate vellum from the Owner's representative and neatly correct the vellum to show the 'As Built' conditions. Furnish these corrected vellums to the Owner's Representative.

C. Contract Closeout Submittals:

1. Submit to Owner's Representative

2. Project Record Documents:

a. After final acceptance of project, turn over record documents to the Owner's Representative.

3. Operation and Maintenance: Provide operation and maintenance manuals covering the system and its components.

4. Provide Owner's Representative with detailed typewritten instructions for Winter and Summer controller programming, including demonstration for Owner's maintenance personnel. Give controller instruction booklet to the Owner's Representative.

1.06 DELIVERY, STORAGE AND HANDLING

A. Packing and Shipping:

1. Deliver plastic pipe, fittings, and connectors to project site in unbroken bundles or rolls, packaged in such manner as to provide adequate protection for pipe ends, threaded or plain.

B. Storage and Protection

1. During construction and storage protect materials from damage and prolonged exposure to sunlight, excessive heat, and/or deleterious materials.

1.07 JOB CONDITIONS

A. Proceed with and complete irrigation work as rapidly as portions of Site become available, working within seasonal limitations.

B. Determine location of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate as required.

C. Maintain grade stakes set by others until removal is mutually agreed on by parties concerned.

D. Make field measurements necessary to lay out work.

1.08 SUBSTITUTION AND VERIFICATION

A. Certain numbers on the Drawings and the Specifications are taken from the catalogues of the manufacturers named. The Contractor shall be responsible for verifying that listed numbers correspond to appropriate equipment currently available from the manufacturers.

B. Numbers on the Drawings refer to the basic equipment required and the Contractor shall be responsible for determining additional incidental parts necessary for the attachment or assembly of equipment within the system.

C. Requests for substitutes must be in writing and approved of by the Owner's Representative.

1.09 SEQUENCING AND SCHEDULING

A. Closing in Uninspected Work:

1. Do not allow nor cause any work to be covered or enclosed until it has been inspected, tested, and accepted by the Owner's Representative.

2. Should any work be enclosed or covered before such inspection and test, uncover such work at no additional cost to the Contract.

PART 2 - PRODUCTS

2.01 PVC PLASTIC PIPING AND FITTINGS

A. Exterior main lines (pressure lines): All main line piping is to be PVC SCH40 (ASTM 01784) plastic pipe. Use Type 1 Schedule 40 High Impact PVC solvent weld fittings.

B. Exterior lateral lines (non-pressure) shall be PVC Schedule 40 (ATM D 1785) plastic pipe with Type 1 Schedule 40 High Impact PVC solvent weld fittings.

C. Connections between mainlines and RCV's shall be of Schedule 80 PVC nipples and fittings as per Detail on Plan.

D. Plastic to metal connections shall be made with Schedule 80 male adapter or threaded nipple.

E. Plastic saddles and flange type fittings are not to be used.

2.02 GALVANIZED STEEL PIPE AND FITTINGS

A. Steel pipe shall be standard weight Schedule 40 as specified in Section 15252, mild steel pipe of domestic origin, galvanized, and shall be new and scale free. All nipples shall be of the same material.

B. Steel pipe fittings shall be heavy pattern, banded, galvanized malleable iron, threaded pipe fittings.

C. Nipples are to be of same material as pipe.

D. Crosses, bushings, and close nipples are not to be used.

E. All galvanized steel pipe and fittings occurring below grade, including to 6 inches above finish grade, are to be field wrapped with a PVC tape. The wrapping tape and technique are to be subject to Owner's Representative approval.

F. All dissimilar metal piping are to be joined with a dielectric fitting.

2.03 SLEEVES AND CHASES

A. All irrigation pipe sleeves and/or electrical chases shall be PVC Schedule 40 (ASTM D 1785). Size as required.

B. Class 1 and Class 2 electrical conductors are not to be placed in the same conduit.

2.04 SPRINKLER SYSTEM EQUIPMENT

A. The backflow prevention assembly, automatic sprinkler controller, control valves, and other miscellaneous equipment shall be as specified on the Plans and/or in the Sprinkler System Legend.

A. Sprinkler Heads:

1. Type and Sizes: Provide types and sizes with diameter (or radius) of throw, pressure, discharge, and any other designations as indicated on the Drawings.

2. For Each Particular Type: Provide from same manufacturer and mark with manufacturer's name and identification in such position that they can be identified without removing the sprinkler from the system.

B. Sprinkler Risers:

1. Rotor Pop-up Sprinklers: Are to have adjustable assembly (double swing joint) risers as indicated on the Drawings.

2. Stationary Pop-up Sprinklers: Are to have swing joint risers or as indicated on the Drawings.

2.05 CONTROL WIRE

A. Control wire shall be type UF, 600 volt, single conductor wire with PVC insulation 4\64 inches thick (minimum). Control wire shall be #14 single conductor solid copper wire. All control or 'hot' wires shall be of one color (RED) and all common or 'ground' wires shall be (WHITE). Common ground wires size shall be #12 single conductor.

B. Electrical wire connections shall be made with 3M Brand DBY Direct Bury Splice Kit. The electrical connector shall be a 'Scotchlok' DBY. The device shall be installed per manufacturer's instructions and all applicable codes. The device shall be UL Listed as a Wire Connector System For Use With Underground Conductors.

2.06 AUTOMATIC CONTROLLER

A. Provide and install automatic irrigation controller in approximate location shown on the Drawings. The exact location will be determined on the Site by the Owner's Representative.

2.07 BACKFLOW PREVENTERS

A. Backflow prevention devices are to be installed as per plan details and specifications. Verify point of connection size and location in field. Contact Owner's Representative if contrary to plan.

2.08 VALVE BOXES

B. Valve boxes shall be Carson #1419-13 and Drip Zone valve boxes shall be Carson #1220 Jumbo Valve Box & Lid as manufactured by Carson Industries, Inc. and are to have bolt down lids, with bolts, with "RCV" cast on lid.

C. Install only one RCV or gate valve per valve box.

D. Install all valve boxes on a 6" pea gravel base.

2.09 MISCELLANEOUS EQUIPMENT AND MATERIALS

A. PVC pipe connections: Solvent cement and primer for solvent weld joints shall be of make and type approved by manufacturer of pipe and fittings. Cement shall be maintained at proper consistency throughout use.

B. Galvanized pipe connections: Pipe joint compound shall be 'Rectorseal' or equivalent, non-hardening, non-toxic material designed specifically for use on threaded connections in water-carrying pipe.

C. PVC threaded connections: Use Teflon tape or approved equal.

D. Provide the Owner, at completion of the maintenance period, three each of all operating and servicing keys, wrenches, and adjustment screwdrivers required for complete maintenance and operation of all heads and valves. Include all wrenches necessary for complete disassembly of all heads and valves.

PART 3 - EXECUTION

3.01 SUPERVISION AND WORKMANSHIP

A. The Contractor, personally or through an authorized and competent representative, shall supervise the work constantly and shall, as far as possible, keep the same foreman and workmen on the job from commencement to completion. The workmanship of the entire job shall in every way be first class, and only experienced and competent workmen shall be allowed on the job.

3.02 LAYOUT OF THE WORK

A. Stake out the irrigation system as shown on the Drawings. Any necessary changes from the original system shall be determined at this time. Verify location of existing underground utilities and make any necessary adjustments to avoid damage.

3.03 INSTALLATION PREPARATION

A. Schedule and coordinate placement of materials and equipment in a manner to complete the work as quickly as possible in conformance with construction and progress schedules.

B. Handling and Storage

1. Protect work and materials from damage during construction and storage.

2. Plastic pipe shall be handled carefully and protected from prolonged exposure to sunlight.

3. Grade areas to be irrigated to final contours before installation of irrigation system.

3.04 COORDINATION OF WORK

A. Coordinate work with other trades. In particular, schedule placement of irrigation and wiring (Schedule 40) sleeves prior to paving work.

3.05 EXCAVATING, TRENCHING AND BACKFILL

A. Excavation and Backfill for Sprinkler Lines:

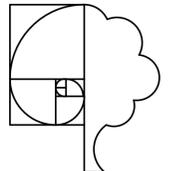
1. Excavation:

a. General: Place when pipe and soil temperatures are approximately the same.

2. Backfill:

3. Compaction:

a. Top 6 inches in landscaped areas may be 85 percent.



THOMAS H. PHELPS
LANDSCAPE ARCHITECTURE
IDLA, INC.

California Landscape Architect #4122
ID #LA-16771 * HI #LA-16112
AZ #76633

P.O. BOX 170129
Boise, Idaho 83717
thp@idlainc.net
(208) 906-1300

44 SUNNYSIDE AVENUE
3 STORY SINGLE FAMILY HOMES
44 SUNNYSIDE AVENUE
CAMPBELL, CALIFORNIA

These drawings are instruments of service and are the property of Thomas H. Phelps and his firm. They are to be used only for the specific project and shall not be used for any other project without the express written permission of Thomas H. Phelps Landscape Architecture.

Sheet Title
LANDSCAPE
SPECIFICATIONS



No.	Date	Revision

Project Mgr: THP
Drawn By: THP
Scale:
Date: 07.07.23
File Name: 23-023 of _____ sheets

Sheet No.:
L4

SHEET ISSUANCE

- B. Excavation shall be in all cases ample space for joining. Provide warning signs and barricades as needed for open trenches. Bottom of trenches shall provide continuous support for pipe.
- C. Make trenches for pipe lines deep enough to provide minimum cover from finish grade as follows:
1. 18 inches minimum cover over main lines to control valves and quick coupler valves, 24 inches under paving.
 2. 18 inches minimum cover over control wires from controller to valves. 24 inches under paving.
 3. 16 inches minimum cover over valve-controlled rotary sprinkler lateral lines. 24 inches under paving.
 4. 12 inches minimum cover over valve controlled spray sprinkler lateral lines. 24 inches under paving.
 5. When rocky conditions exist, as determined by the Owner's Representative, the bottom of all trenches shall have 3 inches of sand placed in them. Trenching depth shall be sufficient to allow for the 3 inches of bedding sand.
- D. Restore surfaces, existing underground installations, or other Site improvements damaged or cut as a result of excavations, to original condition in a manner approved by the Owner's Representative.
- E. Where other utilities interfere with irrigation trenching and pipe work, adjust the trench depth as instructed by the Owner's Representative.
- F. No work on excavating, trenching, or backfilling shall be done when soil is muddy, as determined by the Owner's Representative.

3.06 PIPELINE ASSEMBLY / PLASTIC PIPE

- A. All pipe shall be assembled free from dirt. Field cut ends shall be reamed only to full diameter, with rough edges and burrs removed.
- B. Solvent weld joints: Assemble PVC pipe using primer, solvents, and methods in accordance with manufacturer's recommendations. Wipe excess cement off the outside of the joints.
- C. For long pipe runs, 'snake' pipe from side to side in trench to allow for thermal expansion. Install pipe with manufacturer's labels face up for inspection before backfill.
- D. THREADED JOINTS
1. Field threading of plastic pipe or fittings is not permitted, factory formed threads only will be permitted.
 2. All plastic to metal connections shall be made with PVC male adapters. All screwed joints shall have teflon tape applied to the male threads.
 3. Where assembling threaded plastic fittings, take up joint no more than one full turn beyond hand tight. Use strap-eye friction wrench only; do not use metal jawed wrench.
- E. Cap or plug openings as pipeline is assembled to prevent entrance of dirt or obstruction. Remove caps or plugs only when necessary to continue assembly.
- F. Where pipes or control wires pass through sleeves, provide removable non-decaying seal at ends of sleeve to prevent entrance of earth.
- G. Install concrete thrust blocks on the main line at all changes in pipe direction associated with PVC tee's, el's, and other fittings as needed and as per detail on the plans. Do not cover thrust blocks until fully acceptable to the Owner's Representative.

3.07 REMOTE CONTROL VALVES (RCV)

- A. Install where shown and group together where practical. Limit one RCV per valve box. Locate in shrub or ground cover beds wherever possible.
- B. The valve designation (i.e.: controller and station no.) shall be painted on the inside of each valve box lid.
- C. Locate valves no closer than 12 inches from pavement or curbs, buildings, and walks.
- D. Thoroughly flush main line before installing valve.

3.08 QUICK COUPLER VALVES (QCV)

- A. Install in valve box in accordance with Detail of Plan Sheet.
- B. Install 12 inches from adjacent curb or concrete paving.

3.09 AUTOMATIC CONTROL WIRING

- A. Run wires along main lines wherever practical. Tie wires in bundles with pipe wrapping tape at 20 foot intervals and allow slack for contraction between strapping. Place all above ground wiring in conduit.
- B. Make connections with 3M Brand DBY Direct Bury Splice Kit, shall splice and effectively moisture seal two or more conductors. The electrical connector shall be a 'Scotchlok' DBY. The device shall be installed per manufacture's instructions and all applicable codes. The device shall be UL Listed as a Wire Connector System For Use With Underground Conductors.
- C. Loop a minimum of three (3) feet of extra control wire and ground wire in each valve box and at all corners and at 200 foot intervals.
- D. Splicing will be permitted only at valve locations or in junction boxes, equivalent to valve boxes, and approved by Engineer.
- E. Where control lines pass under paving, or where interior wires are exposed, they shall pass through Schedule 40 PVC conduit.

3.10 AUTOMATIC CONTROLLER

- A. The automatic sprinkler controller is to be a new automatic controller. Reference irrigation equipment legend. Contractor is to provide the following:
1. Furnish and install the new auto sprinkler controller, controller steel enclosure, and or enclosure concrete base as specified.
 2. Provide all 100X electrical work required to heat the new controller.
 3. Provide all 120 volt electrical work required to reconnect the existing systems control wires to the new auto controller.
 4. Provide telephone service to controller location, if required per plan legend. Coordinate with installing contractor

1. Provide adequate electrical surge protection for the new automatic controller and as approved by the Owner's Representative.

3.11 SPRINKLER HEADS

A. General:

1. Set heads perpendicular to finished grades, unless otherwise indicated on the Drawings.
 2. Sprinkler heads adjacent to Existing Walks, Curbs, or Other Paved Areas are to be set to grade, and as shown on the drawings.
 3. Sprinkler heads in lawn areas where turf has not be established are to be set 2 inches above finished grade.
 - a. Lower heads installed in this manner to grade when turf is sufficiently established to allow walking on it without appreciable damage.
 - b. Complete lowering of heads within 30 calendar days after written notification by the Owner's Representative.
- B. Flush lines thoroughly before installing heads, with the most distant circuit flushed last. Once the flushing water is clean, put on sprinkler heads, starting with the closest circuit to the vacuum breaker.
- C. The Contractor shall be responsible for providing full and even coverage. Make all necessary adjustments for proper distribution and coverage.
- D. Avoid overthrow onto windows and keep overthrow onto buildings and pavement to an absolute minimum.
- E. Bring any potential problems to the attention of the Owner's Representative prior to completion of the work.

3.12 BACKFILLING

- A. Use earth excavated from trenches, free from rocks or other deleterious material. Avoid any sharp objects adjacent to pipe which could cause damage. At the Contractor's option, rock-free imported topsoil may be used to backfill around piping.
- B. All PVC piping is to be covered with a 3 inch layer of sand wherever the backfill is rocky in nature as determined by Owner's Representative.
- C. The sprinkler system trenches are to be backfilled in 6 inch lifts and adequately compacted to prevent subsequent settling.
- D. Finish grade areas of backfill to match adjacent grade, removing any rocks or debris from the Site. Obtain approval from the Owner's Representative for relocating any excess earth on Site.
- E. If settlement occurs along trenches, make all necessary adjustments to bring irrigation system, soil and turf or paving to proper grade at no additional cost to the Contract.

3.13 FIELD QUALITY CONTROL

- A. All testing to be in full compliance with the requirements of the specifications.
- B. Trench Inspection and Main Line Pressure Test
1. The Contractor shall not backfill pressure main line trench until an open trench inspection has been conducted and approved.
 2. Test all pressure lines and connections to quick coupler valves, remote control valves and gate valves under hydrostatic pressure of 120 pounds per square inch prior to installation of remote control valves.
 3. Trench Inspection and Main Line Pressure Test
 - A. The Contractor shall not backfill pressure main line trench until an open trench inspection has been conducted and approved.
 - B. Test all pressure lines and connections to quick coupler valves, remote control valves and gate valves under hydrostatic pressure of 120 pounds per square inch prior to installation of remote control valves.
 - C. All piping under paved areas shall be tested under hydrostatic pressure of 120 pounds per square inch prior to paving.
 - D. Sustain pressure in pressure lines for not less than twenty-four (24) hours. If leaks develop, replace joints and repeat test until entire system is proven watertight.
 - E. All hydrostatic tests shall be made only in the presence of the Owner. No pipe shall be backfilled, except for center loading, until it has been observed, tested and approved in writing by the Owner. Should any work be covered up before such observation and tests are completed, the Contractor shall, at his own expense, uncover the work; and after it has been observed, tested and approved, he then shall make all repairs with such materials as required to restore all work disturbed to original and proper condition.
 - F. Furnish necessary force pump and all other test equipment.
 4. All piping under paved areas shall be tested under hydrostatic pressure of 120 pounds per square inch prior to paving.
 5. Sustain pressure in pressure lines for not less than twenty-four (24) hours. If leaks develop, replace joints and repeat test until entire system is proven watertight.
 6. All hydrostatic tests shall be made only in the presence of the Owner. No pipe shall be backfilled, except for center loading, until it has been observed, tested and approved in writing by the Owner. Should any work be covered up before such observation and tests are completed, the Contractor shall, at his own expense, uncover the work; and after it has been observed, tested and approved, he then shall make all repairs with such materials as required to restore all work disturbed to original and proper condition.
- C. Furnish necessary force pump and all other test equipment
- D. PIPE TESTING: Notify Owner's Representative at least three (3) working days in advance of testing. All tests shall be at Contractor's expense. Use small amounts of backfill to stabilize pipe before testing, but keep all joints exposed. Test lines as follows:

1. Flushing and Testing:
 - a. After new sprinkler piping and risers are in place and connected and necessary work has been completed, and prior to installation of sprinkler heads, open control valves and apply full head of water to flush out system.
 - b. After the system is thoroughly flushed, and prior to backfilling, cap off and pressure test system.
- C. Final System Test:

1. When irrigation system is complete and all adjustments have been made, notify the Owner's Representative to arrange final testing of system. A complete test of the system shall be made with all equipment connected and operating. Make any necessary adjustments as required by the Owner's Representative and retest as needed for final approval of system.

D. Manufacturer's Field Service:

1. Equipment manufacturer for controllers and automatic control valves shall provide one half day of field training in the operation and maintenance of the equipment to the Owner.
 2. Equipment manufacturer for controllers, automatic control valves, and sprinklers shall inspect the installed system and its operation and certify in writing its proper installation and operation.
- 3.14 GUARANTEE
- B. Submit in writing to the Owner's Representative.
- C. It shall be the responsibility of the Contractor to fill and repair all depressions and replace all necessary paving or plating due to the settlement of irrigation trenches for one year following completion and acceptance of the job.
- D. The Contractor shall guarantee all materials, equipment, and workmanship furnished by him to be free of all defects of workmanship and materials, and shall agree to replace at his expense at any time within one year after installation is accepted, any and all defective parts that may be found. In cases where emergency repairs are needed, or if the Contractor is not immediately available for repair work, the Owner shall have the option of making repairs at the Contractor's expense.
- 3.15 CLEAN-UP

- A. The Contractor shall keep his work areas in a workmanlike and safe condition and so his rubbish, waste, and debris does not interfere with the work.
- B. Upon completion of work in this Section, remove all rubbish, waste and debris from Site.
- C. Remove all equipment and implements of service, leave entire area in a neat and clean condition to meet acceptance by the Owner's Representative.
- END OF SECTION
SECTION 02900
PLANTING
PART 1 - GENERAL

1.01 SECTION INCLUDES

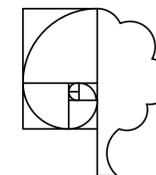
- A. The work included under this Section consists of providing all necessary soil preparation and amending, finish and fine grading, furnishing and planting of all trees, shrubs, and ground cover, application of pre-emergent herbicide, mulching, maintenance, and all other materials, labor, and equipment required to complete the work indicated on the Planting Plans.

1.02 RELATED SECTIONS:

- A. Section 02810 - Irrigation System: Provision of automatic irrigation system.

1.03 QUALITY ASSURANCE

- A. Alternates: Verify whether Alternates as specified affect the work of this Section.
- B. Contractor is to provide the Owner's Representative with copies of all Project material invoices and retain all empty material containers for count.
- C. The Contractor shall furnish, without any extra charge, any additional material and labor when required by the compliance on these Specifications and Drawings.
- D. The Contractor shall erect and maintain barricades, guards, warning signs, and lights as necessary or required for the protection of the work, the workmen, and public.
- E. Any existing buildings, equipment, piping, sewers, sidewalks, landscaping or other Site improvements damaged by the Contractor during the course of his work shall be replaced or repaired by the Contractor in a manner satisfactory to the Engineer and at the Contractor's own expense, and before the final payment is made.
- F. Contractor shall obtain and pay all fees, licenses, and permits required for this portion of the Project work.
- G. Before making bid, examine the Site carefully, verifying dimensions and other Site conditions in relation to the Plans. The Contractor is responsible for informing himself of all conditions under which work is to be done before submitting his Bid.
- H. When conditions detrimental to planting of trees, shrubs, and ground cover are encountered notify Owner's Representative before proceeding with work.
- I. Contractor to verify quantities shown in the Consolidated Plant List to assure conformance with Landscape Drawings. Bring any discrepancies to the attention of the Owner's Representative.
- J. For standard products, the manufacturer's analysis guarantee will be accepted. For all other materials, analysis will be a recognized laboratory as required by the Owner's Representative.
- K. All plants shall be true to type and name in accordance with the current edition of Standardized Plant Names', Second Edition, and of size and caliper as shown in the Plant List.
- L. Provide trees, shrubs, and other plants of size, genus, species and variety shown on Project Plant List and complying with recommendations and requirements of ANSI-Z60.1-90 American Standard for Nursery Stock.
- M. Plantings shall be performed by personnel familiar with planting procedures and under the supervision of a qualified planting foreman. The planting foreman shall be on the job Site whenever planting is in progress.
- N. No extra work shall be done without prior written approval of the Owner's Representative.
- O. Contractor shall coordinate his work with that of any other Contractors working in, and adjacent to, the areas included in the Project work, and coordinate with these Contractors in performance of this work.
- P. All work shall be in strict accordance with sound horticultural practice and shall include maintenance and watering of all materials installed in this Contract until final acceptance by the Owner's Representative.
- Q. Keep the job Site free from accumulations of waste material or rubbish resulting from this work. At the completion of the work, the Contractor shall remove all rubbish tools, and surplus materials, and shall leave the completed project neat and orderly.
- 1.04 JOB CONDITIONS
- A. Proceed with and complete planting work as rapidly as portions of Site become available, working with seasonal limitations.
- B. Determine locations of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, as required.
- C. Maintain grade stakes set by others until removal is mutually agreed on by parties concerned.
- D. Contractor shall verify the extent that the Project engineered fill extends into the planting areas. Where the engineered fill material is in conflict with sound horticultural practice, the contractor is to confer with the Owner's Representative to ascertain to what extent the engineered fill, in the planting areas, can be removed. The Landscape Contractor will be responsible for the removal of whatever engineered fill that is a problem and is agreed to by the Owner's Representative.
- E. Before making bid, examine the Site carefully, verifying dimensions and other Site conditions in relation to the Plans. The Contractor is responsible for informing himself of all conditions under which work is to be done before submitting his bid.



THOMAS H. PHELPS
LANDSCAPE ARCHITECTURE
IDLA, INC.
California Landscape Architect #4122
ID #LA-16771 * HI #LA-16112
AZ #76633

P.O. BOX 170129
Boise, Idaho 83717
thp@idlainc.net
(208) 906-1300

44 SUNNYSIDE AVENUE
3 STORY SINGLE FAMILY HOMES
44 SUNNYSIDE AVENUE
CAMPBELL, CALIFORNIA

These drawings are instruments of service and are the property of Thomas H. Phelps and are to be used only for the specific project and site and are not to be re-used without the express written permission of Thomas H. Phelps Landscape Architecture.

Sheet Title
LANDSCAPE
SPECIFICATIONS

Scale



No.
 Date
 Revision

Project Mgr: THP
Drawn By: THP
Scale:
Date: 07.07.23
File Name: 23-023 of _____ sheets

SHEET ISSUANCE

SECTION 02900

PLANTING, contd

PART 2 - PRODUCTS

2.01 TREES, SHRUBS, AND GROUND COVER

- A. Plant materials shall be supplied in sizes as indicated in the Plant List. Container stock shall be well established in the container and the roots shall not have grown beyond the limits of the container, nor shall they be root bound. All plants shall have normal or average branching systems and shall be first class representatives of their species in appearance of healthy, vigorous growth. Plants shall be free of pests and disease and disfiguring injury. Trees shall be select and choice material, with symmetrical and full rounded heads appropriate for the species.
- B. All plant materials delivered to the Site must conform to the Specifications of Federal, State and County laws, requiring inspection for plant diseases and insect infestations. Any inspection certificates required by law must accompany each shipment when plant materials arrive at the Site.
- C. Plants delivered to the Site shall be adequately protected from the sun and wind during delivery and then stockpiled on the Site prior to planting. They shall be watered adequately. Containers shall be free of weeds or grasses.
- D. Substitutions are not permitted except on proof that plant specified is not available. Request for substitution must be made in writing to the Landscape Architect. No additional charge shall be made for substitutions except by the written authorization of the Landscape Architect.
- E. The Landscape Architect shall be notified in writing, one week prior to planting, to inspect all or major portions of the plant materials to be used in the Project, if requested by owner or Architect.
- F. The Landscape Architect shall be the final arbitrator in decisions regarding identification and nomenclature.
- G. The Landscape Architect shall have the right to reject plants prior to and during the progress of work for size, conditions of top structure, conditions of root structure, defects or injuries or nonconformity to Specifications.

2.02 SOIL AMENDMENTS

- A. After rough grading operations, the contractor is responsible for obtaining a soils report that provides an analysis of the existing soil that states what soil amendments are required for optimum planting growth. The contractor shall incorporate the recommended quantities by thoroughly cultivating all planting areas to a depth of eight (8) inches. Rough finish grade all areas.
- B. Prior to the planting of any materials, compacted soils shall be transformed to a friable condition. On engineered slopes, only amended planting holes need meet this requirement
- C. Broadcast the following soil amendments. Quantities given are per 1,000 square feet of area.
- C.A. Nitrogen stabilized and iron fortified compost:per soil analysis recommendations, or 4 cy MINIMUM for bid purposes
- C.B. Pelletized fertilizer (21-0-0): 10lbs., or as per soil analysis recommendations
- C.C. Soil Sulfur: per soil analysis recommendations
- C.D. Gypsum: 100 lbs
- D. Cultivate and thoroughly incorporate the amendments into the top eight (8) inches of soil.
- E. De-rock area to be planted by using a mechanical rock picker. All rocks larger than 1 inch in diameter are to be removed.

2.03 FERTILIZERS

- A. Agriform planting tables, as manufactured by Sierra Chemical. 21 gram size with 20-10-5 analysis.
- B. Commercial fertilizer, as manufactured by Best Fertilizer Co. with a 16-6-8 + iron analysis.

2.04 EXISTING TOPSOIL

- A. It will be the Landscape Contractor's responsibility to provide all labor and equipment to remove all site topsoil spoils and dig-out as may be required to complete the finish the fine grading work.

2.05 TREE STAKES AND TIES

- A. Tree stakes shall be 2 inches diameter x 8 feet long, treated lodge pole stakes, free from knots and splits.
- B. Tree ties shall be "Cinch-Ties", length as required, as manufactured by V.I.T. Products, Inc.

2.06 PREEMERGENT HERBICIDE(S)

- A. The preemergent herbicide is to be one that has proven successful in the local area, is recommended by a license Pest Control Advisor and has the approval of the Owner's Representative.

2.07 FIR BARK MULCH

- A. Install A minimum three inch (3") depth fir bark mulch over the filter fabric.
- B. A (3") layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated on all shrub and ground cover planting areas. Bark mulch shall be wood residual derived and manufactured from Pine, White and/or Red Fir Tree bark. The material shall be equal to that referred to as 'Walk on Bark' in the trade.
- C. Organic mulch materials made from recycled or post-consumer shall take precedence over inorganic materials or virgin forest products unless the recycled post-consumer organic products are not locally available. Organic mulches are not required where prohibited by local Fuel Modification Plan Guidelines or other applicable local ordinances

2.08 GRAVEL MULCH

- A. Gravel mulch is to be one ¾" inch size crushed rock.
- B. Place 4-6" size 'river washed' cobble over landscape fabric.
- C. place moss rock fieldstone boulders, size and location as per plan. Bury the boulder ½ or to the existing soil line on the rock
- D. Provide gravel sample for approval of the Owner's Representative.
- E. Gravel is to be placed to a minimum two (2) inch thickness over a weed barrier filter fabric.

2.09 WEED BARRIER FILTER FABRIC

- A. Manufactured of polypropylene, 28 mil thickness, and 2.6 ounces per square yard. DeWitt Pro-5, or equal.
- B. Secure fabric segments, to soil, with 6"x1"x6" steel 'U' shape pins.
- C. Overlap adjacent fabric segments a minimum of six (6) inches and secure with pins at twenty four (24) inches on center.

PART 3 - EXECUTION

3.01 SOIL PREPARATION AND AMENDING

- A. Thoroughly cultivate all planting areas to a depth of eight (8) inches.
- B. Rough finish grade all areas.

- C. Broadcast the following soil amendments. Quantities given are per 1,000 square feet of area.

Nitrogen stabilized and iron fortified compost:4 CY per 1000 sf, or as per soil analysis recommendations
 Pelletized fertilizer (21-0-0): per soil analysis recommendations
 Soil Sulfur: per soil analysis recommendations

- D. Cultivate and thoroughly incorporate the amendments into the top eight (8) inches of soil.

- E. De-rock area to be planted by using a mechanical rock picker. All rocks larger than 1 inch in diameter are to be removed.

3.02 FINISH GRADING

- A. Fine grade areas to smooth, even surface with loose, uniform texture. Rake and drag areas to remove ridges and fill depressions as required to meet finish grades. Limit fine grading to areas which can be planted immediately after grading.

- B. The finish grade of all shrubs and/or ground cover planting areas is to be 2 1/2 inches below the top of all adjacent concrete walks, curbs, and asphalt paving.

- C. Remove all debris, exposed rocks, and compacted soil clods 1 inch in diameter or larger, from all planting areas. Use a mechanical rock picker for this. All finish grades shall be subject to the approval of the Engineer.

3.03 PLANTING OF TREES, SHRUBS AND VINES

- A. The planting work shall be deferred until earthwork, construction, irrigation, soil preparation and finish grading work has been completed.

- B. No planting shall occur during unfavorable weather conditions or when the soil is excessively wet, as determined by the Owner's Representative.

- C. Stake or spot all plant locations, as shown on the Planting Plans. Obtain approval of plant locations, by the Owner's Representative or landscape Architect, prior to commencement of planting.

D. Planting Procedure:

- D.A. Excavate plant holes to the dimensions indicated on Planting Plans. Refer to Planting Details. Roughen excavation sides and loosen bottom.

- D.B. Fill plant excavation with water and allow to percolate completely.

- D.C. Add and firm backfill soil to bring the plant soil / root ball to the proper planting elevation. The backfill soil is to consist of the excavated site topsoil with all rocks larger than 1 inch diameter removed from backfill soil. Use unconditioned site topsoil for backfill below the 8 inch depth which has been limed by premixing one (1) cubic yard of site topsoil with organic compost.

- D.D. All plant material is to be removed from containers by approved methods. Loosen the bottom and sides of the exposed root ball and unwind or cut any circling roots. Protect root ball from the drying effects of sun and wind.

- D.E. Place plant in the center of the excavation and adjust root ball elevation so that top of root ball is one (1) inch above the level of the surrounding soil grade.

- D.F. Complete the backfilling of the root ball with light tamping as the backfill soil is placed.

- D.G. Add 21 gram size Agriform (20-10-5) planting tablets to the backfill of all plant material. Reference planting details on plan and quantity schedule below.

Plant Container Size	Tablets Required
#1	1
#2	2
#5	3
#15	5
24" box	5

- D.H. Construct a water retention basin around each plan, 4" high for trees and 3" high for shrubs. Water thoroughly to settle the backfill soil. Add backfill as required by settling.

3.08 TREE STAKING AND GRASS-FREE AREA

- A. All trees are to be staked as per the Tree Staking Details occurring on the Planting Plans.

- B. Care is to be exercised to maintain tree stakes in the proper horizontal alignment, and vertically to be set plumb.

3.09 PLANT MATERIAL GUARANTEE

- A. The Contractor shall guarantee all plant material from latent defects, disease or death, and injury for a period of twelve (12) months after final acceptance of the total Project by the Owner's Representative.

- B. The Contractor shall promptly replace, at no additional cost, plants that are not in a vigorous, healthy, growing condition. Replacement shall be of the same kind and size as originally specified and shall be planted as described on the Planting Plans and in these Specifications.

- C. This guarantee does not include plant loss, due to physical damage or neglect during normal maintenance, by others, subsequent to the end of the project contract maintenance period.

3.10 OBSERVATION AND ACCEPTANCE

- A. After all plants have been installed, the Owner's Representative will make a preliminary observation.

1. Upon preliminary observation and approval of the work, a ninety (90) day calendar day maintenance period will begin.

2. If any plants or work are not approved, immediate replacement and/or repair will be made and regular maintenance then continued for ninety (90) days after replacement.

- B. Final observation will be made at the end of the ninety (90) day maintenance period. Submit written notice requesting this observation at least one week in advance.

1. Plant basins shall be repaired, all plantings given a final watering, and the job cleared of all weeds and debris and presented in a neat and orderly fashion.

2. The work, exclusive of the replacement of plant materials, shall be accepted by the Owner's Representative upon completion of the ninety (90) day maintenance period and upon written approval of the work by the Owner's Representative.

3. Clean paved area by sweeping and/or washing. Remove any defacement or stains caused by work of this Section.

4. Remove construction equipment, excess materials, tools, debris, and rubbish.

5. Repair any existing property damaged or altered due to work of the landscape planting.

3.11 INSTRUCTIONS TO THE OWNER

- A. Full and complete typewritten instructions for long term maintenance of the landscaping are to be furnished to the Owner's Representative at least 10 days prior to the end of the Contractor's maintenance period. The Owner may retain final payment if this item is not completed.

3.12 GENERAL CLEAN-UP

- A. During the process of the work, the Site shall be kept in a reasonably neat and clean condition, free from the accumulation of cans, surplus materials, and waste materials.

- B. Upon completion of the work, remove all equipment, dispose of all waste, refuse, or debris resulting from this work, and leave the premises in a neat and clean condition.

- C. All planting areas shall be neatly dressed and finished and all walks, paved areas, curbs, and gutters flushed clean to the satisfaction of the Owner's Representative.

3.13 PLANTING MAINTENANCE

- A. Provide all necessary maintenance during specified maintenance period, including but not limited to, watering, weeding, replanting, fertilizing, treatment of diseases and pests, and protection from rodents, and people encroachment.

1. Check all tree ties and adjust if too tight or too loose. Remove all nursery stakes and ties.

2. Provide supplementary deep watering for trees at one month intervals during maintenance period, using a slowly trickling water hose. Fill planting basins, let water soak in, and refill.

3. Replace any plants not in a healthy and thriving condition

4. Arrange watering schedule to avoid wetting of foliage when exposed to hot sunlight.

5. Keep planting basins in good repair and free of weeds.

6. Plants blown over shall be replanted and restaked or replaced if damaged.

7. Protect all plants against damage from any source. Treat or replace all damaged trees during the maintenance period.

8. Re-set any plants where root crowns have settled below adjacent finish grade or where tree trunks are leaning from vertical position.

9. Prune only to remove broken twigs, unbalanced branching conditions or suckers.

10. At conclusion of maintenance period, re-surface planting beds as needed with a fresh layer of mulch to maintain the required depth.

END OF SECTION

CLOSEOUT PROCEDURES

1.1 DESCRIPTION

- A. Section Includes: The work includes, but is not necessarily limited to, performing all operations necessary for and properly incidental to closing out the project and assisting in Owner's final inspection as hereinafter specified.

1.2 FINAL COMPLETION

- A. When the Contractor considers the work, or a designated portion of the work complete, submit written request to Owner's Representative for inspection. By submittal of request, Contractor certifies that:

1. Contract Documents have been reviewed.

2. Work has been completed in accordance with the Contract Documents and is ready for inspection.

3. Equipment systems have been tested, adjusted, balanced and is fully operational.

- B. Submit request a minimum of five (5) working days in advance of requested inspection date. Contractor shall be responsible for allowing sufficient time during contract period to complete inspection and any correction.

- C. Should Owner's Representative inspection find work incomplete, Owner's Representative will notify Contractor in writing, listing observed deficiencies.

- D. Contractor shall remedy listed deficiencies and sent a request for final inspection. At the Owner's option, a re-inspection(s) of the work to identify additional deficiencies, if any, may be required. Owner's costs associated with reinspection(s) are subject to provisions of Article 1.04 of this Section.

- E. When Owners confirm work is complete, and close-out submittals as referred to in Article 1.04 of this Section are provided, Owner's Representative will notify Contractor of date of completion in writing.

1.3 REINSPECTIONS

- A. Should status of completion of work require reinspection(s) by Owner due to failure of work to comply with Contractor's claim on initial inspection, Owner may deduct the amount of compensation for reinspection services from final payment to Contractor. Observed deficiencies in excess of ten (10) will be reason for reinspection.

- B. Inspection initiated at the request of the Owner will not be subjected to the provisions of this Article.

1.4 CLOSE-OUT SUBMITTALS

- A. Project Record Documents

- B. Operation and Maintenance Data

- C. Warranties and Guarantees

- D. Spare Parts and Maintenance Materials

- E. Evidence of Payment and Lien Releases along with a list of all subcontractors which contributed labor or materials to the project.

- F. Other data and material as may be required in individual Sections of the Specifications.

1.5 APPLICATION FOR FINAL PAYMENT

- A. Submit application for final payment in accordance with provisions of the contract for Construction.

INSPECTION SCHEDULE:

The Landscape Architect shall accomplish the following inspections in concert with the Project Coordinator, and the Landscape Contractor. Call at least 48 hours in advance of the requested inspection:

1. Pre-Landscape Construction Meeting with Landscape Architect, Landscape Contractor and Construction Site Supervisor

2. Landscape Architect inspection:

- A. Irrigation System Layout and Coverage Inspection, including:

- B. Irrigation Mainline and Lateral Pressure Check Layout inspection or deviation from

- C. Irrigation system as per plans

- D. Installation inspection of main lines

- E. Installation inspection of laterals and non-pressure system trenches

3. Landscape Architect inspection:

- A. Plant Inspection and Soil Preparation Inspection, including:

- Review/approve amendments

- Ensure correct soil preparation

- Verify finish grade

- Plant material quality

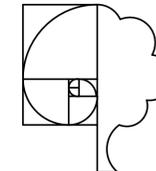
- Layout in conformance with Project plans/specification

4. Landscape Architect inspection:

- A. Final Landscape Improvements Inspection and approval

- B. Commencement of Maintenance Period with letter of approval from the landscape architect. All punch list items from previous inspection must be complete

Requests for progress payments must include approved inspection reports authorized by the Landscape Architect and or the owner's agent



THOMAS H. PHELPS
 LANDSCAPE ARCHITECTURE
 IDLA, INC.
 California Landscape Architect #4122
 ID #LA-16771 * HI #LA-16112
 AZ #76633

P.O. BOX 170129
 Boise, Idaho 83717
 thp@idlainc.net
 (208) 906-1300

44 SUNNYSIDE AVENUE
 3 STORY SINGLE FAMILY HOMES
 44 SUNNYSIDE AVENUE
 CAMPBELL, CALIFORNIA

This drawing is the property of Thomas H. Phelps and shall remain the property of Thomas H. Phelps. It is to be used only for the project and site and no other alterations without the express written permission of Thomas H. Phelps Landscape Architecture.

Sheet Title
 LANDSCAPE
 SPECIFICATIONS

Scale



No. Date Revision

1 08/31/24

Project Mgr: THP Sheet No.:

Drawn By: THP

Scale: 1/8" = 1'-0"

Date: 07.07.23

File Name: 23-023 of 1 sheets

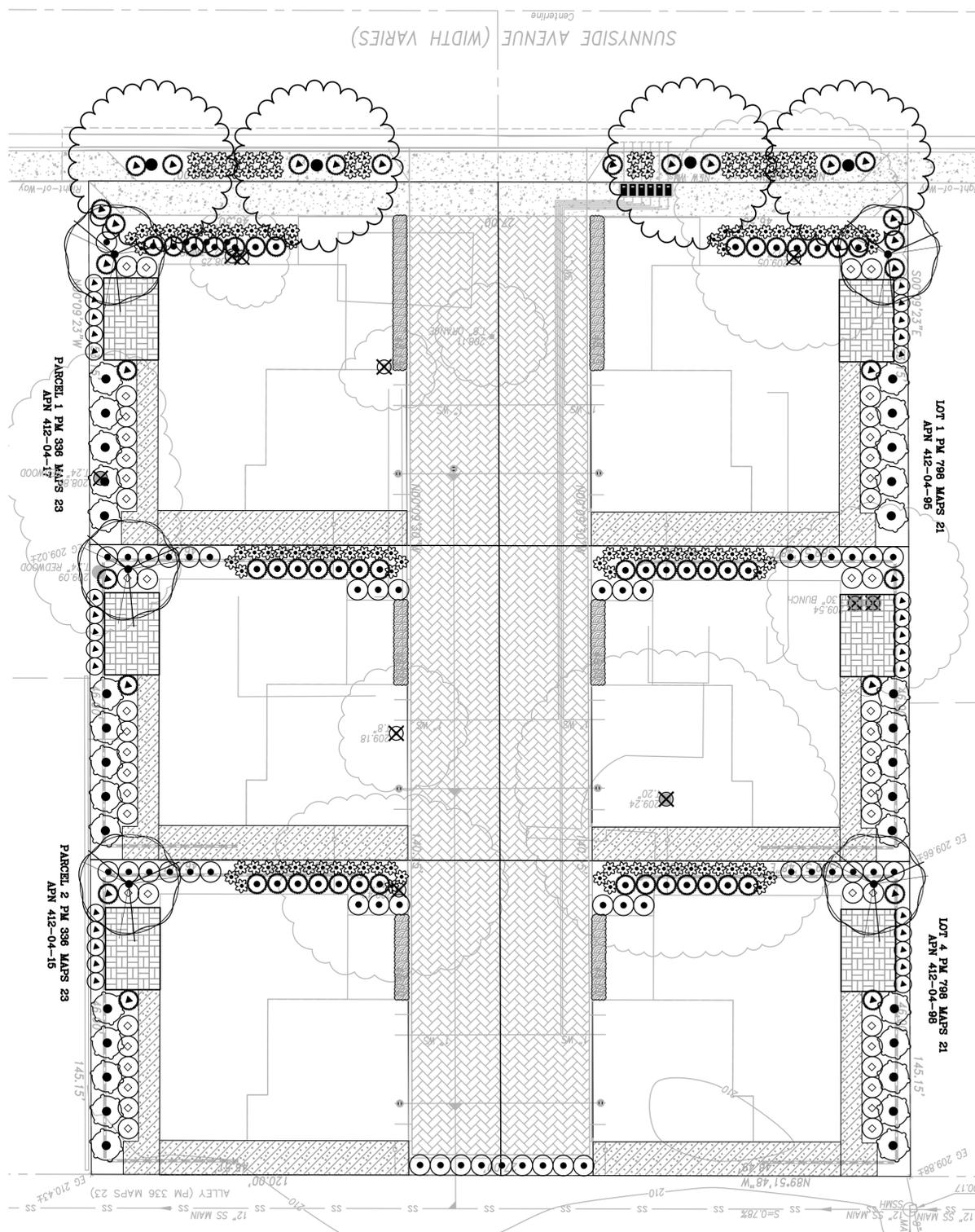
6

6

6

6

SHEET ISSUANCE



Lophostemon confertus 'Variegata'



Acer palmatum 'Sango-kaku'



Juncus patens 'Carman's Grey'



Carex barbarae



Mahonia repens



Nandina domestica 'Gulf Stream'



Prunus caroliniana 'Compacta'



Dietes vegeta



Tulbaghia violacea



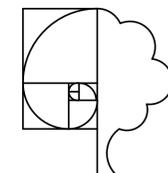
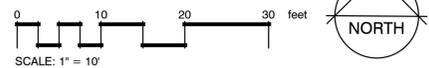
Teucrium x lucidrys prostratum



mixed succulents

PLANT SCHEDULE

	BOTANICAL NAME
TREES	
	ACER PALMATUM 'SANGO-KAKU'
	LOPHOSTEMON CONFERTUS 'VARIEGATA'
SHRUBS	
	MAHONIA REPENS
	NANDINA DOMESTICA 'GULF STREAM'
	PRUNUS CAROLINIANA 'COMPACTA'
PERENNIALS	
	DIETES VEGETA
	TEUCRIUM X LUCIDRYS PROSTRATUM
	TULBAGHIA VIOLACEA
STORM WATER MANAGEMENT PLANTINGS	
	CAREX BARBARAE
	JUNCUS PATENS 'CARMAN'S GREY'
GROUND COVERS	
	MIXED SUCCULENTS
MATERIALS	
	2" DEPTH 1-1/2" DRAIN ROCK



THOMAS H. PHELPS
LANDSCAPE ARCHITECTURE
IDLA, INC.
California Landscape Architect #4122
ID #LA-16771 * HI #LA-16112
AZ #76633
P.O. BOX 170129
Boise, Idaho 83717
thp@idlaine.net
(208) 906-1300

44 SUNNYSIDE AVENUE
3 STORY SINGLE FAMILY HOMES
44 SUNNYSIDE AVENUE
CAMPBELL, CALIFORNIA

These drawings are instruments of service and are the property of Thomas H. Phelps Landscape Architecture. They are to be used only for the specific project and site and are not to be altered, copied, or used for any other purpose without the express written permission of Thomas H. Phelps Landscape Architecture.

Sheet Title
PLANT PALETTE

Seal

No.	Date	Revision
1		
2		
3		
4		

Project Mgr: THP
Drawn By: THP
Scale:
Date: 07.07.23
File Name: 23-023 of _____ sheets

Sheet No.:

SHEET ISSUANCE